



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that **TD BANK**

Located At **1 PORTLAND SQ**

CBL: 038 B001001

has permission to **Interior Remodel to CRA & IT Space on Ground Floor**

PERMIT# 2011-01-314

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

[Signature]

Fire Prevention Officer

[Signature] 2/10/11

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.

PENALTY FOR REMOVING THIS CARD.

PERMIT ISSUED

FEB 10 2011

City of Portland

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

PERMIT ISSUED

FEB 10 2011

Job No: 2011-01-314-ALTCOMM	Date Applied: 1/21/2011	CBL: 038 - - B - 001 - 001 - - - - -	
Location of Construction: 1 PORTLAND SQ	Owner Name: * RREEF AMERICA REIT III CORP Z4	Owner Address: PO BOX 4900 DEPT SCOTTSDALE, AZ - ARIZONA 85261	Phone: City of Portland
Business Name:	Contractor Name: Duncan, Nick	Contractor Address:	Phone: 2323
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: B-3
Past Use: TD Bank & Offices	Proposed Use: Same: TD Bank & Offices	Cost of Work: 47000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: B Type: 2A IBC-2009 Signature: JMB
Proposed Project Description: 1 Portland Sq TD Bank Interior Remodel - Ground Floor		Signature: <i>[Signature]</i> (58)	
		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK with conditions</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	CERTIFICATION <i>1/25/11</i>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis Littell

Job ID: 2011-01-314-ALTCOMM

Located At: 1 PORTLAND SQ

CBL038 - - B - 001 - 001 - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a bank and offices. Any change of use shall require a separate permit application for review and approval.

Fire

1. Structure shall comply with City Code Chapter 10.
2. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
3. The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
4. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model.
5. A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads.
6. Fire extinguishers are required. Installation per NFPA 10.
7. Any cutting or welding and hot work taking place in a commercial building requires a separate "Hot Work Permit" from the Fire Department.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
3. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Close In Elec/Plmb/Framing Prior to insulation or drywall
2. Final Inspection at the completion of the work

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>1 Portland Square</u> <u>Portland ME</u> <u>04101</u>		
Total Square Footage of Proposed Structure/Area <u>3800 SF</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>38</u> Block# <u>B</u> Lot# <u>1</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>TD Bank</u> Address <u>1 Portland Square</u> City, State & Zip <u>Portland ME 04101</u>	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>46,519</u> C of O Fee: \$ _____ Total Fee: \$ <u>490</u>
Current legal use (i.e. single family) <u>office space</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>office space</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>New Flooring, paint, etc. See attached sheet for a list of work summary.</u>		
Contractor's name: <u>Pizzagalli Construction Company</u> Address: <u>131 Presumpscot street</u> City, State & Zip <u>Portland Me 04103</u> Telephone: <u>207-874-2323 x104</u> Who should we contact when the permit is ready: <u>David Manz</u> Telephone: <u>207-699-9715</u> Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED
JAN 21 2011

Signature: <u>[Signature]</u>	Date: <u>1/21/11</u>
-------------------------------	----------------------

City of Building Inspections
City of Portland Maine

This is not a permit; you may not commence ANY work until the permit is issued

1 Portland Square

CRA & IT Space Face Lift Work Summary

Foot print of work shown in hi-lighted area on drawing set

CRA Space

- New Flooring & Base
- Infill Wall Openings & Build Knee Wall
- Remove Existing Wood Paneling
- Paint All Walls
- Install Tint on Windows

MEP Work for CRA Space (Under MEP Permit)

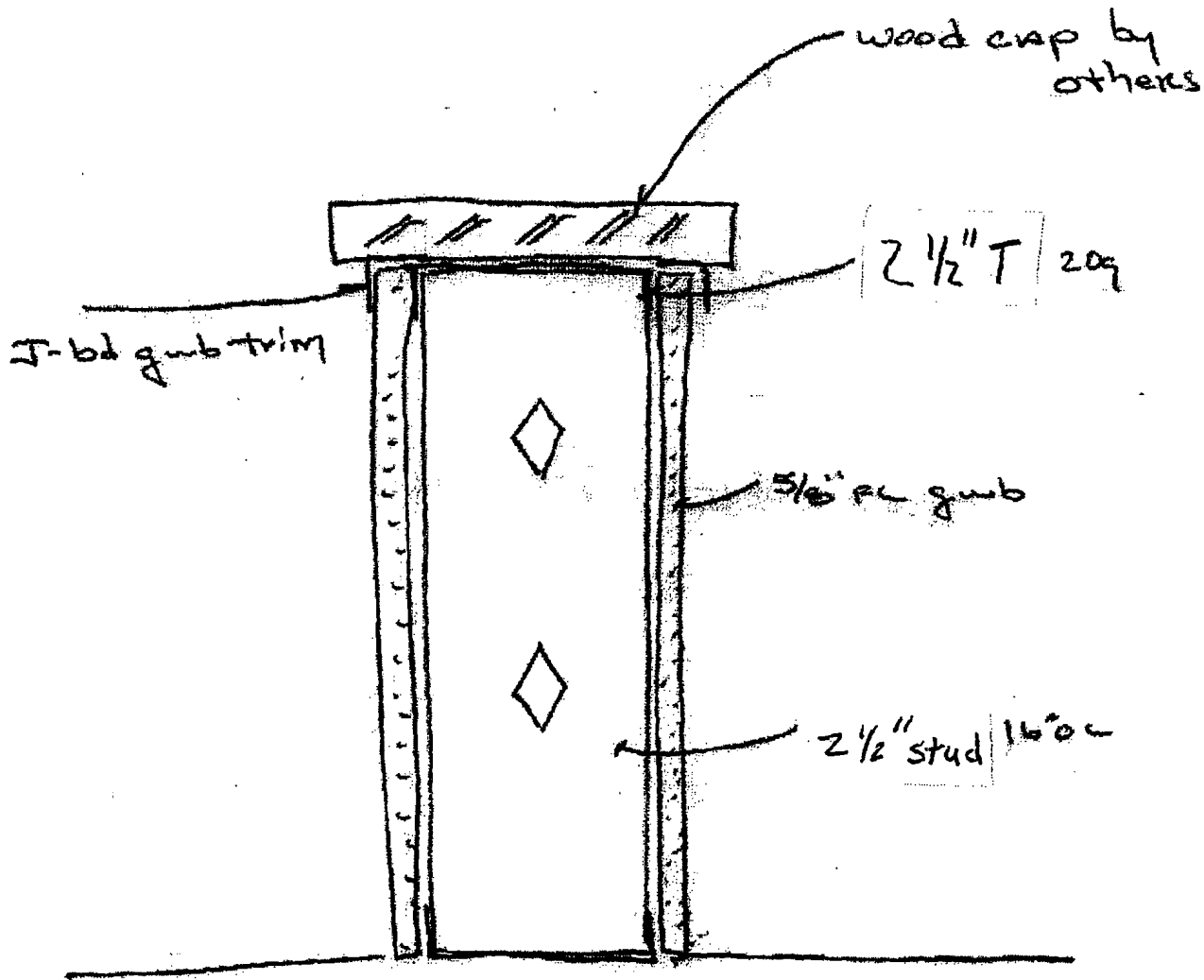
- New Sink, Pump, Water Heater, & HVAC Revisions
- Additional Power & Data
- Replace Acrylic Lighting with Parabolic Lighting
- Any Exit/Emergency Lighting per Code
- Any Fire Alarm Devices per Code

IT Space

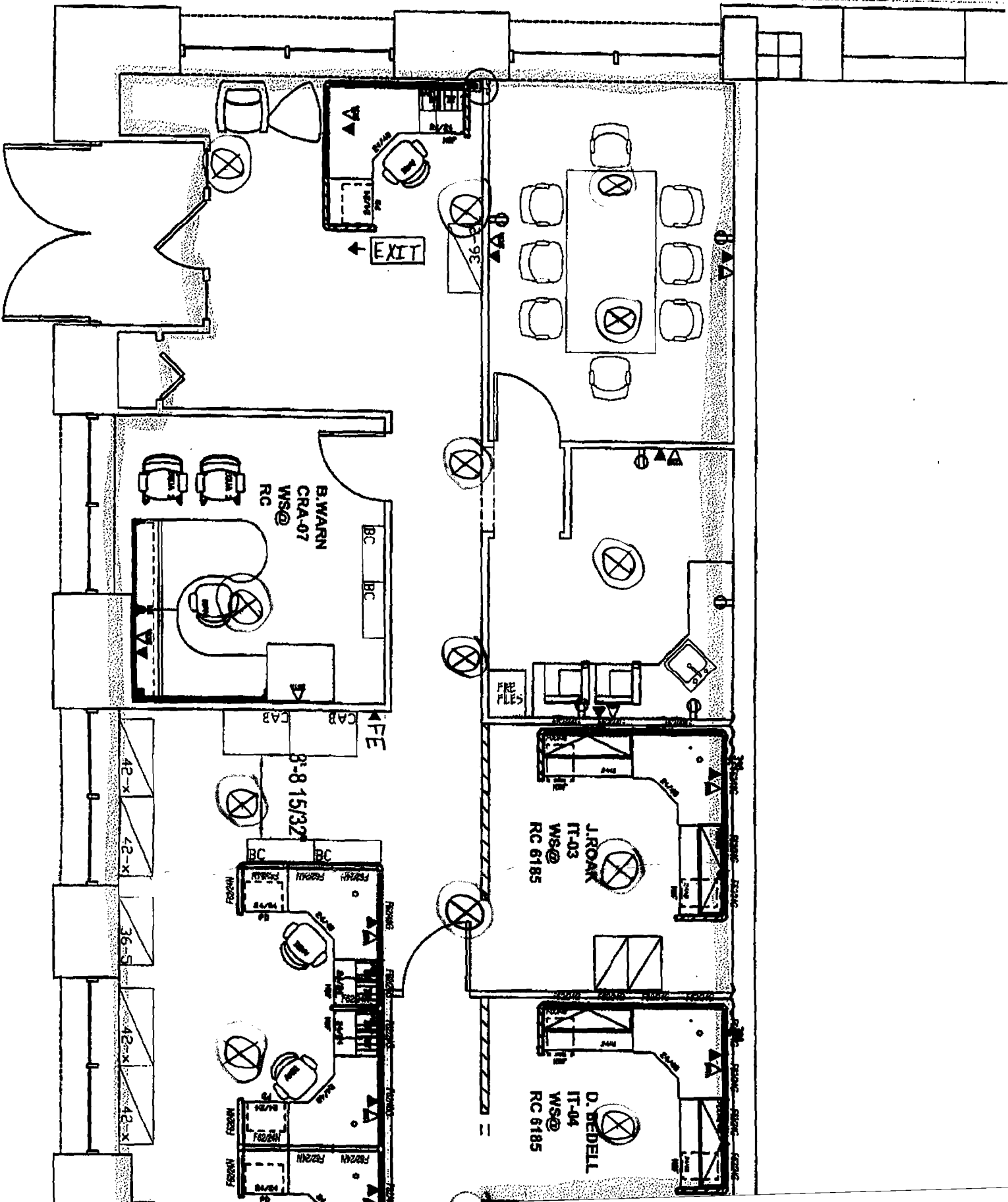
- Replace 1 Dutch Door with new Door & Frame
- Remove Radiant Ceiling Panels & Unit Heater
- Paint All Walls
- Add VCT to Patch Existing Floor

MEP Work for IT Space (Under MEP Permit)

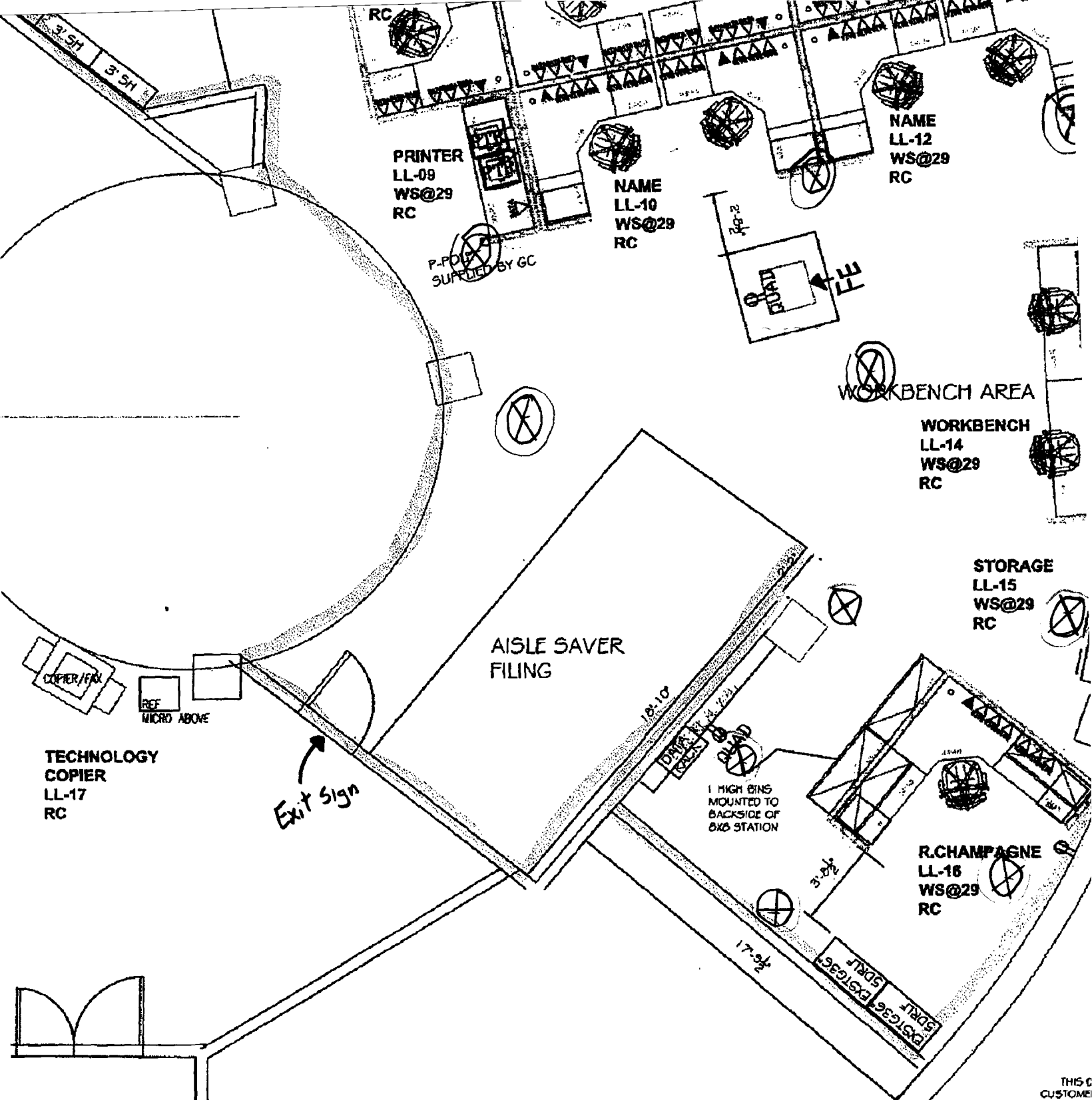
- HVAC Revisions
- Remove Surface Mounted Lights & Replace with Existing CRA Lights
- Any Exit & Emergency Lighting per Code
- Any Fire Alarm Devices per Code
- Additional Power & Data



Low Wall Framing Detail
 note Rts. may vary.



122



THIS CUSTOMER

-Pantry includes upper cabinetry - one corner cabinet and one additional cabinet to the right to house the microwave. Wainscotting in the entrance. Bar size sink. GC to provide microwave. Lower cabinets all open with adjustable shelves except below sink - 1 closed cabinet. See if a soap dispenser and C-Fold Towel dispenser fit on the wall. Sink will need a pump.

-Upgrade existing light fixtures with new lamps

--Remove 1 door off corridor from back entrance. Fill in wall along corridor.

-Build knee wall at CRA-03

-In the existing file the Workstations are against the window wall. JT has suggested the WS are mirror imaged against the wall and shifted to the right. Move the files against the window wall. All the laterals in the plan must fit.

-Proxy at rear entrance.

-Add kaba lock or proxy to tele/data room

- remove cabinet and sink from tele/data room - add a 4x8 piece of sheetrock to the wall parallel to door wall. Vent in door and exhaust fan minimally??? - Not sure - should probably get BTU count with CRA's equipment in there.

- Check blinds that they are operational - Allowance

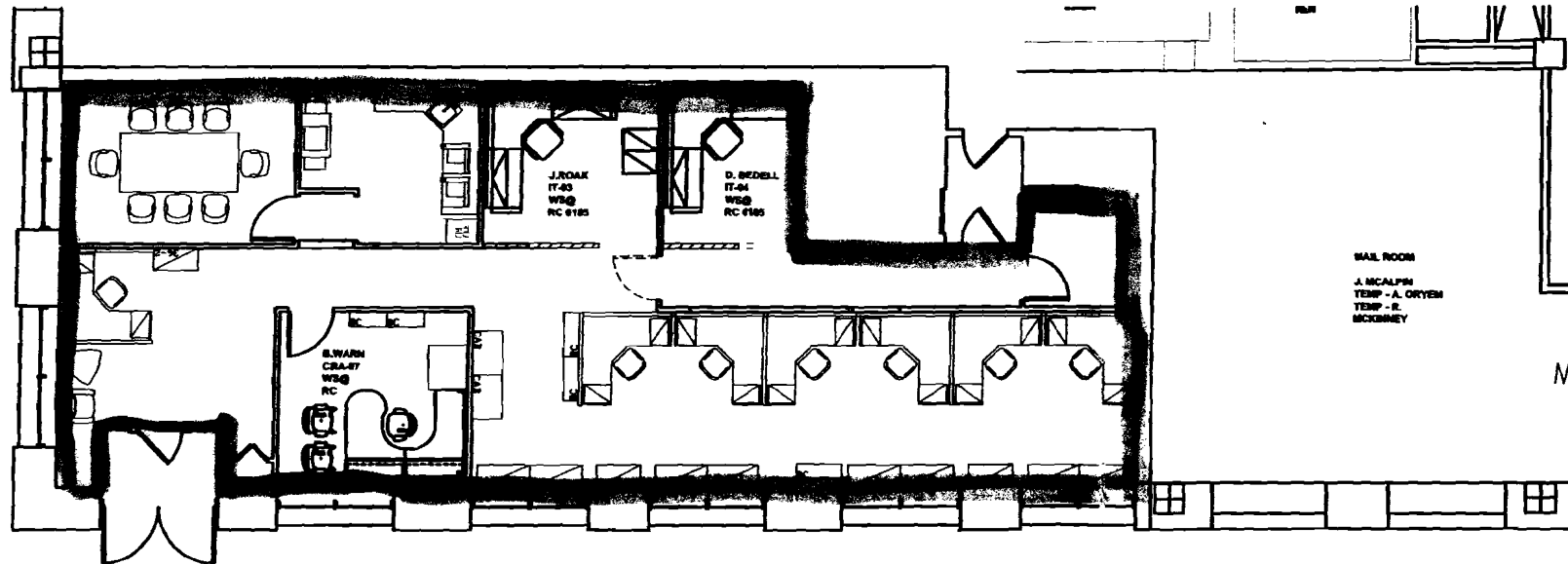
- Confirm with Landlord if tint allowed on Windows

- Change Thermostats to locking thermostats

- Electrician to hook up furniture whips.

- I'm concerned about the entrance door off the sidewalk - be for exit. The doors are glass - with a manual lock - they are

Add Pantry CRA-02



-1/2 the space has lensed lights we are going to parabolic throughout. Add two sets of three way switches at the front and back of the space.

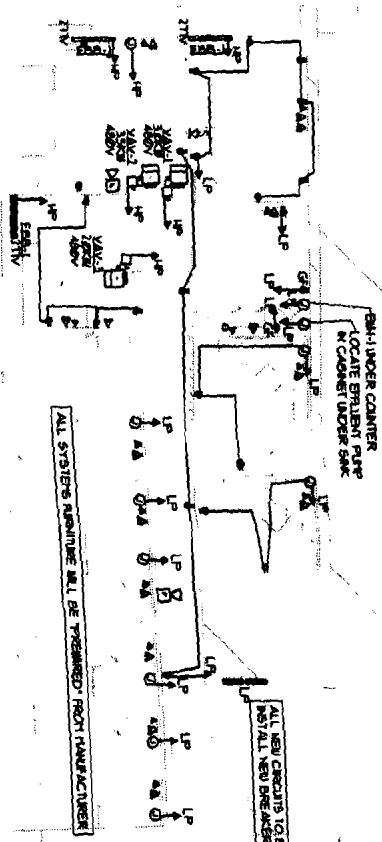
-Replace Carpet

-Paint through out



New Partition

Ratio Table (Gearing Ratio)



RM: UNDER COUNTER
 LOCATE BRUSH PUMP
 IN CABINET UNDER SINK

ALL SYSTEMS REQUIRE WILL BE PROVIDED FROM MANUFACTURER

ALL NEW CIRCUITS TO BE CONNECTED TO EXISTING PANELS
 AND ALL NEW BREAKERS AS NEEDED

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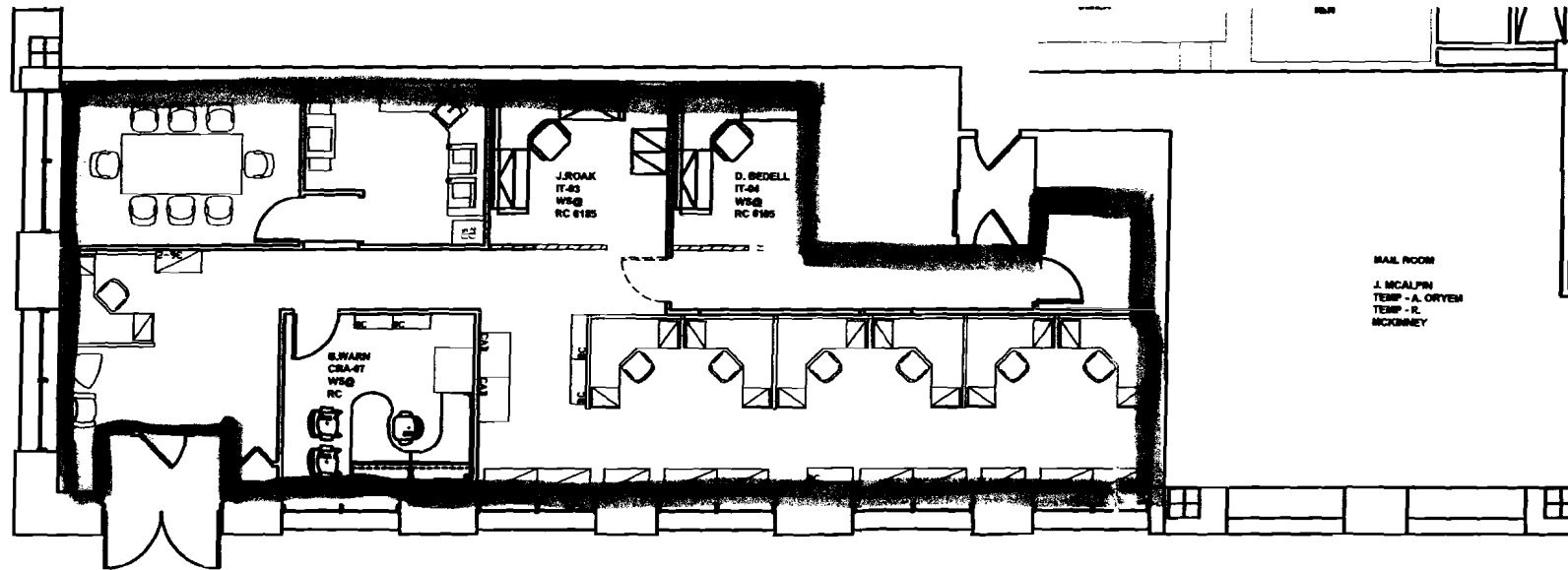
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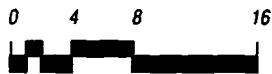
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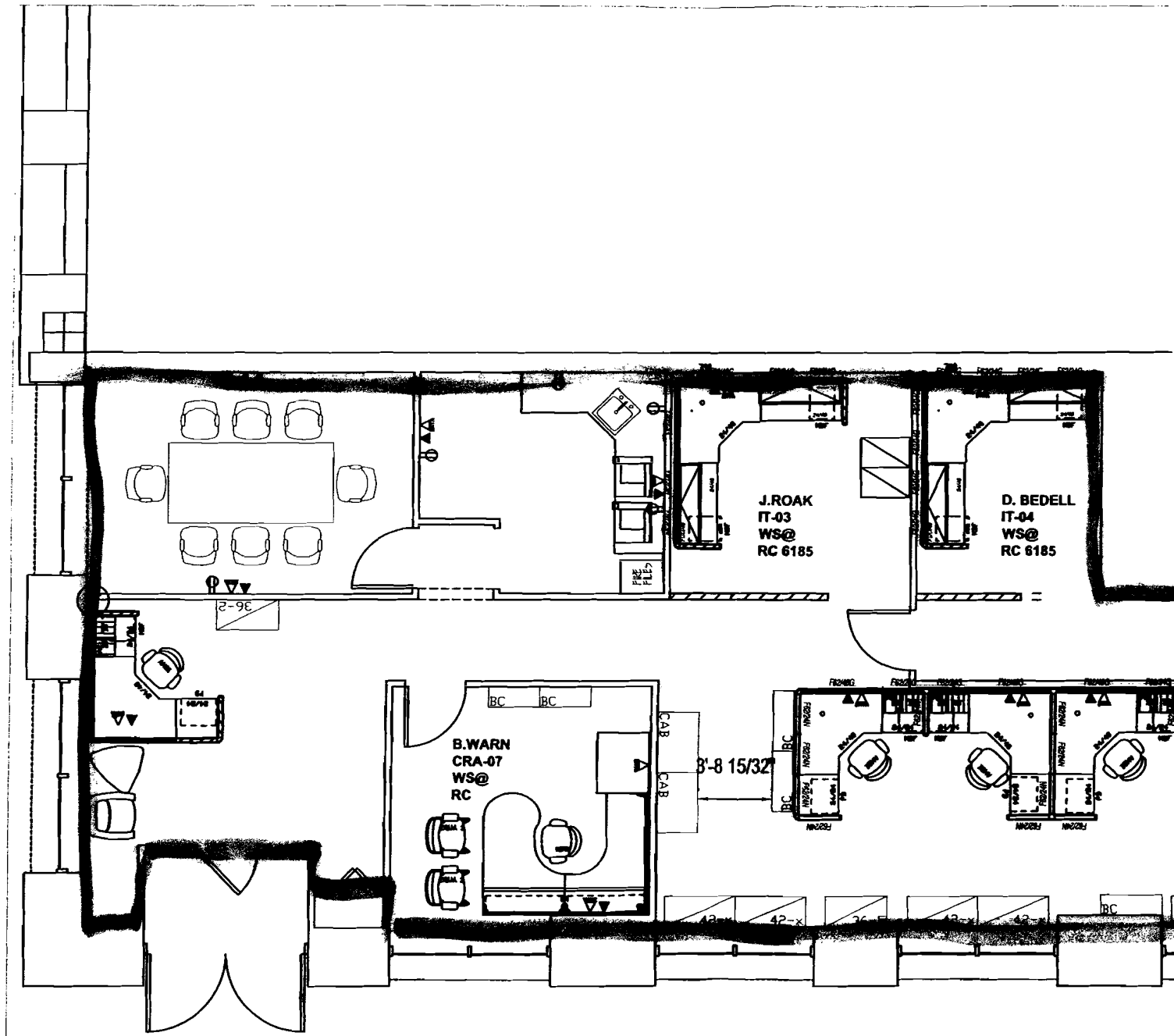
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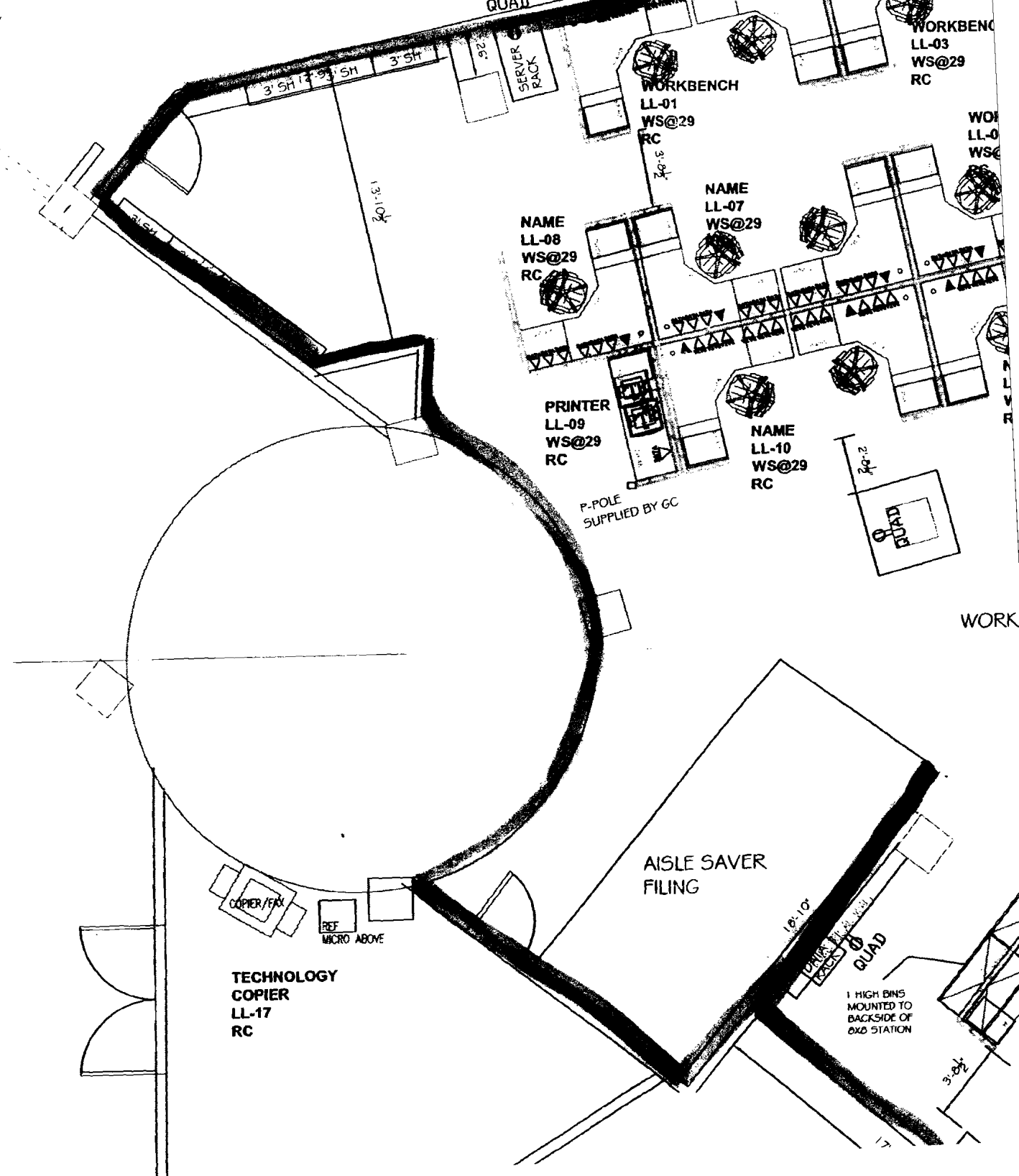
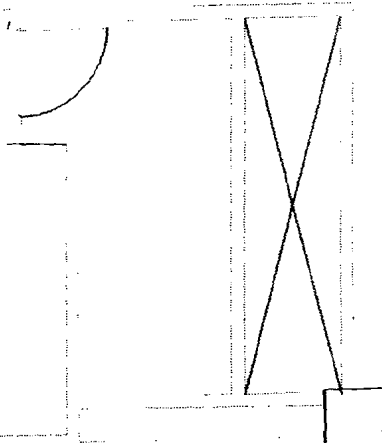
Ratio Table (Gearing Ratio)

Illustrated on P... TOTAL: ...



1 PORTLAND
CRA 12-1

ELEV. LOBBY



WORKBENCH LL-03 WS@29 RC

WORKBENCH LL-01 WS@29 RC

NAME LL-07 WS@29 RC

NAME LL-08 WS@29 RC

PRINTER LL-09 WS@29 RC

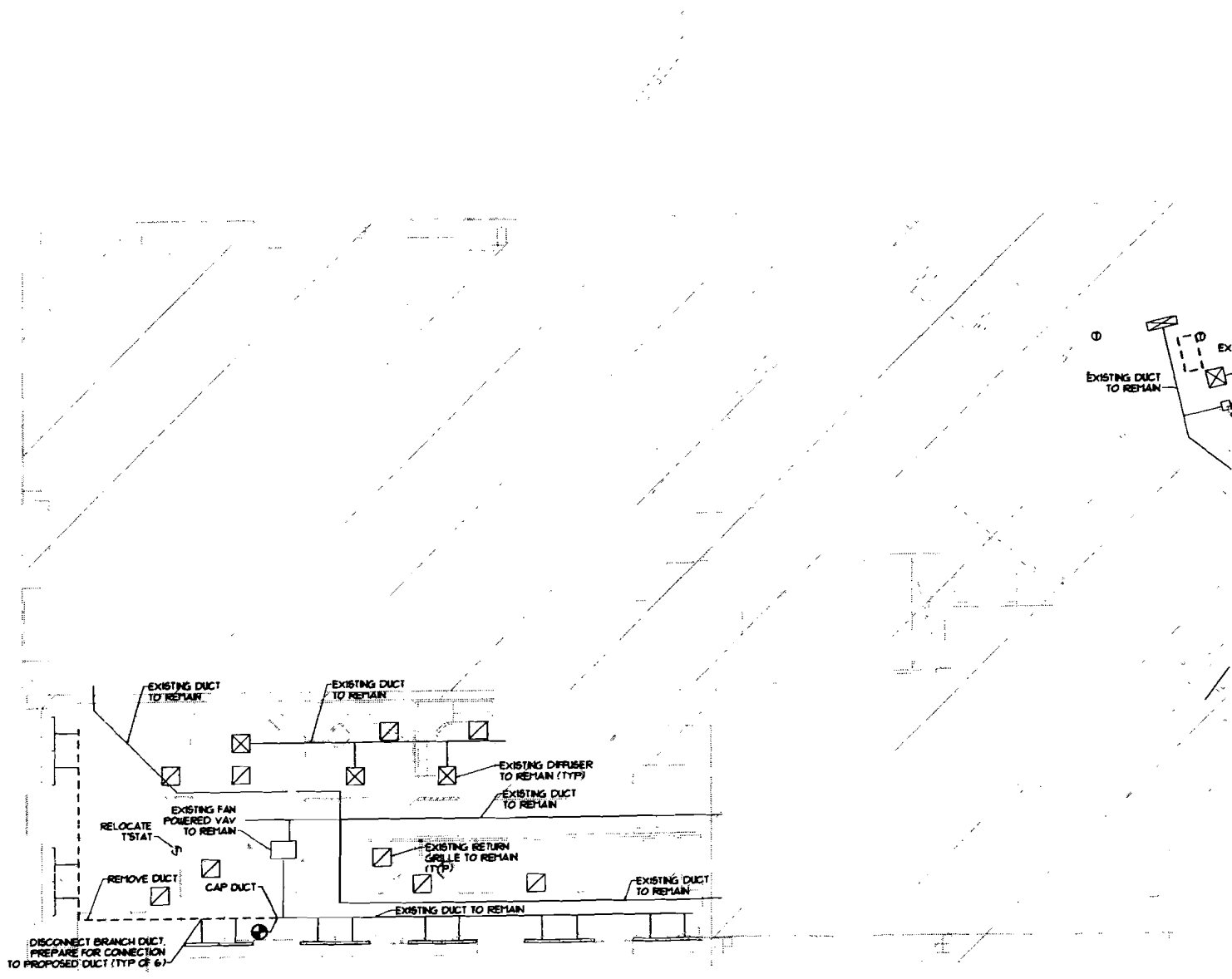
NAME LL-10 WS@29 RC

TECHNOLOGY COPIER LL-17 RC

AISLE SAVER FILING

1 HIGH BNS MOUNTED TO BACKSIDE OF 0x0 STATION

WORK



LINEAR SLOT DIFFUSER PERFORMANCE SCHEDULE											
TAG	SIZE (INCHES)	AIRFLOW (CFM)	TP LOSS (IN. W.G.)	THROW (FEET)	NC	FRAME STYLE	PATTERN	BASIS OF DESIGN: TITUS			
								NO. OF SLOTS	SLOT WIDTH	INLET	MODEL
Ⓢ	48x4	270	0.10	14-22	26	FLUSH CONCEALED	ADJUST.	7	3/4"	-	ML-38

PROVIDE WITH ADJUSTABLE VOLUME DAMPERS
FIELD VERIFY SIZE OF EXISTING DUCTWORK

VAV BOX PERFORMANCE SCHEDULE										
TAG	DESIGN COOLING CFM	MIN COOLING CFM	APO (IN. WG.)	HEATING CFM	EDB (°F)	LAT (°F)	AIR VALVE SIZE	POWER (V/PH/Hz)	ELECTRIC COIL (KW)	MODEL
VAV-1	600	200	0.5	200	55.0	100.0	6"	480/3/60	3.0	DESV
VAV-2	120	240	0.5	240	55.0	100.0	8"	480/3/60	3.0	DESV
VAV-3	450	150	0.5	50	55.0	90.0	8"	480/3/60	2.0	DESV
VAV-4	500	300	0.5	300	55.0	100.0	8"	480/3/60	1.0	DESV

** VERIFY VOLTAGE/PHASE REQUIREMENTS WITH ELECTRICAL CONTRACTOR PRIOR TO ORDERING.

AIR DEVICE PERFORMANCE SCHEDULE										
TAG	PANEL SIZE (IN)	NECK SIZE (IN)	AIRFLOW (CFM)	SPLOSS (IN. WG.)	THROW (IN)	NC	BASIS OF DESIGN - TITUS			
							DUCT CONN (IN)	PATTERN	MODEL	
Ⓐ	24x24	8"	300	0.05	-	25	SEE DWGS	SEE DWGS	116	
Ⓑ	24x24	10"	400	0.05	-	25	SEE DWGS	SEE DWGS	116	
Ⓐ	24x24	-	-	0.05	-	25	SEE DWGS	1/2"	50R	

PROVIDE DIFFUSERS WITH ADJUSTABLE VOLUME DAMPERS

ELECTRIC BASEBOARD HEATER PERFORMANCE SCHEDULE							
TAG	OUTPUT (THER)	AIRFLOW (CFM)	MIGHT. AFF (IN)	ELECTRICAL REQUIREMENTS		BASIS OF DESIGN - BERKO	
				KW	V/PH/Hz	SERVICE	MODEL
EBB-1	3.4	-	-	1.0	270V/60	MULTIPLE	EBK02514W

PROVIDE WITH REMOTE THERMOSTATS.
** MOUNTING HEIGHT SHALL BE PER MANUFACTURER'S RECOMMENDATIONS

ELECTRIC WATER HEATER PERFORMANCE SCHEDULE							
TAG	STORAGE (GALS)	RECOVERY * @ 90°F	ELECTRICAL REQUIREMENTS			BASIS OF DESIGN - AOS/MTM	
			HP	WATTS	V/PH/Hz	SERVICE	MODEL
EW-1	2.5	1.0 GPH	-	500	200V/60	CRA - P-1	EJC-2

PLUMBING FIXTURE CONNECTION SCHEDULE					
TAG	DESCRIPTION	SAN	VENT	CU	HU
P-1	ADA SINGLE BOWL 56 KITCHEN SINK	1-1/2"	1-1/2"	1/2"	1/2"

INSULATION NOTES

1. Insulate supply ductwork with 1-1/2" ductwrap, FSK meeting NFPA 90A 4 B, @ 25 Du-mv-ft-F at 15°F mean temperature.
2. Insulate domestic water piping with 1" fiberglass insulation with ASI, @ 25 Du-mv-ft-F at 50°F mean temperature.
3. Insulate condensate piping, Refrigerant Liquid (RL) and Refrigerant Suction (RS) piping with 1/2" flexible urethane insulation.
4. Insulation shall be suitable for installation in a plenum.
5. Submit insulation materials for review by the Engineer.

PLUMBING NOTES

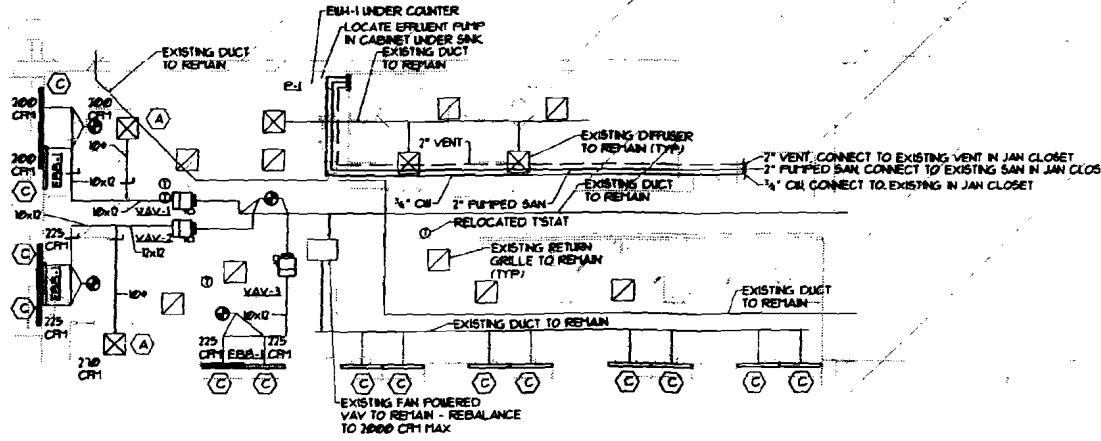
1. Domestic water piping shall be Type 1/2" copper with cast bronze or wrought copper fittings.
2. Sanitary piping shall be service weight cast iron or No Hub cast iron. No Hub fittings shall be Clamp-All H-TORQ-25 with 304SS housing, ASHT C-56-4 neoprene gasket, shall maintain 5 PSI hydrostatic seal and shall comply with FPM-500, IBC and local codes and requirements.
3. Vent piping shall be schedule 40 PVC.
4. (P-1) ADA Kitchen Sink, Single Bowl Elkay LRAD7521 stainless steel, 25"x21.25"x8" deep overall size, 4 faucet holes on 4" centers, fully sound dished. Drain shall be located in upper left or right corner of bowl.
 - a. Faucet - Chicago Model 2361-B, single handle, 2.0 gpm aerator, 10" spout, polished chrome finish, ceramic control cartridge, hose and spray.
 - b. Strainer - Dayton Model D-125 with removable basket and neoprene stopper.
 - c. Sink installation shall be in compliance with the ADA guidelines.
 - d. Insulation Kit - Insulate exposed supply and waste piping at handicapped accessible sinks with fully solid insulation kit, "Mecum Products ProTemp, 3/8" thick closed vinyl with anti-microbial additive, 100 Du-mv-ft-F of thermal conductivity, white color.
5. Submit piping materials, accessories and fixtures for review by the Engineer.

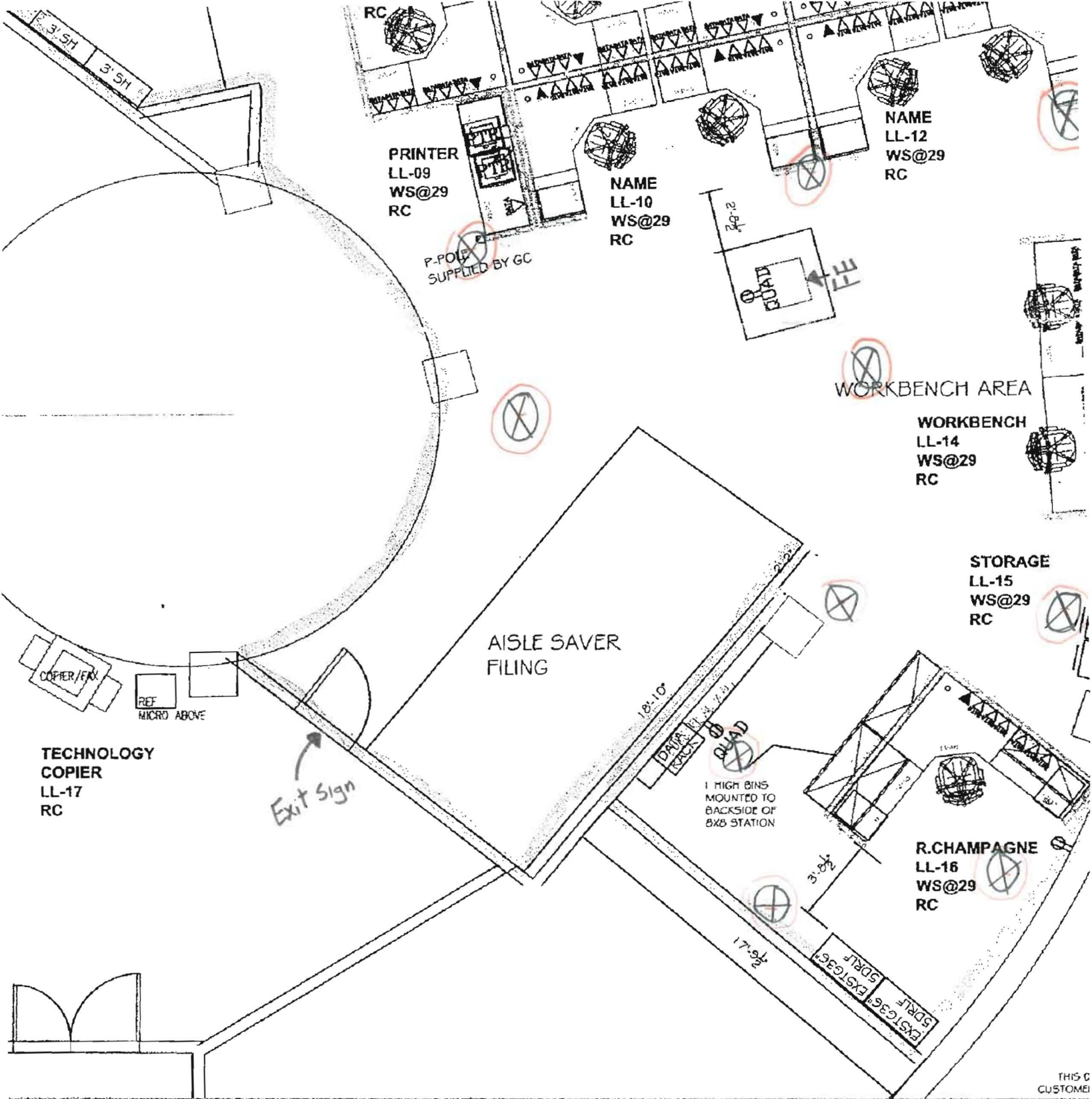
SPRINKLER NOTES

1. Design and install modifications to the existing sprinkler system to provide required coverage for all renovated areas.
2. Sprinkler work shall be performed by a licensed Fire Protection Contractor. Design of modifications shall be performed and sealed by a Professional Engineer licensed in the State of Maine or with NICET Level III (minimum) certification.
3. Sprinkler heads shall match existing.
4. Sprinkler piping shall be suitable for installation in a plenum.
5. Submit sprinkler layout, calculations, piping and appurtenances for review by the Engineer.

DUCTWORK NOTES

1. Ductwork and fittings shall be constructed from galvanized steel (G90) in conformance with SMACNA "Duct Construction Standards" and NFPA90A for 2" WC pressure class. Longitudinal joints shall be Pittsburgh Lockseal (ONS-V).
2. Duct joints shall be sealed to SMACNA seal class B. Joint sealer shall be Hardcast "Duct-Seal 321" water based sealer.
3. Flexible duct shall be ultraviolet type WECF, polyester core with wire helix, 1-1/4" thick fiberglass insulation, polyolefin jacket/vapor barrier. Maximum length shall be 4'-8". Flexible ducts shall be secured with chain type stainless steel brackets or 100# tightened nylon straps.
4. Submit duct sealer and flexible ducts for review by the Engineer.





TECHNOLOGY
COPIER
LL-17
RC

PRINTER
LL-09
WS@29
RC

NAME
LL-10
WS@29
RC

NAME
LL-12
WS@29
RC

WORKBENCH AREA

WORKBENCH
LL-14
WS@29
RC

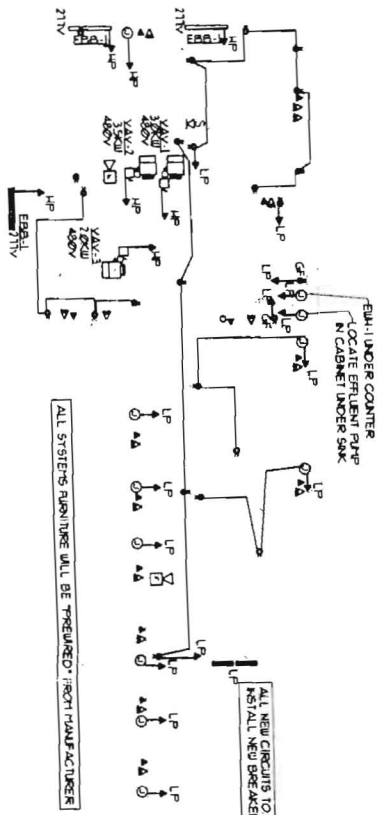
STORAGE
LL-15
WS@29
RC

AISLE SAVER
FILING

R.CHAMPAGNE
LL-16
WS@29
RC

Exit sign

1 HIGH BINS
MOUNTED TO
BACKSIDE OF
8x8 STATION



ALL NEW CIRCUITS TO BE CONNECTED TO EXISTING PANELS
 INSTALL NEW BREAKERS AS NEEDED

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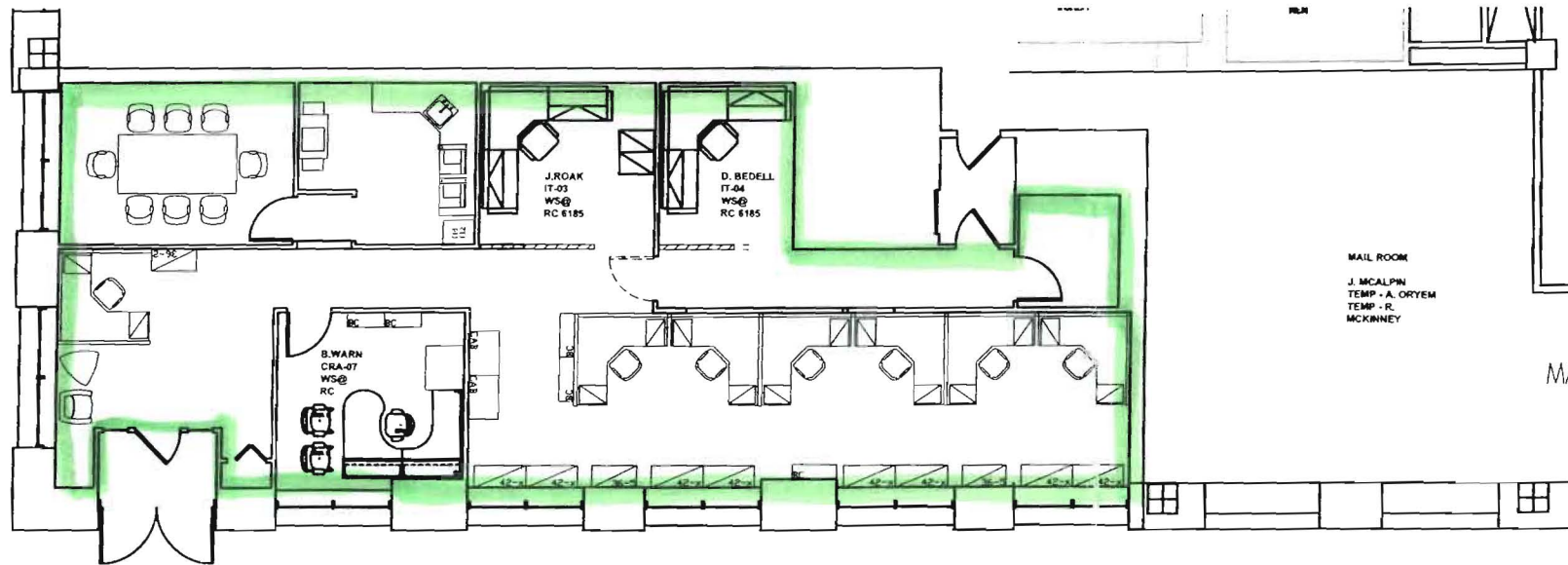
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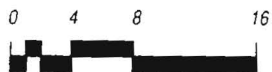
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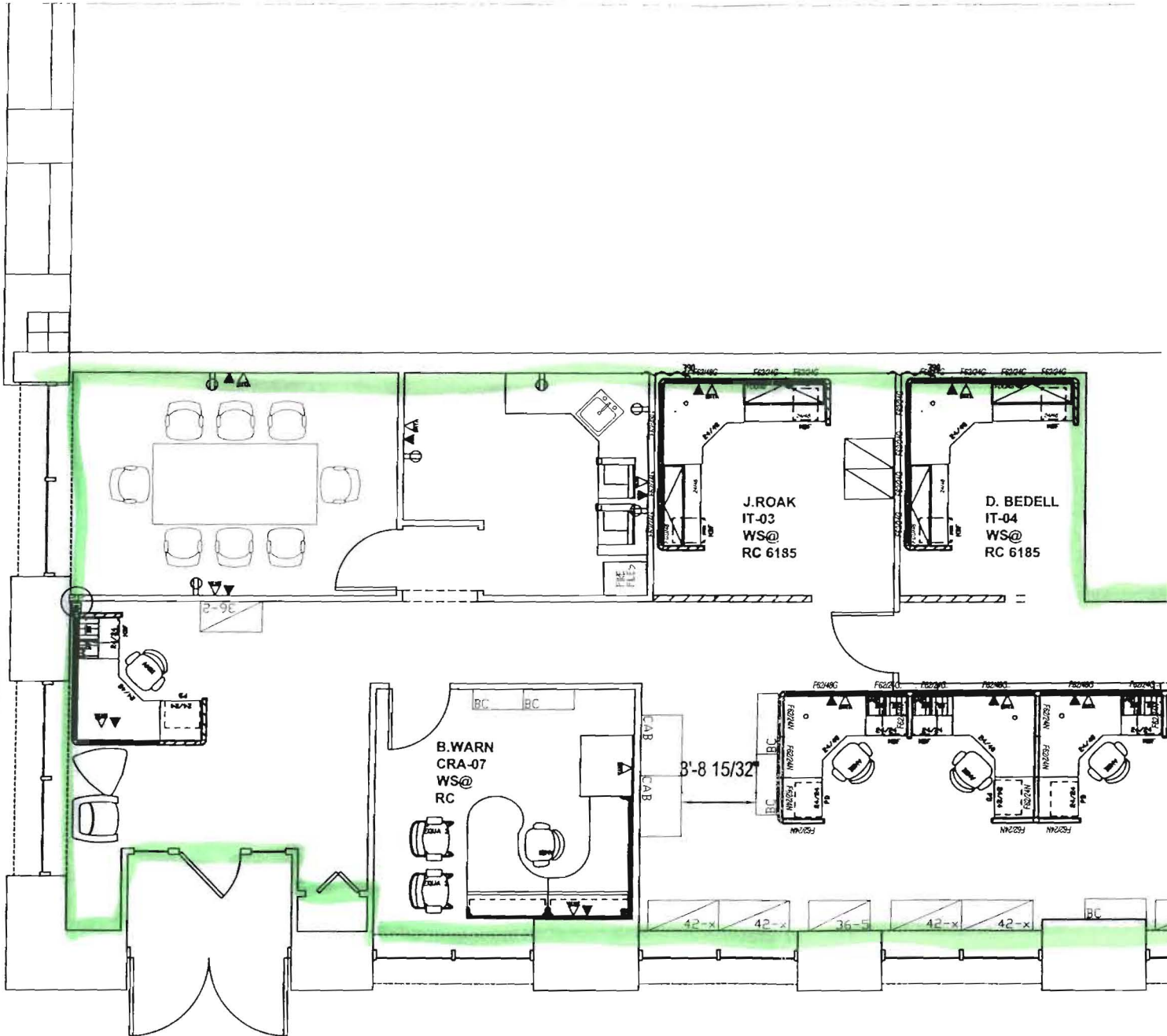
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New Partition

Ratio Table (Gearing Ratio)

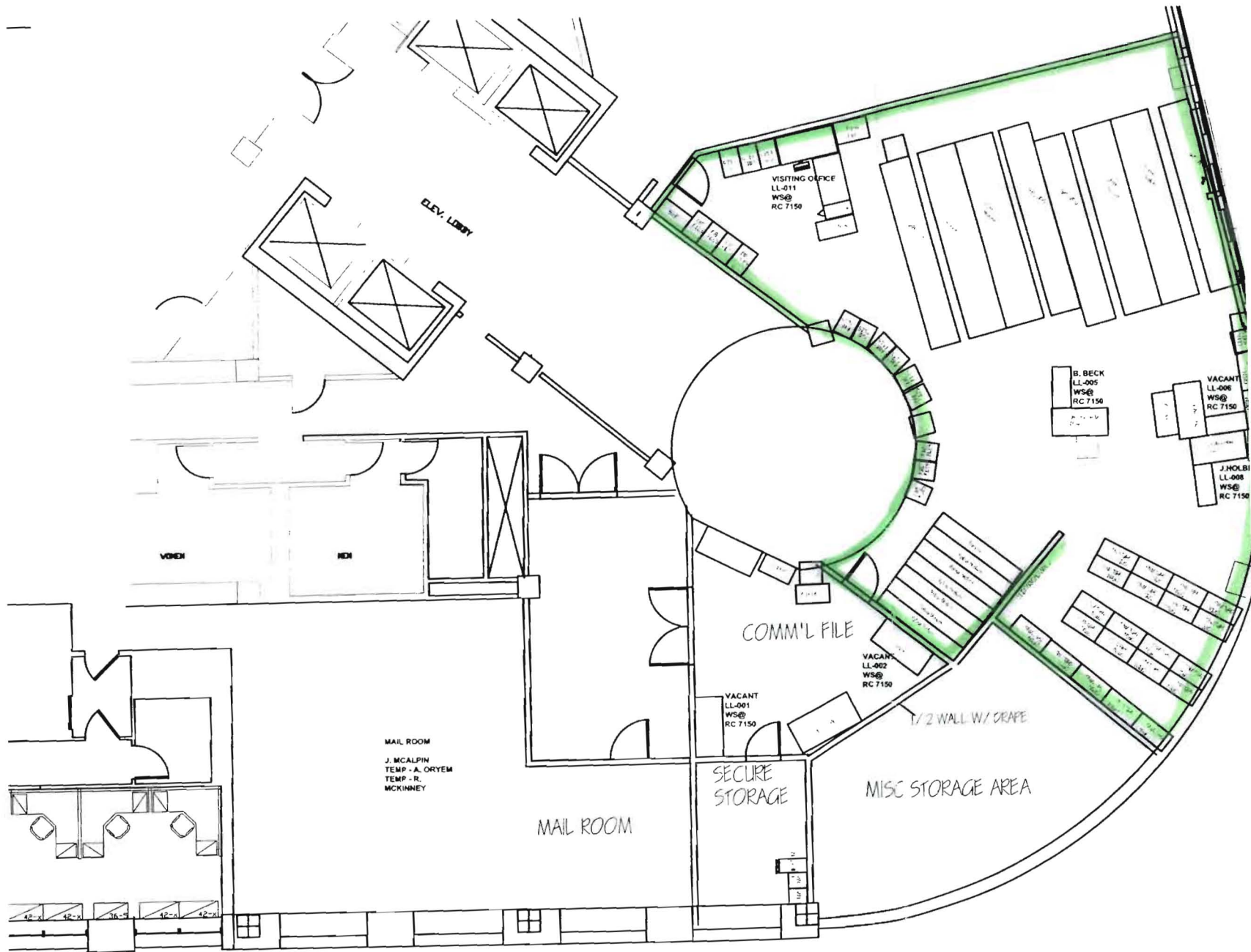
Illustrated as Dia: TOTAL



1 PORTLAND
CRA 12-1

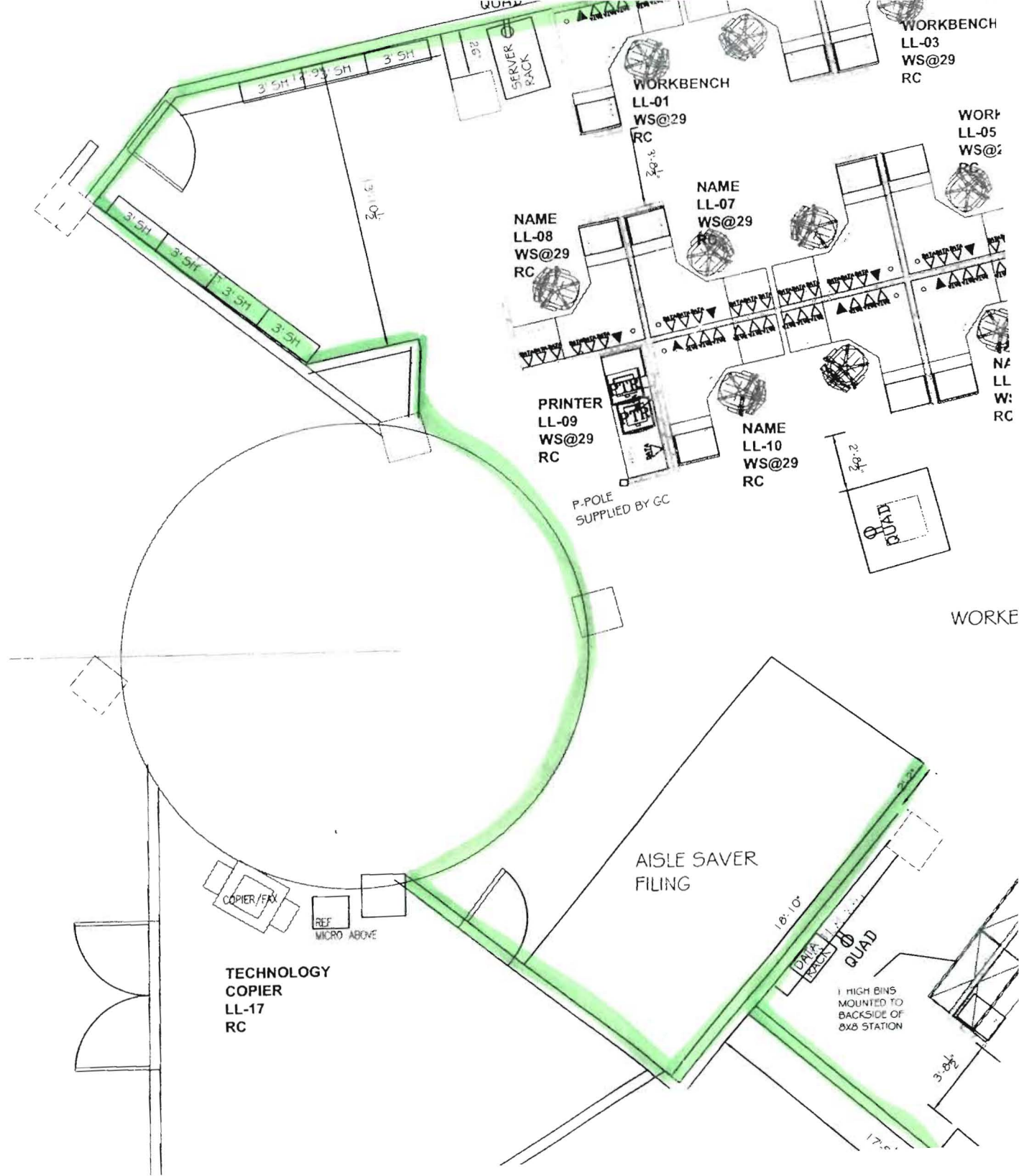
- Add wall in front of one exposed beam - opposite Russell's desk - abandoned patch panels to be removed.
- Clean lights/check ballasts - use lenses from CRA space to replace yellow lenses
- Check air temps both AC and Heat- balance/ change thermostats if necessary to locking thermostats.
- Replace damaged ceiling tiles.
- Add lights where necessary to guarantee appropriate footcandle at worksurface height

- Add proxy to Technology's storage room outside suite
- Alter shelves in movable files to remain per Tech's st:
- Add necessary P/V/D to support furniture. Make sure
- Wax flooring upon completion.
- Electrician to hook up furniture whips.



11 11011 ANP S11111 11

ELLV LOBBY



WORKBENCH
LL-03
WS@29
RC

WORKBENCH
LL-01
WS@29
RC

WORK
LL-05
WS@29
RC

NAME
LL-08
WS@29
RC

NAME
LL-07
WS@29
RC

PRINTER
LL-09
WS@29
RC

NAME
LL-10
WS@29
RC

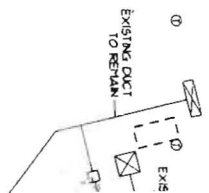
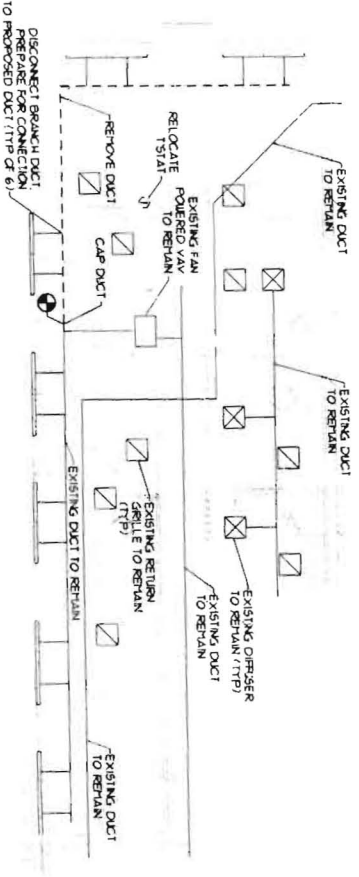
P-POLE
SUPPLIED BY GC

WORKE

AISLE SAVER
FILING

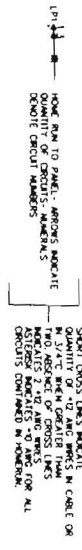
TECHNOLOGY
COPIER
LL-17
RC

1 HIGH BINS
MOUNTED TO
BACKSIDE OF
8x8 STATION



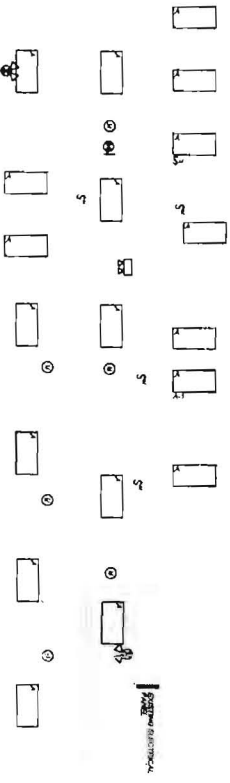
SYMBOL LEGEND

- POWER PANEL 277/480, 3PHS, 4WRT
- POWER PANEL 200/208, 3PHS, 4WRT
- UNUSED DISCONNECT SWITCH
- JUNCTION BOX
- EXISTING LIGHTING FIXTURES - BEING RELOCATED/RE-USED



- Ⓢ NEW EXISTING WALL MOUNTED MOTION DETECTOR - WITH MANUAL OVERRIDE 277 VOLTS, MODEL 487
- Ⓢ EXISTING CEILING MOUNTED MOTION SENSOR - RELOCATE AS NEEDED FOR RENOVATION
- ➔ DIALER RECEIVER, 20A, 125V SPEC GRADE CHRONOMIC TIME AND MATCHING NORTH PLATE - MODEL 24 - MF
- ➔ DIALER RECEIVER, GROUND FAULT OUTLET 20A, 125V WITH WINDOW NORTH PLATE (MOUNTED W/ OUTLET FLUSH MOUNTED 45" AFF EXCEPT AS NOTED)
- FIRE ALARM PULL STATION - EXISTING
- Ⓢ FIRE ALARM AUDIBLE/VISUAL - EXISTING
- Ⓢ FIRE ALARM VISUAL STROBE ONLY - EXISTING
- ➔ TELEPHONE JACK - EMERGENCY J-BOX WITH 3/4" C TO ABOVE CEILING
- ➔ DATA JACK - EMERGENCY J-BOX WITH 3/4" C TO ABOVE CEILING

ALL LIGHTING FIXTURES ARE EXISTING TO BE RELOCATED AS NEEDED AND RECONNECTED TO EXISTING CIRCUITS



EXISTING LIGHTING

LINEAR SLOT DIFFUSER PERFORMANCE SCHEDULE											
TAG	SIZE (INCHES)	AIRFLOW (CFM)	TP LOSS (IN. WG.)	THROW (FEET)	NC	FRAME STYLE	PATTERN	BASIS OF DESIGN, TITUS			
								NO. OF SLOTS	SLOT WIDTH	INLET	MODEL
(C)	48x4	220	0.10	14-22	26	FLUSH CONCEALED	ADJUST	7	3/4"	-	ML-38

PROVIDE WITH ADJUSTABLE VOLUME DAMPERS
FIELD VERIFY SIZE OF EXISTING DUCT/OPENING

VAV BOX PERFORMANCE SCHEDULE										
TAG	DESIGN COOLING (CFM)	MIN COOLING (CFM)	APD (IN. WG.)	HEATING (CFM)	EDB (°F)	LAT (°F)	AIR VALVE SIZE	POWER (V/PH/Hz)	ELECTRIC COIL (KW)	MODEL
VAV-1	600	200	0.15	200	55.0	100.0	6"	480/3/60	3.0	DESV
VAV-2	120	240	0.15	240	55.0	100.0	8"	480/3/60	3.0	DESV
VAV-3	450	150	0.15	150	55.0	98.0	8"	480/3/60	2.0	DESV
VAV-4	500	500	0.15	500	55.0	100.0	7"	480/3/60	2.0	DESV

VERIFY VOLTAGE/PHASE REQUIREMENTS WITH ELECTRICAL CONTRACTOR PRIOR TO ORDERING

AIR DEVICE PERFORMANCE SCHEDULE										
TAG	PANEL SIZE (IN)	NECK SIZE (IN)	AIRFLOW (CFM)	SPLOSS (IN. WG.)	THROW (L)	NC	BASIS OF DESIGN - TITUS			
							DUCT CONN (IN)	PATTERN	MODEL	
(A)	24x24	8"	300	0.05	-	75	SEE DWGS	SEE DWGS	TH5	
(B)	24x24	10"	400	0.05	-	75	SEE DWGS	SEE DWGS	TH5	
(AA)	24x24	-	-	0.05	-	25	SEE DWGS	V7"	5DR	

PROVIDE DIFFUSERS WITH ADJUSTABLE VOLUME DAMPERS

ELECTRIC BASEBOARD HEATER PERFORMANCE SCHEDULE							
TAG	OUTPUT (MEB)	AIRFLOW (CFM)	HTG HT. AFF (IN)	ELECTRICAL REQUIREMENTS		BASIS OF DESIGN - BERKO	
				KW	V/PH/Hz	SERVICE	MODEL
EBB-1	3.4	-	-	1.0	277/1/60	MULTIPLE	BKOC2514U

PROVIDE WITH REMOTE THERMOSTATS
MOUNTING HEIGHT SHALL BE PER MANUFACTURER'S RECOMMENDATIONS

ELECTRIC WATER HEATER PERFORMANCE SCHEDULE							
TAG	STORAGE (GALS)	REC'VRY @ 80°F	ELECTRICAL REQUIREMENTS			BASIS OF DESIGN - A.O.SMITH	
			HP	WATTS	V/PH/Hz	SERVICE	MODEL
EW-1	75	7.0 GPH	-	1500	120/1/60	CRA - P-1	EJC-2

PLUMBING FIXTURE CONNECTION SCHEDULE					
TAG	DESCRIPTION	SAN	VENT	CU	HU
P-1	ADA SINGLE BOWL 66 KITCHEN SINK	1-1/2"	1-1/2"	1/2"	1/2"

INSULATION NOTES

- Insulate supply ductwork with 1-1/2" ductwrap, FSK meeting NFPA 90A 4 B, @29 Blu-mhr-11°F at 15°F mean temperature.
- Insulate domestic water piping with 1" fiberglass insulation with ASJ, @29 Blu-mhr-11°F at 150°F mean temperature.
- Insulate condensate piping, Refrigerant Liquid (RL) and Refrigerant Suction (RS) piping with 1/2" flexible urethane insulation.
- Insulation shall be suitable for installation in a plenum.
- Submit insulation materials for review by the Engineer.

PLUMBING NOTES

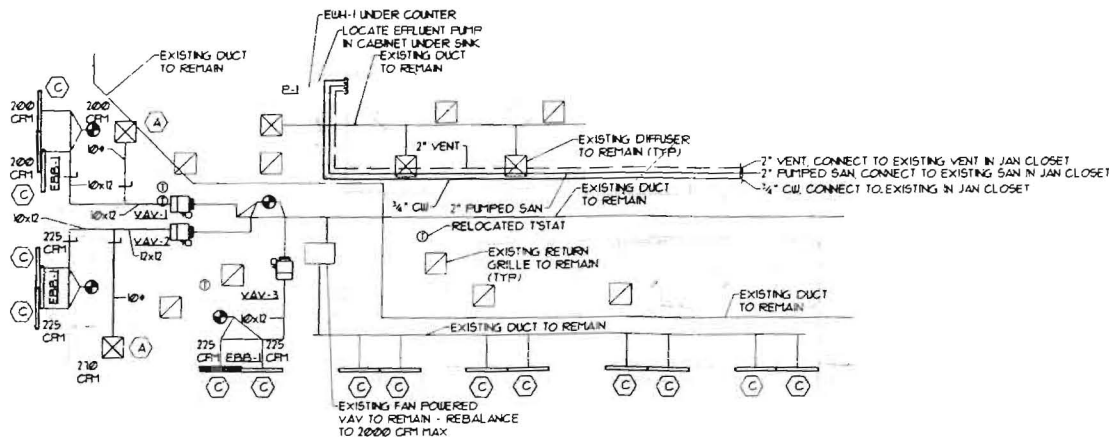
- Domestic water piping shall be Type "L" copper with cast bronze or wrought copper fittings.
- Sanitary piping shall be service length cast iron or No 1405 cast iron. No hub fittings shall be Clamp-All HI-TORQUE with 304SS housing, ASTM C-564 neoprene gasket, shall maintain 15 PSI hydrostatic seal and shall comply with FM1680, IBC and local codes and requirements.
- Vent piping shall be schedule 40 PVC.
- (P-1) ADA Kitchen Sink, Single Bowl Elkay LRAD2521 stainless steel 25"x25"x6" deep overall size, 4 faucet holes on 4" centers, fully sound deadened. Drain shall be located in upper left or right corner of bowl.
 - Faucet - Chicago Model 2301-B, single handle, 2.0 gpm aerator, 10" spout, polished chrome finish, ceramic control cartridge, hose and spray.
 - Strainer - Dayton Model D-105 with removable basket and neoprene stopper.
 - Sink installation shall be in compliance with the ADA guidelines.
 - Insulation Kit - Insulate exposed supply and waste piping at handicapped accessible sinks with fully insulated insulation kit, Measure Products Protwrap 3/8" thick closed vinyl with anti-microbial additive, 107 Blu-mhr-F2 of thermal conductivity, white color.
- Submit piping materials, accessories and fixtures for review by the Engineer.

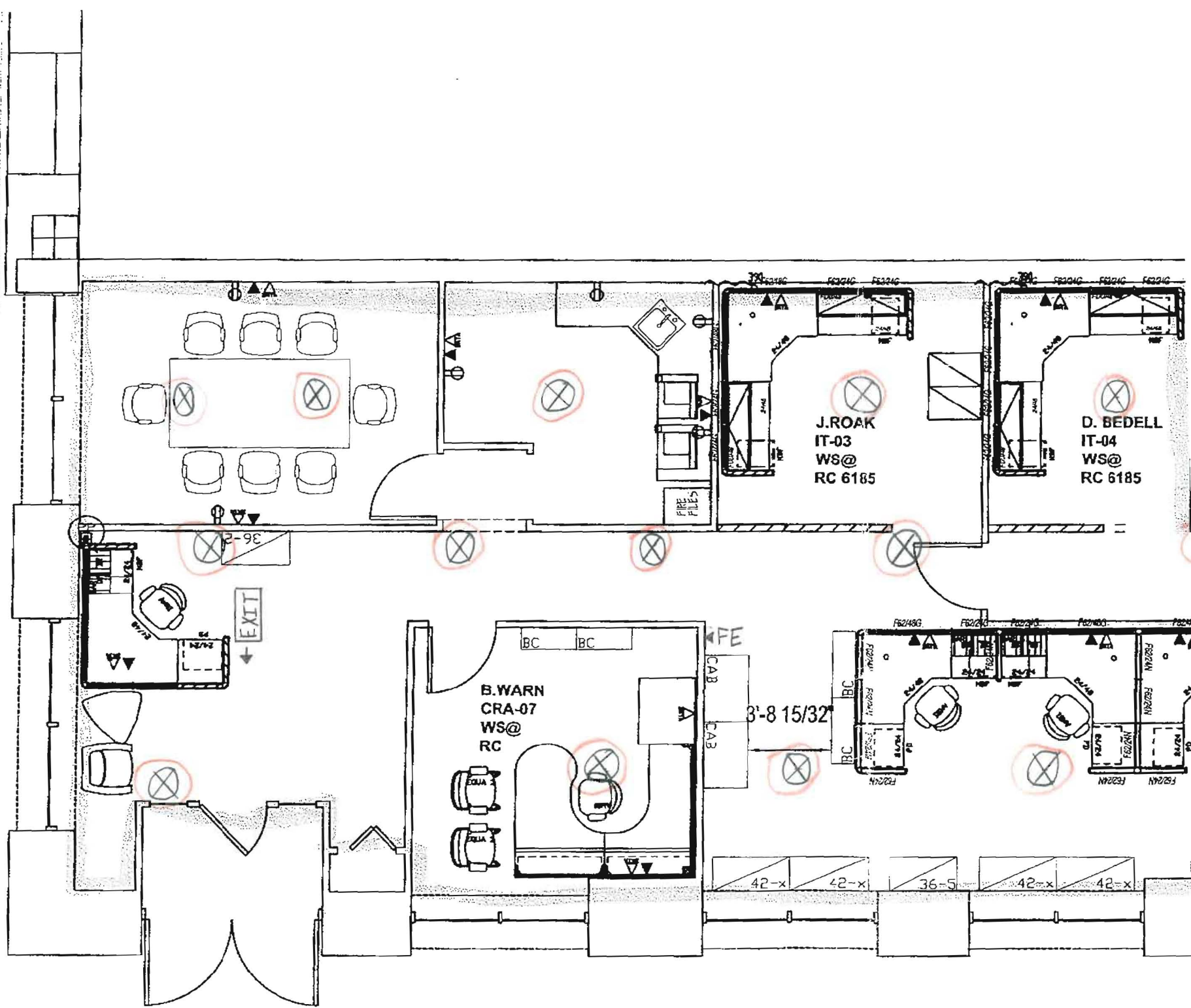
SPRINKLER NOTES

- Design and install modifications to the existing sprinkler system to provide required coverage for all renovated areas.
- Sprinkler work shall be performed by a licensed Fire Protection Contractor. Design of modifications shall be performed and sealed by a Professional Engineer licensed in the State of Maine or with NICET Level III (minimum) certification.
- Sprinkler heads shall match existing.
- Sprinkler piping shall be suitable for installation in a plenum.
- Submit sprinkler layout, calculations, piping and appurtenances for review by the Engineer.

DUCTWORK NOTES

- Ductwork and fittings shall be constructed from galvanized steel (G30) in conformance with SMACNA "Duct Construction Standards" and NFPA90A for 2" WG, pressure class. Longitudinal joints shall be Pittsburgh Lockseal (ONLY).
- Duct joints shall be sealed to SMACNA seal class B. Joint sealer shall be Hardcast Duct-Seal 321 water based sealant.
- Flexible duct shall be Wrenhold type WGF, polyester core with wire helix, 1-1/2" thick fiberglass insulation, polyolefin acetate/vapor barrier. Maximum length shall be 4'-0". Flexible ducts shall be secured with clinch type stainless steel drainbands or tool lightened nylon straps.
- Submit duct sealer and flexible ducts for review by the Engineer.







Certificate of Occupancy



CITY OF PORTLAND, MAINE
Department of Planning and Urban Development

Location 1 PORTLAND SQ
Issued to RREEF AMERICA REIT III CORP Z4

CBL 038 B001001
Date Issued March 3, 2011

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit NO. 2011-01-314-ALTCOMM, has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Ground Floor TD Bank CRA and IT Spaces

IBC 2009 Use Group B Type 2A

Limiting Conditions:

Approved:
March 3, 2011

(Date) *Donna M. [Signature]*
Inspector

[Signature]
Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

_____ 10/21/2011 _____

Received from P. David M. ... D. 22/11

Location of Work 1 Portland Sq.

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 490

Building (I1) Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 38-B-1

Check #: CC Total Collected \$ 490

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy