

492 Congress St. 11/9/50

Top & bottom bolts
have been removed from right
hand front entrance doors &
one of them now has a
nesting lock which
gives it the required
front entrance width

E. L. S.

AP 492 Congress Street-I

May 12, 1950

Lerner Shops of Maine, Inc.
c/o Mr. Edward Mackay
Portland Hotel
147 High Street
Portland, Maine

Copies to:

Lerner Shops, 354 Fourth Avenue, New York, N. Y.
Attn: Mr. Lewis, architect
Sylvia Steinberg, c/o Mr. Abraham Kaplan
28 Pasadena Road, Roxbury, Massachusetts

Gentlemen:

After conference with Mr. Lewis, company architect, the permit for alteration to the building at 492 Congress Street is issued herewith on the basis that the details covered by the first seven paragraphs of our letter of May 9, 1950 will be taken care of as outlined therein. As soon as the existing belt sign has been removed from the face of the building so that existing conditions can be determined, details as to the fastening of the sign facing to the building are to be worked out and submitted for approval. In any case no woodwork is to be used in the fastening of the sign to the building. In the meantime we will have the street line located so that the exact conditions relating to any possible projection over the public sidewalk may be determined.

If during the course of construction it is found desirable to make changes from arrangements shown on the plans filed with the application, particularly if they relate to the front entrance or involve any means of egress, revised plans showing such changes are to be filed together with an application for an amendment to this permit for checking and approval before work on those details is started.

Very truly yours,

Harren McDonald
Inspector of Buildings

AMS/3

25 Congress Street-1

May 9, 1950

Farmer Shops, Inc.
354 Fourth Avenue
New York, New York

Copy to: Mr. Edward Backof, c/o Eastland Hotel, 157 High Street
Myrlin Steinberg, c/o Mr. Abraham Kaplan
28 Madison Road, Hingham, Massachusetts

Gentlemen:

Attn: Mr. Lewis, architect

A check of the plan filed with the application for the permit for alterations to the store at 492 Congress Street, this City, and an inspection of the building discloses the following matters which must be taken care of as listed below in order to provide compliance with Building Code requirements:

will do
1. There are dead bolts which operate only with a key in the exit door in the rear wall of the building and in the three doors involved in the exits from the Brown Street wing of the building, all in the first story. This is contrary to Building Code requirements and it is necessary to have hardware on these doors so that they may be opened from the inside at any time, even though locked against entrance from the outside, by simply turning the usual knob or by pressure on the ordinary thumb latch.

will do
2. The two new entrance doors in the Congress Street front are likewise required to be equipped with such hardware that they may never be locked against persons leaving the building at any time. Anti-panic hardware the same as on the existing doors will be satisfactory. *and also only N. S.*

will do
3. The self-closing fire door required and once provided on the enclosure of the cellar stairs in the Brown Street wing of the building has been removed. This needs to be replaced and made properly operative. The fire door in second story leading from the enclosed stair tower above these cellar stairs to the store area will not close tightly and needs to be made to operate so that it will close tightly in a self-closing manner.

will do
4. Exit signs in adequate number and location are needed to indicate the exit door in rear wall first story and the manner in which the door to stair tower in Brown Street wing of building may be reached from second story sales space out through the stock room area.

O.K.
5. It is understood that the basement is to be used only for storage and that not more than two persons will be habitually employed there. It is only on this basis that it is allowable to close off the stairs leading from the basement at the front of the building.

O.K.
6. We understand that the sprinkler system is to be extended to cover the space below the lowered ceiling of the new show windows, leaving the existing heads for protection of the concealed space between ceiling and floor framing above, and also the space where the front basement stairway is to be floored over and beneath an existing balcony in the first story.

O.K.
7. It is understood that you plan to use only the first and second stories of the building and that the upper stories at the rear of the building will remain vacant. Use of this space above the second story has been forbidden for sales purposes until adequate exit facilities have been provided from the upper stories.

8. As Mr. Backof has been informed, we are unable to issue a permit for fastening of the Zorite facing material to the store front as indicated on the plans. The

Lerner Shops, Inc. _____ 2

May 9, 1950

use of wood in this connection is not allowable and any projection of such facing beyond that already on the building is extremely questionable. Details need to be worked out to indicate how this matter is to be taken care of and submitted for checking.

We shall be unable to issue the permit for the alterations until assurances have been given in writing that all of the above details will be provided in compliance with Building Code requirements as indicated.

Very truly yours,

Warren McDonald
Inspector of Buildings

ASS/G

AP 492 Congress Street-1
(Filene's Store)

August 19, 1943

Mr. J. H. Kennedy
105 Preble Street
Filene's
492 Congress Street

Subject: Building permit for altering front entrance and vestibule doors of Filene's store at 492 Congress Street

Gentlemen:

After talking with Mr. Kennedy about this proposal, it appears that the vestibule doors as well as the exterior entrance doors are to be changed, and the building permit is issued subject to the following:

Since the gross width of entrance for purposes of egress will be less than the present width, the Building Code requires that the hardware on the doors be made to comply with the present requirements for doors in a means of egress.

On this basis since each door is only 30" wide, the standing door of the exterior pair requires anti-panic bolts with bar clear across the door while the working door requires a vestibule latch set which is of a type whereby any person on the inside can always open the door quickly without special knowledge, merely by turning the usual knob or pressing on the usual thumb lever. This type of latch set comes with a special safety device so that the lock cannot be "picked" easily from the outside which would otherwise be the case--this for security purposes.

If the vestibule doors are to have any latches or locks at all, the hardware on them is required to be the same as on the exterior doors.

If each door of these two pairs were made no less than 3' wide, the usual top and bottom bolts without anti-panic bar would be allowable on the standing door, but the vestibule latch set would still be necessary on the working doors.

Very truly yours,

Inspector of Buildings

WMS/S



(G) GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class
Portland, Maine, August 12, 1949

PERMIT ISSUED
01474

AUG 18 1949

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish or move the following building structure or equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 492 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's name and address _____ Telephone _____
Lessee's name and address Filene's, 492 Congress Street Telephone _____
Contractor's name and address J. H. Kennedy, 2 105 Preble Street Telephone 3-5633
Architect _____ Specifications _____ Plans none No. of sheets _____
Proposed use of building Store No. families _____
Last use 2" No. families _____
Material brick No. stories 4 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____ Fee \$ 2.00
Estimated cost \$ 400

General Description of New Work

To remove existing heavy bronze entrance doors and replace with 2-2' 6" x 7' doors, wood swinging outward.

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO J. H. Kennedy

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
Mo. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

Filene's

Signature of owner

J. H. Kennedy

INSPECTION COPY

NOTES

~~9/15/44. 1111 West 1st St. S.W.
 9/15/44. 1111 West 1st St. S.W.
 fasteners, missing outer outside
 door along with both have anti-
 panic hardware, etc.~~

Permit No. 48/1474
 Location 1111 West 1st St. S.W.
 Owner The Citizens
 Date of permit 8/19/48
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn. 9/15/48
 Cert. of Occupancy issued



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

PERMIT ISSUED
00439

APR 8 1948

Portland, Maine, April 8, 1948

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 492 Congress St. Use of Building Store No. Stories 1 New Building Existing
Name and address of owner of appliance Pepper's Store (Mr. Folger)
Installer's name and address Fauld Farmer Co 70 Franklin St. 3818

General Description of Work

To install Two 275 gallon oil tanks
in boiler room

IF HEATER, OR POWER BOILER

Location of appliance or source of heat _____ Type of floor beneath appliance _____
If wood, how protected? _____ Kind of fuel _____
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace _____
From top of smoke pipe _____ From front of appliance _____ From sides or back of appliance _____
Size of chimney flue _____ Other connections to same flue _____
If gas fired, how vented? _____ Rated maximum demand per hour _____

IF OIL BURNER

Name and type of burner _____ Labelled by underwriter's laboratories? _____
Will operator be always in attendance? _____ Does oil supply line feed from top or bottom of tank? top
Type of floor beneath burner _____
Location of oil storage boiler room Number and capacity of tanks 2 - 275 gal
If two 275-gallon tanks, will three-way valve be provided? yes
Will all tanks be more than five feet from any flame? yes How many tanks fire protected? none
Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance _____ Kind of fuel _____ Type of floor beneath appliance _____
If wood, how protected? _____
Minimum distance to wood or combustible material from top of appliance _____
From front of appliance _____ From sides and back _____ From top of smokepipe _____
Size of chimney flue _____ Other connections to same flue _____
Is hood to be provided? _____ If so, how vented? _____
If gas fired, how vented? _____ Rated maximum demand per hour _____

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Tanks are now located outside boiler room.

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:
W.H. 4-7-48

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

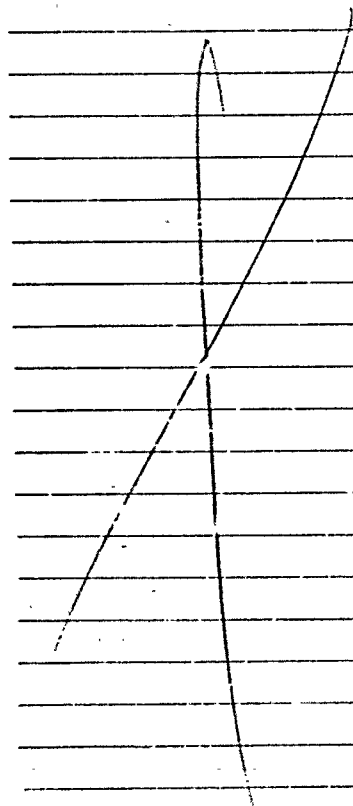
FILE COPY

Signature of Installer

Fauld Farmer Co
by P.T. Allen

Permit No. 48/ 439
Location 492 Congress St.
Owner Wm. Talbot & Sons
Date of permit 4/ 8 /48.
Approved 5-13-48 / P.H.E.

NOTES





PERMIT ISSUED
Original Permit No. 12/1922
Amendment No. DEC 4 1942

AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, December 4, 1942

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 12/1922 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 187-191 Congress Street Within Fire Limits? Yes Dist. No. 1
Owner's or Lessee's name and address A. Kaplan, 28 Passaic Road, Boston
Contractor's name and address Joseph L. Lombard, 497 Fore St. 3-7146
Plans filed as part of this Amendment yes No. of Sheets 1
Is any plumbing work involved in this work? yes Is any electrical work involved in this work? yes
Increased cost of work 200. Additional fee 24.
Framing Lumber: Kind? Dressed or Full Size?

Description of Proposed Work

To make automatic sprinkler system in basement as per plan submitted

INSTRUCTION NOT COMPLETED

Approved: William T. Farnham

Chief of Fire Department

Commissioner of Public Works

INSPECTION COPY

By A. Kaplan
Signature of Owner Joseph L. Lombard

Approved: 12/4/42 - [Signature]

Inspector of Buildings

*Under
with application
9/12/42*

Wm. Filene's Sons Company
Washington, Summer, Hawley, Franklin Streets
Boston

September 11, 1942

Mr. Warren McDonald
Inspector of Buildings
City Hall
Portland, Me.

RECEIVED

SEP 12 1942

DEPT. OF B.D.G. M&P,
CITY OF PORTLAND

Dear Mr. McDonald:

We are in receipt of a copy of your letter of September 9th to Mr. Kaplan, relative to your requirements in making alterations to our Basement. It is unfortunate that Mr. Kaplan filed the preliminary plans which we made, as they were incomplete, and were made only as a general study. However, we are mailing under separate cover, two sets showing the completed changes, with a detail sheet showing stairs, exits, door swings, etc. We wish to substitute these drawings for those filed by Mr. Kaplan.

Please be assured that we shall insist that all legal requirements be completed as outlined in your letter. We think that you will find that your requirements have been incorporated in the new set of drawings.

Very truly yours

Wm. Filene's Sons Company

by *J. E. Holmes*
J. E. Holmes
Architect

JEH/K

Rept. 2153D-1

September 3, 1942

Mr. A. Kaplan,
80 Pasadena Road,
Boston, Massachusetts

Subject: Building permit to cover altera-
tions in the Wilson Store and the building of
A. Kaplan at 483-494 Congress Street

Dear Sir:

Enclosed is the above building permit.

The following requirements of the Building Code, either ~~are~~ not shown
at all ~~are~~ incorrectly shown on the plans are called to your attention:

1. The partition between receiving room and sales space in the base-
ment is required to be constructed of no less than 2x4 studs set vertically not
more than 18 inches from center to center, since it is to go to the ceiling.
2. If any adjustment of the sprinkler system is necessary on account
of these changes, application for a separate permit should be made and with the
application a plan showing the changes with the stamp of approval of the Insurance
Rating Bureau on the plan, this permit being issuable only to the actual installer.
3. For the means of egress from the new sales space in the basement we
are covering the new stairway in front up to Congress Street, through the new six
foot wide doorway, thence up the existing stairs to Brown Street, through the door at
the foot of the new rear stairs into the receiving room, thence through the entry
and thence by the rear stairs to out of doors; from the sales space under the
Irving Store through the double doors to the receiving room and through the receiving
room into the entry and thence up the rear stairs to out of doors. On this basis
there will have to be passageway through the receiving room at all times to reach
the rear stairs to the outside.
4. The new stairs leading from the front of the basement to Congress
Street are required to have handrails on both sides and no closet is permitted
under these stairs or any other stairs. The door at the top of the stairs leading
to Congress Street is properly shown to swing outwards, but the plan looks as
though when wide open the door would project over the Congress Street sidewalk,
which is not allowable. The doorway and perhaps the entire stairway will have to
be cut back far enough so that the door when wide open will not project beyond the
street line over the public sidewalk. The depth of the landing at the top of these
stairs should be no less than the required width of the stairs, which is three feet.
It scales less than this on the plans.
5. On the basis of these means of egress, the double egress doors in the
basement at the foot of the front stairway, the door at the top of these stairs
leading to Congress Street, the double doors leading from the sales space under the
Irving Store to the receiving room, the single door leading from the main sales
space in the basement to the receiving room, the double doors leading from the
receiving room to the entry, the door at the top of the stairs leading from the
entry to out of doors, the double doors in the new opening in the basement leading
to the stairs up to Brown Street and the present door leading from the stair hall
to Brown Street (this also serves as an exit from the second floor) require such a
type of hardware or lockset that any person on the inside can always pass through
the doorway merely by turning a knob or pressing the usual thumb latch without
requiring any special knowledge, and all other locks, bolts of every description

Mr. A. Kaplan-----2

September 3, 1942

eliminated from these doors.

6. All of the doors indicated in the next above, except the doorway to Congress Street from the new basement stairs, require exit signs over them which may be illuminated or not illuminated. In either case the letters in the word exit are required to be red or green on a light colored background. If the signs are illuminated internally the letters may be four and one-half inches high, but if not illuminated or illuminated externally, the letters are required to be at least six inches high.

7. The new stairs from the rear of the basement are required to have handrails on both sides.

8. Since the original permit to provide for the Filene occupancy was issued in 1937, one or more alterations appear to have been made which, although minor in size, to quite an extent nullify the efforts which were then carefully made to provide adequate means of egress from the first floor sales space. The specifications which you signed at that time in the absence of complete plans, agreed to provide an exit door from the rear of the first story which would serve as an exit. This door was provided, but sometime since a small space between and the sales area has been fitted for clerical work with a counter and gate between it and the sales space. A bolt has been provided on the door and I was unable to open it. An exit sign, as above, should now be provided over the gate leading to the office space and another indicating the direction to take to reach the outside door. The bolt should be removed from the outside door and the lockset returned to its original condition such that any person on the inside could get out by merely pressing the thumb latch.

9. The original specifications agreed to provide an exit sign over the doorway leading from the Brown Street wing of the first story sales space to the exit corridor. I could discover no such sign and one should be provided. Then when the lockset on the exit door to Brown Street (this is the one from the stair hall and not the one from the Brown Street wing of the sales space) has been changed out as indicated above for all of the other exit doors, the original set of exits for the first story will have been restored.

Please acknowledge receipt of this letter in writing and indicate that the contents are understood and will be observed.

Very truly yours,

WCD/H

Inspector of Buildings

CC: J. B. Holmes, Architect
William Filene Sons Co.

Boston, Mass. find that I am in error as to the paragraph No. 9, so that entire paragraph may be ignored.



(G) GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. 1237

Class of Building or Type of Structure

SEP 9 1912

Portland, Maine, September 2, 1912

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure-equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 185-191 Congress Street

Within Fire Limits? yes

Dist. No. 1

Owner's or Lessee's name and address A. Kaplan, 26 Pasadena Road,

Garrison

Contractor's name and address Owner Boston, Mass.

Telephone 0641

Architect Filema's

Telephone

Proposed use of building Store

Plans filed yes No. of sheets 2

Other buildings on same lot

No. families

Estimated cost \$ 2500.

Fee \$ 1.75

Description of Present Building to be Altered

Material brick No. stories 2-3 Heat

Style of roof

Roofing

1st use

Store

No. families

General Description of New Work

To make alterations as per plans to use basement of store for sales space providing new front outside entrance door and stairway to basement; new inside rear stairway, and enlarge door to Brown Street exit - so that it can be used for use with the Irving shoe store, the remainder to be used by Filema

INSPECTION NOT COMPLETED

INSPECTION NOT COMPLETED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? no

Is any electrical work involved in this work? yes

Height average grade to top of plate

Size, front depth No. stories

Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Framing: lumber-Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner A. Kaplan

Signature of contractor F. Kaplan

INSPECTION COPY

Permit No. 42/1023 P

Location 488-494 Congress St.

Owner C. Kaplan

Date of permit 9/9/42

Notif. closing-in

Inspn. closing-in

Final Notif.

Final insp.

Cert. of Occupancy issued

NOTES



APPLICATION FOR PERMIT

PERMIT 155620
Permit No.Class of Building or Type of Structure Second class

JUN 9 1939

Portland, Maine, June 9, 1939

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 485-491 Congress Street Within Fire Limits? yes Dist. No. _____
Owner's or Lessee's name and address Wm. Filena's Sons, 126 Congress Street Telephone _____
Contractor's name and address F. W. Cunningham & Son, 121 State Street Telephone 3-0246
Architect _____ Plans filed yes No. of sheets 1
Proposed use of building Stores No. families _____
Other buildings on same lot _____
Estimated cost \$ 200. Fee \$.75

Description of Present Building to be Altered

Material brick No. stories 2 Heat _____ Style of roof flat Roofing tar and gravel
Last use Stores No. families _____

General Description of New Work

To construct a well in the roof of the two story portion of building and to set on it an enclosed ventilating fan so arranged as to take air from the outside and discharge down through the well into the building. This well is to be built of frame construction with 2x4 walls, is to extend about 2' above the roof, covered with metal inside and out, and is to run down and be supported together with the fan which it will support upon the frame construction below the roof surface which was formerly the third floor of the building. Adequate framing will be designed under true conditions known to support the loads according to Building Code Standards.

CERTIFICATE OF NO OBJECTION
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing Lumber—Kind _____ Dressed or Full Size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

By F. W. Cunningham & SonSignature of owner Philip W. Cunningham

INSPECTION COPY

Permit No. 39/785
Location 488-494 Congress St.
Owner Wm. Filane, Sons Co.
Date of permit 6/9/39
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 1/19/40
Cert. of Occupancy issued None

NOTES

May 27, 1933

William Filene's Sons Co.,
492 Congress Street,
Portland, Maine

Gentlemen:

In connection with the new fire escape on the rear of the building which you occupy at 492-494 Congress Street, an inspector from this office finds that the windows leading to the fire escape from the upper stories have the sash nailed down.

Please condition these sash and fastenings so that they may be opened without fail and quickly from the inside, and maintain them in that condition.

Very truly yours,

WMCD/H

Inspector of Buildings

APPLICATION FOR PERMIT

PERMIT ISSUED
0483

Class of Building or Type of Structure Second Class

APR 29 1939

Portland, Maine, April 24, 1939

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect or alter in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 192-194 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Wm. Filene's Sons Co., Washington St. Boston Telephone Stadium
Crosscup Mass. Telephone 3995
Contractor's name and address Crosscup-Rich Co., 355 Weston Ave. Brighton Mass. Telephone 3995
Plans filed yes No. of sheets 1
Architect _____ No. families _____
Proposed use of building Store
Other buildings on same lot _____
Estimated cost \$ 200. Fee \$.75

Description of Present Building to be Altered

Material brick No. stories 4 Heat _____ Style of roof _____ Roofing _____
Last use _____ stores _____ No. families _____

General Description of New Work

To erect metal fire escape from third floor to ground on rear of building as per plan

NOTIFICATION BEFORE LATHING
OR CLOSING-IN IS WAIVED

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front 110 depth 110 No. stories no Height average grade to top of plate _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing Lumber—Kind _____ Dressed or Full Size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger _____ Bridging in every floor and flat roof
span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, height? _____
If one story building with masonry walls, thickness of walls? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
By Wm. Filene's Sons Co.
By Crosscup-Rich Co.

INSPECTION COPY

CHIEF OF FIRE DEPT.

By

P. H. Crosscup

~~5/27/89 = 15-89 - m
6/2/89 - Winchester, fished
OK. JPC.~~

STATEMENT OF ELEVATOR TESTS

PORTLAND, MAINE, August 23, 1937

I, LeBert E. Colpitts
as an employee of Otis Elevator Company, have personally supervised the
installation of ~~alterations to~~ the elevator, hatchways and enclosures at W. Filene & Sons Company as permitted
under Building Permit 27/1039, and have personally supervised tests of loading capacity and of all brakes, inter-
locking and all other safety devices, and I do here state that, according to my best knowledge and belief, the elevator will
safely carry the maximum rated loading and all brakes, interlocking and other safety devices are in satisfactory condition.

RECEIVED

SEP 1 1937

CUMBERLAND SS: DEPT. OF BLD'G. INSP.
Personally appeared the above named
subscribed and true City of PORTLAND

STATE OF MAINE

PORTLAND, MAINE, Aug. 23/37

(Signature)

LeBert E. Colpitts and made oath the statements by him

Sidney V. Shwartz
Notary Public Justice of the Peace

APPLICANT'S COPY



GENERAL BUSINESS ZONE

Permit No. 1039 ISSUED JUL 13 1937

APPLICATION FOR ELEVATOR PERMIT

Portland, Maine, July 15, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install alter elevator in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications submitted herewith, and the following specifications:

Location 492-494 Congress Street Ward 4 Within Fire Limits? yes Dist. No. 1
Owner's name and address Em. Fileno's Sons Co., Telephone 3-8058
Elevator contractor's name and address The Otis Elevator Co., 495 Fore St. No. families _____
Last use of building Store No. families _____
Proposed use of building Store
Material of outside walls of building brick, interior frame steel
No. of stories 2&B Style of roof flat No. of existing elevators in building none

Remarks

INSPECTION NOT COMPLETED

Details of Proposed Work

Extent of work by elevator contractor furnish and install elevator
Extent of work by owner build hatchway and pent house
Type of elevator Push button passenger, in new or existing shaftway new
Shaftway enclosed or open enclosed No. elevator stops 5
Capacity of elevator 2500 lbs., Speed in feet per minute 150
Material of cables steel No. and size of hoisting cables 8 - 5/8th
Location of machinery Overhead Material of supports brick walls, of guides brick walls
Minimum diameter of sheaves 27" Minimum clearance counterweights and overhead beams 2'
Minimum clearance above car at topmost floor level 2'
Minimum clearance buffer plates and springs when car is at lowest floor level 12"
Type of power alternating current Type of machine single wrap traction
Will elevator be equipped with safety devices: governor? yes, car safety? yes, electric brakes? yes
yes, automatic terminal stops at top and bottom? yes, slack cable stops? yes, safety floor stops? yes

If Passenger Elevator

Passenger capacity? 2500 lbs Area of platform 7'x4'6" Material of enclosure steel
No. of entrances 2 Type of gates collapsing, interlocked? yes, automatic closing device? yes
Will elevator be automatic or will operator be in attendance? Operator
Will doors in shaftway enclosure be interlocked? yes

If Freight Elevator

Area of platform _____ No. of sides enclosed _____ Height of enclosure _____
Will shaftway be enclosed? _____ Self-closing hatch gates? _____, height? _____
No. outside entrances to shaftway? _____ Self-closing slatted gates? _____, height? _____

Miscellaneous

Plans filed as part of this application? yes No. of sheets 1
Estimated cost of work by elevator contractor? \$8700 Otis Elevator Co. Fee \$ 2.00
Signature of elevator contractor By _____

STATEMENT OF ELEVATOR TESTS

PORTLAND, MAINE, _____

I, _____, have personally supervised the installation of alterations to the elevator, hatchways and enclosures at _____ as permitted under Building Permit _____, and have personally supervised tests of loading capacity and of all brakes, interlocking and all other safety devices, and I do here state that, according to my best knowledge and belief, the elevator will safely carry the maximum rated loading and all brakes, interlocking and other safety devices are in satisfactory condition.

(Signature)

PORTLAND, MAINE, _____

STATE OF MAINE

CUMBERLAND, SS: _____ and made oath the statements by him
Personally appeared the above named _____
subscribed are true.

Notary Public Justice

INSPECTION COPY

*File with
only
proof
sent
8/12/37*

Donnelly Electric & Neon Co.

The Donnelly Way

OF ELECTRICAL ADVERTISING

3150 WASHINGTON STREET
BOSTON

August 6, 1937.

ENDICOTT 6600

Mr. Warren McDonald
Building Inspector,
Portland, Maine.

My dear Mr. McDonald:

I am enclosing two (2) prints showing the Filene job at 492 Congress St., Portland, for which I filed application sometime ago. I hope that the method of fastening, etc., shown on these plans will be satisfactory to you. We will have a crew in Portland within the next few days to start some of the preliminary work, such as putting in wall fastenings, etc. and the foreman in charge of this crew will see you regarding the permits.

Should anything on these plans be not satisfactory to you, please get in touch with me.

Thanking you for past considerations, we remain

RECEIVED

AUG 7 1937

DEPT. OF BLD'G. INSP.
CITY OF PORTLAND

Very truly yours,
DONNELLY ELECTRIC & NEON CO.

William Werner.

William Werner - Engineer

WY:AKH

I want to thank you for the suggestions made on the job the other day. I also got in touch with Kaplan & told him that you objected to the use of wood etc. I hope he has been in touch with you.

(W)

NEON AND ELECTRIC DISPLAYS

COMMERCIAL AND PAINTED SIGNS

ENDICOTT 6600

Donnelly Electric & Neon Co.

The Donnelly Way
ELECTRICAL ADVERTISING
3190 WASHINGTON STREET
BOSTON

Sept. 28, 1937.

RECEIVED
SEP 29 1937

DEPT. OF BLD'G. INSP.
CITY OF PORTLAND

Mr. Warren McDonald
Inspector of Buildings,
Portland, Maine.

My dear Mr. McDonald:

I have just returned from my vacation and was informed by our Mr. Tarr that the vertical sign, which was erected by us at the Filene store on Congress Street, was not in accordance with the plans submitted. I regret this occurrence very much and want to explain about that. Due to my going away, I forgot to send you amended plans after Mr. Holmes, of Filene's, had made certain changes in the steel frame.

I want to thank you very much for the consideration shown us, which certainly saved us a great deal of expense. I also want to assure you that there will not be an occurrence like this again.

Very truly yours,
DONNELLY ELECTRIC & NEON CO.

William Ferner
William Ferner - Engineer.

FW/AKH

• NEON AND ELECTRIC DISPLAYS •

• COMMERCIAL AND PAINTED SIGNS •



Original Permit No. 27/1225
Amendment No. 1

AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, September 21, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 27/1225 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 492-494 Congress Street Ward 4 With the Fire Limits? YES Dist. No. 2

Owner's or Lessee's name and address Wm. M. Jones & Sons Box 6300

Contractor's name and address Donnelly Electric & Neon Co., 5120 Washington St. Boston, Mass.

Plans filed as part of this Amendment 4 No. of Sheets 1

Increased cost of work Additional fee .25

Description of Proposed Work

To make changes in method of fastening sign to building as shown in red on plan

Donnelly Electric & Neon Co.

Signature of Contractor Frank Tarr

Approved:

Approved: 9/21/37

Chief of Fire Department

Commissioner of Public Works

Inspector of Buildings

INSPECTION COPY



GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

Permit No. 12508

AUG 12 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, July 28, 1937

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 482-494 Congress Street

Ward 4

Within Fire Limits? yes

Dist. No. 1

Owner of building to which sign is to be attached A. Kaplan

Name and address of owner of sign Am. Filenak Sons, Washington & Sumner Sts., Boston, Mass.

Contractor's name and address Donnelly Electric & Neon Co., 3160 Washington St., Boston Endicott Telephone 6800

When do contractor's bond expire? Oct. 1937

Information Concerning Building

No. stories 2

Material of wall to which sign is to be attached brick

Details of Sign and Connections

Electric? yes

Vertical dimension after erection 21'

Horizontal 5'6"

Weight 1100

lbs., Will there be any hollow spaces? yes

Any rigid frame? yes

Material of frame angle iron

No. advertising faces 2

material iron

No. rigid connections 3

Are they fastened directly to frame of sign? yes

No. through bolts 6

Size 1/2"

Location, top or bottom top, center and bottom

No. guys none

material cantilevered as shown on plan

Minimum clear height above sidewalk or street 15'

Size

Maximum projection into street 5'6"

Wm. T. Luntz

Donnelly Electric & Neon Co.

Fee \$1.00

CITY OF PORTLAND
INSPECTION COPY

Signature of contractor

William W. Wether

Ward 4 Permit No. 37/1223
 Loc 492-494 Congress St.
 Dr. M. F. Lene & Sons
 Date of permit 8/12/37
 Sig. tractor
 Final Inspn. 10/11/37. O.C.

10/11/37. Transformer
 bolted to frame of sign.

NOTES

Stickler
 Elec. Insp.
 Shop 12 (Hill St. Shop Insp) 9/20/37
 Distance above St. 8 1/2 ft. 15-8
 Sign file made
 Through bolts 9/22/37
 9/20/37 Construction of sign
 does not allow erection as
 per plan attached. O.C.
 9/21/37 Roof opened and
 made with gravel second
 floor window removed
 to provide through bolts.
 Roof closed in but bolts
 not under probably OK.
 9/26/37. Bottom bolt
 added. O.C.
 10/1/37. Transformer
 not bolted to frame.
 bolted prior to house



APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT
INSPECTION NOT COMPLETED

WITH INK

PERMIT TESTED
Permit No. 1193

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.
The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:
Location 492-494 Congress St. Use of Building Store No. Stories 2 Ward 4
Name and address of owner Mr. Filane's Sons, Portland, Maine, July 6, 1937
Contractor's name and address The McMurrer Co., 302 Congress St. Boston Telephone 1073

General Description of Work

To install steam heating system with oil burner
IF HEATER, POWER BOILER OR COOKING DEVICE
Is heater or source of heat to be in cellar? yes If not, which story _____
Material of supports of heater or equipment (concrete floor or what kind) concrete Kind of Fuel oil
Minimum distance to wood or combustible material, from top of boiler or casing top of furnace, 7'
from top of smoke pipe 15" from front of heater, no woodwork from sides or back of heater, no woodwork
Size of chimney flue 16x20 Other connections to same flue _____
Name and type of burner Petro IF OIL BURNER
Will operator be always in attendance? _____ Labeled and approved by Underwriters' Laboratories? yes
Location oil storage basement (outside boiler room) Type of oil feed (gravity or pressure) pressure
Will all tanks be more than seven feet from any flame? yes How many tanks fireproofed? _____
Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)
INSPECTION COPY

INSPECTION NOT COMPLETED

Signature of contractor The McMurrer Co.
By Hugh H. Menahan

37/738

Ward 4 Permit No. 37/738

Location 492-4 Congress St.

Owner Wm. Filene's Sons

Date of permit 7/6/37.

Post Card sent _____

Notif. for inspn. _____

Approval Tag issued _____

Oil Burner Check List (date) _____

1. Kind of heat _____
2. Label _____
3. Anti-siphon _____
4. Oil storage _____
5. Tank distance _____
6. Vent pipe _____
7. Fill pipe _____
8. Gauge _____
9. Rigidity _____
10. Feed safety _____
11. Pipe sizes and material _____
12. Control valve _____
13. Ash pit vent _____
14. Temp. or pressure safety _____
15. Instruction card _____
16. _____

NOTES



FILL IN

WITH INK

PERMIT 183147
Permit No. 0866APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT
INSPECTION NOT COMPLETED

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, March 31, 1937

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 486-494 Congress Street Use of Building Shoe Store No. Stories (4)

Name and address of owner Mr. Solomon Kaplan-2120 Spruce Street Ward 4
Philadelphia, Pa.

Contractor's name and address Kezar & Lombard Co. 497 Fore Street Telephone 3-7146

General Description of Work

To install steam
New Boiler & heating system

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? Yes If not, which story X Kind of Fuel Oil

Material of supports of heater or equipment (concrete floor or what kind) concrete floor - Fire proof boiler room

Minimum distance to wood or combustible material, from top of boiler or casing top of furnace 4'8"

from top of smoke pipe 16" from front of heater. X from sides or back of heater X

Size of chimney flue Other connections to same flue None

Permit taken out by Ballard IF OIL BURNER INSPECTION NOT COMPLETED

Oil Burner Co. Name and type of burner Labeled and approved by Underwriters' Laboratories?

Will operator be always in attendance? Type of oil feed (gravity or pressure)

Location oil storage No. and capacity of tanks

Will all tanks be more than seven feet from any flame? How many tanks fireproofed?

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

INSPECTION COPY

Signature of _____ or _____

see 37/111

Ward 4 Permit No. 37/366 are OK - A. J. R.

Location 486-494 Congress St.

Owner Solomon Kaplan

Date of permit 3/31/37

Post Card sent

Notif. for insp.

Approval Tag issued

Oil Burner Check List (date)

1. Kind of heat
2. Label
3. Anti-siphon
4. Oil storage
5. Tank distance
6. Vent pipe
7. Fill pipe
8. Gauge
9. Rigidities
10. Feed safety
11. Pipe sizes and material
12. Control valve
13. Ash pit vent
14. Temp. or pressure safety
15. Instruction card
- 16.

NOTES

3/31/37 - This has been
installed for some
time. Clearances

497 174 Congress St. - Abraham Kaplan

5/20/37

Notes about place.

- ✓ Curious height.
- ✓ Call attention to projecting eaves, both felt & outstanding.
- ✓ Request access to cellar below windows.
- ✓ Fireproof of chimney lined over glass back panel on 1st story.
- ✓ Width of front door?
- ✓ Wood or metal? Panels 1st story Brown St. front.
- ✓ Outside door Brown St. front seems in.
- ✓ Print on glass pane window & especially at rear of room - several notes all over it.
- ✓ How about access panels to windows of building on John B. Irving front, Brown St. front.
- ✓ Self-closing fire door to rear hall within - marked "purely fireproof ceiling" - what material?
- ✓ Self-closing fire door front of rear cellar stairs.
- ✓ Alternative means of escape from locker room?
- ✓ What is balance of cellar to be used for?
- ✓ Fireproof placed where 1st story wall removed.
- ✓ Elevator - where would be any - what floor & of frames of rails - any part from etc?

CONDITIONS ACCOMPANYING APPLICATION BY ABRAHAM LAPLAN FOR BUILDING PERMIT TO
COVER ALTERATIONS IN THE BUILDING AT 492-494 CONGRESS STREET, PORTLAND, MAINE

May 26, 1937

1. These specifications are to be considered as much a part of the application for the building permit as though written on the application form, but failure to mention any requirements of the Building Code or any other law herein shall not relieve owner, contractor or lessee from compliance therewith.

2. The structural steel beam beneath the second floor, where the brick wall in the first story between the main store and the Brown Street wing is to be removed, will be fireproofed with poured concrete properly reinforced, two inch thickness all around. The steel lintel over the glass brick panel in the second story of the Congress Street front will be similarly fireproofed with one and one-half inches in thickness.

3. A self-closing fire door will be provided at the foot of the cellar stairs enclosure beneath the Irving store. The new cellar stairs in the Filene part will be enclosed in the cellar with wooden stud partitions covered on both sides with metal lath and plaster, and without any closet beneath, and a self-closing fire door will be provided at the foot of the stairs. The new stairway between the second and first story in the Brown Street wing will be fully enclosed with wooden stud partitions covered on both sides with metal lath and plaster, or better construction, from a fire resistive standpoint, and all openings through the enclosure protected by self-closing fire doors. The results of enclosing these stairs as indicated will mean that a person either from the second story or the basement may enter the enclosure and leave the building by the exit door on Brown Street without being exposed to a fire in the first story. An exit light with letters of the word exit showing red and at least six inches in height will be provided in a suitable place in the second story to indicate the new stairs in the Brown Street wing, and a similar exit light and sign will be provided over the door in the first story leading from the new stair hall to Brown Street. An exit door in the basement will be provided leading from the locker room to a passageway in the basement of the Irving store, thence to an outside cellarway where an exit door will be provided to the outside. A plain exit sign will be provided on the locker room side over the door leading to the passageway and all of these doors will be equipped with locksets, and only such locks, that will permit any person at any time to leave the building from the inside without using a key. An exit door will be provided in the rear of the first story of the Filene store at least three feet in width, swinging outwards and equipped with such a lockset, and only such locks, that will permit any person to reach the outside from the inside without the use of a key. Over this latter door will be provided a plain exit sign with the letters of the word exit no less than six inches high.

4. The new heater room beneath the Filene store will be provided with a metal lath and plaster ceiling and a self-closing (normally closed) fire door will be provided at the entrance to the heater room. Full means will be provided for taking outside air into the heater room for the purposes of combustion.

5. All partitions in basement, first story and second story of the Filene store, separating that store from the so-called "Bowdoin College" portion of the building, either are or will be covered on the store side with metal lath and plaster.

May 26, 1937

6. Before openings in any of the floors or the roof are cut for the new elevator shaft and before work on the shaft is commenced, a detailed plan will be filed with the Inspector of Buildings showing all of the particulars of the enclosure, the supports of the elevator machinery, the construction of the pent house and the fire protection features such as fire doors and the glass above the roof intended to vent the shaft in case of fire. In this connection it is understood that in case the shaft is built of brick, it may be necessary under Building Code requirements to make the walls at least 12 inches in thickness from the bottom at least to the second floor level. It is also understood that in such a case the brick walls of the enclosure will be extended through the roof and upwards at least to the level of the machinery room floor, and that machinery room walls above that point may be of wooden construction covered both inside and out with metal or similarly non-combustible material.

7. No wood or combustible material of any character will be used in the panels indicated over the doors and the windows in the first story of the Brown Street front.

8. The new skylight will have a metal frame and will be glazed with wire glass. This new skylight will be protected from above by wire netting not smaller than No. 8 gauge, and of not more than one and one-half inch mesh, well supported at least 12 inches above the skylight.

9. Provisions will be made in the Filene signs to project over the public sidewalk of Congress Street for a removable or operative panel so that in case of fire the one existing window in the second story of the Congress Street front, to remain, may be reached. Before the large window in the second story Congress Street front over the Irving store is closed on the inside as indicated on the plan, approval of the Chief of the Fire Department will be secured as to the means of reaching the second story over the Irving store through this window in case of fire. Two operative metal panels, distinctively marked, will be provided beneath the show windows in the Congress Street front in such a way that access may be quickly secured to the cellar in case of fire. Two windows with metal sash and wire glass will be provided beneath the windows on the Brown Street front to give similar access to the cellar in case of fire.

10. The entire building, controlled by this owner, both occupied and unoccupied parts, will be fully equipped with a standard automatic sprinkler system.

11. The parts of the cellar under the Filene's store, except that indicated for locker and toilet rooms, will be used only for storage. An enclosing partition will be built around the rear stairway in the second story leading to the upper floors with a door in it for access in case of need. The stories above the second will not be used for any purpose whatever until additional means of egress, approved by the Board of Fire Engineers, have been provided legally.

12. It is understood that the permit is issued largely based upon these specifications, the original plans being incomplete; also that revised plans made by William Filene's Sons Company's architect will be filed to supplement the present plans by May 28, 1937.

Abraham Kaplan
by *F. Kaplan*



Original Permit No. 87/738
Amendment No. 1

AMENDMENT TO APPLICATION FOR PERMIT 87/738

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, August 1, 1937

The undersigned hereby applies for an amendment to Permit No. 87/738 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland; plans and specifications, if any, submitted herewith, and the following specifications:

Location 41 E. Congress Street Ward 4 With the Fire Limits? YES Dist. No. 1

Owner's or Lessee's name and address Abraham Kaplan, 78 Pasadena Rd. Dorchester, Mass.

Contractor's name and address Owner

Plans filed as part of this Amendment yes No. of Sheets 1

Increased cost of work _____ Additional fee .25

Description of Proposed Work

To build belt course, 2' long, projecting 2' over public sidewalk, steel frame, metal covered and metal lined, wood cores - as shown on plan submitted.
This is a canopy above the awning bar and is to protect a sign which is to be made out of metal letters, this sign to be erected by a bonded sign hanger under separate permit. The canopy is to be covered on the outside with bronze and on the inside with sheet metal so that there will be no woodwork exposed either outside or inside.

INSPECTION NOT COMPLETED

Signature of Owner Abraham Kaplan

Approved:

Approved: 84/27

File: 2. 37/738-I

July 30, 1937.

Mr. Abraham Kaplan,
28 Pasadena Road
Dorchester, Mass.

Dear Sir:

One paragraph of my letter to you of May 20, 1937 pertaining to remodeling the building where Filene's store is to be located at 432-434 Congress Street reads:

"Both the belt and outstanding projecting signs on the Congress Street front require a separate permit which may only be issued to a bonded sign hanger. The applicant is required to file precise plans showing frame and fastenings of signs. We have ^{few} local rules besides the usual rules of design of structures. For instance, no angles are to be used less than 3/16 inches in thickness unless galvanized. It would be well to have the sign permit actually in hand before the signs are made."

We find that you have proceeded to construct the frame or outline of the belt sign without any separate permit covering it and without the services of a bonded sign hanger. Furthermore, practically all of this outline appears to have been built of wood, which, from my understanding of what you propose, is not permitted to be of wood or any other combustible material under the terms of the Building Code.

Please have this device completely removed from the building on or before August 3, 1937.

Very truly yours,

McD/H

CC: J. E. Holmes, Architect

Filene Bldg.

Cor. Washington & Franklin Streets
Boston, Mass.

Inspector of Buildings

File: P.37/758-1

June 10, 1937

Mr. Abraham Kaplan,
23 Pasadena Road,
Dorchester, Mass.

Dear Sir:

With reference to the proposed elevator shaftway and enclosure at 488-494 Congress Street, I find that your plans do not agree one with the other. The Filene's plans indicate the enclosure walls of the new elevator shaft to be 12 inches in thickness at least at the second floor level while the Otis Elevator Company plan which some person has marked over in red crayon indicates the enclosure walls to be 8 inches thick from the first floor level upwards.

After a careful study of the Building Code, I have come to the conclusion that it will be necessary for you to make the end walls of the enclosure, since these walls must absorb the load and the vibration of the elevator machinery, at least 12 inches in thickness for their entire height up to the floor slab in the machinery room.

You do not show the arrangement of the floor and roof framing where the new elevator shaft passes through. Please furnish a detail of these arrangements. If the second floor and the roof beams are to rest upon the side walls of the enclosure, that is the walls that are about 10 feet long, one of them having the doorways in it, it will be necessary to make these walls also 12 inches in thickness up to the floor slab of the machinery room. In event the floor and roof timbers are not to rest upon these walls (I mean the side walls of the 10 foot lengths) it will be satisfactory to make these walls 8 inches in thickness from the first floor upwards.

All of the floor joists that may bear upon the elevator enclosure walls must have suitable fire cuts and whether or not any of the joists rest upon these walls the walls are required to be anchored to the floor joists at each floor and to the roof joists with two anchors at each end wall and two anchors at each side wall at every level. We are willing to listen to alternate suggestions for these anchors, but in the absence of such suggestions these metal anchors should be of wrought iron not less than one and one-half inches by three-eighths inches in section, well fastened to the bottoms of the beams by two or more nails of at least one-quarter of an inch in diameter, the anchors in no case to be less than 16 inches in length and where the beams are parallel to the wall to be long enough to engage at least three beams. The wall ends of the anchors are to be built solidly into the masonry as the work proceeds.

You have shown no information as to the reinforcement of the machinery room slab. Please furnish this and see to it that it is designed by Mr. Eisenberg so that it may come under his statement of design.

Abraham Sepian-----2

June 10, 1937

Neither have you shown the arrangements for ventilating the shaft by thin glass in case of fire. Please show this detail. These ventilating sash must be beneath the solid floor of the machinery room but above the roof of the building. The sash are required to equal at least three quarters of the area of the shaft, the glass must not exceed three-sixteenths of an inch in thickness and no light of glass is to be less than 200 square inches in area.

You have already bound yourself to extend the sprinkler system to the underside of the machinery room floor and to the roof of the pent house.

May we have this information promptly.

Very truly yours,

McD/H

Inspector of Buildings

SPECIFICATIONS ACCOMPANYING APPLICATION BY ABRAHAM KAPLAN FOR BUILDING PERMIT TO
COVER ALTERATIONS IN THE BUILDING AT 492-434 CONGRESS STREET, PORTLAND, MAINE

May 26, 1937

1. These specifications are to be considered as much a part of the application for the building permit as though written on the application form, but failure to mention any requirements of the Building Code or any other law herein shall not relieve owner, contractor or lessee from compliance therewith.

2. The structural steel beam beneath the second floor, where the brick wall in the first story between the main store and the Brown Street wing is to be removed, will be fireproofed with poured concrete properly reenforced, two inch thickness all around. The steel lintel over the glass brick panel in the second story of the Congress Street front will be similarly fireproofed with one and one-half inches in thickness.

3. A self-closing fire door will be provided at the foot of the cellar stairs enclosure beneath the Irving store. The new cellar stairs in the Filene part will be enclosed in the cellar with wooden stud partitions covered on both sides with metal lath and plaster, and without any closet beneath, and a self-closing fire door will be provided at the foot of the stairs. The new stairway between the second and first story in the Brown Street wing will be fully enclosed with wooden stud partitions covered on both sides with metal lath and plaster, or better construction, from a fire resistive standpoint, and all openings through the enclosure protected by self-closing fire doors. The results of enclosing these stairs as indicated will mean that a person either from the second story or the basement may enter the enclosure and leave the building by the exit door on Brown Street without being exposed to a fire in the first story. An exit light with letters of the word exit showing red and at least six inches in height will be provided in a suitable place in the second story to indicate the new stairs in the Brown Street wing and a similar exit light and sign will be provided over the door in the first story leading from the new stair hall to Brown Street. An exit door in the basement will be provided leading from the locker room to a passageway in the basement of the Irving store, thence to an outside cellarway where an exit door will be provided to the outside. A plain exit sign will be provided on the locker room side over the door leading to the passageway and all of these doors will be equipped with locksets, and only such locks, that will permit any person at any time to leave the building from the inside without using a key. An exit door will be provided in the rear of the first story of the Filene store at least three feet in width, swinging outwards and equipped with such a lockset, and only such locks, that will permit any person to reach the outside from the inside without the use of a key. Over this latter door will be provided a plain exit sign with the letters of the word exit no less than six inches high.

4. The new heater room beneath the Filene store will be provided with a metal lath and plaster ceiling and a self-closing (normally closed) fire door will be provided at the entrance to the heater room. Full means will be provided for taking outside air into the heater room for the purposes of combustion.

5. All partitions in basement, first story and second story of the Filene store, separating that store from the so-called "Bowdoin College" portion of the building, either are or will be covered on the store side with metal lath and plaster.

May 26, 1937

Abram... Specifications-----2

6. Before openings in any of the floors or the roof are cut for the new elevator shaft and before work on the shaft is commenced, a detailed plan will be filed with the Inspector of Buildings showing all of the particulars of the enclosure, the supports of the elevator machinery, the construction of the pent house and the fire protection features such as fire doors and the glass above the roof intended to vent the shaft in case of fire. In this connection it is understood that in case the shaft is built of brick, it may be necessary under Building Code requirements to make the walls at least 12 inches in thickness from the bottom at least to the second floor level. It is also understood that in such a case the brick walls of the enclosure will be extended through the roof and upwards at least to the level of the machinery room floor and that machinery room walls above that point may be of wooden construction covered both inside and out with metal or similarly non-combustible material.

7. No wood or combustible material of any character will be used in the panels indicated over the doors and the windows in the first story of the Brown Street front.

8. The new skylight will have a metal frame and will be glazed with wire glass. This new skylight will be protected from above by wire netting not smaller than No. 8 gauge, and of not more than one and one-half inch mesh, well supported at least 12 inches above the skylight.

9. Provisions will be made in the Filene signs to project over the public sidewalk of Congress Street for a removable or operative panel so that in case of fire the one existing window in the second story of the Congress Street front to remain, may be reached. Before the large window in the second story Congress Street front over the Irving store is closed on the inside as indicated on the plan, approval of the Chief of the Fire Department will be secured as to the means of reaching the second story over the Irving store through this window in case of fire. Two operative metal panels, distinctively marked, will be provided beneath the snow windows in the Congress Street front in such a way that access may be quickly secured to the cellar in case of fire. Two windows with metal sash and wire glass will be provided beneath the windows on the Brown Street front to give similar access to the cellar in case of fire.

10. The entire building, controlled by this owner, both occupied and unoccupied parts, will be fully equipped with a standard automatic sprinkler system.

11. The parts of the cellar under the Filene's store, except that indicated for locker and toilet rooms, will be used only for storage. An enclosing partition will be built around the rear stairway in the second story leading to the upper floors with a door in it for access in case of need. The stories above the second will not be used for any purpose whatever until additional means of egress, approved by the Board of Fire Engineers, have been provided legally.

12. It is understood that the permit is issued largely based upon these specifications, the original plans being incomplete; also that revised plans made by William Filene's Sons Company's architect will be filed to supplement the present plans by May 28, 1937.

Rept 9343B-1

May 23, 1937

Mr. Abraham Kaplan,
23 Pasadena Road,
Dorchester, Mass.

Dear Sir:

The following questions arise upon examination of the plans of proposed alterations in the building at 492-494 Congress Street for William Filene's Sons Company:

Are there no specifications to supplement the plans?

We are still awaiting the statement of design by the architect, covering especially the structural steel.

Fireproofing of steel where first story wall at Brown St. wing is removed (2" thickness required) and over new second story glass-brick panel (also of these channels is not apparent) should be shown on the plans both thickness and material to be used. Plastering is not acceptable.

Means of egress are not adequate from any of the three levels. It is understood that the entire basement except the locker and toilet rooms is to be used only for storage without any persons being down there habitually. Even on this basis, in view of the locker and toilet rooms, one means of egress is not enough. Your son has sketched a second one on the plan to the Irving basement, thence to an existing cellarway to the outside. It is not satisfactory because the door to the Irving basement leads from the men's toilet, and should lead from the locker room. In the first story a door three feet wide should swing outwards in the rear wall, should be equipped with such a lockset that it may never be locked against the inside, and should have over it an exit sign with letters no less than six inches high. The new door to Brown St. (the outside one) must swing outwards or be double acting and, therefore must be recessed further so that it will not swing over the public sidewalk.

Only one real means of egress from the second floor is shown, the stairs in the rear. I understood that your son was to sketch on the plans an additional stairway from second to first floors near Congress St., but he has shown stairs leading to the roof instead. All means of egress must lead definitely to the ground outside of the building. From talking with the Fire Chief, who, as head of the Board of Fire Engineers, has jurisdiction over means of egress under the state law, I find that he inclines to the opinion that you should not only provide the means of egress named above, but also an additional stairway in the Brown St. wing.

land
of Buildings to Abraham Kaplan

2.

The new heater room is marked "fireproof ceiling". Metal lath and plaster is the minimum requirement, and the plan should be so marked. The fire door at heater room is required to be "self-closing" (normally closed) and should be so marked.

Of what material and thickness is the new elevator enclosure to be? Where is the elevator machinery to be located? Is there any penthouse, etc.?

Wooden panels are not permissible in the Brown Street front.

Both the belt and outstanding projecting signs on the Congress Street front require a separate permit which may only issue to a bonded sign hanger. The applicant is required to file precise plans showing frame and fastenings of signs. We have a few local rules besides the usual rules of design of structures. For instance, no angles are to be used less than 3/16" in thickness unless galvanized. It would be well to have the sign permits actually in hand before the signs are made.

Is the new skylight to be metal frame and wire glass? Please show the heavy screen protection over it required by the Building Code.

The Fire Department desires grilles or windows (if windows, wire glass) beneath the Congress St. show windows and also on Brown St. so that in case of fire they may gain access to the cellar. The Chief Engineer objects to covering the second story windows over the Irving store on Congress St. with anything whatever. You show metal lath and plaster on the inside while Irving has covered theirs on the outside with metal. He complains that this situation taken together with the heavy glass brick over Filene's front and the possibility of the parking space on Free St. being crowded with cars, leaves insufficient means of venting or getting into the second story in case of fire. It would be well for you to see him and make some arrangements to meet these needs.

Care should be exercised so the Filene awning boxes will be at sufficient height to always maintain the lowest part of the awning (the fringe) at least seven feet above the highest part of the sidewalk.

It is understood that all space above the second story is not to be used for any purpose whatever. Is the stairway to be enclosed? It is also understood that the sprinkler system is to be made operative to cover the entire building, both used and unused parts. Is this the case?

I question the estimated cost which you have given, -14500. to be a reasonable estimate of the work shown in the plans. Please furnish a reasonable estimate or supply detailed figure to support this one.

You have had sufficient experience with our ways so that you should be aware of the requirement that you are required to have the permit, and have it posted on the premises before work is started. I must require that you refrain from all further work on the premises until you have the permit. Otherwise we shall take definite steps without further notice to enforce the ordinance against you or your son personally. We have always tried to cooperate with you. Please reciprocate.

Please furnish specifications, if any; have the originals of the plans corrected showing the matters mentioned herein clearly; furnish revised prints; and we will use every effort to issue the permit.

C. J. E. Holmes, Architect,
Filene Bldg, Cor. Washington
and Franklin Sts., Boston

Very truly yours,

(Signed) Warren McDonald
Inspector of Buildings.



GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

PERMIT / SSUR

0738

MAY 27 1937

Class of Building or Type of Structure Second Class

Portland, Maine, May 14, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 492-494 Congress Street Ward 4 Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Abraham Kaplan, 18 Pasadena Rd. Dorchester Telephone 0841
Contractor's name and address Owner Telephone _____
Architect's name and address E. E. Holmes, Filene Bldg. Cor. Washington & Franklin St. Boston
Proposed use of building Store No. families _____
Other buildings on same lot _____
Plans filed as part of this application? yes No. of sheets 7
Estimated cost \$ 5,500.00 Fee \$ 5.75

Description of Present Building to be Altered

Material brick No. stories 2 Heat _____ Style of roof flat Roofing T&G
Last use Store No. families _____

General Description of New Work

To make alterations to first and second floors as per plans (to be occupied by Filene)
New boiler room - new store front - new elevator shaftway - removal of 60' bearing
partition, 2d floor - relocate sky light

INSPECTION NOT COMPLETED

INSPECTION NOT COMPLETED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof
span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than major repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto

observed yes

Signature of owner

Abraham Kaplan

COPY

CITY OF PORTLAND

94/15/13
13



FILL IN COMPLETELY AND SIGN WITH INK

Permit No. 0270

MAR 11 1937

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine March 11, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 486-494 Congress St. Use of Building Store No. Stories 5
Name and address of owner Solomon Kaplan 2120 Spruce St. Phila. Pa. Ward 4
Contractor's name and address Ballard Oil & Equipment Co. of Maine Telephone 2-1991
355 Cumberland Ave. Portland Me.

General Description of Work

To install Oil burning equipment

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED
Steam system
NOTIFICATION BEFORE LATENT
OR LATERAL IS WAIVED

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? yes If not, which story _____ Kind of Fuel oil
Material of supports of heater or equipment (concrete floor or what kind) concrete
Minimum distance to wood or combustible material, from top of boiler or casing top of furnace, _____
from top of smoke pipe _____, from front of heater _____ from sides or back of heater _____
Size of chimney flue _____ Other connections to same flue _____

IF OIL BURNER

Name and type of burner Ballard BA2-1 Labeled and approved by Underwriters' Laboratories? yes
Will operator be always in attendance? _____ Type of oil feed (gravity or pressure) pressure
Location oil storage basement No. and capacity of tanks 1-275
Will all tanks be more than seven feet from any flame? yes How many tanks fireproofed? _____

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)
Signature of contractor Ballard oil & equipment Co. of Maine.

Inspection
original

58610

These plans (sheets) and the specifications accompanying the same, covering the erection of

have been designed and drawn up by the undersigned according to the latest rules of engineering practice and to comply with the allowable working stresses, floor loads, etc. required by the Building Code of the City of Portland.

(Signature)

S. S. Eismuth - Eng
By *H. Beaman - Est*

Lintel "A"

Span 18'-0"

Total Ld - - - - 3780#

$$\begin{aligned} \frac{S}{M} &= \frac{WL}{8} = \frac{27000 \times 18 \times 12}{8} = 40 \\ \frac{S}{M} &= \frac{WL}{4} = \frac{10000 \times 18 \times 12}{4} = 30 \end{aligned} \quad \left. \vphantom{\frac{S}{M}} \right\} 70$$

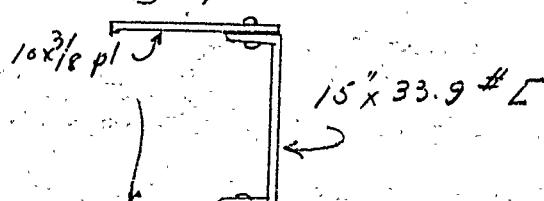
Use - 2 - 12" x 31.8# Ibm.

2 - 12" x 12" x 3/4 brg. p/l's.

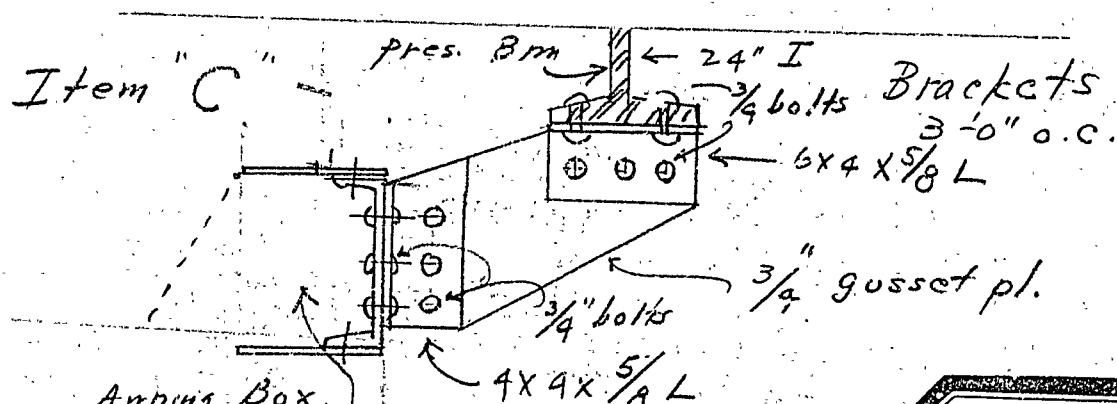
Item "B" (Anning Box) -

1 - 15" x 33.9 L

2 - 10" x 3/8 plates - top & bott.



Item "C"



37/738

37-738

Item "D" - Lintel
Span - 24'-0"

$$\begin{aligned} \text{Roof Ld} &= 8 \times 65 = 520 \\ \text{Wall Ld} &= 24 \times 120 = 2900 \\ \text{2nd FL} &= 6 \times 60 = 360 \\ \text{Total} &= 4160 \text{ SAY } 4200 \end{aligned}$$

$$S_M = \frac{4200 \times 24^2 \times 1.5}{18000} = 202.4$$

Use 2-20" I 65.4 8.233.8

$$R = 4200 \times 12 = 50500$$

$$50500 / 240 = 210.4$$

Allow 2-0 BEARING ON RT END
Grillage 5-6" x 12.5 2-6" LIFT END

Item "E"

Roof Support Bm.

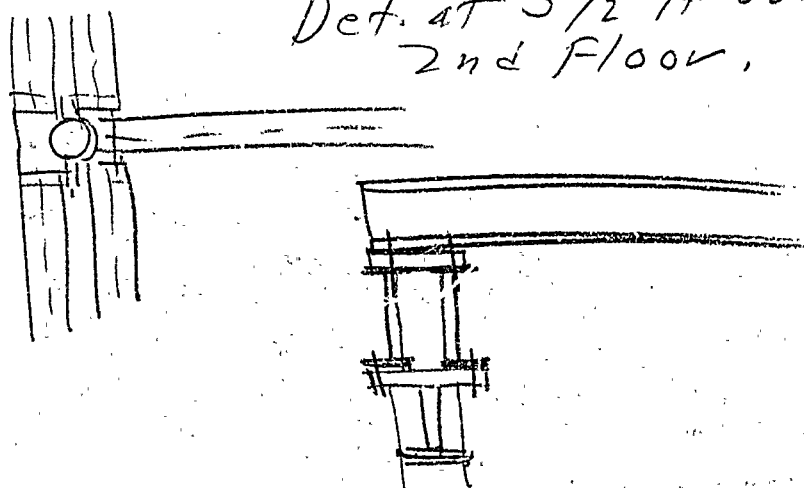
Span = 15'-0"

$$\text{Roof Load} = 9 \times 15 \times 60 = 8100 \times 2$$

$$M_s = \frac{wL}{8f} = \frac{8100 \times 15 \times 3}{8 \times 12} = 10 \times 2$$

Use - 12" x 31.8# Ibm.

Det. at 5 1/2 ft Col.
2nd Floor.



File 1/13

File: P. No. 37/111-1
R-3/27/37

Mr. Abraham Kaplan,
23 Pasadena Road,
Dorchester, Mass.

Dear Sir:

At the time of erection of a heavy sign for John Irving, Inc. at the easterly end of the Congress Street front of your building at 400-404 Congress St., this city, my inspector reported that the front wall of your building, at least in the second story, apparently is not anchored in any way to the party wall between your building and that on the easterly side of your property. This becomes especially important because the new sign is fastened to your front wall close to the party wall with several through bolts and without side or uplift guys.

The sign erector has very properly adopted a temporary measure for taking care of this possibly dangerous situation by fastening one or more of his through bolts by cable to a former third floor joist.

I must require that you take immediate steps to anchor this front wall to the party wall in permanent fashion so as to avoid the possibility of any section of the wall being weakened or becoming dangerous from any cause, on or before March 26, 1937.

I shall be glad to go over in advance of doing the work, any plan that you may have for accomplishing the desired result.

Very truly yours,

CC C. I. Brink

(Signed) Warren McDonald

Inspector of Buildings

File: Rec. 85418-I

March 11, 1927

United Neon Display,
27 Monument Square,
Portland, Maine

Gentlemen:

Enclosed is the building permit covering erection of projecting sign
for John Irving Shoes at 486-494 Congress Street.

It is understood that this permit includes only the sign which pro-
jects a maximum of about six feet from the brick wall of the building. On
the plan accompanying the application the letters, evidently to be illuminated,
making up the words John Irving Shoes are shown to be parallel to the front of
the building. If these letters or any part of the structure supporting them
will project more than eight inches over the sidewalk measured from the actual
street line or inside edge of the public sidewalk, another permit or an amend-
ment to this permit is required to cover this part of the advertising device.
If these letters and the supports of them will not project over the public
sidewalk more than eight inches then no additional permits, except the usual
electrical permit from the Electrical Department, are required.

Please be governed accordingly.

Very truly yours,

WED/H

CC: S. S. Eisenberg

Inspector of Buildings

RAL BUSINESS ZONE

PERMIT NO. 6267

MAR 11 1937

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 486-494 Congress St. Ward 4 Within Fire Limits? yes Dist. No. 1
Owner of building to which sign is to be attached Abraham Kaplan
Name and address of owner of sign John Irving Shons, 486-494 Congress St.
Contractor's name and address United Neon Display, 27 Monument Sq. Telephone 2-0895
When does contractor's bond expire? October 1937

Information Concerning Building

No. stories 2 Material of wall to which sign is to be attached brick

Details of Sign and Connections

Electric? yes Vertical dimension after erection 15' Horizontal 6'
Weight 450 lbs., Will there be any hollow spaces? yes Any rigid frame? yes
Material of frame angle No. advertising faces 2 material porcelain
No. rigid connections 6 Are they fastened directly to frame of sign? yes
No. through bolts 6 Size 5/8" Location, top or bottom top
No. guys none material Size
Minimum clear height above sidewalk or street 18'
Maximum projection into street 6'

Fee \$ 1.00

Signature of contractor

United Neon Display

FOR FILE
COPY

Fee \$ 1.00

Ward 4 Permit No. 3726
 Loc 486-494 Congress St
 Owner John Dinning Co
 Job permit 3/11/37
 Contractor
 Final Inspn. 3/25/37.026

Sticks

NOTES

3/12/37. Corner braces omitted also tie plates on A frame in top and bottom of sign. After much discussion, finally ending with Mr. Wilson, it was decided that omitted members were in part ant to the structural safety of the sign. Mr. Curry called me about 5:00 pm. He said he had taken the sign to Thomas Skinner & Sons members welded in. I agreed to inspect it when done. I looked at it over about 8:00 in the evening, and although not as perfect as I know, it is probably O.K. O.K.

3/13/37. Sign in foreground has through bolt in roof due to gutter oblique condition of front wall. Sign is 6'6" from face of brick in front wall but front sign is building hits back at 6" at this point. Rub. Who to give street line. O.K.
 3/17/37. Mr. Whitney Rub. Who said end of building tower center st. sets back about 6" from street line. No sign project 6'-0" over street.
 3/25/37. Copy of letter regarding structural strength of front wall turned over to Sears with all center permit. O.K.

GETTY INSPECTION

File: P.37/163-I

February 24, 1937

Edward W. Roemer,
Building Commissioner
Boston, Mass.

Dear Mr. Roemer:

S. S. Eisenberg a Boston architect who seems to have put in some hard work on our uniform code, was here the other day in connection with a store front which he is doing.

I have now discovered that the proposed ornamentation of this two story building includes covering the front of the second story with so-called porcelain covered metal. The contractor proposes to apply this metal over the entire surface of the front brick wall and over at least one large window in this second story wall, the metal to be fastened to vertical wooden strips one inch by two inches, these strips in turn to be fastened to horizontal wooden strips at intervals, the horizontal strips to be fastened to the brick work with expansion bolts. This metal work would extend about 22 feet above the first story show window heads and to be adjacent to one of the busiest sidewalks in the city.

I am writing to see if you have permitted any jobs similar to this. We have had plenty where such metal was applied in the first story, but this is the first contemplated to such a height. If you care to give me your opinion of this scheme, I shall appreciate it and hold it confidential.

I think we shall require the windows to be bricked-up at least. All of this wooden strapping, covered from view between the metal and the brick work, does not seem good to me, both from the standpoint of fire perhaps getting in there destroying the fastenings to the brick wall and allowing large sheets to fall in case of fire and from the standpoint of rot taking place over a term of years unobserved and allowing parts of the front to fall on the sidewalk.

I am sorry to ask for time from your busy affairs. If one of your subordinates can answer this question, I shall understand if they do so directly.

Very truly yours,

McD/H

Inspector of Buildings

File: P. 87/181-I

March 4, 1937

Mr. S. S. Eisenberg,
11 Beacon Street,
Boston, Massachusetts

Dear Sir:

The details of fastening the proposed metal front on the building at 485 Congress Street as shown on your plan dated March 2, 1937 are satisfactory. I appreciate your honest efforts in cooperating with this department.

Upon second thought the Chief of the Fire Department has decided that perhaps it would be better to refrain from closing up the window openings in the second story which would come behind this metal so that it will not be necessary for you to brick-up the window openings or otherwise close them.

As far as we are concerned you may leave the windows as they are now, the idea being that it seems better to leave this space between the metal and the brick wall so that it may be inspected from time to time if found desirable.

About any awnings that the shoe company may propose over the public sidewalk. Our Code requires that no part of any awning shall be closer than seven feet to any part of a public sidewalk or street. We figure this clearance from the fringe of the awning to the highest part of the sidewalk. If the shoe company is planning on having awnings, it would be well to make sure now that the fastenings for the particular awnings desired will be high enough so that this legal clearance may be maintained at all times.

Very truly yours,

(Signed) Warren McDonald

McD/H
CC: Maurice Gordon

Inspector of Buildings

File: P. 37/163-1

February 27, 1937

Mr. Maurice Gordon,
489 Congress Street,
Portland, Maine

Dear Sir:

The Chief of the Fire Department insists that the windows in the second story of the building at 489 Congress Street be occupied by John Irving Co. have the frames removed and the openings bricked up with at least 8 inches of brick masonry securely tied in where the new brick work meets the jambs.

I do not feel that this department can approve the use of any wood or combustible material to support or fasten this porcelain covered metal front above the first story for reasons explained to Mr. Gordon. I shall be glad to examine details of fastenings this metal front using metal, exclusively. Please be governed accordingly and let us have the proposed method of fastening the metal front above the first story before the fittings are taken on the job.

Very truly yours,

(Signed) Warren McDonald

Inspector of Buildings

WCD/H
CC: S. S. Eisenberg

Dear Mr. Eisenberg:

I am sorry that we did not catch this arrangement before. The delay is partially to blame for the fact that Mr. Gordon only filed a floor plan with the application for the permit. When you were in the office a few days ago I remembered from seeing the plans that you had that the metal front extended up over the second story, but it never occurred to me until later, when passing by the building, that this arrangement might raise some question.

Warren McDonald



GENERAL B
APPLICATION FOR PERMIT **PERMIT ISSUED**

Class of Building or Type of Structure Second Class FEB 19 1937

Portland, Maine, February 17, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 488-494 Congress Street Ward 4 Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address John Irving Co., Causeway St. Boston Telephone Chel sea
Contractor's name and address Maurice Gordon, 50 Shurtleff St. Chelsea, Mass Telephone 3908-J
Architect's name and address S. S. Eisenberg, 11 Beacon St. Boston
Proposed use of building Shoe Store (488) No. families
Other buildings on same lot
Plans filed as part of this application? yes No. of sheets 1
Estimated cost \$ 2,000. Fee \$ 3.75

Description of Present Building to be Altered

Material brick No. stories 2 Heat Style of roof Roofing
Last use Stores No. families

General Description of New Work

To provide new store front as per plan submitted, no structural change,
No exposed woodwork except doors and window sash
Door will swing out in such a way that it will not swing over the public sidewalk

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

Size, front depth No. stories Height average grade to top of plate
Height average grade to highest point of roof
To be erected on solid or filled land? earth or rock?
Material of foundation Thickness, top bottom
Material of underpinning Height Thickness
Kind of Roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Kind of heat Type of fuel Is gas fitting involved?
Corner posts Sills Girt or ledger board? Size
Material columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated
Total number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner John Irving Co.
Maurice Gordon

57318

Ward 4 Permit No: 37/163
Location 488-494 Congress St.
Owner John Dunning Co
Date of permit 3/19/37
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 6/17/37
Cert. of Occupancy issued None

NOTES
2/23/37 - Work finished
loading - A.C.C.
2/24/37 - Re-loading
loading - A.C.C.
3/2/37 - Work finished
loading - A.C.C.
3/12/37 - Work nearly
completed inside store -
A.C.C.
3/18/37 - Putting on
metal front - A.C.C.
3/25/37 -



AMENDMENT TO APPLICATION FOR PERMIT

PERMIT ISSUED

Original Permit No.

Amendment No. FEB 14 1937

Portland, Maine

FEB 18 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 57/111
granted in the final application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans
and specifications, if any, submitted herewith, and the following specifications:

Location 489-491 Congress St.

Ward 4

28 Pasadena Rd.

Dorchester Mass.

Owner's or Lessee's name and address

Abraham Kaplan

Contractor's name and address

Owner

No. of Sheets

Additional fee \$0

Plans filed as part of this Amendment no

Increased cost of work

To construct boiler room in basement, 8' x 10', 8" brick wall with self-closing fire door
and frame
Present chimney to have cleanout, chimney to be extended up to algar wall which now extends
above it.
Ceiling to be metal lath and cement plaster.

Signature of Owner

Abraham Kaplan

Approved:

2/17/37

Inspector of Buildings

Approved:

Chief of Fire Department

Commissioner of Public Works

INSPECTION COPY

File: Rec. 3634B-1

February 4, 1937

Mr. Abraham Kaplan,
433-434 Congress Street,
Portland, Maine

Dear Sir:

Enclosed is the general permit covering alterations in your building at 433-434 Congress Street.

The following matters are called to your attention:

It is not clear from your plans whether or not the new exit doors in the rear of the first story are to be five feet from your rear property line or not. Please note that if these doors are closer than five feet to the rear property line, they are required to be standard fire doors in standard fire door frames. If glass is desired in these doors it should be wire glass, if the doors are closer than five feet to the rear property line. The doors may be swinging doors, in fact we shall require them to swing outwards as shown on the plans.

There is no indication on the plans or in the application as to how the stores are to be heated. You have said that you will most likely install separate heating plants in the cellar of each store. Because the rear portion of this building is four stories high, and because you are discontinuing the sprinkler system it is likely that you will be required under the Building Code to enclose both of these heating plants in standard fireproof heater rooms. In such a case not only the heater but the smokepipe and the fuel rooms must be within the same enclosure and the enclosure would consist of masonry walls at least eight inches in thickness with a self-closing fire door and metal lath and plaster ceiling. You will readily see that some thought must be given to the proposition of chimney location to serve these heaters and also to the matter of supplying fresh air to the heater rooms to get efficient and safe operation of the heaters. If you follow this plan of new heaters, permits from this office covering the installation of the heating plants are required and they may only be issued to actual person installing the plants. If the enclosures are required, an amendment to your permit, being now issued, will be required to cover that construction work.

Fire extinguishers of a type approved by the Fire Department will be required before the stores are occupied as follows: one in each heater room and one in each cellar and each story above the cellar to each 2000 square feet of each level. Since there will be no way of getting from one store to the other without going outdoors, it will be necessary to figure these stores for the purposes of determining the number of fire extinguishers in the same manner as separate buildings would be figured.

Before either of the stores are occupied, notification of this department of readiness for final inspection is required, and you are expected to have in your possession the certificate of occupancy from this department.

Please be governed accordingly.

Very truly yours,

Inspector of Buildings

Mcl/H