

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

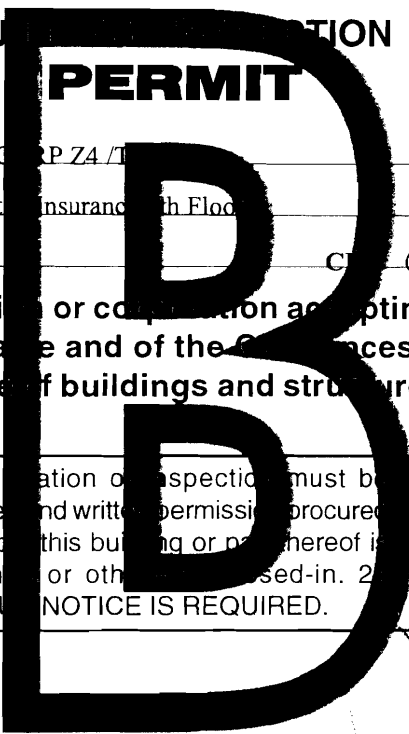
PERMIT

Permit Number: 090734

Please Read Application And Notes, If Any, Attached

This is to certify that RREEF AMERICA REIT III CORP 74 / T
has permission to Interior Renovation to Prudent Insurance with Flood
AT 2 PORTLAND SQ City 038 B002001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is used-in. 2 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Gauthier
Health Dept. JUL 30 2009
Appeal Board
Other
Department Name

Janet B... 7/29/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0734	Issue Date:	CBL: 038 B002001
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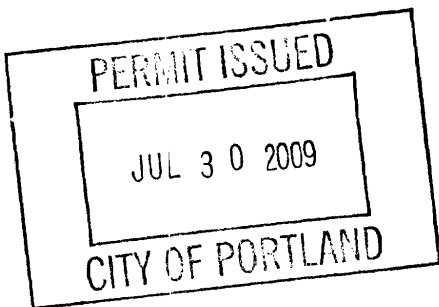
Location of Construction: 2 PORTLAND SQ	Owner Name: RREEF AMERICA REIT III CORP	Owner Address: PO BOX 4900 DEPT 207	Phone: 207-874-6000
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Commercial-Prudential Insurance.	Proposed Use: Commercial-Prudential Insurance. - Interior Renovation to Prudential Insurance 4th Floor	Permit Fee: \$2,080.00	Cost of Work: \$206,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions	INSPECTION: Use Group: B Type: 2B JBC 2003	

Proposed Project Description: Interior Renovation to Prudential Insurance 4th Floor	Signature: (KG)	Signature: JMB 7/29/09
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: lmd	Date Applied For: 07/13/2009	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: 7/15/09 MES</p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>
	<p><i>approved w/conditions</i></p> <p><i>JMB</i></p>		



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0734	Date Applied For: 07/13/2009	CBL: 038 B002001
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Location of Construction: 2 PORTLAND SQ	Owner Name: RREEF AMERICA REIT III CORP	Owner Address: PO BOX 4900 DEPT 207	Phone: 207-874-6000
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial-Prudential Insurance. - Interior Renovation to Prudential Insurance 4th Floor	Proposed Project Description: Interior Renovation to Prudential Insurance 4th Floor
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 07/15/2009

Note: **Ok to Issue:**

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 07/29/2009

Note: **Ok to Issue:**

- 1) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 07/22/2009

Note: **Ok to Issue:**

- 1) Fire Alarm system shall be maintained.
If system is to be off line over 4 hours a fire watch shall be in place.
Dispatch notification required 874-8576.
- 2) Sprinkler protection shall be maintained.
Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
- 3) Emergency lights are required to be tested at the electrical panel.
- 4) Fire extinguishers required. Installation per NFPA 10
- 5) Fire alarm system requires a Masterbox connection per city ordinance.
Masterbox design and installation shall be as approved by City Electrical Division.
- 6) Emergency lights and exit signs are required
- 7) The fire alarm system shall comply with NFPA 72 and Fire Department Technical Standard. A compliance letter is required.
- 8) All construction shall comply with NFPA 101
- 9) The sprinkler system shall be installed in accordance with NFPA 13.

9-22-09

9-24-09 (Question on nail for glass partition, check on loading storage - also check on fire rating wood floor etc. Working Permit - See Walters' list.)

10-30-09 OK - Final inspection (Note will for squibbs report) in room

DEAN & ALLYN, INC.

FIRE PROTECTION • SPECIAL HAZARD

32 LEWISTON ROAD • BLDG. 1C
P.O. BOX 709 • GRAY, ME 04039
TEL. 207/657-5646 • FAX 207/657-5647

October 29, 2009

Wright-Ryan
10 Danforth Street
Portland, ME 04101

Re: Prudential Insurance
Two Portland Square
4th Floor
Portland, ME 04101

To Whom it May Concern,

The sprinkler renovations recently completed at the above location were done in full compliance with NFPA, City of Portland and State of Maine codes.

Very truly yours,

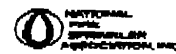
Harry King (JK)
Harry King
Dean & Allyn, Inc.

ATTN. Mike MEDINO
874-8716 Fax

From Brian Jacobs 11-209

Call with ANY Questions
210-8966

Contractors Material and Test Certificate for Aboveground Piping



A. Procedure Upon completion of work, inspection and tests shall be made by the contractor's representative and witnessed by an owner's representative. All defects shall be corrected and system left in service before contractor's personnel finally leave the job. A certificate shall be filled out and signed by both representatives. Copies shall be prepared for approving authorities, owners and contractor. It is understood the owner's representative's signature in no way prejudices any claim against contractor for faulty material, poor workmanship, or failure to comply with approving authority's requirements or local ordinances. All "No" answers shall be explained in the Comments portion of this form.

Property Name: Prudential Address: 2 Portland Square 4th Floor Date: 10/9/09

B. Plans

1. Accepted by Approving Authorities (Names): _____
2. Address: _____
3. Installation conforms to accepted plans Yes No
4. Equipment used is approved Yes No

C. Instructions

1. Has person in charge of fire equipment been instructed as to location of control valves and care and maintenance of this new equipment Yes No
2. Have copies of the following been left on the premises:
 - a. System components instructions Yes No
 - b. Care and maintenance instructions Yes No
 - c. NFPA 25 Yes No

D. Location of systems - Supplies building(s): 4th Floor Control Unit

E. Sprinklers

Make	Model	Year Made	Orifice	Quantity	Temperature
TYCO	FRB	2009	1/2"	48	155°

F. Pipe and Fittings

1. Type of Pipe: BLACK SCH 40
2. Type of Fittings: Cast Iron Class 125

G. Alarm Valve or Flow Indicator

Type	Make	Model	Max. Time to Operate Through Insp. Test
			<u>Existing</u>

H. Dry-Pipe Valve

Make, Model and Serial Number: _____

I. Quick Opening Device (Q.O.D.)

Make, Model and Serial Number: _____

J. Dry-Pipe System Operating Test Without Q.O.D.

1. Time to trip through test connection*: _____
2. Water pressure _____ psi. Air pressure _____ psi.
3. Trip point air pressure _____ psi.
4. Time water reached test outlet*: _____
5. Alarm operated properly Yes No

K. Dry-Pipe System Operating Test With Q.O.D.

1. Time to trip through test connection*: _____
2. Water pressure _____ psi. Air pressure _____ psi.
3. Trip point air pressure _____ psi.
4. Time water reached test outlet*: _____
5. Alarm operated properly Yes No

L. Deluge and Preaction Valves

1. Make & Model: _____
2. Operation: Pneumatic Electric Hydraulic
3. Piping and detecting media supervised Yes No
4. Does valve operate from manual trip and/or remote control stations Yes No
5. Is there an accessible facility in each circuit for testing Yes No
6. Does each circuit operate supervision loss alarm Yes No
7. Does each circuit operate valve release Yes No
8. Maximum time to operate release: _____

M. Pressure Reducing Valve

1. Location and Floor: _____
2. Make and Model: _____
3. Setting: _____ Static Pressure: Inlet _____ psi. Outlet _____ psi
4. Residual Pressure (Flowing): Inlet _____ psi. Outlet _____ psi
5. Flow Rate: _____ gpm

N. Test Description

Hydrostatic: Hydrostatic tests shall be made at not less than 200 psi for two hours or 50 psi above static pressure in excess of 150 psi for two hours. Differential dry-pipe valve clappers shall be left open during test to prevent damage. All aboveground piping leakage shall be stopped.
Pneumatic: Establish 40 psi air pressure and measure drop. Test pressure tanks at normal water level and air pressure and measure air pressure drop. In both cases, the pressure drop shall not exceed 1 1/2 psi in 24 hrs.

O. Tests

1. All piping hydrostatically tested at 95 psi for System Working Pressure hours
2. Dry piping pneumatically tested Yes No
3. Equipment operates properly Yes No
4. Do you certify as the sprinkler contractor that additives and corrosive chemicals, sodium silicate or derivatives of sodium silicate, brine, or other corrosive chemicals were not used for testing systems or stopping leaks? Yes No
5. Drain Test:
 - a. Static pressure reading of gage located near water supply connection _____ psi.
 - b. Residual pressure with valve in test connection open wide _____ psi.
6. Underground mains and lead in connections to risers flushed before connection made to sprinkler piping and verified by copy of form No. 13-U Yes No
7. Flushed by installer of underground piping Yes No
8. If powder driven fasteners are used in concrete, has representative sample testing been satisfactorily completed? Yes No

P. Blank Testing Gaskets

1. Number used: NONE
2. Locations: _____
3. Number removed: _____

Q. Welded Piping - If welded piping was used in the system, complete the following:

1. As the sprinkler contractor, were welding procedures in compliance with the requirements of at least AWS B2.1, ASME Section IX or other required standards Yes No
2. Was welding performed by welders qualified in compliance with the requirements of at least AWS B2.1, ASME Section IX or other required standards Yes No
3. Do you certify that welding was carried out in compliance with a documented quality control procedure to insure that all discs are retrieved, openings in pipe are smooth, slag and other welding residue are removed, the internal diameters of piping are not penetrated, completed welds are free from cracks, incomplete fusion, surface porosity greater than 1/16 inch in diameter, undercut deeper than the lesser of 25% of the wall thickness or 1/32 inch, and the completed circumferential butt weld reinforcement does not exceed 3/32 inch? Yes No

R. Cutouts (Disks)

Do you certify that you have a control feature to ensure that all cutouts (disks) are retrieved? Yes No

S. Hydraulic Data Nameplate Provided Yes No

T. Date left in service (with all control valves open): _____

U. Signatures

1. Name of sprinkler contractor: DRAN & MULLIN
2. Tests witnessed by:
 - For property owner (Signed): _____ Date: _____
 - Title: _____
 - For sprinkler contractor (Signed): JAKE HEAD OF Date: 10/9
 - Title: FOREMAN

V. Comments (This section is for additional explanation and notes. All "No" answers must be explained here.)

242.2 in modifications that cannot be isolated, such as relocated drops, shall not require testing in excess of system working pressure

*Measured from the time the inspector's test connection is opened

Check here if comments continue on the reverse side of this form

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date _____
 Permit # 3009-4493
 CBL# 38-B-2

LOCATION: 2 Portland Sq. 4th Floor **METER MAKE & #** _____
CMP ACCOUNT # _____ **OWNER** RREEF
TENANT Prudential **PHONE #** 207-874-6000

TOTAL EACH FEE

Category	Quantity	Item	Quantity	Item	Quantity	Item	Fee	Total
OUTLETS	23	Receptacles	16	Switches	3	Smoke Detector	.20	8.40
FIXTURES		Incandescent	117	Fluorescent		Strips	.20	23.40
SERVICES		Overhead		Underground		TTL AMPS <800	15.00	
		Overhead		Underground		>800	25.00	
Temporary Service		Overhead		Underground		TTL AMPS	25.00	
							25.00	
METERS		(number of)					1.00	
MOTORS		(number of)					2.00	
RESID/COM		Electric units					1.00	
HEATING		oil/gas units		Interior		Exterior	5.00	
APPLIANCES		Ranges		Cook Tops		Wall Ovens	2.00	
		Insta-Hot		Water heaters		Fans	2.00	
		Dryers		Disposals		Dishwasher	2.00	
		Compactors		Spa		Washing Machine	2.00	
		Others (denote)					2.00	
MISC. (number of)		Air Cond/win					3.00	
		Air Cond/cent				Pools	10.00	
	1	HVAC		EMS		Thermostat	5.00	5.00
		Signs					10.00	
		Alarms/res					5.00	
		Alarms/com					15.00	
		Heavy Duty(CRKT)					2.00	
		Circus/Carnv					25.00	
		Alterations					5.00	
		Fire Repairs					15.00	
	9	E Lights					1.00	9.00
		E Generators					20.00	
PANELS		Service		Remote		Main	4.00	
TRANSFORMER		0-25 Kva					5.00	
	1	25-200 Kva					8.00	8.00
		Over 200 Kva					10.00	
						TOTAL AMOUNT DUE		\$55.00
						MINIMUM FEE	45.00	
						MINIMUM FEE/COMMERCIAL	55.00	

038

AUG 27 2009

CONTRACTORS NAME L & B Electrical Contractors, Inc **MASTER LIC. #** MC60016762
ADDRESS PO Box 51 Lisbon, ME 04250 **LIMITED LIC. #** _____
TELEPHONE 207-353-5521

SIGNATURE OF CONTRACTOR James A. Leman
 White Copy - Office • Yellow Copy - Applicant



October 14, 2009

Jeff Minnis
L&B Electric
PO Box 51
Lisbon, ME 04250

Subject: Two Portland Square, Prudential Fire Alarm Addition

Dear Jeff,

As requested, I am writing to confirm that the fire alarm system add for the above mentioned subject, were inspected and tested and at the time of inspection the system was found to be fully operational and to the best of our knowledge, met or exceeded all of the requirements as established by the plans and specifications for the project and all applicable codes including NFPA 72.

It was a pleasure working with you on this project. Should you have any questions or need additional information please do not hesitate to contact me.

Sincerely,

Douglas W. Driesen
Operations Manager

www.norrisinc.com

S. Portland, Maine Office
PO Box 2551
2257 West Broadway
South Portland, ME 04106
Toll Free 1-800-370-3473
Fax 207-879-0540

Bangor Maine Office
54 Perry Rd
Bangor, ME 04401
Toll Free 1-888-312-3473
Fax 207-947-1219

New Hampshire Office
1 Bayside Rd
Greenland, NH 03840
Toll Free 1-877-577-3473
Fax 603-431-2397

Vermont Office
PO Box 633
Middlebury, VT 05753
Phone 1-802-388-3473
Fax 802-385-1174



Prepared For Tomorrow; Delivered Today

Field Work Order

Project Number: 305 6835P
 Customer Name: L & B
 Date: 10 13 09

System	
Type	<u>F-4E</u>
Make	<u>Notifier</u>
Model	<u>5000</u>
Rev.	
Other	

Customer	
Name	
Contact	
Address	
City, St, Zip	
Phone	

Site	
Name	<u>2 Portland St</u>
Contact	
Address	
City, St, Zip	
Phone	

Requested Service:

Hookup FCPS
and test.

Parts:

QTY	Part Number	Description

Service Performed:

Hooked up FCPS on 4FL. TESTED and looks
normal. Initiating had no new devices, just
relocated. TESTED Pull and Smoke. OK.
Bypassed elevators so EC could move
elevator recall smoke.

* All systems tested normal.

* All normal on departure.

Service Summary:

Install Service Final Warrantee Maint Cont Inspection

Technician: CRAIG E Return Trip Needed: Yes/No Return Tech: _____
 Total Travel Time: 30 min Sales Follow up: Yes/No Salesman: _____
 Total Labor: 2 1/2 hrs Job Complete: Yes/No Date Scanned: _____

Customer Name (PRINT) JEFF MINNIS Date 10.13.2009
 Customer Signature _____ Title Project Manager

www.norrisinc.com

S. Portland Maine Office
 PO Box 2551
 2257 West Broadway
 South Portland, ME 04106
 Toll Free 1-800-370-3473
 Fax 207-879-0540

Bangor Maine Office
 54 Perry Rd
 Bangor, ME 04401
 Toll Free 1-888-312-3473
 Fax 207-947-1219

New Hampshire Office
 1 Bayside Rd
 Greenland, NH 03840
 Toll Free 1-877-577-3473
 Fax 603-431-2397

Vermont Office
 PO Box 633
 Middlebury, VT 05753
 Phone 1-802-388-3473
 Fax 802-388-3472

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.


 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

 7-30-09
Date



Signature of Inspections Official

 7/29/09
Date



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Two Portland Square</u>		
Total Square Footage of Proposed Structure/Area <u>168,000 S.F. bldg.</u>		Square Footage of Lot <u>5,190 S.F. renovation</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>038 G 001001</u>	Applicant * must be owner, Lessee or Buyer * Name <u>REEF America REIT III Corp. 2-4, LLC</u> Address <u>one Portland Square</u> City, State & Zip <u>Portland, Me. 04101</u>	Telephone: <u>207-874-6000</u>
Lessee/DBA (If Applicable) <u>Prudential</u>	Owner (if different from Applicant) Name <u>Prudential Insurance</u> Address <u>213 Washington St 1st flr.</u> City, State & Zip <u>Newark NJ 07102</u> <u>David Dinsfriend</u> <u>973-367-7155</u>	Cost Of Work: \$ <u>206,000.00</u> C of O Fee: \$ <u>2,080.00</u> Total Fee: \$ <u>n/a</u>
Current legal use (i.e. single family) <u>Business / Office Prudential</u> If vacant, what was the previous use? <u>Business</u> Proposed Specific use: <u>Business / same</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>Interior renovation work to the fourth floor @ Two Portland Square</u>		
Contractor's name: <u>T.B.D.</u> Address: _____ City, State & Zip: _____ Telephone: _____ Who should we contact when the permit is ready: <u>Anne Duggan</u> Telephone: <u>482-4271</u> Mailing address: <u>Prudential, Two Portland Square, Fourth Floor Portland, Me</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit. 04101

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 6.7.13.09

This is not a permit; you may not commence ANY work until the permit is issue



Certificate of Design Application

From Designer:

Gawron Turgeon Architects

Date:

Job Name:

Prudential -

Address of Construction:

Two Portland Square - fourth floor
Portland, Me.

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) Existing business occupancy
NFPA 2006 high rise bldg; new business
 Type of Construction Type # 0, 0, 0 (existing)
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Yes
 Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) _____
 Supervisory alarm System? Yes Geotechnical/Soils report required? (See Section 1802.2) n/a

Existing Structure - NO structural work

Structural Design Calculations

n/a Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>n/a</u>	

Wind loads (1603.1.4, 1609)

n/a Design option utilized (1609.1.1, 1609.6)
 Basic wind speed (1809.3)
 Building category and wind importance Factor, I_w (table 1604.5, 1609.5)
 Wind exposure category (1609.4)
 Internal pressure coefficient (ASCE 7)
 Component and cladding pressures (1609.1.1, 1609.6.2.2)
 Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

n/a Design option utilized (1614.1)
 Seismic use group ("Category")
 Spectral response coefficients, S_D & S_{D1} (1615.1)
 Site class (1615.1.5)

n/a Live load reduction
 Roof live loads (1603.1.2, 1607.11)
 Roof snow loads (1603.7.3, 1608)
 Ground snow load, P_g (1608.2)
 If $P_g > 10$ psf, flat-roof snow load P_f
 If $P_g > 10$ psf, snow exposure factor, C_e
 If $P_g > 10$ psf, snow load importance factor, I_s
 Roof thermal factor, C_t (1608.4)
 Sloped roof snowload, P_s (1608.4)
 Seismic design category (1616.3)
 Basic seismic force resisting system (1617.6.2)
 Response modification coefficient, R and deflection amplification factor, C_d (1617.6.2)
 Analysis procedure (1616.6, 1617.5)
 Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

n/a Flood Hazard area (1612.3)
n/a Elevation of structure

Other loads

n/a Concentrated loads (1607.4)
 Partition loads (1607.5)
 Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Certificate of Design

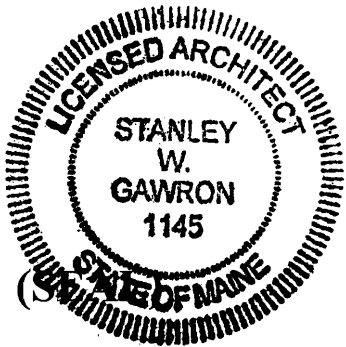
Date: 7.13.09

From: Gawron Turgeon Architects

These plans and / or specifications covering construction work on:

Two Portland Square - fourth floor

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: Stan Gawron

Title: President

Firm: Gawron Turgeon Architects

Address: 29 Black Point rd.

Scarborough, Me. 04074

Phone: 207-883-6307

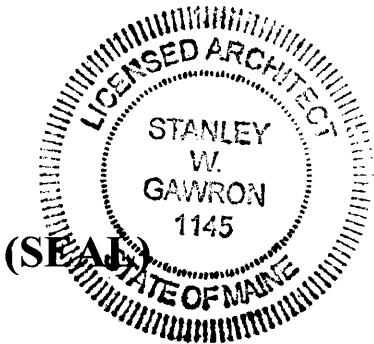
For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Accessibility Building Code Certificate

Designer: Gawron Turgeon Architects
 Address of Project: Two Portland Square - fourth floor
Portland, Me. 04101
 Nature of Project: _____
Interior renovation

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: Stan Gawron
 Title: President
 Firm: Gawron Turgeon Architects
 Address: 29 Black Point rd.
Scarborough, me. 041074
 Phone: 883-6307

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



New Commercial Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete Set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Foundation plans with rebar specifications and required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separations
- Insulation R-factors of walls, ceilings, floors and U-factors of windows as per the IEEC 2003
- Complete the Accessibility Certificate and The Certificate of Design
- A statement of special inspections as required per the IBC 2003
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal & external plumbing, HVAC and electrical installations.

Nine (9) copies of the minor (< 10,000 sf) or major (> 10,000 sf) site plan application is required that includes:

No exterior changes

- A stamped boundary survey to scale showing north arrow, zoning district and setbacks to a scale of $\geq 1" = 20'$ on paper $\geq 11" \times 17"$
- The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines. Photocopies of the plat or hand draw footprints not to scale will not be accepted.
- Location and dimensions of parking areas and driveways, street spaces and building frontage
- Finish floor or sill elevation (based on mean sea level datum)
- Location and size of both existing utilities in the street and the proposed utilities serving the building
- Existing and proposed grade contours
- Silt fence (erosion control) locations

Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for *existing suppression system*
 - a) Suppression system
 - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher. *Existing building - existing elev.*

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

PRUDENTIAL Two Portland Square Fourth Floor Office Renovation

0002 S 1 700

Two Portland Square - Fourth Floor

Portland, Maine

PROJECT TABULATIONS

SITE LOCATION MAP



PROJECT DIRECTORY

OWNER: RRELF LEASING & PROPERTY MANAGEMENT ONE PORTLAND SQUARE PORTLAND, MAINE 04101 207-874-6000	TENANT: THE PRUDENTIAL INSURANCE COMPANY CORPORATE FACILITIES 213 WASHINGTON STREET, 1ST FLOOR NEWARK, NJ 07102 973-367-7155	ARCHITECT: GAWRON TURGEON ARCHITECTS 29 BLACK POINT ROAD SCARBOROUGH, MAINE 04074 207-883-6307	CONTRACTOR: T.B.D.	MECHANICAL ENGINEER: BENNETT ENGINEERING 7 BENNETT ROAD P.O. BOX 297 FREEPORT, ME 04032-0297	ELECTRICAL ENGINEER: BENNETT ENGINEERING 7 BENNETT ROAD P.O. BOX 297 FREEPORT, ME 04032-0297
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DRAWING INDEX

NO.	DESCRIPTION	DATE	STATUS
G101	TITLE SHEET & DRAWING INDEX	06.30.09	ISSUED FOR PERMITTING ONLY
G102	CODE REVIEW	07.13.09	ISSUED FOR PERMITTING ONLY
G103	CODE REVIEW DATA	07.13.09	ISSUED FOR PERMITTING ONLY
EX100	EXISTING CONDITION FOURTH FLOOR PLAN		
EX300	EXISTING CONDITION FOURTH FLOOR REFLECTED CEILING PLAN		
D100	FOURTH FLOOR DEMOLITION FLOOR PLAN		
A100	FOURTH FLOOR PLAN, PARTITION TYPE		
A300	FOURTH FLOOR REFLECTED CEILING FLOOR PLAN		
A800	FINISH SCHEDULE & LEGEND DOOR SCHEDULE AND DETAILS		
LS101	FOURTH FLOOR ELECTRICAL LIFE SAFETY PLAN		



PRUDENTIAL
 TWO PORTLAND SQUARE FOURTH FLOOR
 PORTLAND, MAINE

REVISIONS	
NO.	DESCRIPTION
1	06.30.09 PRUDENTIAL REVIEW SET
2	07.13.09 ISSUED FOR PERMITTING ONLY

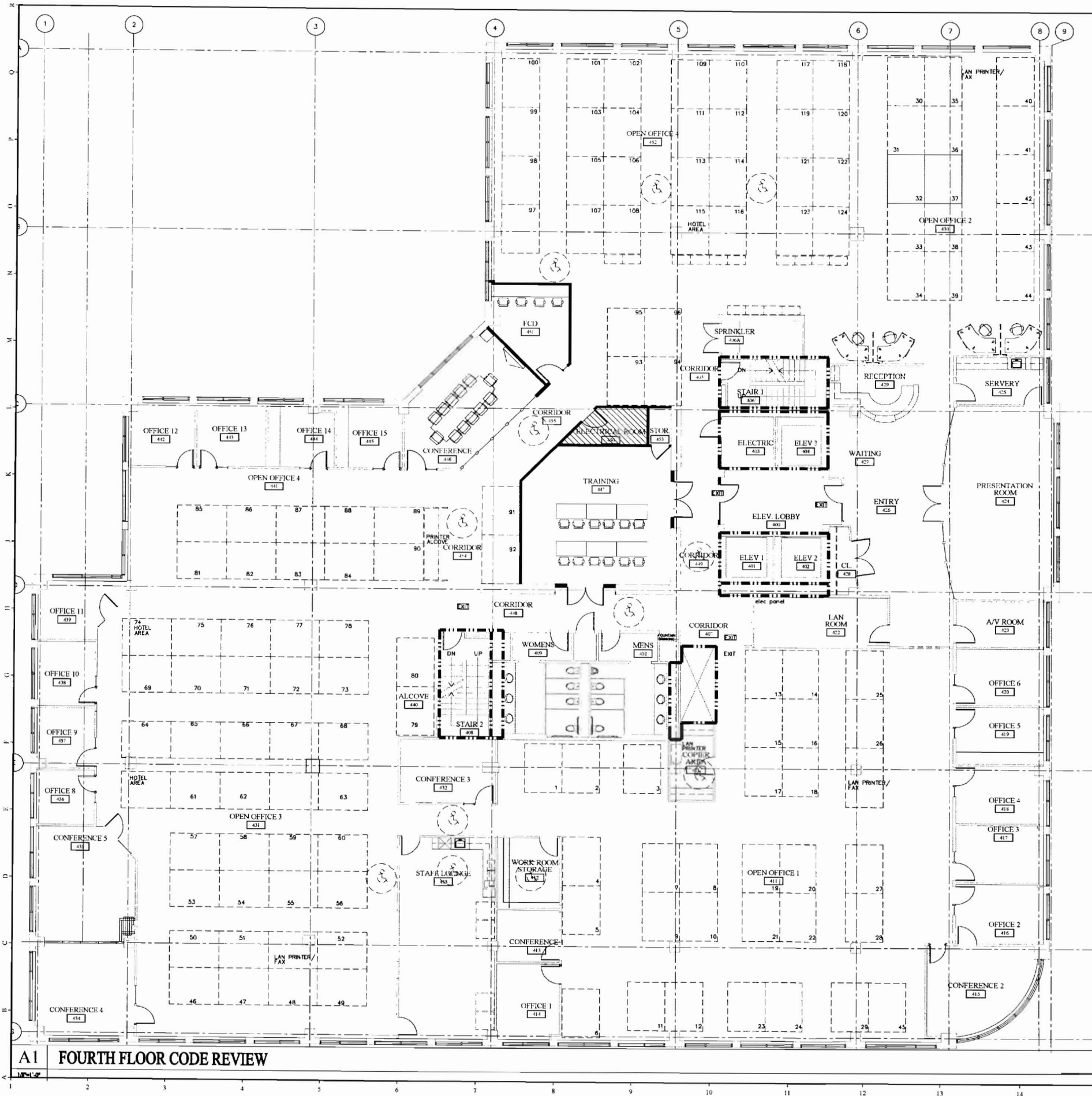
DATE	07.13.09
PROJECT #	100499
DRAWN BY	DLP
CHECKED BY	MBT
DRAWING SCALE	NA

SHEET TITLE
TITLE SHEET & DRAWING INDEX

G101

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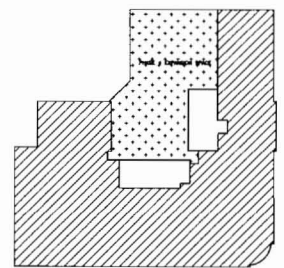
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- LEGEND :**
- 2 HOUR RATED FIRE WALLS- AREA SEPERATION
 - 1 HOUR RATED FIRE WALLS- EXIT CORRIDORS
 - 1 HOUR RATED ROOM ENCLOSURE
 - AREA ENCLOSED BY 1/2 HOUR SMOKE PARTITIONS
 - SOLID WALLS INDICATED NEW CONSTRUCTION, TYPICAL
 - EXISTING PARTITIONS TO REMAIN, TYPICAL
 - EXISTING AREAS NOT UNDER CONSTRUCTION
 - AREAS UNDER CONSTRUCTION

D15 LEGEND

- NTB**
- PHASE 1 CONSTRUCTION COMPLETED
 - PHASE 2 CONSTRUCTION COMPLETED
 - PHASE 3 CONSTRUCTION COMPLETED
 - PHASE 4 CONSTRUCTION COMPLETED
 - SOLID WALLS REPRESENT NEW WALLS IN EXISTING FACILITY
 - EXISTING WALLS AND/OR AREAS TO REMAIN
 - EXISTING WALLS TO BE REMOVED



**Gawron
Turgeon
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29 Blue Point Road
Scarborough, Maine 04074
www.gawronturgeon.com
207-883-9307 ext. 207-883-0341 fax

PRUDENTIAL
TWO PORTLAND SQUARE FOURTH FLOOR
PORTLAND, MAINE

REVISIONS		
#	DATE	DESCRIPTION
1	06/30/09	PRELIMINARY REVIEW SET
2	07/13/09	ISSUE FOR PERMITS DEPARTMENT

DATE	07/13/09
PROJECT #	021016
DRAWN BY	DLP
CHECKED BY	MRT
DRAWING SCALE	AS NOTED

SHEET TITLE
CODE REVIEW DATA

G102

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207-883-9307 EXT. 207-883-0341 FAX

A1 FOURTH FLOOR CODE REVIEW

A15 KEY PLAN



**Gawron
Turgeon
ARCHITECTS**

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Scarborough, Maine 04074
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207.883.4307 ext. 207.883.0361 fax

PRUDENTIAL
 TWO PORTLAND SQUARE, FOURTH FLOOR
 PORTLAND, MAINE

REVISIONS		
#	DATE	DESCRIPTION
1	06/10/09	PROGRESS REVIEW SET
2	07/13/09	ISSUED FOR PERMITTING

DATE	07/13/09
PROJECT #	020109
DRAWN BY	DLP
CHECKED BY	MBT
DRAWING SCALE	AS NOTED

SHEET TITLE

CODE REVIEW DATA

G103

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SCARBOROUGH, MAINE 04074
207.883.4307 EXT. 207.883.0361 FAX

020109 - Prudential, Two portland Square, Fourth floor NFPA 2006 OVERVIEW		
Description of Project	Partial renovation to an existing high rise building with B Occupancy. Scope of work is limited to the fourth floor.	
Type of Construction	Type II 0.0.0 (existing)	
Fire Protection	Existing NFPA 13 sprinkler system - supervised.	
Occupant Load	5,150 s.f. / 100 = 51.5	
Occupancy Separation NFPA 2006 Table 6.1.2.2	Small assembly uses. Occupancy of any room or space for assembly purposes by fewer than 50 persons in another occupancy and incidental to such other occupancy shall be classified as part of the other occupancy and shall be subject to the provisions applicable thereto.	
NFPA Chapters	Chapter 38 New Business Occupancy Chapter 11 Special structures and high rise buildings	
Means of Egress Chapter 7		
7.1.3.1.1	Exit access corridors	Existing to remain - existing area not under renovation and occupancy is not changing
7.3.2.1(1)	Exits	Existing to remain - existing area not under renovation and occupancy is not changing
7.2.16.2	Access - controlled egress doors	The doors shall be arranged to unlock in the direction of egress.
7.2.12.1.2	Area of Refuge	Not required - building is protected with NFPA 13 system
8.7.1.1(2)	Special Hazard Protection	Protecting the area with automatic extinguishing systems in accordance with Section 9.7. Rating: 0 hrs. Add panic hardware to exit stairs on floors under construction.
12.2.2.3	Panic hardware	
38.2.6.1 Business (B) Table A7.6	Travel Distance	Limited to 300 ft. (ordinary hazard)
38.2.2.5	Access controlled egress doors	comply with section 7.2.1.6.2
38.2.5.2.1 Business (B) Table A7.6	Dead End Corridors	Limited to 50 ft.
38.2.3.2*	The clear width of any corridor or passageway serving an occupant load of 50 or more shall be not less than 44"	corridor width: 44"

020109 - Prudential, Two Portland Square Fourth floor IBC 2003 OVERVIEW		
Description of Project	Existing Business Occupancy B Partial renovation to the 4 floor. All alterations are considered Level 2 by the 2003 International Existing Building Code.	
Code Chapters	Section 304 Business occupancy (existing) Section 403 High Rise building (existing)	
Type of Construction	Type II B Existing non rated structural frame, interior and exterior bearing walls, roof structure and floor construction	
Fire Protection	Existing NFPA 13 sprinkler system	
Occupant Load	15	
Separation of Occupancy Table 302.3.2	0	
CHAPTER 10 MEANS OF EGRESS		
Section Number	Title	Remark
1008.1.3.4	Access Controlled Egress doors	Must meet the requirements of 1008.1.3.4
1008.1.9	Panic Hardware	Panic Hardware is required on all stair exit doors on floors under construction
1013.3	Common Path of egress travel	B Occupancy - limited to 100 ft in areas with NFPA 13 sprinkler system
1014	Exit Access and Doorways	Two means of egress required in spaces with more than 50 occupants
1014.2.1	Distance between exists	Separation shall not be more than 1/3 the diagonal distance apart. Required and provided separation distances shown on plans.
Table 1015.1 A occupancy B Occupancy Table 1016.1	Travel Distance	B = 300 ft
Table 1016.1	Corridor Fire resistance rating	Not Applicable. Existing exit corridors are not under renovation.
1016.3	Dead End Corridors	B Occupancy = 50 ft
1018	Minimum Number of Exits	2 exits per floor required. Occupancy load per floor is less than 500.
1019	Vertical Exit Enclosures	Not Applicable. Existing exit enclosures are not under renovation.

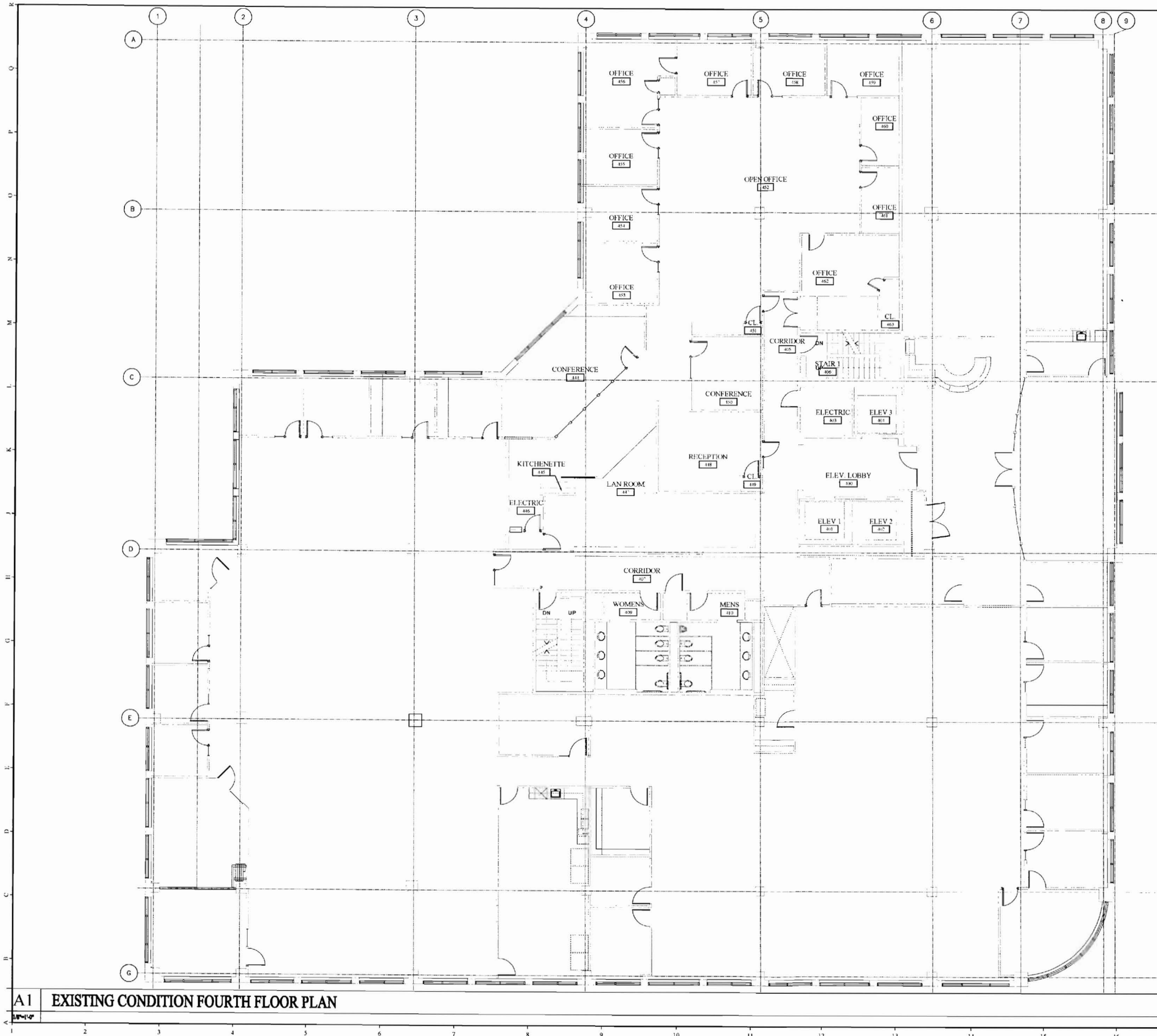
A1 NFPA 2006 REVIEW

A10 IBC 2003 REVIEW

A17 NOT USED

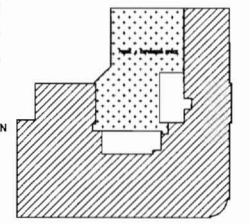
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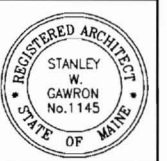


A1 EXISTING CONDITION FOURTH FLOOR PLAN

- PHASE 1 CONSTRUCTION COMPLETED
- PHASE 2 CONSTRUCTION COMPLETED
- PHASE 3 CONSTRUCTION COMPLETED
- PHASE 4
- SOLID WALLS REPRESENT NEW WALLS IN EXISTING FACILITY
- EXISTING WALLS AND/OR AREAS TO REMAIN
- EXISTING WALLS TO BE REMOVED



A17 KEY PLAN



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PRUDENTIAL
 TWO PORTLAND SQUARE FOURTH FLOOR
 PORTLAND, MAINE

REVISIONS	
NO.	DATE
1	06/10/09 PROGRESS REVIEW SET
2	07/13/09 DISCUSS WITH PRUDENTIAL

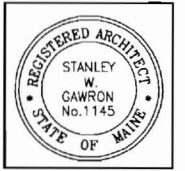
DATE	0713 09
PROJECT #	020406
DRAWN BY	DLP
CHECKED BY	MET/SWG
DRAWING SCALE	AS NOTED

SHEET TITLE
 EXISTING CONDITION
 FOURTH FLOOR PLAN

EX100

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1:2009/02/01/09-Prudential Phase 4.1. Architecture & Interiors Working Drawings/020109 EX300 - EXISTING CONDITIONS RCP.dwg, EX300, 7/13/2009 12:47:12 PM, dpo



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PRUDENTIAL
TWO PORTLAND SQUARE FOURTH FLOOR
 PORTLAND, MAINE

REVISIONS		
NO.	DATE	DESCRIPTION
1	06/30/09	PROGRESS REVIEW SET
2	07/13/09	ISSUED FOR PERMITTING

DATE	07/13/09
PROJECT #	020109
DRAWN BY	DLP
CHECKED BY	MET/SWO
DRAWING SCALE	AS NOTED

SHEET TITLE
EXISTING CONDITION
FOURTH FLOOR
REFLECTED CEILING
PLAN

EX300

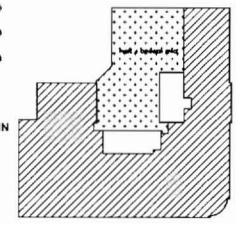
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 OR BY ANY INFORMATION
 STORAGE AND RETRIEVAL
 SYSTEMS, WITHOUT THE
 WRITTEN PERMISSION OF
 GAWRON TURGEON ARCHITECTS

- LIGHTING LEGEND**
- EXISTING 2x4 PARABOLICS TO BE REMOVED AND SALVAGED FOR REUSE. STORE IN A DUST FREE ENVIRONMENT AND RELAMP ALL FIXTURES.
 - EXISTING RECESSED DOWNLIGHTS TO BE REMOVED AND SALVAGED FOR REUSE. STORE IN A DUST FREE ENVIRONMENT AND RELAMP ALL FIXTURES.
 - EXISTING WALL SCONCES TO BE REMOVED.

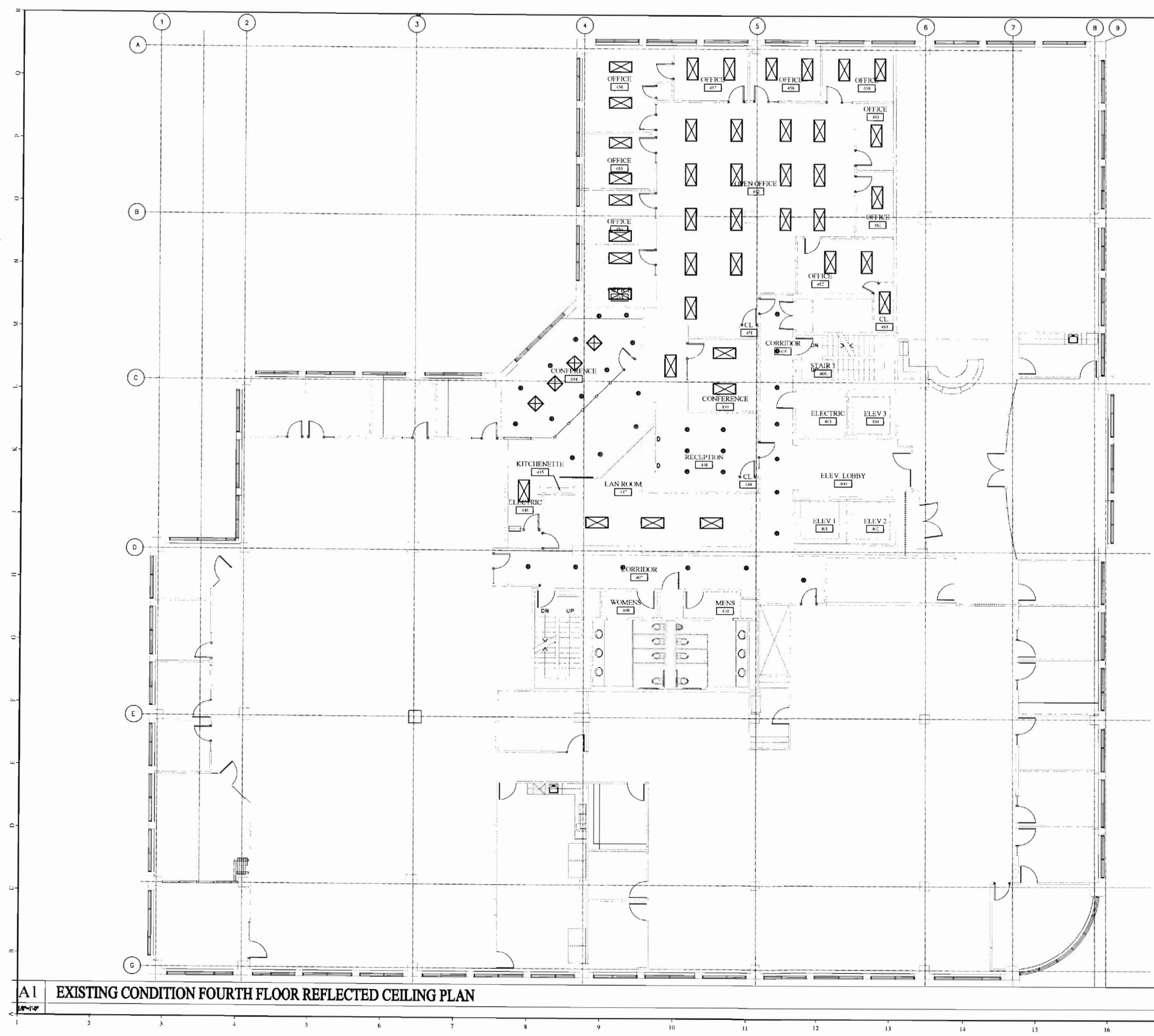
- NOTES:**
- LIGHTING LAYOUT IS FOR QUANTITY INTENT ONLY. EXACT LOCATION OF FIXTURES MAY VARY.
 - REUSE ALL EXISTING LIFE SAFETY FIXTURES. REMOVE AND RELOCATE AS NECESSARY DUE TO NEW LIFE SAFETY PLAN.
 - G.C. TO VERIFY QUANTITY OF ALL LIGHTING AND LIFE SAFETY FIXTURES TO DETERMINE IF ANY NEW FIXTURES WILL BE NEEDED.

D17 NOTES

- PHASE 1 CONSTRUCTION COMPLETED
- PHASE 2 CONSTRUCTION COMPLETED
- PHASE 3 CONSTRUCTION COMPLETED
- PHASE 4 CONSTRUCTION COMPLETED
- SOLID WALLS REPRESENT NEW WALLS IN EXISTING FACILITY
- EXISTING WALLS AND/OR AREAS TO REMAIN
- EXISTING WALLS TO BE REMOVED

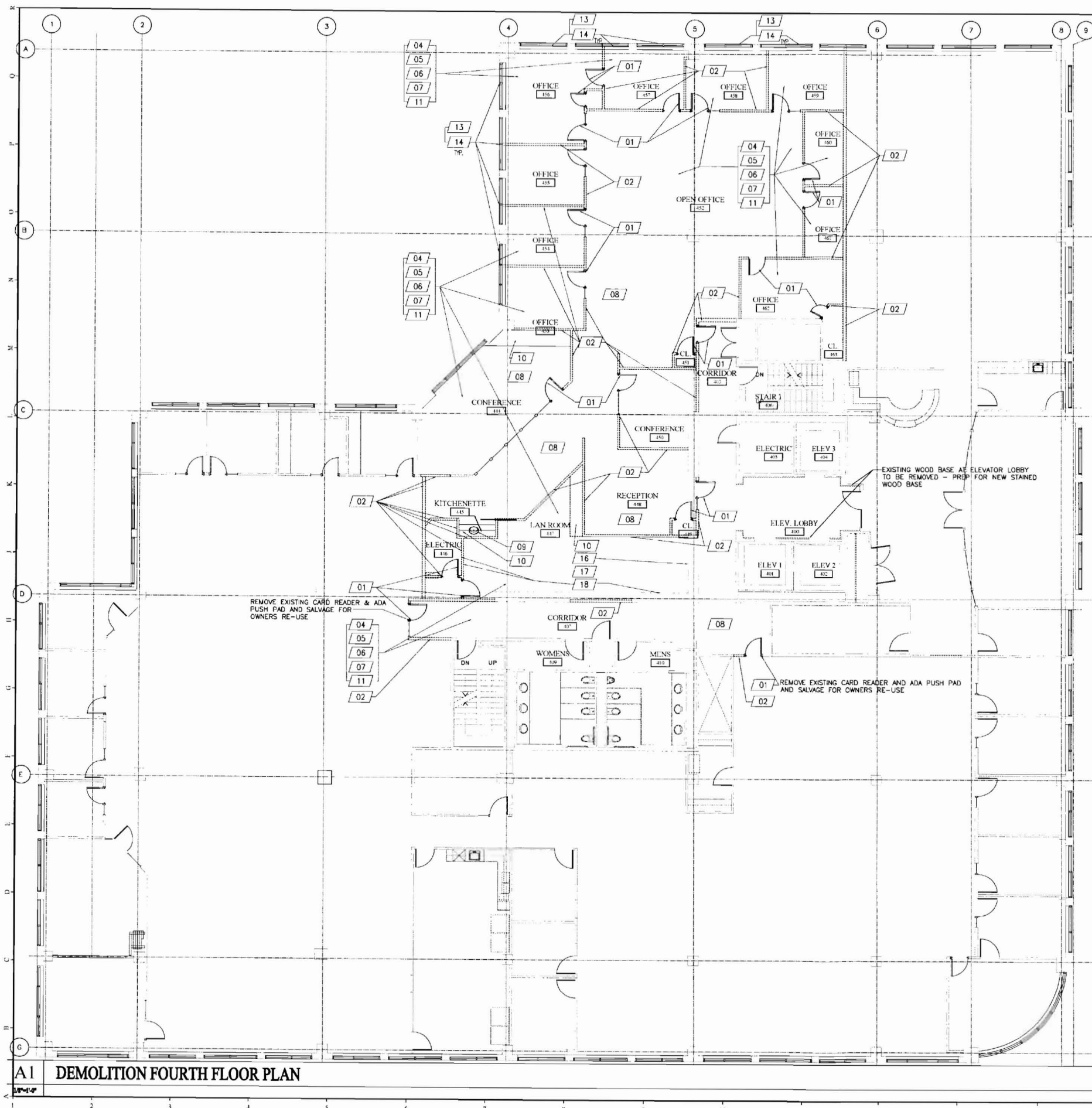


A17 KEY PLAN



A1 EXISTING CONDITION FOURTH FLOOR REFLECTED CEILING PLAN





- 01 REMOVE DOOR, FRAME AND ALL ASSOCIATED HARDWARE AS REQUIRED FOR NEW CONSTRUCTION
- 02 REMOVE WALL AS REQUIRED FOR NEW CONSTRUCTION
- 03 REMOVE ALL GIB CEILINGS AS REQUIRED FOR NEW CONSTRUCTION - FINISH AS REQUIRED FOR SMOOTH AND LEVEL APPLICATION OF NEW FINISHES
- 04 REMOVE ALL CEILING GRIDS, TILE AND ASSOCIATED HARDWARE AS REQUIRED FOR NEW CONSTRUCTION SALVAGE TILES FOR REUSE
- 05 REMOVE ALL WALL FINISHES AND ASSOCIATED ADHESIVES AS REQUIRED FOR A SMOOTH AND LEVEL APPLICATION OF NEW FINISHES
- 06 REMOVE ALL FLOOR COVERING AND ASSOCIATED ADHESIVES, SOIL AND DEBRIS AND PREPARE EXISTING SUBFLOOR AS REQUIRED FOR SMOOTH AND LEVEL APPLICATION OF NEW FLOORING
- 07 REMOVE WALL BASE AND ASSOCIATED ADHESIVES. PREPARE EXISTING WALL AS REQUIRED FOR SMOOTH AND LEVEL APPLICATION OF NEW BASE
- 08 REMOVE CEILING HEAT MONITORS AND ALL ASSOCIATED HARDWARE AS IT RELATES TO NEW WALL PENETRATIONS/NEWWORK CEILING GRID AS NECESSARY
- 09 REMOVE PLUMBING FIXTURES AND ACCESSORIES AS REQUIRED FOR NEW CONSTRUCTION. CAP EXISTING LINES AS NECESSARY. COORDINATE WITH DESIGN BUILD PLUMBING CONTRACTOR
- 10 REMOVE MILLWORK (INCLUDING WALL & BASE CABINETS) AND ALL ASSOCIATED COMPONENTS
- 11 REMOVE LIGHT FIXTURES AND ALL ASSOCIATED COMPONENTS. SALVAGE FOR REUSE. STORE IN A DUST-FREE ENVIRONMENT AND RELAMP ALL FIXTURES
- 12 REMOVE ELECTRICAL AND TELE/DATA PANELS. COORDINATE WITH ELECTRICAL ENGINEER
- 13 REMOVE WINDOW TREATMENTS & ACCESSORIES - SALVAGE FOR REUSE - TYPICAL AT ALL EXTERIOR WINDOWS. STORE IN A DUST FREE ENVIRONMENT
- 14 REPAIR ANY DAMAGED WOOD SILLS IN THEIR ENTIRETY TO MATCH EXISTING
- 15 REMOVE ALL LIFE SAFETY FIXTURES. SALVAGE FOR REUSE
- 16 REMOVE ALL EQUIPMENT IN EXISTING LAN ROOM UNLESS OTHERWISE NOTED
- 17 REMOVE EXISTING CEILING CABLE TRAYS - SALVAGE FOR OWNERS RE-USE
- 18 REMOVE EXISTING ELECTRICAL PANELS AND FLUWOOD BOXES - RELOCATE/RE-USE AS NECESSARY IN NEW ELECTRICAL ROOM

1. COORDINATION: PRIOR TO ANY DEMOLITION ALL DEMOLITION WORK SHALL BE COORDINATED WITH ALL NEW CONSTRUCTION BY ALL TRADES. CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS FOR COMPLETE COORDINATION DURING ALL PHASES OF CONSTRUCTION. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY AND ALL FIELD CONDITIONS NOT SHOWN IN THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF DEMOLITION CONSTRUCTION. IN ABSENCE OF INFORMATION INDICATING OTHERWISE, CONTRACTOR SHALL BRING AREAS AND SURFACES UP TO STANDARDS OF NEW CONSTRUCTION IN THE AREAS CALLING FOR NEW CONSTRUCTION.

2. DAMAGE: EXISTING BUILDING, BUILDING SYSTEM OR SITE COMPONENTS AFFECTED BY NEW WORK, DEMOLITION OR WHICH MAY BE DAMAGED BY THE GENERAL CONTRACTOR OR SUBCONTRACTORS SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR BY METHODS DESCRIBED IN THESE DOCUMENTS, OR AS APPROVED BY THE ARCHITECT.

3. EQUIPMENT AND FIXTURES - NEW OR RELOCATED ITEMS SHALL BE VERIFIED BY CONTRACTOR AS APPROPRIATE TO THE ADJACENT AND CONTIGUOUS CONSTRUCTION PRIOR TO INSTALLATION OR REINSTALLATION. CONTRACTOR SHALL DETERMINE APPROPRIATE ANCHORING TYPES UNLESS OTHERWISE INDICATED.

4. PATCHING: AFTER ALL REMOVALS OF WALLS, DOORS, WINDOWS, CEILINGS AND OTHER COMPONENTS, PATCH AND PREPARE THE REMAINING EXPOSED DAMAGED SURFACES TO PREPARE FOR NEW WORK AND NEW FINISH. INSTALL PIECED UNDERLAYMENT TO FLOORS AT WALL REMOVAL; INSTALL NEW WALLBOARD BY PIECING IN AND FINISHING FLUSH AND FRAMING OR FURRING AS NECESSARY; PIECE IN NEW CEILING SUSPENSION SYSTEM.

5. CONCEALED SPACES: BUILDING DEFICIENCIES IN CONCEALED SPACES ARE NOT REQUIRED TO BE REPAIRED, EXCEPT AS REQUIRED TO MAINTAIN FIRE RATINGS, STRUCTURAL INTEGRITY, WATERPROOFING AND HEAT LOSS OR GAIN.

6. PIPE REMOVALS: AFTER REMOVALS OF PIPING, RADIATORS, AND OTHER EQUIPMENT, REPAIR THE PIPE PENETRATIONS TO MATCH ADJACENT EXISTING SURFACE AND TO MAINTAIN RATINGS; FILL MOUNTING HOLES AND REPAIR WALL SURFACES.

INSTRUCTIONS FOR RENOVATIONS:

- LEVEL EXISTING FLOORS TO RECEIVE NEW FINISHES AS INDICATED IN THE DRAWINGS - SEE INTERIOR FINISH SCHEDULE AND NOTES - AND SHALL BE CERTIFIED AS SUITABLE FOR THE NEW FINISHES BY THE INSTALLER PRIOR TO THE NEW WORK.
- NOT USED
- COVER PLATES: PROVIDE COVER PLATES OVER ABANDONED ELECTRICAL DEVICES, PAINT WITH WALL.
- FIRE EXTINGUISHERS: CONTRACTOR SHALL REMOVE EXISTING EXTINGUISHERS AND INSTALL THEM AFTER THEIR WORK. NEW EXTINGUISHERS AND CABINETS SHALL BE INSTALLED BY THE CONTRACTOR WHERE INDICATED.
- SIGNAGE: EXISTING PLAQUES AND OTHER INTERIOR SIGNS SHALL BE REMOVED AND INSTALL AFTER THE WORK.

INSTRUCTIONS FOR REMOVALS:

- CONTRACTOR IS RESPONSIBLE FOR SECURITY AND PROTECTION FROM DAMAGE AND WEATHER OF ANY EXPOSED BUILDING COMPONENTS RESULTING FROM DEMOLITION, REMOVALS AND NEW WORK.
- PLANS: SEE DEMOLITION PLANS FOR DEMOLITION WORK. SEE MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR DEMOLITION WORK.
- VERIFY STRUCTURAL CONDITIONS WITH DRAWINGS AND ACTUAL CONDITIONS PRIOR TO WALL AND FLOOR REMOVALS. REPORT DISCREPANCIES TO ARCHITECT BEFORE PROCEEDING WITH WORK. CONTRACTOR IS RESPONSIBLE FOR SHORING AND OTHER TEMPORARY SUPPORT METHODS AS MAY BE NEEDED.
- EQUIPMENT: THE OWNER SHALL BE RESPONSIBLE FOR REMOVING FURNITURE, AND OTHER MOVEABLE AND FIXED EQUIPMENT PRIOR TO NEW WORK IN ANY AREA. EXCEPTION FOR MECHANICAL, ELECTRICAL, OR MINOR WORK NOT REQUIRING OWNER TO COMPLETELY VACATE PREMISES AND EXCEPT AS NOTED. CONTRACTOR SHALL INFORM OWNER OF SCHEDULE FOR NEW WORK AND EXTENT OF OWNER REMOVALS AS NECESSARY.
- EQUIPMENT: OWNER REMOVALS TYPICALLY INCLUDE, BUT MAY NOT BE LIMITED TO:
 - FURNITURE OF ALL TYPES, UNATTACHED
 - MACHINES AND COMPUTERS
 - ARTWORK AND OTHER WALL MOUNTED DISPLAYS
 - ATTACHED SHELVING UNITS AND STORAGE CABINETS

ANY MISCELLANEOUS ITEMS NOT REMOVED BY OWNER SHALL BE REMOVED BY CONTRACTOR UNDER REMOVAL AND/OR DISPOSAL.

6. REUSE/SALVAGE: CONTRACTOR SHALL SALVAGE CERTAIN COMPONENTS FOR LIMITED REUSE TO MATCH EXISTING CONDITIONS TO PATCH AND REPAIR INCLUDING:

- LIGHT FIXTURES, CEILING TILES, WOOD DOORS, MOLDINGS, PANELS, ALL LIFE SAFETY DEVICES, EXIT SIGNS

 CONTRACTOR MAY REPLACE SALVAGED ITEMS WITH NEW AND IDENTICAL MATERIALS WITH OWNER'S APPROVAL.

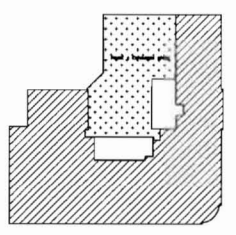
7. SALVAGE FOR OWNER: PRIOR TO ANY AND ALL DEMOLITION, CONTRACTOR SHALL MEET WITH OWNERS REPRESENTATIVE TO DETERMINE REQUIRED SALVAGED ITEMS.

8. MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION: REFER TO THOSE SPECIFIC DRAWINGS FOR INFORMATION.

9. FIRE SUPPRESSION SYSTEM ADDITIONS AND MODIFICATIONS: FIRE SUPPRESSION SYSTEM CONTRACTOR SHALL COORDINATE WITH ALL TRADES AND OWNERS REPRESENTATIVE PRIOR TO ANY AND ALL DEMOLITION REQUIRED FOR FIRE SUPPRESSION SYSTEM INSTALLATION.

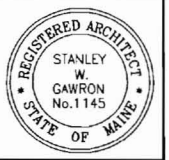
D17 DEMOLITION NOTES

- PHASE 1 CONSTRUCTION COMPLETED
- PHASE 2 CONSTRUCTION COMPLETED
- PHASE 3 CONSTRUCTION COMPLETED
- PHASE 4 CONSTRUCTION COMPLETED
- SOLID WALLS REPRESENT NEW WALLS IN EXISTING FACILITY
- EXISTING WALLS AND/OR AREAS TO REMAIN
- EXISTING WALLS TO BE REMOVED



A17 KEY PLAN

A1 DEMOLITION FOURTH FLOOR PLAN



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 Scarborough, Maine 04074
 www.gawronturgeon.com
 207.883.4307 or 207.883.0341 fax

PRUDENTIAL
 TWO PORTLAND SQUARE FOURTH FLOOR
 PORTLAND, MAINE

REVISIONS		
NO.	DATE	DESCRIPTION
1	06/30/09	PROCESSED EXISTING SET
2	07/13/09	ISSUED FOR PERMITTING ONLY

DATE	07/13/09
PROJECT #	05/10/09
DRAWN BY	DLP
CHECKED BY	METS/WG
DRAWING SCALE	AS NOTED

SHEET TITLE
DEMOLITION FOURTH FLOOR PLAN

D100

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I:\2009\02\09\Prudential Phase 4\1. Architecture & Interiors\Working Drawings\020109 A100 - FOURTH FLOOR PLAN.dwg - A100_7/13/2009 12:46:22 PM.dwg



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PRUDENTIAL
TWO PORTLAND SQUARE FOURTH FLOOR
PORTLAND, MAINE

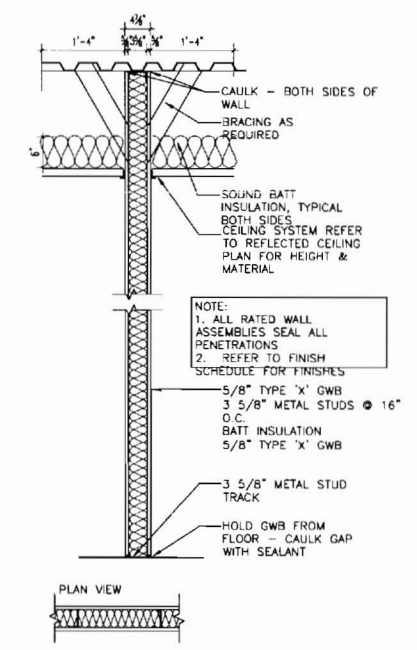
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2	07/13/09 PROPOSED REVISION SET

DATE	07/13/09
PROJECT #	020109
DRAWN BY	DLP
CHECKED BY	MBT/RWG
DRAWING SCALE	AS NOTED

SHEET TITLE
**FOURTH FLOOR PLAN
PARTITION TYPE**

A100

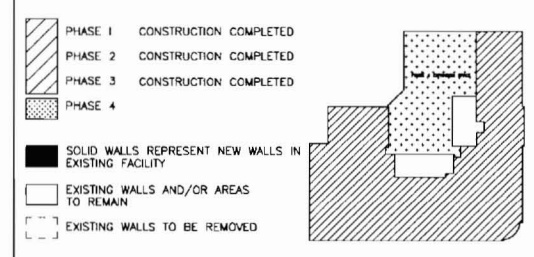
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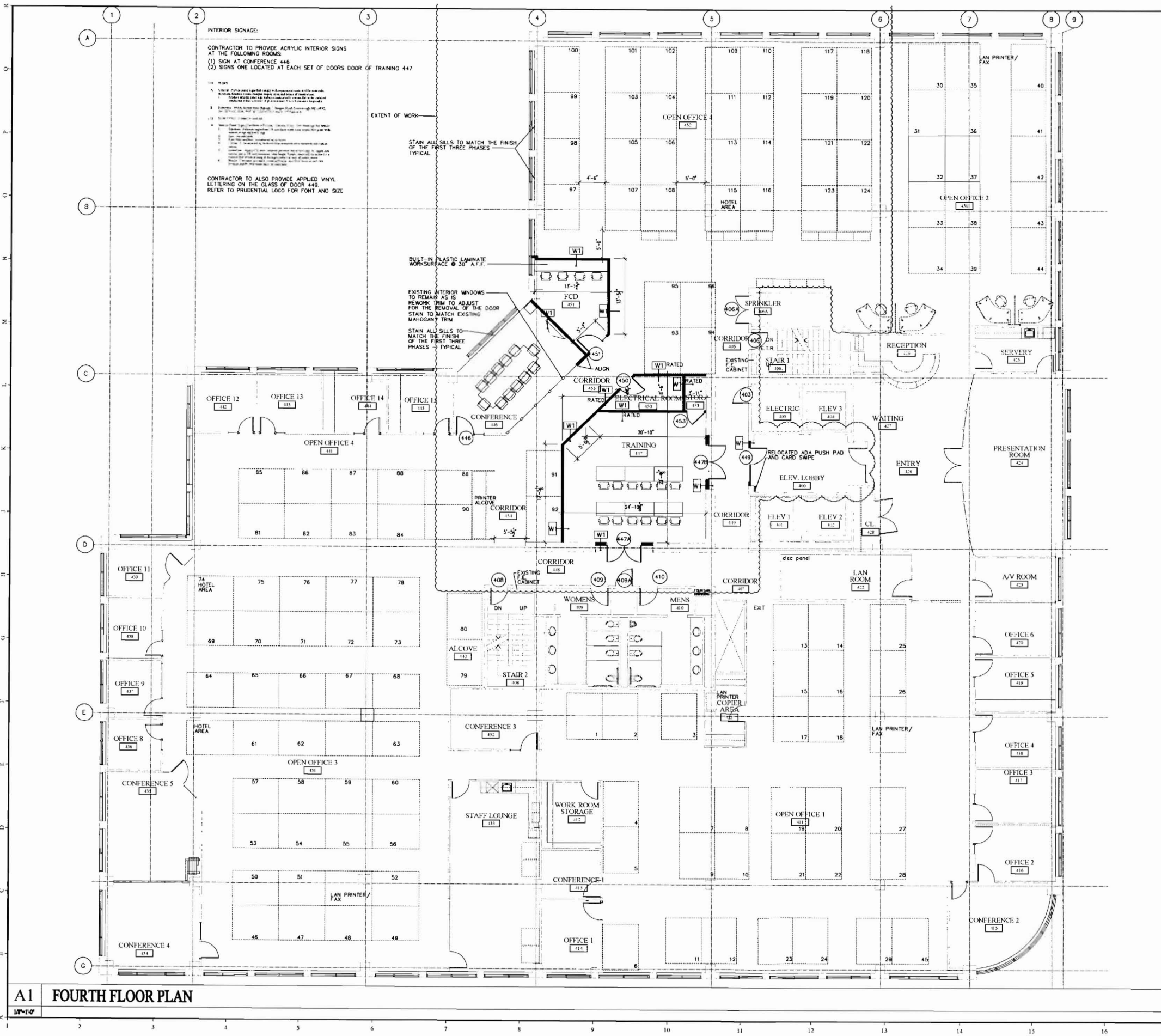
F17 PARTITION TYPE
3/4"=1'-0"

- REPAIR ALL DAMAGED WOOD SILLS IN THEIR ENTIRETY TO MATCH EXISTING.
- SALVAGE ALL EXISTING BLINDS. STORE IN A DUST FREE ENVIRONMENT AND RE-INSTALL.

D17 GENERAL NOTES
NTS

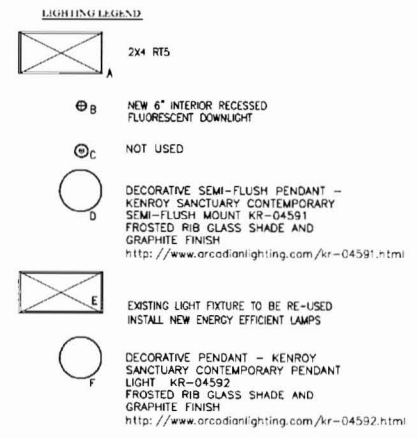
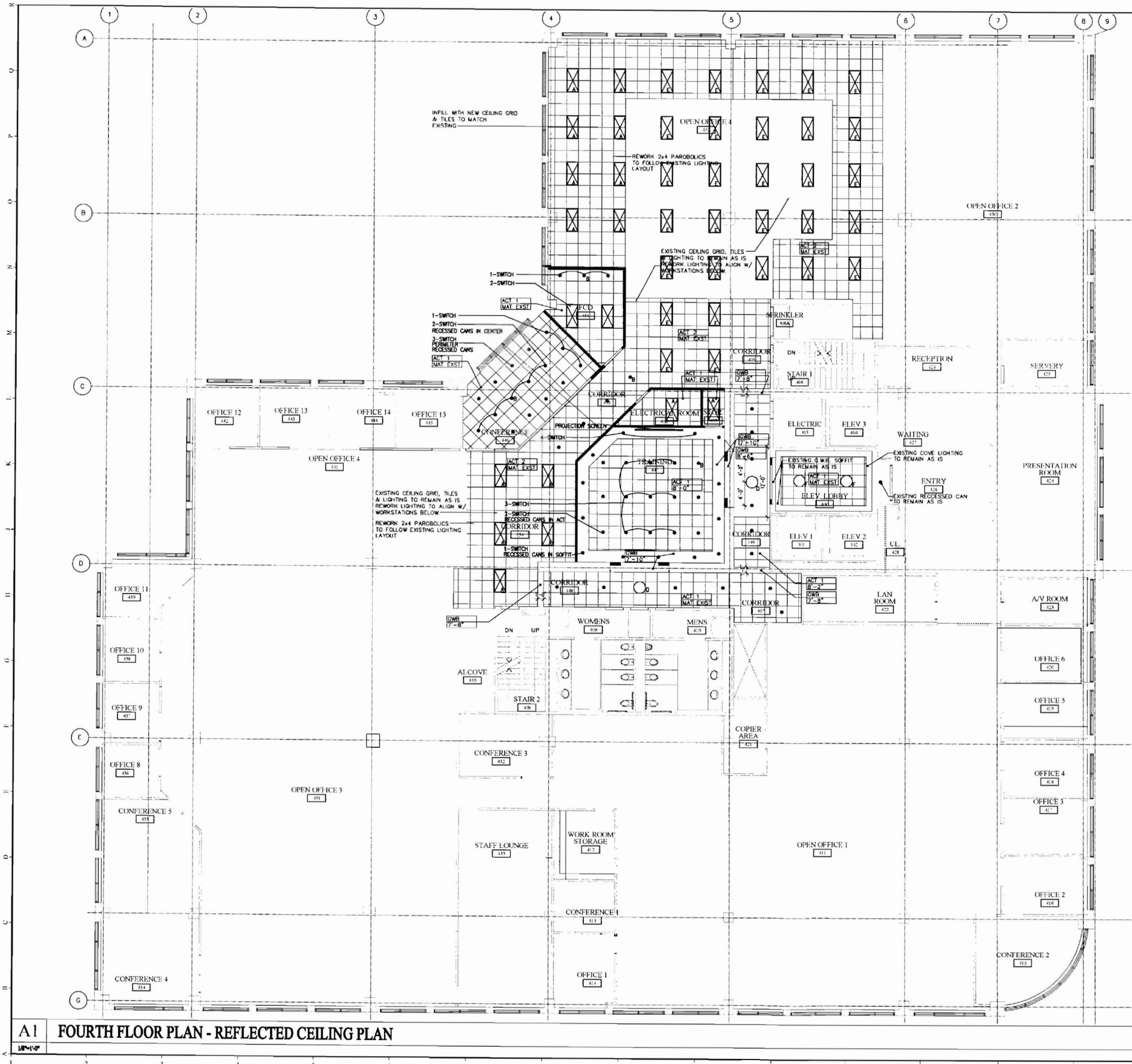


A17 KEY PLAN
NTS



A1 FOURTH FLOOR PLAN
1/8"=1'-0"

I:\2009\020109-Prudential Phase 411 - Architecture & Interiors\Workings\020109 A300 - FOURTH FLOOR.rvt.dwg, A300, 7/13/2009 12:45:54 PM, dpo

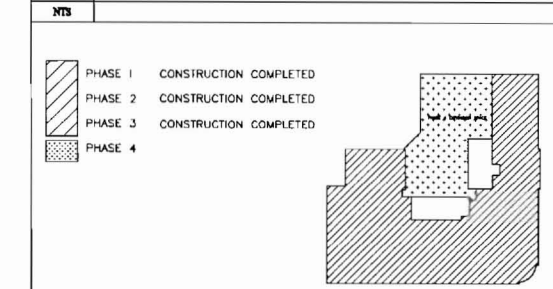


ACT1- ARMSTRONG CEILING, DUNE H[®] ANGLED REGULAR 24x24"
 ACT2- MATCH EXISTING 2x2 ACT CEILING TILE & GRID SYSTEM

- NOTES:**
- INTERIOR FIXTURE LEGEND FOR DESIGN INTENT ONLY. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND CIRCUITING.
 - MECHANICAL SUBCONTRACTOR TO VERIFY SIZE AND LOCATION OF ANY MECHANICAL REGISTERS WITH ARCHITECT PRIOR TO CONSTRUCTION. LIGHTING LOCATIONS SHALL TAKE PRECEDENCE.
 - SWITCH ALL OFFICES INDEPENDENTLY. DOUBLE SWITCH ALL CONFERENCE ROOMS.
 - INDEPENDENTLY SWITCH ALL PENDANT LIGHTING.
 - ELECTRICAL CONTRACTOR SHALL COORDINATE OWNER SUPPLIED TELEPHONE & DATA BOXES WITH LOCATIONS OF OUTLETS.
 - G.C. TO COORDINATE ALL SPECIALTY EQUIPMENT WITH TENANTS VENDOR.
 - G.C. TO INVENTORY ALL EXISTING PARABOLICS AND PROVIDE A QUANTITY FOR HOW MANY CAN BE REUSED.
 - PROVIDE A SEPARATE SWITCH & POWER FOR AV PROJECTION.
 - INDEPENDENTLY SWITCH ALL PENDANT LIGHTING.
 - ALL EXISTING 2x4 LIGHTS TO BE RE-USED AND RE-LAMPED WITH ENERGY EFFICIENT LAMPS.
 - RECESSED CANS IN CONFERENCE 446 AND TRAINING 447 TO BE ON A DIMMER SWITCH.

A1 FOURTH FLOOR PLAN - REFLECTED CEILING PLAN

D17 FIXTURE LEGEND/NOTES



A17 KEY PLAN



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PRUDENTIAL
 TWO PORTLAND SQUARE FOURTH FLOOR
 PORTLAND, MAINE

REVISIONS	
1	REVISED
2	REVISED

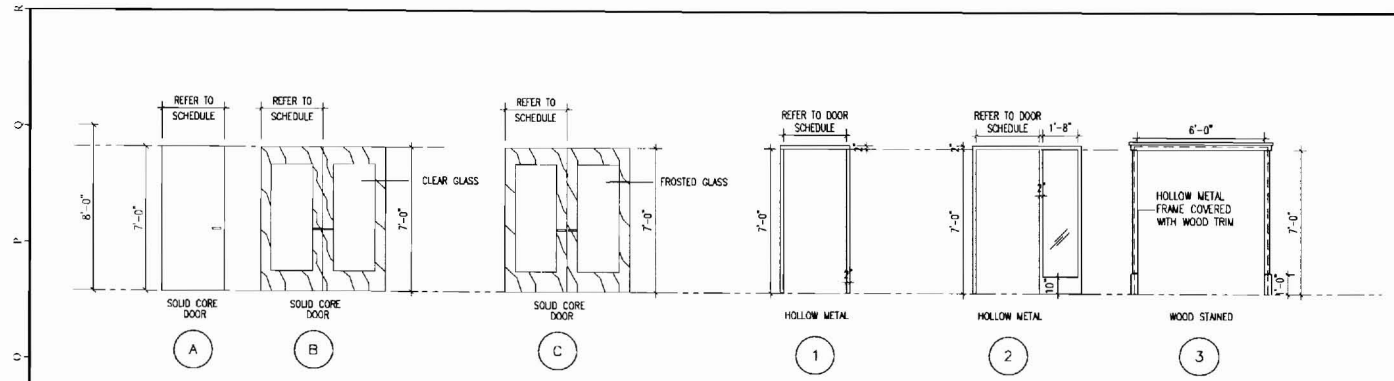
DATE	07/13/09
PROJECT #	020109
DRAWN BY	DLP
CHECKED BY	MEI/SWO
DRAWING SCALE	AS NOTED

SHEET TITLE
FOURTH FLOOR PLAN REFLECTED CEILING PLAN

A300

PLAN NORTH

E:\2009\020109-Prudential Phase 4-1 Architecture & Interiors\Working Drawings\020109 800 Door Schedule.dwg, A800, 7/13/2009 12:45:29 PM, dpm



N4 DOOR TYPES & FRAME TYPES

- EXISTING DOORS - REMOVE EXISTING DOOR HARDWARE SET & INSTALL NEW HARDWARE SET. PATCH, PAINT AND PREPARE FOR NEW HARDWARE.
- DOORS TO HAVE RE-LOCATED CARD READER
- ALL CARD ACCESS DOORS MUST MEET THE REQUIREMENTS OF THE 2006 NFPA AND 2003 IBC FOR ACCESS CONTROLLED EGRESS DOORS
- HARDWARE FINISH: BRUSHED CHROME
- ALL DOOR FRAMES TO BE PAINTED P1 - EXCEPT FOR FRAMES WITH A WOOD TRIM SURROUND.
- HOLLOW METAL FRAMES THAT HAVE STAINED WOOD TRIM SURROUNDS ARE TO BE PAINTED TO MATCH THE WOOD.

HARDWARE

HW1
EACH LEAF SHALL HAVE: (1) ELECTRIC HINGE, HINGES, LOCKSET (FUNCTION 10), DOOR CLOSER, FLUSH BOLTS, KICK PLATES (BOTH SIDES), DOOR STOPS, SILENCERS (CARD READER BY OWNER)

HW2 -NOT USED

HW3
EACH LEAF SHALL HAVE: (1) ELECTRIC HINGE, HINGES, LOCKSET (FUNCTION J), DOOR CLOSER, KICK PLATE, DOOR STOPS, SILENCERS (CARD READER BY OWNER)

HW4 -NOT USED

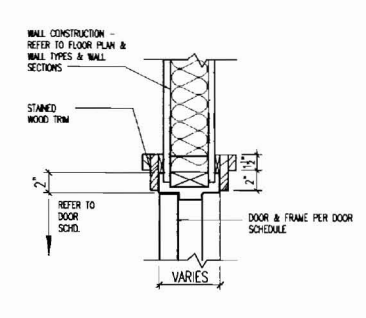
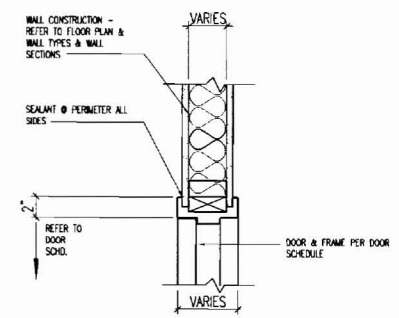
HW5
EACH LEAF SHALL HAVE: HINGES, LOCKSET (FUNCTION F), KICK PLATES (BOTH SIDES), DOOR STOPS, SILENCERS

HW6
EACH LEAF SHALL HAVE: HINGES, LOCKSET (FUNCTION D), KICK PLATES (BOTH SIDES), DOOR STOPS, SILENCERS

HW7 -NOT USED

HW8
EACH LEAF SHALL HAVE: HINGES, LOCKSET (FUNCTION F), KICK PLATES (BOTH SIDES), DUMMY LEVER, FLUSH BOLTS, OVERHEAD STOPS, SILENCERS

K1 NOTES



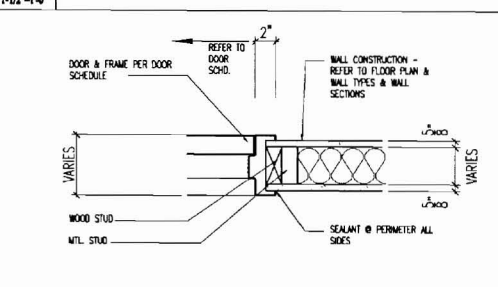
Lock functions as indicated in the hardware schedule shall be as follows:

Function	Sargent
1 (Storeroom)	04
2 (Storeroom)	04
3 (Office)	05
4 (Passage)	15
5 (Vestibule)	16
6 (Classroom)	37
7 (Spec Classroom)	38
8 (Privacy)	65
9 (Dummy)	93
10 (Electric Lock)	71 REX

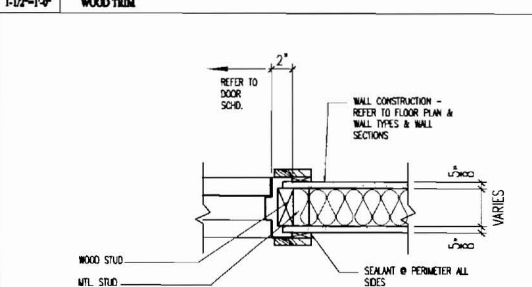
Lock functions as indicated in the hardware schedule shall be as follows:

Function	Sargent
A (Storeroom)	01
B (Storeroom)	04
C (Office)	05
D (Passage)	15
E (Vestibule)	16
F (Classroom)	37
G (Spec Classroom)	38
H (Privacy)	65
I (Dummy)	93
J (Electric Lock)	71 REX

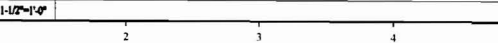
D1 HEAD DETAIL



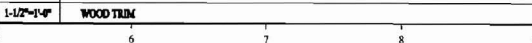
D5 HEAD DETAIL



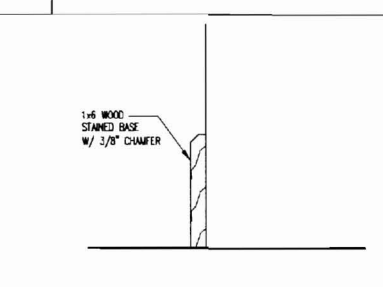
A1 JAMB DETAIL



A5 JAMB DETAIL



D9 HARDWARE



A9 TYPICAL WOOD BASE



INTERIOR FINISH LEGEND

020109.00
Prudential

CODE	MATERIAL	MANUFACTURER	PRODUCT, STYLE AND COLOR	FINISH	REMARKS/NOTES
C1	CARPET	J&L COMMERCIAL	THE ART & SOUL COLLECTION - STYLE 4830 DUBM. COLOR: 1298 EASL	FACTORY	TILE SALES REPRESENTATIVE: DERRIE JACKSON #207-337-2979
C2	CARPET	J&L COMMERCIAL	TEXTURES 36 (4655) COLOR: 3423 CYBER	FACTORY	
C3	NOT USED				
C4	CARPET	J&L COMMERCIAL	THE ART & SOUL COLLECTION - STYLE 4820 SURREALISM, COLOR: 1298 EASL	FACTORY	BROADLOOM
VCT1	VINYL COMPOSITE TILE	MANNINGTON COMMERCIAL	DESIGNER ESSENTIALS - COLOR: 200 NAVY	SEALED	
VCB1	VINYL COVE BASE	JOHNSONITE	COLOR: 63 BURNT LUMBER	FACTORY	
VCB2	VINYL COVE BASE	JOHNSONITE	COLOR: 79 BONE WHITE	FACTORY	
PL1	PLASTIC LAMINATE	WILSONART	COLOR: 4810-80 TITANIUM SV	FACTORY	
P1	PAINT	SHERWIN WILLIAMS	COLOR: SW6378 CRISP LINEN	SEM-GLOSS	TRIM
P2	PAINT	SHERWIN WILLIAMS	COLOR: SW7888 SUNDEW	SATIN	NEUTRAL
P3	PAINT	SHERWIN WILLIAMS	COLOR: SW7888 HINDKI	SATIN	NEUTRAL
P4	PAINT	SHERWIN WILLIAMS	COLOR: SW7887 AUGUST MOON	SATIN	ACCENT
P5	PAINT	SHERWIN WILLIAMS	COLOR: SW6615 LESURE BLUE	SATIN	ACCENT
P6	PAINT	SHERWIN WILLIAMS	COLOR: SW6055 PERRY BROWN	SATIN	ACCENT

INTERIOR FINISH SCHEDULE

Room #	Room Name	Floor	Spcl	North Wall	East Wall	South Wall	West Wall	Chg. Wall	Base	Decorative Trim	Door	Door & Window Headings
446	ELEV LOBBY	C1	NA	P2	P2	P2	P2		WD			
447	CONFERENCE	C4	NA	P2	P2	P2	P2		WD			
447A	TRAINING	C4	NA	P2	P2	P2	P2		WD			
447B	CORRIDOR	C1	NA	P4	P4	P4	P4		VCB1			
448	CORRIDOR	C1	NA	P4	P4	P4	P4		VCB1			
449	ELECTRICAL ROOM	VCT1	NA	P3	P3	P3	P3		VCB1			
450	SEC ROOM	C2	NA	P4	P4	P4	P4		VCB1			
451	STORAGE	C4	NA	P2	P2	P2	P2		WD			
452	CORRIDOR	C1	NA	P4	P4	P4	P4		VCB1			
453	CORRIDOR	C1	NA	P4	P4	P4	P4		VCB1			

F9 FINISH SCHEDULE & LEGEND

DOOR SCHEDULE

PRUDENTIAL
TOW PORTLAND SQUARE
GTA# 020109

NO	TYPE	SIZE	THK	MAT.	FIN.	F.R. LABEL	REMARKS	TYP	MAT.	DOOR SCHEDULE ABBREVIATIONS				SILL CONDITION	HDW	DOORS
										NO	NUMBER	WD	WOOD (SOLE)			
446	A	3'-0" x 7'-0"	1 3/4	WD	P		Kickplate - both sides	2	HM	D1/A800	A1/A800	P				HW6 446
447A	C	3'-0" x 7'-0"	1 3/4	WD	S		Kickplate - both sides	3	HM/WD	D5/A800	A5/A800	P/S				HW8 447A
447B	C	3'-0" x 7'-0"	1 3/4	WD	S		Kickplate - both sides	3	HM/WD	D5/A800	A5/A800	P/S				HW8 447B
448	NOT USED															448
449	B	3'-0" x 7'-0"	1 3/4	WD	S		Kickplate - both sides	3	HM/WD	D5/A800	A5/A800	P/S				HW1 449
450	A	3'-0" x 7'-0"	1 3/4	WD			1 hr rated	1	HM	D1/A800	A1/A800	P				HW3 450
451	A	3'-0" x 7'-0"	1 3/4	WD	P		Kickplate - both sides	2	HM	D1/A800	A1/A800	P				HW5 451
452	NOT USED															452
453	A	3'-0" x 7'-0"	1 3/4	WD	P			1	HM	D1/A800	A1/A800	P				HW6 453

1. All door frames and doors to be painted P1 except doors 447A, 447B AND 449. These door frames to be painted to match wood frame surrounds.
2. All wood doors to be w/mt with a medium mahogany stain finish.

THE FOLLOWING EXISTING OAK DOORS ARE TO BE SANDED AND STAINED TO MATCH THE MAHOGANY FINISH OF THE EXISTING AND PROPOSED DOORS.

ALL BRASS HARDWARE ON THE FOLLOWING DOORS ARE TO BE REPLACED WITH BRUSHED CHROME. CONTRACTOR TO FIELD VERIFY ALL EXISTING DOOR COMPONENTS.

DOORS: 403 406A
406 408
409
409A
410



Gawron Turgeon ARCHITECTS

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PRUDENTIAL

TWO PORTLAND SQUARE FOURTH FLOOR
PORTLAND, MAINE

REVISIONS

NO	DATE	DESCRIPTION
1	06/30/09	PROGRESS REVISED SET
2	07/13/09	REVISED PER SUBMITTING USER

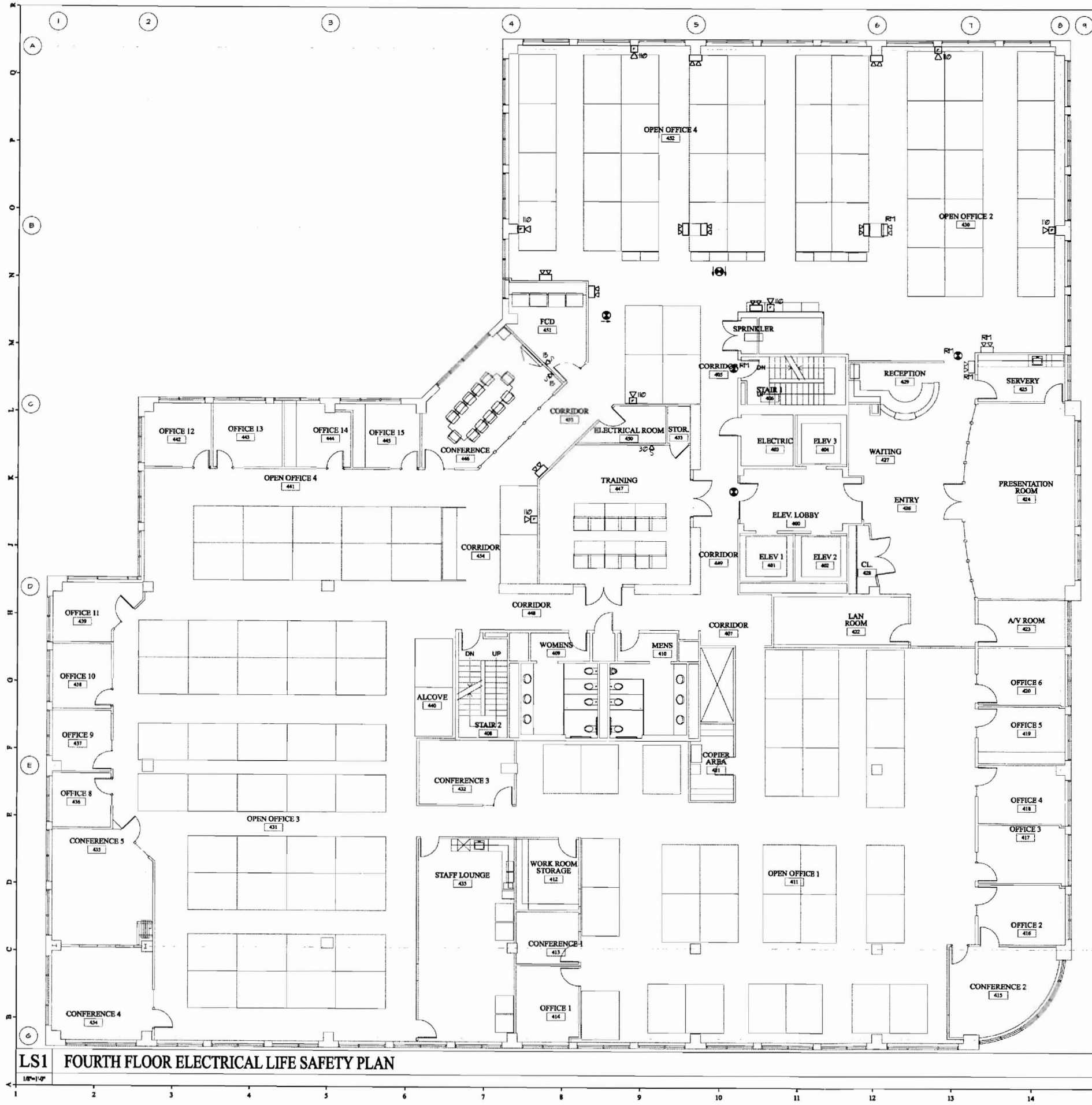
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PROJECT#	020109
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CHECKED BY	MBT
DRAWING SCALE	AS NOTED

SHEET TITLE

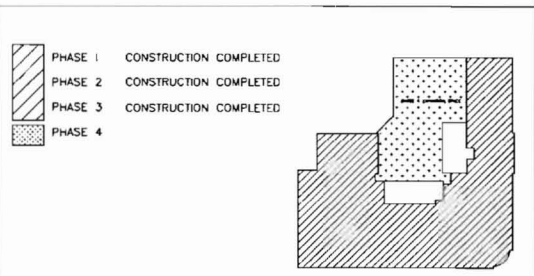
FINISH SCHEDULE & LEGEND DOOR SCHEDULE & DETAILS

A800

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Maine State Board of Professional Engineers and Surveyors
1000 N. MAIN ST. 3RD FL.
PORTLAND, ME 04101
603-833-1111 FAX 603-833-1112



- SYMBOL LEGEND**
- EXIT LIGHT FIXTURE-UNSWITCHED
 - ⊞ EMERGENCY BATTERY UNIT - WITH TWO HEADS
 - 30 ⊞ FIRE ALARM AUDIO/VISUAL MOUNT 6"-STAFF - NUMERAL DENOTES CANDELA RATING
 - 15 ⊞ FIRE ALARM VISUAL STROBE ONLY - FLUSH MOUNT 6"-8" AFF - NUMERALS DENOTE CANDELA RATINGS
 - ⊞ FIRE ALARM PULL STATION - MOUNT 45" AFF
 - RM DENOTES EXISTING DEVICE TO REMAIN



KEY PLAN

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PORTLAND, MAINE

REVISIONS

#	DATE	DESCRIPTION

DATE:	07.18.09
PROJECT #:	020109
DRAWN BY:	SPD
CHECKED BY:	WJB
DRAWING SCALE:	AS NOTED

SHEET TITLE
FOURTH FLOOR ELECTRICAL LIFE SAFETY PLAN

LS101

LS1 FOURTH FLOOR ELECTRICAL LIFE SAFETY PLAN

1/8"=1'-0"

PLAN NORTH

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