

Form # P 04

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, if Any,  
Attached

## BUILDING PERMIT

Permit Number: 100690

This is to certify that RREEE AMERICA REIT HLC # 74 / RRE Company / E

has permission to Down Size suite & return space back to LL w/ tena walls

AT 1 PORTLAND SQ CE 038 B001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other fixed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. CRPT. K. Sauter

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name

## PERMIT ISSUED

JUL - 6 2010

Director - Building Inspection Services

City of Portland

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0690	Issue Date:	CBL: 038 B001001
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Location of Construction: 1 PORTLAND SQ	Owner Name: RREEF AMERICA REIT III CORP	Owner Address: PO BOX 4900 DEPT 207	Phone:
Business Name:	Contractor Name: Reagan & Company /Earl	Contractor Address: 106 Merrill Rd. Gray	Phone 2076536353
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Commercial Office 5th Floor	Proposed Use: Commercial Office 5th Floor - Down Size suite & return space back to LL new tenant walls	Permit Fee: \$230.00	Cost of Work: \$21,000.00	CEO District: 1
Proposed Project Description: Down Size suite & return space back to LL new tenant walls		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>*See Conditions</i>	INSPECTION: Use Group: B Type: <i>TBC 2003</i>	
		Signature: <i>(K6)</i>	Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
		Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 06/15/2010	<b>Zoning Approval</b>		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied <i>S</i>
Date: <i>6/15/10</i>	Date:	Date:

**PERMIT ISSUED**

JUL - 6 2010

City of Portland

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 10-0690	<b>Date Applied For:</b> 06/15/2010	<b>CBL:</b> 038 B001001
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<b>Location of Construction:</b> 1 PORTLAND SQ	<b>Owner Name:</b> RREEF AMERICA REIT III CORP	<b>Owner Address:</b> PO BOX 4900 DEPT 207	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Reagan & Company /Earl	<b>Contractor Address:</b> 106 Merrill Rd. Gray	<b>Phone:</b> (207) 653-6353
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

<b>Proposed Use:</b> Commercial Office 5th Floor - Down Size suite & return space back to LL new tenant walls	<b>Proposed Project Description:</b> Down Size suite & return space back to LL new tenant walls
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**Dept:** Zoning      **Status:** Approved      **Reviewer:** Marge Schmuckal      **Approval Date:** 06/15/2010  
**Note:**      **Ok to Issue:** ✓

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 07/06/2010  
**Note:**      **Ok to Issue:** ✓

1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Keith Gautreau      **Approval Date:** 06/25/2010  
**Note:**      **Ok to Issue:** ✓

1) Building shall meet NFPA 101 Existing High Rise code upon final inspection.

2) No means of egress shall be affected by this renovation

3) All means of egress to remain accessible at all times

4) All construction shall comply with NFPA 1 and 101.

**PERMIT ISSUED**

JUL - 6 2010

City of Portland

## **BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

  X   **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

  X   **Final inspection required at completion of work.**

**The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**

**PERMIT ISSUED**

**JUL - 6 2010**

**City of Portland**



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>One Portland Square 5th Floor</u>			Total Square Footage of Proposed Structure/Area		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>38</u> Block# <u>B</u> Lot# <u>1</u>			Applicant <sup>must be owner, Lessee or Buyer</sup> Name <u>H.M. Paryson</u> Address _____ City, State & Zip _____			Telephone: _____
Lessee/DBA (If Applicable)			Owner (if different from Applicant) Name <u>RREEF</u> Address <u>One Portland Square</u> City, State & Zip <u>Portland ME</u>			Cost Of Work: \$ <u>21,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>230</u>
Current legal use (i.e. single family) <u>Office use</u>						
If vacant, what was the previous use? _____						
Proposed Specific use: <u>Down Size Suite</u>						
Is property part of a subdivision? _____ If yes, please name _____						
Project description: <u>Down Size Suite down and return some space back to landlord. New tenant walls</u>						
Contractor's name: <u>Reagan &amp; Company</u>						
Address: <u>106 Morrill Rd</u>						
City, State & Zip <u>Gray ME 04039</u>					Telephone: <u>329-3441</u>	
Who should we contact when the permit is ready: <u>Faulk</u>					Telephone: <u>329-3441</u>	
Mailing address: _____						

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

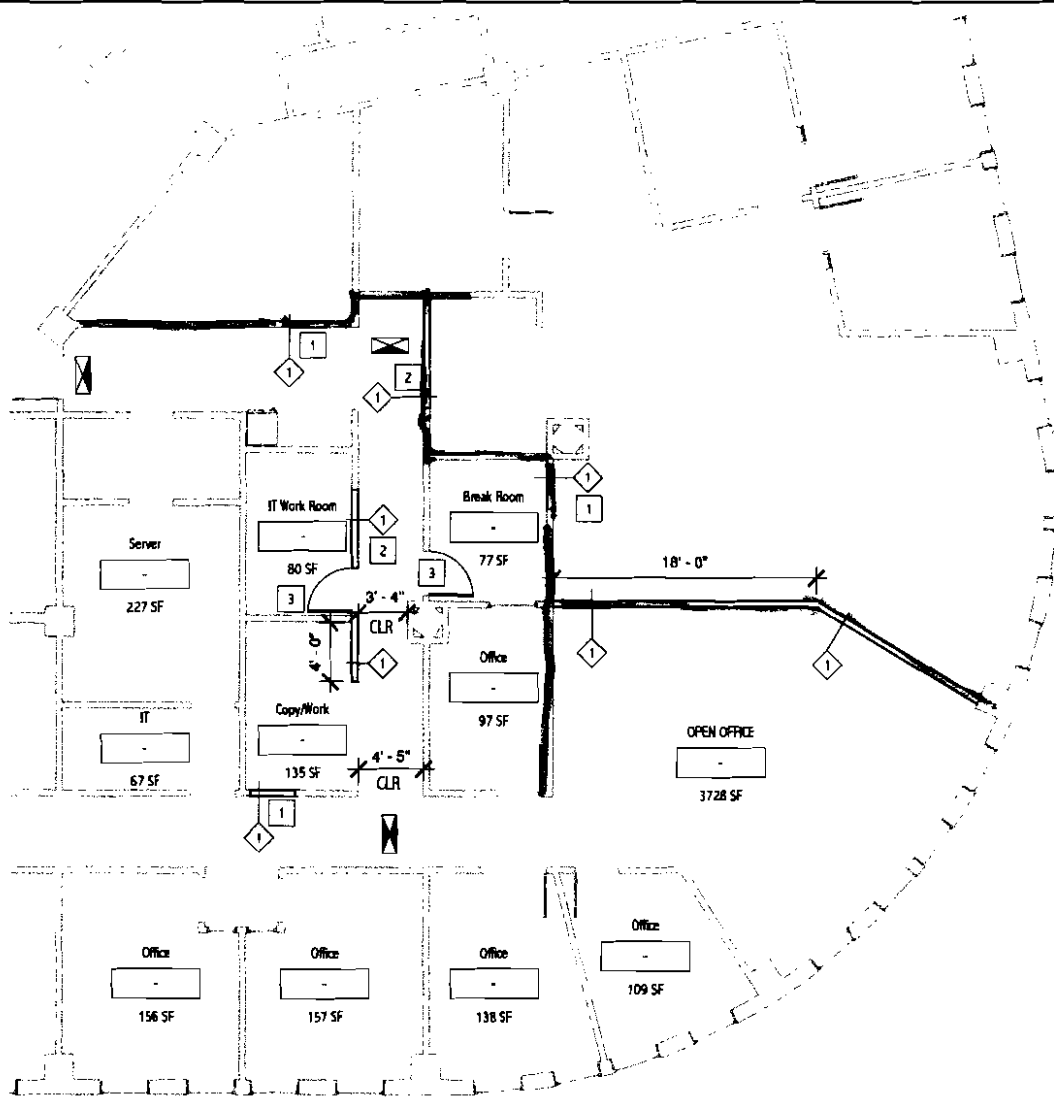
I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED

JUN 15 2010

Signature: <u>Patric Reagan</u>	Date: <u>6/15/10</u>	Dept. of Building Inspections City of Portland Maine
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This is not a permit; you may not commence ANY work until the permit is issue



**1 FIFTH FLOOR PARTIAL FLOOR PLAN**  
 1/8" = 1'-0"

**GENERAL NOTES:**

- 1. SEE A-001 FOR PROJECT GENERAL NOTES AND ABBREVIATIONS.
- 2. COORDINATE WALL FINISHES TO MATCH EXISTING AT NEW GWB PARTITIONS. PATCH AND REPAIR DAMAGE TO EXISTING FINISHES AND ASSEMBLIES TO REMAIN.

**LEGEND:**

- TWO-WAY EXIT LIGHT REQUIRED
- ONE-WAY EXIT LIGHT REQUIRED

TYPICAL INTERIOR WALL ASSEMBLY; FULL BATT INSULATION, 3-5/8" METAL STUDS AT 16" O.C., (1) LAYER 5/8" GWB BOTH SIDES. TO MATCH EXISTING. SEE DETAIL BELOW. *3/16" to 5/16"*

- 1** INFILL PARTITION TYPE REFERENCED TO THE EXTENT OF REMOVED DOOR AND FRAME. ALIGN FACE OF GWB WITH FACE OF EXISTING GWB.
- 2** NEW GWB PARTITION TO THE EXTENT DESCRIBED.
- 3** REUSE EXISTING EXISTING INTERIOR DOOR AND FRAME AS DESCRIBED ON A-100.



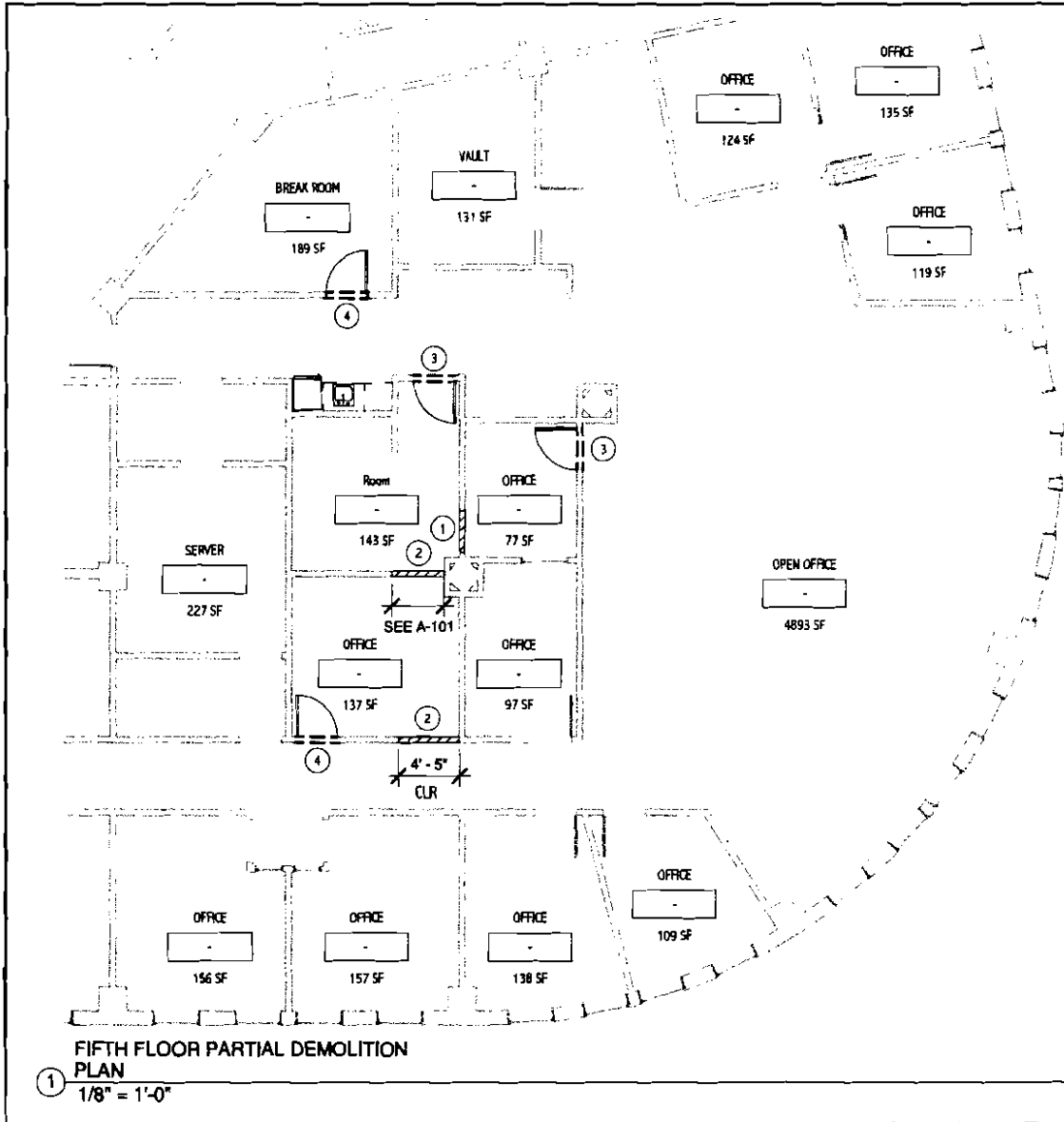
**2 TYPICAL WALL SECTION**  
 1" = 1'-0"

*Existing water wall  
 slabs. 1hr*



PROJECT NORTH

144 Fane Street P.O. Box 618 Portland, Maine 04104 Tel: (207) 772-3446 Fax: (207) 772-1070 www.smriinc.com																													
ARCHITECTURE ENGINEERING PLANNING INTERIOR DESIGN CONSTRUCTION	<b>SMRI</b> HM Payson Renovations One Portland Square, Portland, Maine																												
<b>ISSUED          FOR CONSTRUCTION</b>	CURRENT ISSUE STATUS:																												
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 80%;">DESCRIPTION</th> <th style="width: 20%;">DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table>	DESCRIPTION	DATE													<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 80%;">REV</th> <th style="width: 20%;">DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table>	REV	DATE												
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SCALE: As Indicated PROJECT MANAGER: ILH ICDRAWN BY: JWR A/E OF RECORD: ILH PROJECT NO.: 09088 DATE: 6/04/10 SHEET TITLE: <b>PARTIAL FLOOR          PLAN</b> SHEET No. <b>A-101</b>																													



**GENERAL NOTES:**

- COORDINATE EXTENT OF ALL REMOVALS WITH ASSEMBLIES TO REMAIN.
- PATCH AND REPAIR ALL DAMAGE TO EXISTING ASSEMBLIES AND FINISHES TO REMAIN.
- SEE A-001 FOR PROJECT GENERAL NOTES AND DEFINITION OF ABBREVIATIONS.

**DEMOLITION KEY NOTES:**

- REMOVE EXISTING PARTITION TO THE EXTENT REQUIRED FOR INSTALLATION OF DOOR AND FRAME ASSEMBLY.
- REMOVE EXISTING PARTITION ASSEMBLY TO THE EXTENT DESCRIBED.
- REMOVE DOOR AND FRAME IN ITS ENTIRETY. RETAIN FOR REUSE. CLEAN AND REPAIR AS REQUIRED.
- REMOVE DOOR AND FRAME IN ITS ENTIRETY.



**FIFTH FLOOR PARTIAL DEMOLITION PLAN**  
 ① 1/8" = 1'-0"

144 Fore Street P.O. Box 618  
 Portland, Maine 04104  
 Tel: (207) 772-3846  
 Fax: (207) 772-1070  
 www.smrtinc.com

ARCHITECTURE  
 ENGINEERING  
 PLANNING  
 INTERIOR DESIGN  
 COMMISSIONING

**SMRTI**  
 HM Payson Renovations

One Portland Square, Portland, Maine

ISSUED FOR CONSTRUCTION	DATE

CURRENT ISSUE STATUS:

DESCRIPTION	REV	DATE

SCALE: 1/8" = 1'-0"

PROJECT MANAGER: JLH

IC/DRAWN BY: JMR

A/E OF RECORD: JLH

PROJECT NO: 09088

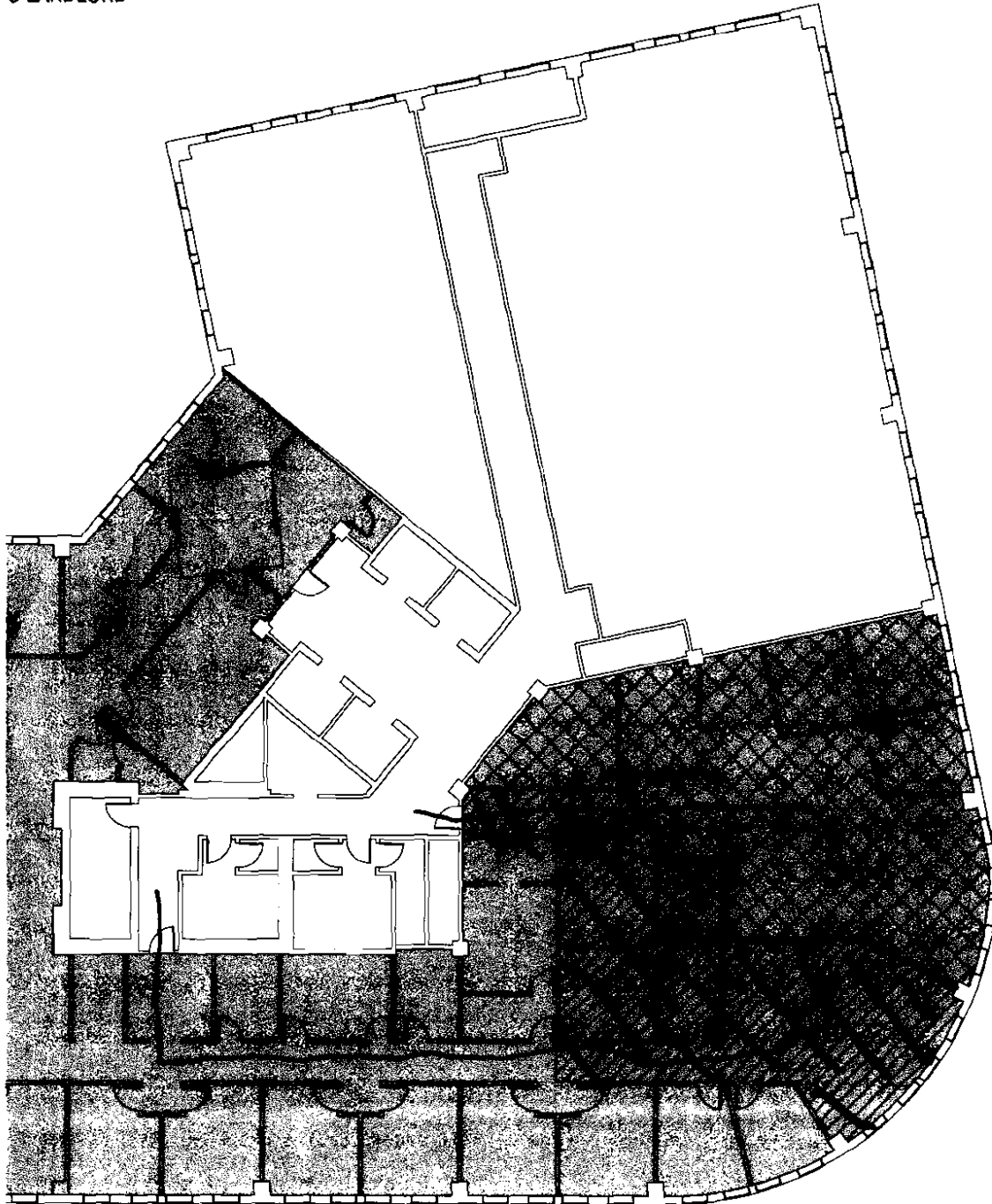
DATE: 6/04/10

SHEET TITLE:  
**DEMOLITION PLAN**

SHEET No. **A-100**

O LANDLORD

- A-001 COVER SHEET
- A-100 FIFTH FLOOR PARTIAL DEMOLITION PLAN
- A-101 FIFTH FLOOR PARTIAL FLOOR PLAN



### GENERAL NOTES:

1. FIELD VERIFY ALL DIMENSIONS AND LAYOUT PRIOR TO PROCEEDING WITH WORK. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR INCONSISTANCIES.
2. CONTRACTOR TO CONFIRM WALL RATINGS.

### ABBREVIATIONS:

CLR	CLEAR
DEMO	DEMOLITION
EXIST	EXISTING
MIN	MINIMUM
PT	PAINTED
OC	ON CENTER
VIF	VERIFY IN FIELD

