

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION

PERMIT

Permit Number: 080890

This is to certify that OLD PORT HOLDING COMPANY C MARGARITAS MANAGEMENT

has permission to Interior Alterations to include replacing kitchen floor, installing New Fire Door.

AT 11 BROWN ST 037 1007001

PERMIT ISSUED
11 1 1 08
CITY OF PORTLAND

provided that the person or persons who perform or supervise the work accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procedure is complete this building or part thereof is closed or services closed-in. 4 HOUR NOTIFICATION REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

James Bonke
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0890	Issue Date:	CBL: 037 I007001
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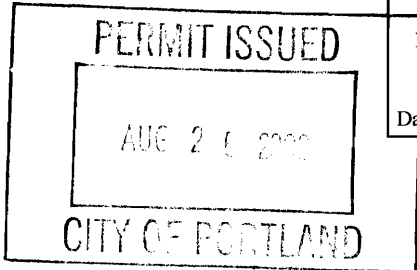
Location of Construction: 11 BROWN ST	Owner Name: OLD PORT HOLDING CO LLC M	Owner Address: 200 GRIFFIN RD STE 1	Phone: 207-774-9398
Business Name:	Contractor Name: Margaritas Management Group	Contractor Address: 200 Griffin Park, Suite 1 Portsmouth	Phone: 6034308105
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Commercial Restaurant/Margaritas	Proposed Use: Commercial Restaurant/Margaritas - Interior Alterations to include Replacing Kitchen Floor, Installing New Fire Door.	Permit Fee: \$470.00	Cost of Work: \$45,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>No Details for Door.</i>	INSPECTION: Use Group: <i>A-2</i> Type: <i>IBC-2003</i>	

Proposed Project Description: Interior Alterations to include Replacing Kitchen Floor, Installing New Fire Door.	Signature: <i>Greg Cross</i>	Signature: <i>JMB 8/26/08</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: lmd	Date Applied For: 07/21/2008	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>OK 7/23/09</i>	Date:	



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

X Underground electrical or plumbing inspection prior to pouring concrete


X Final inspection required at completion of work.

*of close in prior to
Insulation & sheetrock*

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

4/26/08

Date



Signature of Inspections Official

8/26/88

Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0890	Date Applied For: 07/21/2008	CBL: 037 I007001
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Location of Construction: 11 BROWN ST	Owner Name: OLD PORT HOLDING CO LLC M	Owner Address: 200 GRIFFIN RD STE 1	Phone: 207-774-9398
Business Name:	Contractor Name: Margaritas Management Group	Contractor Address: 200 Griffin Park, Suite 1 Portsmouth	Phone (603) 430-8105
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial Restaurant/Margaritas - Interior Alterations to include Replacing Kitchen Floor, Installing New Fire Door.	Proposed Project Description: Interior Alterations to include Replacing Kitchen Floor, Installing New Fire Door.
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Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 07/23/2008	Note:	Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 08/26/2008	Note: 1) Approval of license is subject to health inspections per the Food Code. 2) New restaurant, lounge or bar must meet the requirements of the City and State Food Codes 3) Equipment must be installed in compliance with the manufacturer's specifications 4) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.	Ok to Issue: <input checked="" type="checkbox"/>
Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Greg Cass	Approval Date: 07/24/2008	Note: 1) No details provided for fire door installation. Install shall comply with NFPA 101	Ok to Issue: <input checked="" type="checkbox"/>

Comments: 8/26/2008-jmb: Spoke with Tiger H. For details, missing legend for kitchen equipment, fire door and plumbing drain detail, he submitted, also got pdfs
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General Building Permit Application

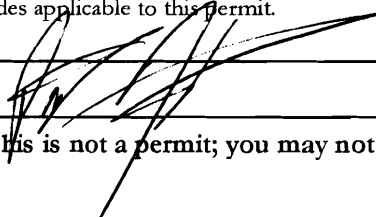
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>11 Brown St</u>		
Total Square Footage of Proposed Structure/Area <u>1400 Sq Ft</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * must be owner, Lessee or Buyer * Name <u>Peter Hartman</u> Address <u>70 Champlin Ridge</u> City, State & Zip <u>Rochester NH 03867</u>	Telephone: <u>603-829-2011</u> <u>207-774-9398</u>
Lessee/DBA (If Applicable) <u>JUL 21 2008</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>45,000⁰⁰</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>replacing kitchen floor and moving some equipment - (Doesn't need permit)</u> <u>installing new fire door per fire dept.</u>		
Contractor's name: <u>Margaritas</u>		
Address: <u>200 Griffen Griffen park</u>		
City, State & Zip <u>Portsmouth</u>		Telephone: <u>603-829-2011</u>
Who should we contact when the permit is ready: <u>Tiger Hartman</u>		Telephone: _____
Mailing address: <u>Phartman@margs.com</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 	Date: _____
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This is not a permit; you may not commence ANY work until the permit is issue

Scale:

1/4" = 1 Foot

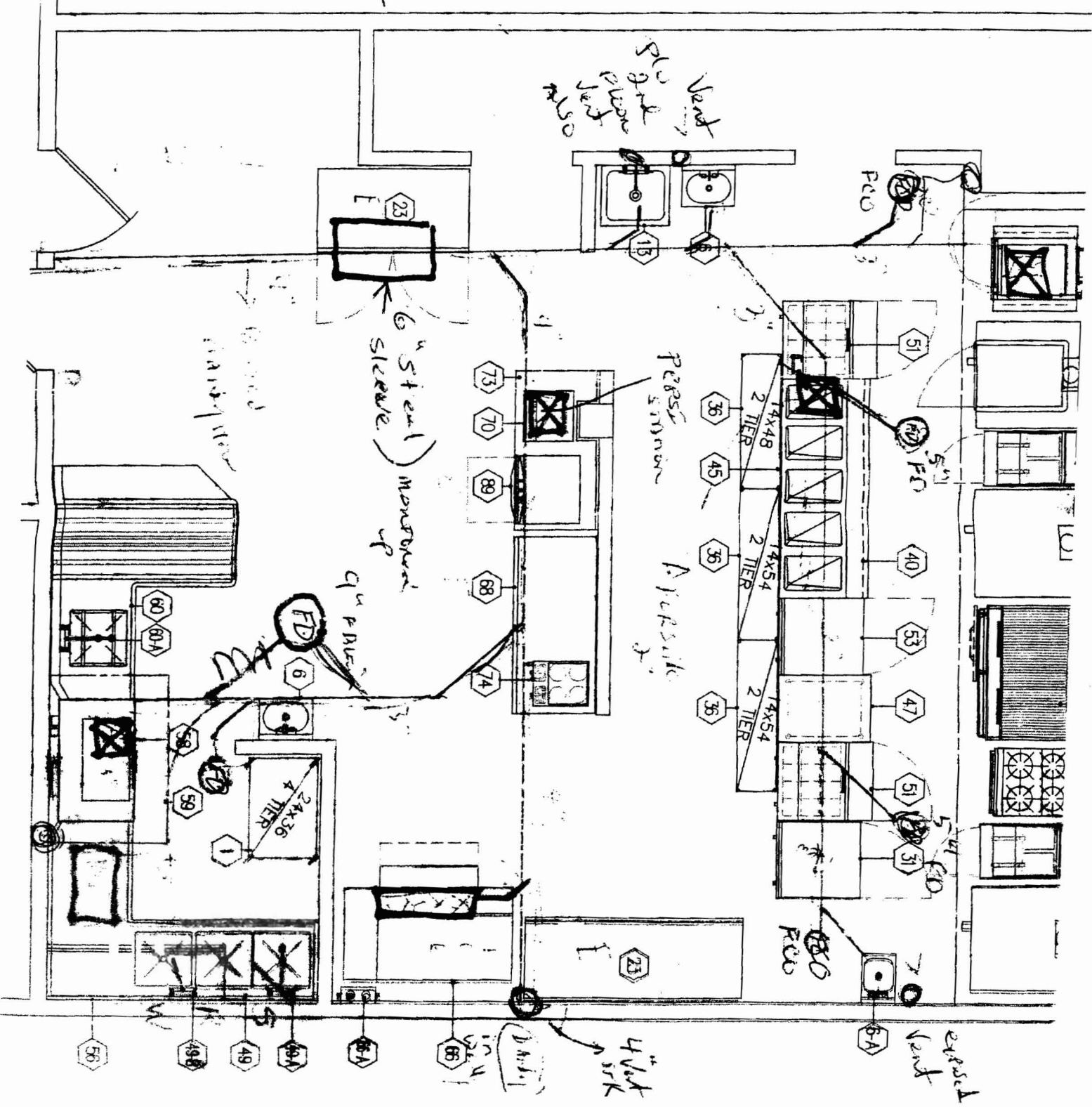
Can we get one immediate Berried item machine
From dish line?
at least 2.

#49, #49B & 60A
Need to go with
Bif d'oper - #350

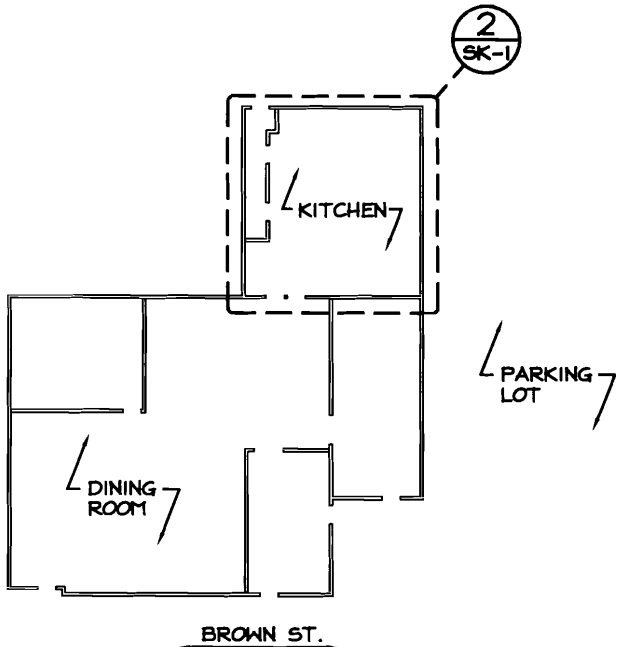
-TRAP REMOVAL will
be full horn dish
HAND sink Feit
Bath dish area FDS

TRAP REMOVAL CAN BE
Feed from either
Hinks side return
Cork line or mag
sink area.

floor sink
with trap primer

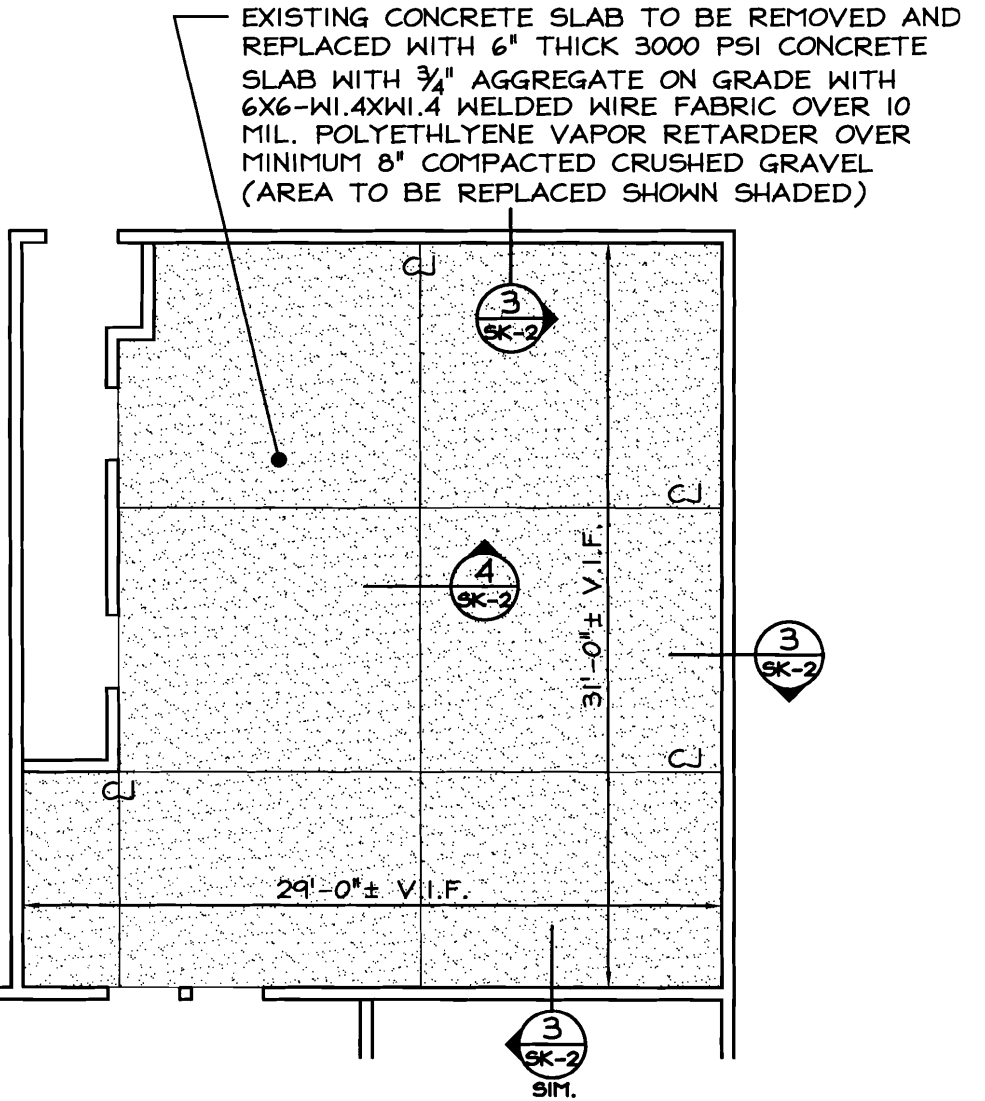
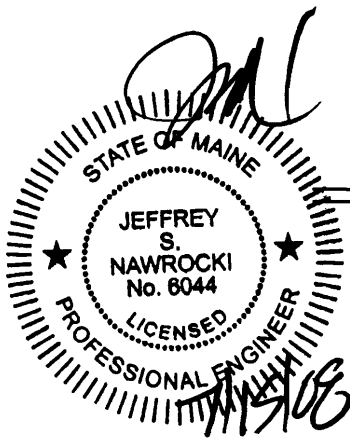


PDF ✓



1 KEY PLAN
SK-1 Scale: 1/32" = 1'-0"

SEE NOTES ON SK-2.



2 KITCHEN FLOOR PLAN
SK-1 Scale: 1/8" = 1'-0"

Project No.: 080613

Drawn By:	SED
Date:	7/15/08
Scale:	As Noted

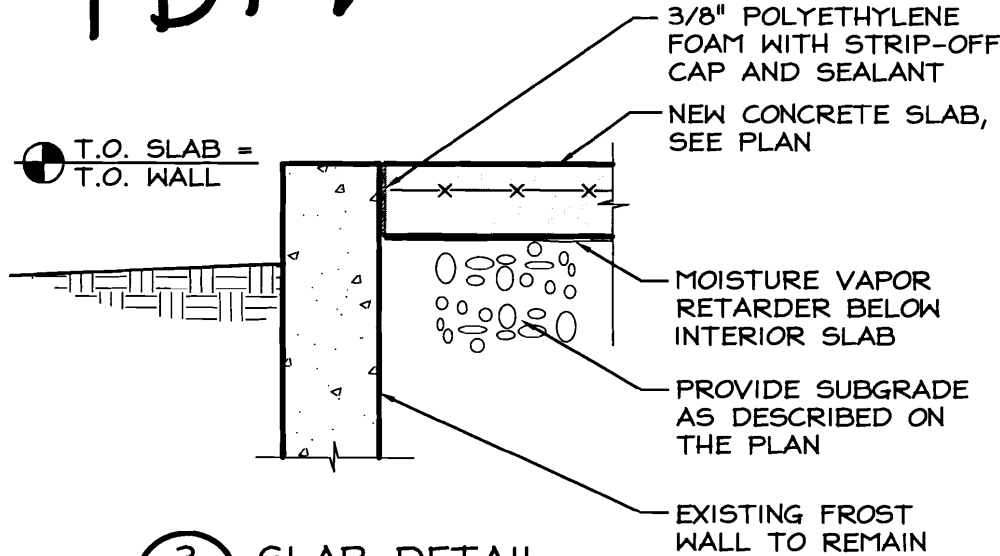
SK-01

JSN
Associates, Inc.
Consulting Structural Engineers

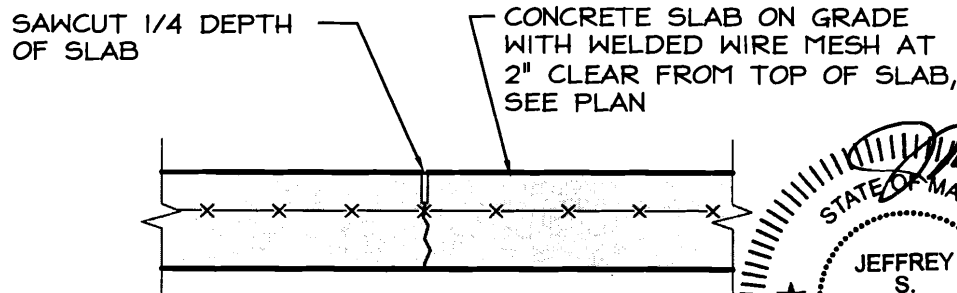
One Autumn Street
Portsmouth, NH 03801
(603) 433 - 8639
Fax: (603) 431 - 2811
www.jsneng.com

Tio Juan's
Margaritas
11 Brown Street
Portland, ME

PDFV



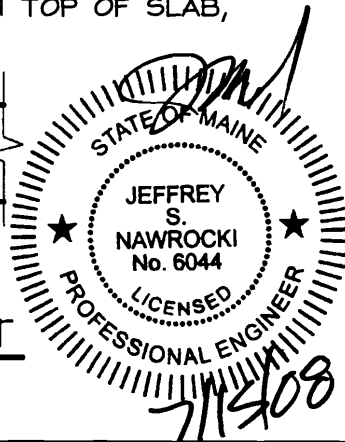
3 SLAB DETAIL
SK-2 Scale: 3/4" = 1'-0"



4 SLAB CONTROL JOINT
SK-2 Scale: NOT TO SCALE

NOTES:

1. GENERAL CONTRACTOR SHALL COORDINATE UNDERSLAB UTILITIES AND FLOOR DRAIN LOCATIONS.
2. FOUNDATION CONTRACTOR SHALL FINISH TOP OF SLAB SMOOTH AND SLOPED TO DRAINS AS REQUIRED.
3. REMOVE EXISTING CONCRETE SLAB AND ALL ORGANIC MATERIAL OR SOIL UNDER SLAB THAT APPEARS TO BE UNSUITABLE PRIOR TO PREPARING THE NEW SLAB SUBGRADE.
4. WELDED WIRE FABRIC REINFORCEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM A185. USE FLAT SHEETS ONLY.
5. SLAB CONTROL JOINTS SHALL BE SAW CUT IMMEDIATELY AFTER FINISHING. JOINTS SHALL BE AT MINIMUM 1/4 OF THE THICKNESS OF THE SLAB.
6. MAXIMUM WATER TO CEMENT RATIO SHALL BE 0.5 FOR 3000 PSI CONCRETE MIX WITH MID-RANGE WATER REDUCERS (MRWR). MINIMUM CEMENT QUANTITIES SHALL BE 517 LB./YD FOR 3000 PSI CONCRETE. MAXIMUM SLUMP SHALL BE 6" WITH MRWR. MRWR MUST BE USED IN CONCRETE MIX. DO NOT USE AIR-ENTRAINING ADMIXTURES IN CONCRETE FOR USE IN INTERIOR SLABS ON GRADE. AIR CONTENT OF TROWELED FINISH FLOORS NOT TO EXCEED 3 PERCENT.



Project No.: 080613

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Tio Juan's
Margaritas

11 Brown Street
Portland, ME

Drawn By:	SED
Date:	7/15/08
Scale:	As Noted

SK-02