

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION PERMIT

Permit Number: 080890

Please Read Application And Notes, If Any, Attached

This is to certify that OLD PORT HOLDING COMPANY MARGARITAS MANAGEMENT

has permission to Interior Alterations to include Replacing Kitchen Floor, Installing New Fire Door.

AT 11 BROWN ST

CBL 037 1007001

PERMIT ISSUED  
AUG 26 2008  
CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is locked or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Jeanne Bonbrake* 8/26/08  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

Scanned



**CITY OF PORTLAND, MAINE**  
**Department of Building Inspections**

July 21 20 08

Received from Peter Hartman

Location of Work 11 Brown

Cost of Construction \$ 47000

Permit Fee \$ 45000

Building (IL)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other \_\_\_\_\_

CBL: 037-T-007

Check #: 362

Total Collected \$ 470

**THIS IS NOT A PERMIT**

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

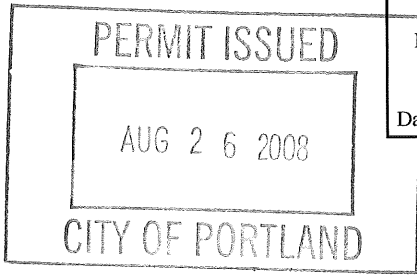
Permit No: 08-0890	Issue Date:	CBL: 037 I007001
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Location of Construction: 11 BROWN ST	Owner Name: OLD PORT HOLDING CO LLC M	Owner Address: 200 GRIFFIN RD STE 1	Phone: 207-774-9398
Business Name:	Contractor Name: Margaritas Management Group	Contractor Address: 200 Griffin Park, Suite 1 Portsmouth	Phone: 6034308105
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Commercial Restaurant/Margaritas	Proposed Use: Commercial Restaurant/Margaritas - Interior Alterations to include Replacing Kitchen Floor, Installing New Fire Door.	Permit Fee: \$470.00	Cost of Work: \$45,000.00	CEO District: 1	
Proposed Project Description: Interior Alterations to include Replacing Kitchen Floor, Installing New Fire Door.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>NO DETAILS FOR DOOR.</i>	INSPECTION: Use Group: <i>A-2</i> Type: <i>IBC-2003</i>		
		Signature: <i>Greg Cross</i>	Signature: <i>JMB 8/26/08</i>		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)					
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied					
Signature: _____ Date: _____					

Permit Taken By: lmd	Date Applied For: 07/23/2008	<b>Zoning Approval</b>		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>OK 7/23/08</i>	Date: _____	



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

     Underground electrical or plumbing inspection prior to pouring concrete


     Final inspection required at completion of work.

*of close in prior to  
Insulation & sheetrock*

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

  
\_\_\_\_\_  
Signature of Applicant/Designee

4/26/08  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature of Inspections Official

8/26/08  
\_\_\_\_\_  
Date

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0890	Date Applied For: 07/21/2008	CBL: 037 I007001
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Location of Construction: 11 BROWN ST	Owner Name: OLD PORT HOLDING CO LLC M	Owner Address: 200 GRIFFIN RD STE 1	Phone: 207-774-9398
Business Name:	Contractor Name: Margaritas Management Group	Contractor Address: 200 Griffin Park, Suite 1 Portsmouth	Phone (603) 430-8105
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial Restaurant/Margaritas - Interior Alterations to include Replacing Kitchen Floor, Installing New Fire Door.	Proposed Project Description: Interior Alterations to include Replacing Kitchen Floor, Installing New Fire Door.
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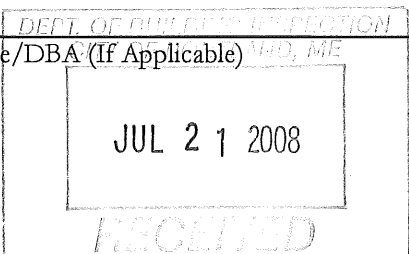
<b>Dept:</b> Zoning	<b>Status:</b> Approved	<b>Reviewer:</b> Marge Schmuckal	<b>Approval Date:</b> 07/23/2008
<b>Note:</b>	<b>Ok to Issue:</b> <input checked="" type="checkbox"/>		
<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Jeanine Bourke	<b>Approval Date:</b> 08/26/2008
<b>Note:</b>	<b>Ok to Issue:</b> <input checked="" type="checkbox"/>		
1) Approval of license is subject to health inspections per the Food Code.			
2) New restaurant, lounge or bar must meet the requirements of the City and State Food Codes			
3) Equipment must be installed in compliance with the manufacturer's specifications			
4) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.			
<b>Dept:</b> Fire	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Capt Greg Cass	<b>Approval Date:</b> 07/24/2008
<b>Note:</b>	<b>Ok to Issue:</b> <input checked="" type="checkbox"/>		
1) No details provided for fire door installation. Install shall comply with NFPA 101			

<b>Comments:</b> 8/26/2008-jmb: Spoke with Tiger H. For details, missing legend for kitchen equipment, fire door and plumbing drain detail, he submitted, also got pdfs
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# General Building Permit Application

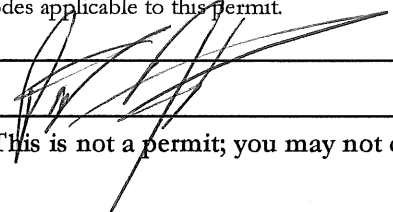
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>11 Brown St</u>		
Total Square Footage of Proposed Structure/Area <u>1400 Sq Ft</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#	Applicant * <b>must be owner, Lessee or Buyer</b> * Name <u>Peter Hartman</u> Address <u>70 Champlin Ridge</u> City, State & Zip <u>Rochester NH 03867</u>	Telephone: <u>603-828-2011</u> <u>207-774-9398</u>
	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>45,000<sup>00</sup></u> C of O Fee: \$ _____ Total Fee: \$ _____
	Lessee/DBA (If Applicable) _____ Current legal use (i.e. single family) _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>replacing kitchen floor and moving some equipment (dont need permit)</u> <u>installing new fire door per fire dept.</u>	
Contractor's name: <u>Margaritas</u>		
Address: <u>200 <del>Griffen</del> Griffen park</u>		
City, State & Zip: <u>Portsmouth</u>		Telephone: <u>603-828-2011</u>
Who should we contact when the permit is ready: <u>Tiger Hartman</u>		Telephone: _____
Mailing address: <u>Phartman@margs.com</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 	Date:
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**This is not a permit; you may not commence ANY work until the permit is issue**

Scale:


1/4" = 1 Foot

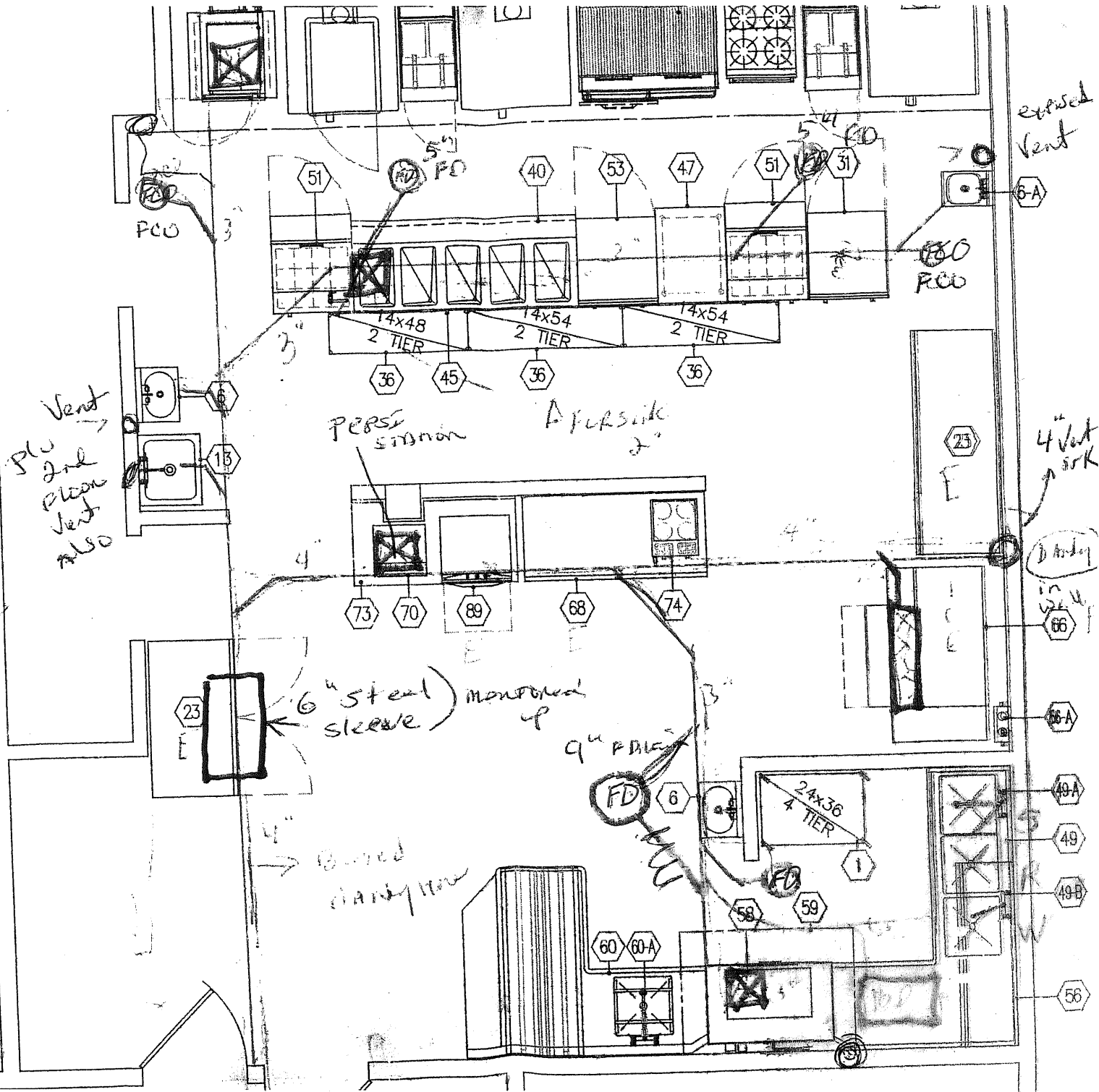
CAN we get one  
more vent Behind  
the machine  
from dish line?  
at least 2"

#49, #49B + 60A  
Need to go into  
Big dipper - #350

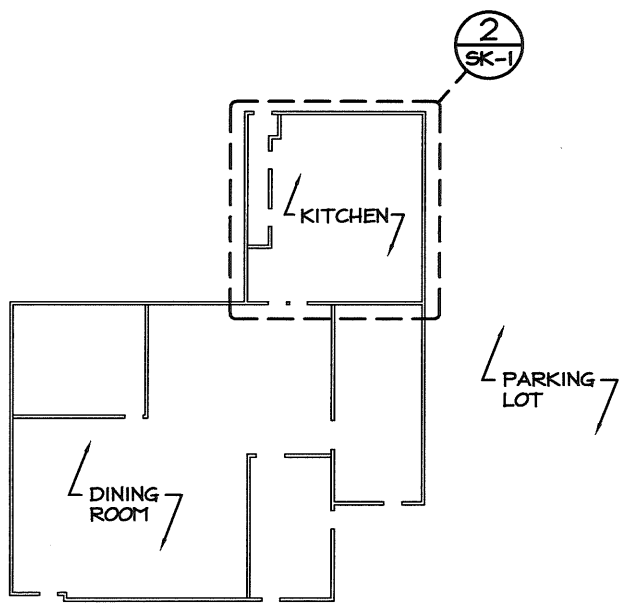
-TRAP Primers will  
be fed from dish  
HAND SINK FOR  
BOTH DISHWASHER FDS

TRAP PRIMERS CAN BE  
Fed from either  
HANDSINK near  
Cook line or mop  
sink area.

 floor sink  
with trap primer



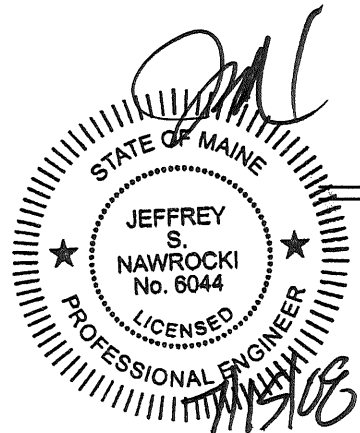
PDF ✓



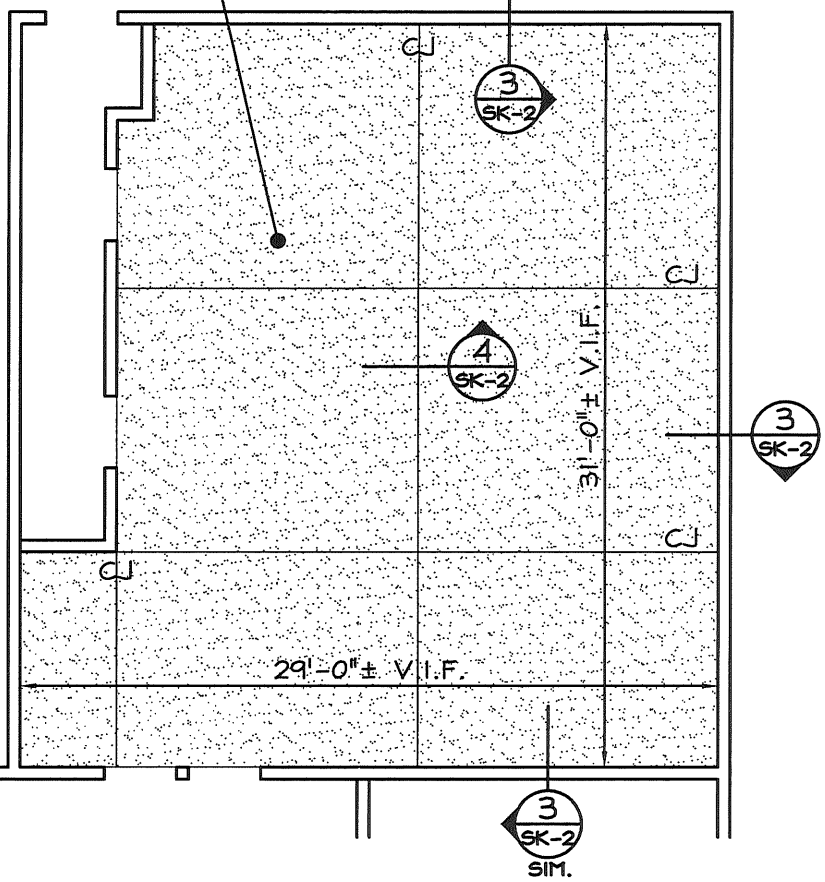
BROWN ST.

1 KEY PLAN  
SK-1 Scale: 1/32" = 1'-0"

SEE NOTES ON SK-2.



EXISTING CONCRETE SLAB TO BE REMOVED AND REPLACED WITH 6" THICK 3000 PSI CONCRETE SLAB WITH 3/4" AGGREGATE ON GRADE WITH 6X6-WI.4XWI.4 WELDED WIRE FABRIC OVER 10 MIL. POLYETHYLENE VAPOR RETARDER OVER MINIMUM 8" COMPACTED CRUSHED GRAVEL (AREA TO BE REPLACED SHOWN SHADED)



2 KITCHEN FLOOR PLAN  
SK-1 Scale: 1/8" = 1'-0"

Project No.: 080613



One Autumn Street  
Portsmouth, NH 03801  
(603) 433-8639  
Fax: (603) 431-2811  
www.jsneng.com

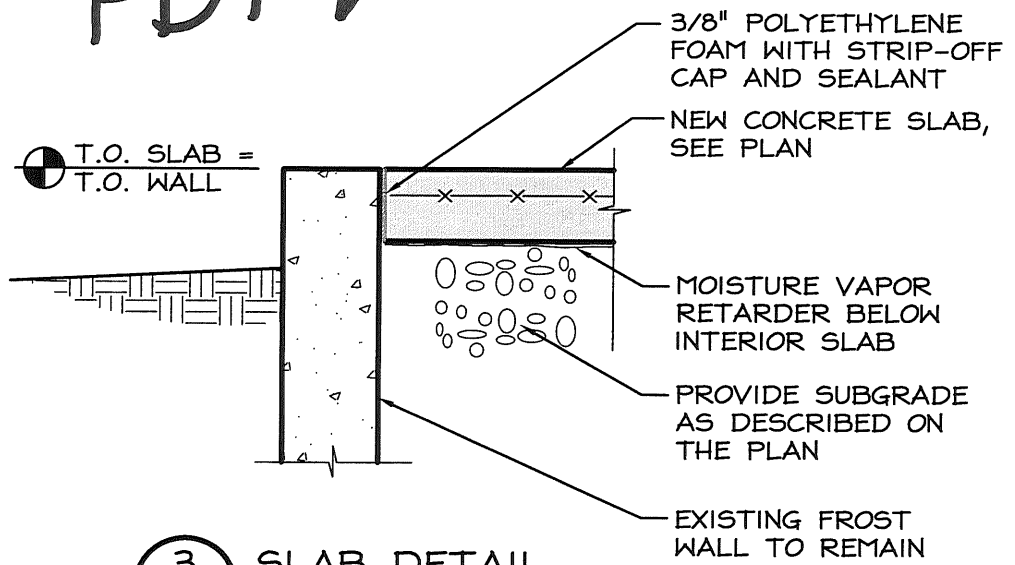
Tío Juan's  
**Margaritas**  
11 Brown Street  
Portland, ME

Drawn By:	SED
Date:	7/15/08
Scale:	As Noted

SK-01

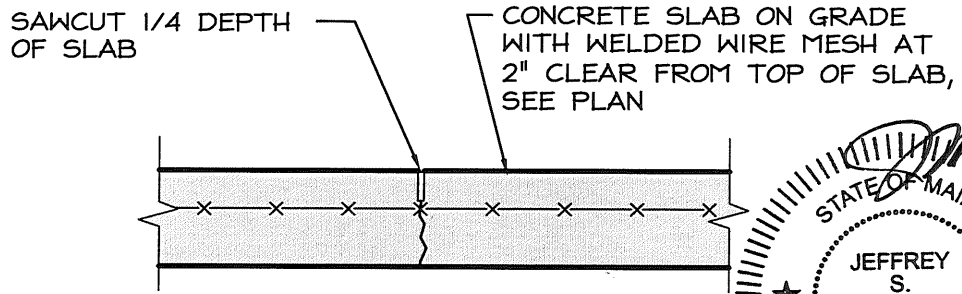


PDFV



**3** SLAB DETAIL

SK-2 Scale: 3/4" = 1'-0"

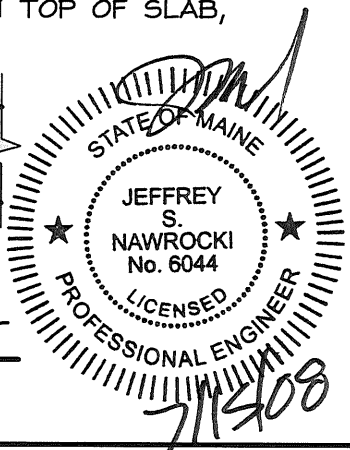


**4** SLAB CONTROL JOINT

SK-2 Scale: NOT TO SCALE

NOTES:

1. GENERAL CONTRACTOR SHALL COORDINATE UNDERSLAB UTILITIES AND FLOOR DRAIN LOCATIONS.
2. FOUNDATION CONTRACTOR SHALL FINISH TOP OF SLAB SMOOTH AND SLOPED TO DRAINS AS REQUIRED.
3. REMOVE EXISTING CONCRETE SLAB AND ALL ORGANIC MATERIAL OR SOIL UNDER SLAB THAT APPEARS TO BE UNSUITABLE PRIOR TO PREPARING THE NEW SLAB SUBGRADE.
4. WELDED WIRE FABRIC REINFORCEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM A185. USE FLAT SHEETS ONLY.
5. SLAB CONTROL JOINTS SHALL BE SAW CUT IMMEDIATELY AFTER FINISHING. JOINTS SHALL BE AT MINIMUM 1/4 OF THE THICKNESS OF THE SLAB.
6. MAXIMUM WATER TO CEMENT RATIO SHALL BE 0.5 FOR 3000 PSI CONCRETE MIX WITH MID-RANGE WATER REDUCERS (MRWR). MINIMUM CEMENT QUANTITIES SHALL BE 517 LB./YD FOR 3000 PSI CONCRETE. MAXIMUM SLUMP SHALL BE 6" WITH MRWR. MRWR MUST BE USED IN CONCRETE MIX. DO NOT USE AIR-ENTRAINING ADMIXTURES IN CONCRETE FOR USE IN INTERIOR SLABS ON GRADE. AIR CONTENT OF TROWELED FINISH FLOORS NOT TO EXCEED 3 PERCENT.



Project No.: 080613



One Autumn Street  
 Portsmouth, NH 03801  
 (603) 433-8639  
 Fax: (603) 431-2811  
 www.jsneng.com

Tio Juan's  
**Margaritas**  
 11 Brown Street  
 Portland, ME

Drawn By:	SED
Date:	7/15/08
Scale:	As Noted

**SK-02**