

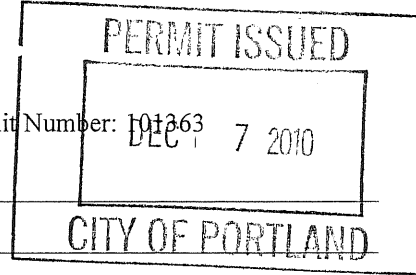
DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

## BUILDING INSPECTION

### PERMIT

Please Read Application And Notes, If Any, Attached



This is to certify that SCIOTO DARBY INVESTMENTS INC / TBD

has permission to replace existing fire escape stair w/ new

AT 480 CONGRESS ST

CBL 037 1004001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

SCANNED

#### OTHER REQUIRED APPROVALS

Fire Dept. Sub per KG

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Jamie Bank* 1/3/11  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1363	Issue Date:	CBL: 037 I004001
-----------------------	-------------	---------------------

Location of Construction: 480 CONGRESS ST	Owner Name: SCIOTO DARBY INVESTMENTS	Owner Address: PO BOX 18360	Phone:
Business Name: Sten House Publisher	Contractor Name: TBD	Contractor Address:	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Commercial	Proposed Use: Commercial - replace existing fire escape stair w/ new	Permit Fee: \$220.00	Cost of Work: \$20,000.00	CEO District: 1
-------------------------	---	-------------------------	------------------------------	--------------------

FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>w/conditions</i>	INSPECTION: Use Group: <i>B</i> Type: <i>1</i> <i>IBC-2003</i>
Signature: <i>JMB PUKG</i>	Signature: <i>JMB 1/3/11</i>

**Proposed Project Description:**  
replace existing fire escape stair w/ new

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)  
Action:  Approved  Approved w/Conditions  Denied  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_

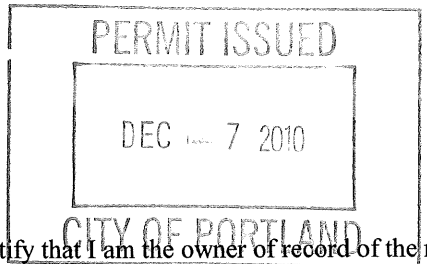
Permit Taken By: ldobson	Date Applied For: 10/29/2010	<b>Zoning Approval</b>
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

- Special Zone or Reviews**
- Shoreland  
 Wetland  
 Flood Zone  
 Subdivision  
 Site Plan
- Maj  Minor  MM   Denied
- Date: *9/10/10*

- Zoning Appeal**
- Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied
- Date: \_\_\_\_\_

- Historic Preservation**  
*w/wh*
- Not in District or Landmark  
 Does Not Require Review  
 Requires Review  
 Approved  
 Approved w/Conditions  
 Denied
- Date: *11/18/10*



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1363	Date Applied For: 10/29/2010	CBL: 037 1004001
-----------------------	---------------------------------	---------------------

Location of Construction: 480 CONGRESS ST	Owner Name: SCIOTO DARBY INVESTMENTS	Owner Address: PO BOX 18360	Phone:
Business Name: Sten House Publisher	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - replace existing fire escape stair w/ new	Proposed Project Description: replace existing fire escape stair w/ new
---	--

**Dept:** Historic      **Status:** Approved with Conditions      **Reviewer:** Deborah Andrews      **Approval Date:** 11/18/2010**Note:** **Ok to Issue:** 

- 1) \* Entire structure to be powder coat painted (black).
  - \* HP review fee not yet paid--\$50 adm. review. Fee to be paid prior to release of building permit.
- 2) \* Entire fire escape assembly to be powder coated (black).
  - \* Historic Preservation Review fee (\$50 adm. Review fee) not yet submitted. Must be paid prior to release of permit.

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 11/08/2010**Note:** **Ok to Issue:** 

- 1) It is understood that the replacement fire escape is within the same "footprint" as the existing fire escape. Any enlargement shall require special approvals for further encroachment over City Property.
- 2) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 01/03/2011**Note:** **Ok to Issue:** 

- 1) Prior to the final inspection the special inspection report shall be submitted by the engineer confirming that based on inspections performed the structural work is in substantial compliance with the approved plans.
- 2) Application approval based upon information provided by applicant with revisions dated 12/28/10. Any deviation from approved plans requires separate review and approval prior to work.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Keith Gautreau      **Approval Date:** 01/03/2011**Note:** Allowing waiver of rise/run dimensions due to existing conditions and fire glazing due to sprinklers. **Ok to Issue:** 

- 2) This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.

**Comments:**

11/1/2010-mes: I called the applicant, Elaine Cyr, and left a message. No plot plan with the permit. Where is this replacement fire escape? Is it over the City sidewalk? On hold until I get info - this is also in a Historic District.

<b>Location of Construction:</b> 480 CONGRESS ST	<b>Owner Name:</b> SCIOTO DARBY INVESTMENTS	<b>Owner Address:</b> PO BOX 18360	<b>Phone:</b>
<b>Business Name:</b> Sten House Publisher	<b>Contractor Name:</b> TBD	<b>Contractor Address:</b>	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

11/8/2010-mes: On 11/3/10 I received a plot plan

11/18/2010-gg: received from historic as of 11-18-10. /gg

12/17/2010-jmb: Reviewed with Keith G. For code compliance. Building and lifesafety have some discrepancies on tolerances. Spoke with Aaron W., the existing FE is 9" rise and 6" run, he was able to design the structure to meet the IBC for 8" & 8", not possible to meet 10" tread to access existing door locations. Building is sprinklered so 3/4 hr opening protection is waived. Aaron will revise plan to meet 1/2" surface opening limitation, will add handrail to make 2, and reduce guard openings to < 4". Roof access is for utilities only.

12/28/2010-jmb: Revisions submitted

1/3/2011-jmb: Reviewd revisions, ok to approve

## **BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a “Stop Work Order” and subsequent release to continue with construction.**

  X   **The final report of Special Inspections shall be submitted prior to the final inspection or the issuance of the Certificate of Occupancy**

**The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>480 CONGRESS ST.</u>		
Total Square Footage of Proposed Structure/Area <u>NO INCREASE</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#	Applicant * <u>must be owner, Lessee or Buyer*</u> Name <u>ELAINE CYR / STENHOUSE PUBLISHERS</u> Address <u>480 CONGRESS ST.</u> City, State & Zip <u>PORTLAND ME 04101</u>	Telephone: <u>253-5609</u>
Lessee/DBA (If Applicable) <u>STENHOUSE PUBLISHERS</u>	Owner (if different from Applicant) Name <u>SCOTTO DARBY INVESTMENTS INC.</u> Address <u>PO BOX 18360</u> City, State & Zip <u>COLUMBUS OH 43218</u>	Cost Of Work: \$ <u>20,000 EST</u> C of O Fee: \$ <u>220.00</u> Total Fee: \$ <u>220.00</u>
Current legal use (i.e. single family) <u>BUSINESS</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>SAME</u> Is property part of a subdivision? <u>N</u> If yes, please name _____ Project description: <u>REPLACE EXH. FIRE ESCAPE STAIR W/ NEW OF SIMILAR CONSTRUCTION &amp; ARRANGEMENT.</u>		
Contractor's name: <u>TBD</u> Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>ELAINE CYR</u> Telephone: <u>253-5609</u> Mailing address: <u>480 CONGRESS ST, PORTLAND ME 04101</u>		

**RECEIVED**  
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, Room 311 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Elaine Cyr Date: 10-29-10

This is not a permit; you may not commence ANY work until the permit is issue

**Marge Schmuckal - FW: 480 Congress St**

---

**From:** "Aaron Wilson" <AWilson@adpengineering.com>  
**To:** <mes@portlandmaine.gov>  
**Date:** 11/3/2010 10:14 AM  
**Subject:** FW: 480 Congress St  
**Attachments:** 10227-C101\_11x17.pdf; 10227-C101\_fullsize.pdf

Hi Marge,

Attached is the plot plan for the 480 Congress st. fire escape stair replacement project (permit applicant – Elaine Cyr of Stenhouse publishers).

Sorry I did not have this with the rest of the permit information.

One pdf is the full size 24x36 plot, the other is 11x17.

I will have someone bring hardcopies to you later today

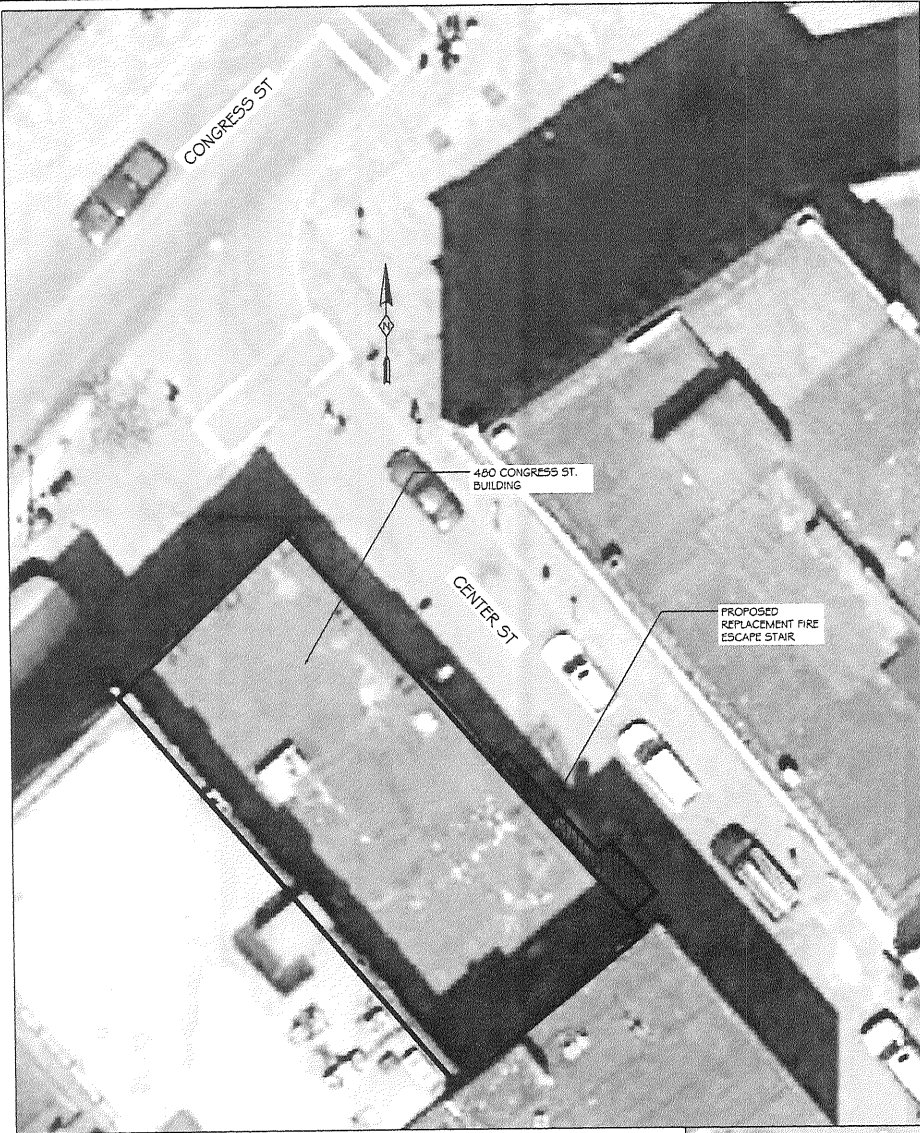
Thanks again

Aaron S. Wilson, P.E.  
Vice President

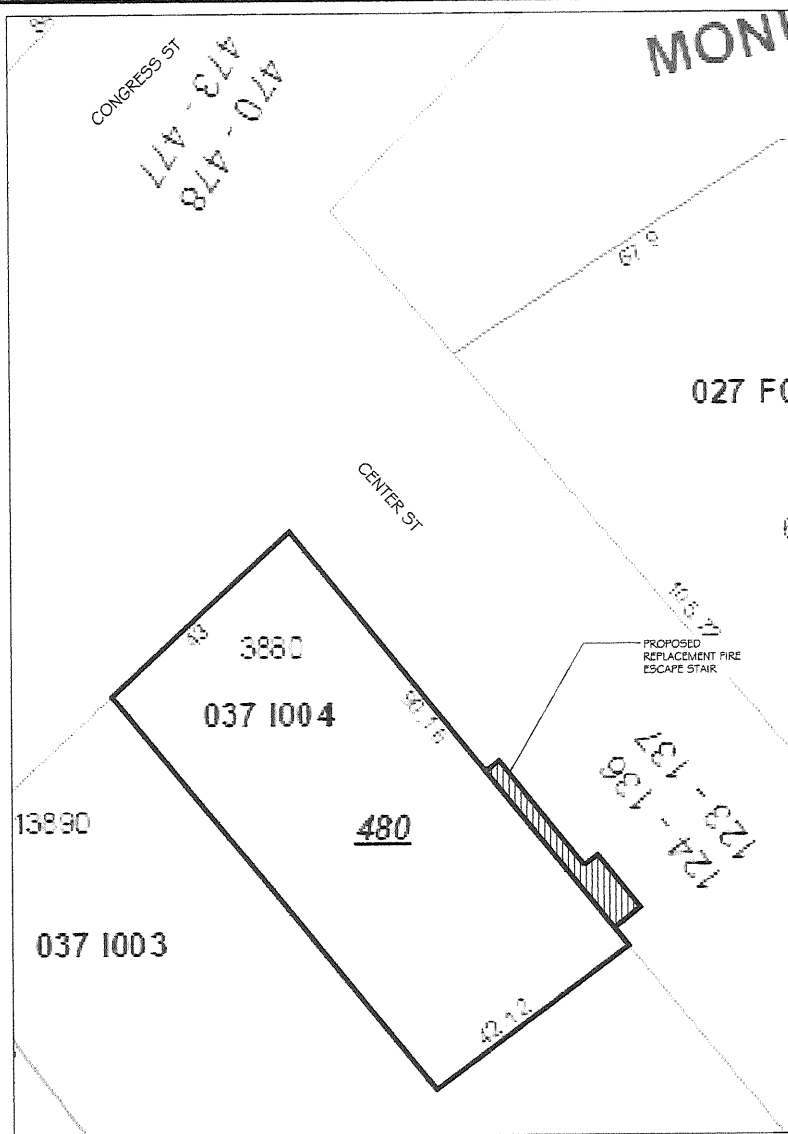
Associated Design Partners, Inc  
80 Leighton Rd  
Falmouth, ME 04105

Ph: 207.878.1751

Fx: 207.878.1788

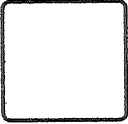


AERIAL PHOTO



TAX MAP PLOT PLAN

NOTES:  
 INFORMATION DERIVED ON THIS PLAN IS DERIVED FROM THE CITY OF PORTLAND TAX MAP AND ASSOCIATED DESIGN PARTNERS, INC DOES NOT WARRANT OR GUARANTEE IN ANY WAY THE ACCURACY OR COMPLETENESS OF INFORMATION DEPICTED. THIS IS A SCHEMATIC REPRESENTATION OF THE BUILDING AND LOT CONFIGURATION AND IS NOT A BOUNDARY SURVEY.



**ASSOCIATED DESIGN PARTNERS INC.**  
 Office: (207) 878-1751  
 Fax: (207) 878-1788  
 80 Leighton Road  
 Falmouth, Maine 04105  
 E-Mail: adpdesignpartners.com

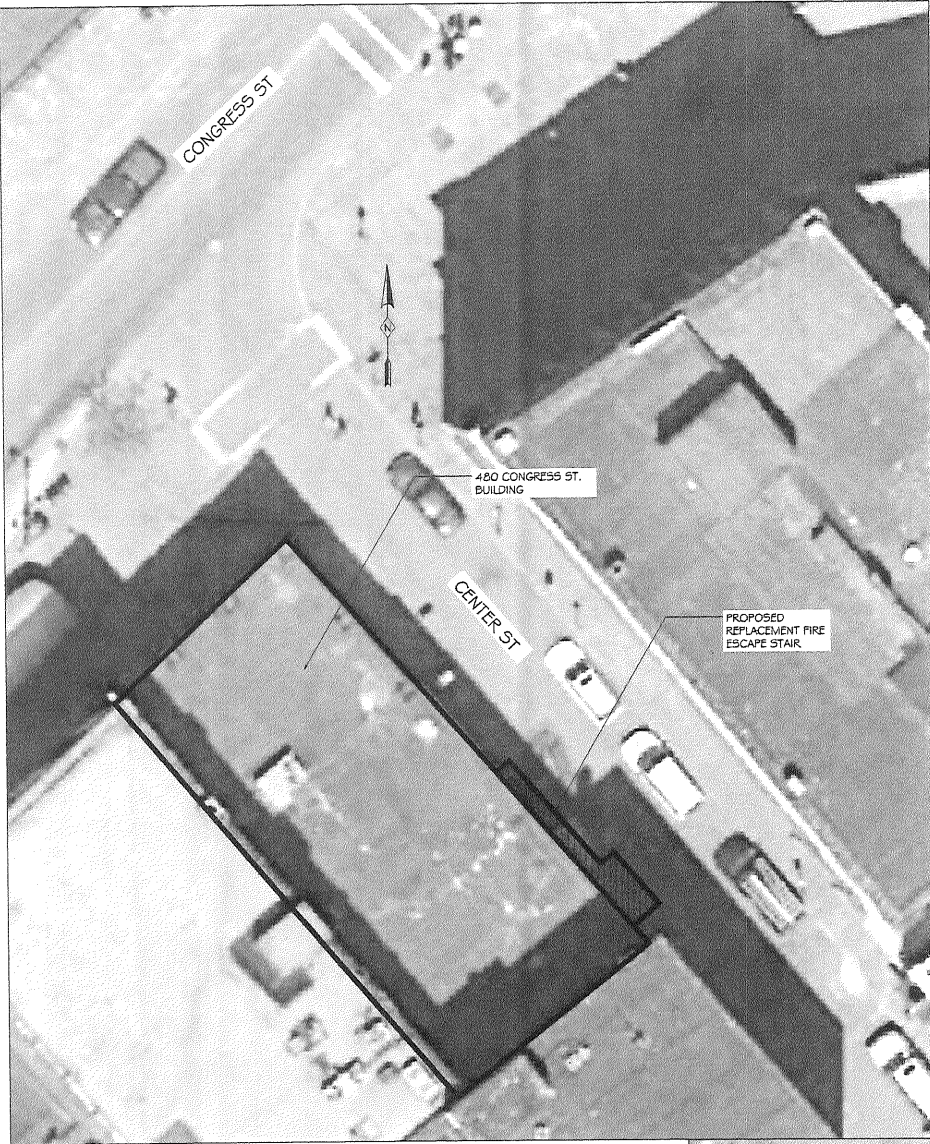
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PROJECT: **STENHOUSE PUBLISHERS**  
 PORTLAND, MAINE  
 FOR:  
 SHEET TITLE: **SCHEMATIC PLOT PLAN**  
 ISSUED FOR PERMITTING

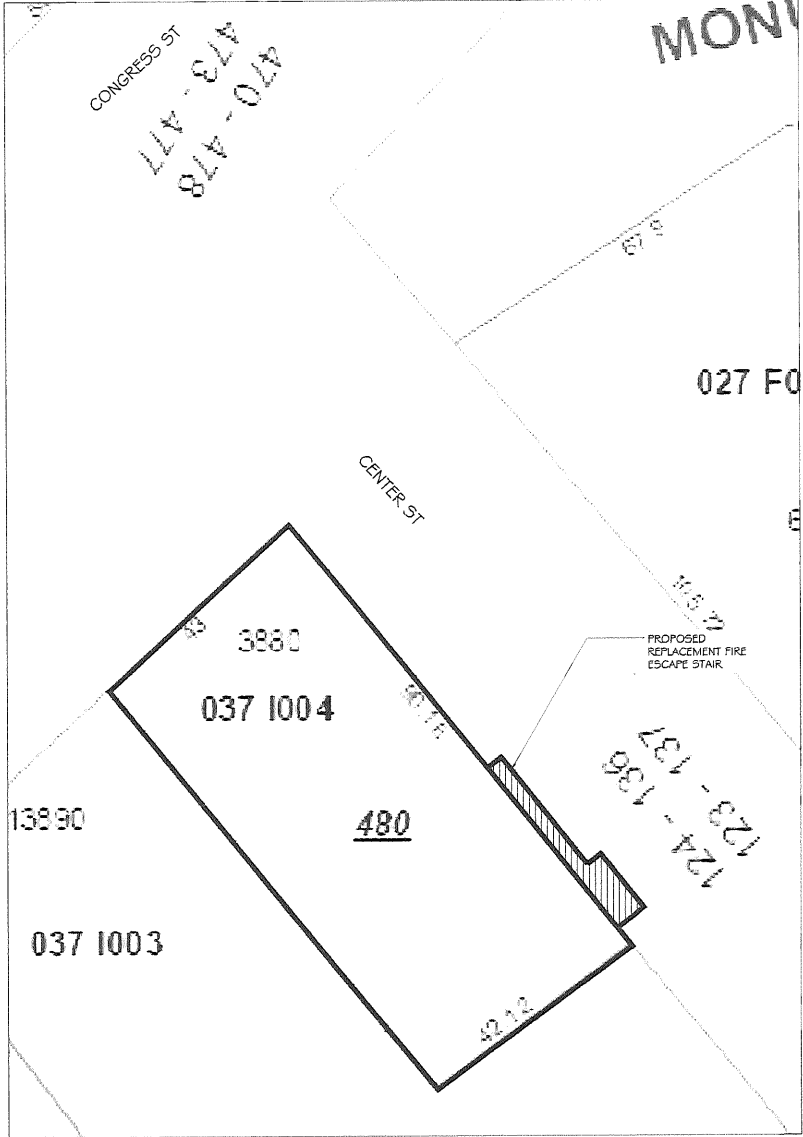
NO.	BY	REVISIONS DESCRIPTION	DATE

DATE: 11-2-19  
 SCALE: AS NOTED  
 DESIGN BY: ASW  
 DRAWN BY: ASW  
 FILE #: 10227-C101.DWG  
 PROJECT NUMBER:  
**10227**  
 SHEET NO:  
**C101**





AERIAL PHOTO



TAX MAP PLOT PLAN

NOTE:  
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PORTLAND TAX MAP AND ASSOCIATED DESIGN PARTNERS, INC. DOES NOT  
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BUILDING AND LOT CONFIGURATION AND IS NOT A SURVEY.

**ASSOCIATED DESIGN PARTNERS INC.**  
80 Litchfield Road  
Portland, Maine 04105  
Office: (207) 876-1761  
Fax: (207) 876-1789  
E-Mail: adp@designpartners.com

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OF ASSOCIATED DESIGN PARTNERS, INC.  
NO REPRODUCTION OR TRANSMISSION,  
WHICH EVER OF THIS DOCUMENT, WITHOUT  
THE WRITTEN CONSENT IS PERMITTED.

PROJECT: **STENHOUSE PUBLISHERS**  
PORTLAND, MAINE  
FOR:  
SHEET TITLE: **SCHEMATIC PLOT PLAN  
ISSUED FOR PERMITTING**

NO.	REVISIONS DESCRIPTION	DATE

DATE : 11-2-10  
SCALE : AS NOTED  
DESIGN BY: ASW  
DRAWN BY: ASW  
FILE #: 10227-C101.DWG  
PROJECT NUMBER:  
**10227**  
SHEET NO:  
**C101**



# Certificate of Design Application

ASSOCIATED DESIGN PARTNERS, INC

From Designer:

Date:

10-28-10

Job Name:

480 Congress St Fire Escape Stairs

Address of Construction:

480 Congress St.

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2006 IBC Use Group Classification (s) B

Type of Construction 1

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Y - EXG

Is the Structure mixed use? N If yes, separated or non separated or non separated (section 302.3) \_\_\_\_\_

Supervisory alarm System? Y Geotechnical/Soils report required? (See Section 1802.2) N

### Structural Design Calculations

\_\_\_\_\_ Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use Egress	Loads Shown 100 PSF
_____	_____
_____	_____
_____	_____
_____	_____

### Wind loads (1603.1.4, 1609)

<u>ANALYTICAL</u>	Design option utilized (1609.1.1, 1609.6)
<u>100</u>	Basic wind speed (1809.3)
<u>1.0</u>	Building category and wind importance Factor, $I_p$ table 1604.5, 1609.5)
<u>B</u>	Wind exposure category (1609.4)
<u>+/- 0.18</u>	Internal pressure coefficient (ASCE 7)
_____	Component and cladding pressures (1609.1.1, 1609.6.2.2)
_____	Main force wind pressures (7603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

<u>NA</u>	Design option utilized (1614.1)
<u>NA</u>	Seismic use group ("Category")
<u>NA</u>	Spectral response coefficients, $S_D$ & $S_{D1}$ (1615.1)
<u>NA</u>	Site class (1615.1.5)

<u>NO</u>	Live load reduction
<u>NA</u>	Roof <i>live</i> loads (1603.1.2, 1607.11)
<u>50.4</u>	Roof snow loads (1603.7.3, 1608)
<u>60</u>	Ground snow load, $P_g$ (1608.2)
<u>50.4</u>	If $P_g > 10$ psf, flat-roof snow load $I_f$
<u>1</u>	If $P_g > 10$ psf, snow exposure factor, $C_e$
<u>1</u>	If $P_g > 10$ psf, snow load importance factor, $I_s$
<u>1.2 COLD RF</u>	Roof thermal factor, $C_t$ (1608.4)
<u>NA</u>	Sloped roof snowload, $P_s$ (1608.4)
<u>NA</u>	Seismic design category (1616.3)
<u>NA</u>	Basic seismic force resisting system (1617.6.2)
<u>NA</u>	Response modification coefficient, $R_f$ and deflection amplification factor, $C_d$ (1617.6.2)
<u>NA</u>	Analysis procedure (1616.6, 1617.5)
<u>NA</u>	Design base shear (1617.4, 1617.5.1)

### Flood loads (1803.1.6, 1612)

<u>NA</u>	Flood Hazard area (1612.3)
<u>NA</u>	Elevation of structure

### Other loads

<u>NA</u>	Concentrated loads (1607.4)
<u>NA</u>	Partition loads (1607.5)
<u>NA</u>	Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



# Certificate of Design

**Date:** 10-28-10 \_\_\_\_\_

**From:** ASSOCIATED DESIGN PARTNERS, INC \_\_\_\_\_

These plans and / or specifications covering construction work on:

480 CONGRESS ST  
\_\_\_\_\_

EXTERIOR FIRE ESCAPE STAIR REPLACEMENT  
\_\_\_\_\_

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.

Signature: 

Title: ENGINEER

Firm: ASSOCIATED DESIGN PARTNERS, INC

Address: 80 LEIGHTON RD

FALMOUTH, ME 04105

Phone: 878-1751

**(SEAL)**

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



# Accessibility Building Code Certificate

**Designer:** ASSOCIATED DESIGN PARTNERS, INC

**Address of Project:** 480 CONGRESS ST

**Nature of Project:** EXTERIOR FIRE ESCAPE REPLACEMENT

\_\_\_\_\_

\_\_\_\_\_

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

**(SEAL)**

**Signature:** *Alan S. Wall*

**Title:** ENGINEER

**Firm:** ASSOCIATED DESIGN PARTNERS, INC

**Address:** 80 LEIGHTON RD

FALMOUTH, ME 04105

**Phone:** 878-1751

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)

## Fire Department requirements.

The following shall be submitted on a separate sheet:

- N/A.
- Name, address and phone number of applicant **and** the project architect.
  - Proposed use of structure (NFPA and IBC classification)
  - Square footage of proposed structure (total and per story)
  - Existing and proposed fire protection of structure. *EX. BLDG IS SPINKLERED.*
  - Separate plans shall be submitted for
    - a) Suppression system
    - b) Detection System (separate permit is required)
  - A separate Life Safety Plan must include:
    - a) Fire resistance ratings of all means of egress
    - b) Travel distance from most remote point to exit discharge
    - c) Location of any required fire extinguishers
    - d) Location of emergency lighting
    - e) Location of exit signs
    - f) NFPA 101 code summary
  - Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

**Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

**This is not a Permit; you may not commence any work until the Permit is issued.**



# New Commercial Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

## One (1) complete Set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- NA
- Cross sections w/framing details
  - Detail of any new walls or permanent partitions
  - Floor plans and elevations
  - Window and door schedules
  - Foundation plans with rebar specifications and required drainage and damp proofing (if applicable)
  - Detail egress requirements ~~and fire separations~~
  - Insulation R-factors of walls, ceilings, floors and U-factors of windows as per the IEEC 2003
  - Complete the Accessibility Certificate and The Certificate of Design
  - A statement of special inspections as required per the IBC 2003
  - Complete electrical and plumbing layout.
  - Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review.
  - Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
  - Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal & external plumbing, HVAC and electrical installations.

## Nine (9) copies of the minor (< 10,000 sf) or major (> 10,000 sf) site plan application is required that includes:

- A stamped boundary survey to scale showing north arrow, zoning district and setbacks to a scale of  $\geq 1" = 20'$  on paper  $\geq 11" \times 17"$
- The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines. Photocopies of the plat or hand draw footprints not to scale will not be accepted.
- Location and dimensions of parking areas and driveways, street spaces and building frontage
- Finish floor or sill elevation (based on mean sea level datum)
- Location and size of both existing utilities in the street and the proposed utilities serving the building
- Existing and proposed grade contours
- Silt fence (erosion control) locations

NA.

October 29, 2010

10227

Ms. Jeanie Bourke  
Code Enforcement Officer  
389 Congress St  
Portland, ME 04101

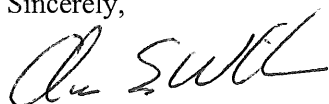
Re: Replacement Fire Escape Stairs  
480 Congress St.  
Portland, ME

Dear Jeanie,

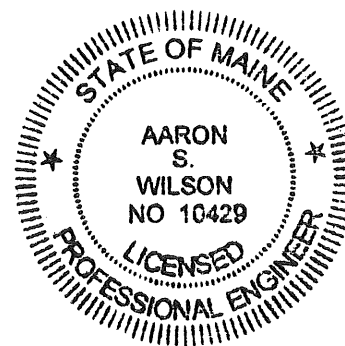
Please find the permitting documents for the proposed replacement exterior fire escape stair currently planned for the south side of the 480 Congress St Building (abutting Center St.). The original fire escape stair that exists has deteriorated to the point where it is not feasible to reinforce or repair piecemeal. Accordingly, the project includes complete removal of the deteriorated original fire escape stair, and replacement with a new black structural steel fire escape stair in accordance with IBC 2003 Section 3404.1.3. The new stair arrangement, material, and supports are similar to the existing, and all existing decorative elements of the existing will be removed, salvaged, restored, and re-installed.

Please call if there are any questions.

Sincerely,



Aaron S Wilson, P. E.  
Structural Engineer  
Associated Design Partners Inc  
ASW



**STATEMENT OF SPECIAL  
CONSTRUCTION MONITORING**

**PROJECT:** 480 Congress St Fire Escape  
Portland, Maine

**PERMIT APPLICANT:** Elaine Cyr  
**APPLICANT'S ADDRESS:** Stenhouse Publishers  
480 Congress St, Portland ME 04101

**STRUCTURAL ENGINEER OF RECORD:** Associated Design Partners, Inc

**CONTRACTOR:** TBD

This Statement of Special Construction Monitoring is submitted as a condition for building permit issuance in accordance with Section 1704.0 of the 2003 International Building Code. It includes the Schedule of Special Construction Monitoring and Testing as applicable to this project. Also included is a listing of agents and other approved agencies to be retained for conducting the monitoring and testing applicable to this project.

The Special Construction Monitoring Coordinator shall keep records of all observations listed herein, and shall furnish field reports to the Registered Design Professional of Record. All discrepancies shall be brought to the immediate attention of the Contractor for correction, and to the Registered Design Professional of Record. If the discrepancies are not corrected, the discrepancies shall be brought to the attention of the Registered Design Professional of Record. Interim reports shall be submitted to the Registered Design Professional of Record monthly, unless more frequent submissions are requested.

The Special Inspection program does not relieve the Contractor of his or her responsibilities. Job site safety is solely the responsibility of the Contractor. Materials and activities covered under the monitoring schedule are not to include the Contractor's equipment and methods used to erect or install the materials listed.

Prepared by:

Aaron S. Wilson, P.E.

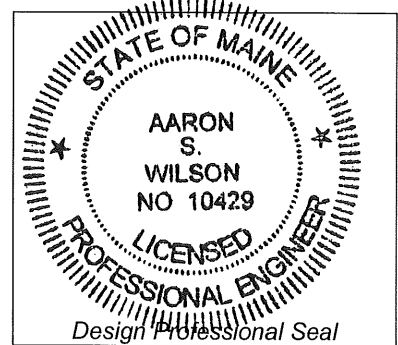
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(type or print name)

*Aaron S. Wilson*

Signature

10/28/10

Date



Owner's Authorization:

*Elaine Cyr*

Signature

10-29-10

Date

Building Official's Acceptance:

*James Burke*

Signature

12/17/10

Date



## SPECIAL CONSTRUCTION MONITORING AGENTS

This Statement of Special Construction Monitoring / Quality Assurance Plan includes the following building systems:

- |  |  |
|--|--|
| <input type="checkbox"/> Soils and Foundations<br><input type="checkbox"/> Cast-in-Place Concrete<br><input type="checkbox"/> Precast Concrete<br><input type="checkbox"/> Masonry<br><input checked="" type="checkbox"/> Structural Steel<br><input type="checkbox"/> Cold-Formed Steel Framing | <input type="checkbox"/> Spray Fire Resistant Material<br><input type="checkbox"/> Wood Construction<br><input type="checkbox"/> Exterior Insulation and Finish System<br><input type="checkbox"/> Mechanical & Electrical Systems<br><input type="checkbox"/> Architectural Systems<br><input type="checkbox"/> Special Cases |
|--|--|

AGENT	FIRM	CONTACT INFORMATION
1. Engineer of Record	<b>Associated Design Partners</b>	80 Leighton Rd Falmouth ME 04105 Ph: 878-1751
2. Special Construction Monitoring Coordinator	<b>Associated Design Partners</b>	80 Leighton Rd Falmouth ME 04105 Ph: 878-1751
3. Field Monitor	<b>TBD</b>	
4. Testing Agency	<b>TBD</b>	
5. Other		

Note: The construction monitoring agent and testing agency shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

## QUALITY ASSURANCE FOR LATERAL SYSTEMS

### Quality Assurance for Seismic Requirements

Seismic Design Category *B*  
Quality Assurance Plan Required (Y/N) *N*

If seismic design category C, and plan is not required, explain (see exceptions to 1705.1)

Description of seismic force resisting system and designated seismic systems:

*Not applicable*

### Quality Assurance for Wind Requirements

Basic Wind Speed (3 second gust) *100MPH*  
Quality Assurance Plan Required (Y/N) *N*

Description of wind force resisting system and designated wind resisting components:

*Light Framed wood Shearwalls and Diaphragms.*

### Statement of Responsibility

Each contractor responsible for the construction or fabrication of a system or component designated above must submit a Statement of Responsibility in accordance with section 1705.3, and 1706.3 of the 2003 IBC code.

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided if requested.

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge deems it appropriate that the individual performing a stipulated test or inspection have a specific certification or license as indicated below, such designation shall appear below the *Agency Number* on the Schedule.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

#### **American Concrete Institute (ACI) Certification**

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

#### **American Welding Society (AWS) Certification**

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

#### **American Society of Non-Destructive Testing (ASNT) Certification**

ASNT	Non-Destructive Testing Technician – Level II or III.
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#### **International Code Council (ICC) Certification**

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

#### **National Institute for Certification in Engineering Technologies (NICET)**

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician - Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician - Levels I, II, III & IV

#### **Exterior Design Institute (EDI) Certification**

EDI-EIFS	EIFS Third Party Inspector
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**TABLE 1 – SCHEDULE OF SPECIAL CONSTRUCTION MONITORING**

MATERIAL / ACTIVITY		EXTENT of MONITORING (Continuous, Periodic, Other, Exempt, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
<b>1704.3 STEEL CONSTRUCTION</b>						
1. Material Verification of high strength bolts, nuts, and washers.	a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Periodic		1		
	b. Manufacturers Certificate of Compliance required.	Periodic		1		
2. Inspection of High – Strength Bolting	a. Bearing type connections	Periodic		1,3		
	b. Slip – critical connections	None	No SC connections in building			
3. Material Verification of structural steel	a. Identification marking to conform to ASTM standards specified in the contract documents.	All	SER to verify on shop drawings.	3		
	b. Manufacturers certified mill test Reports.	Exempt	Engage AISC certified fabricator			
4. Material Verification of weld filler materials:	a. Identification marking to conform to ASTM standards specified in the contract documents.	All	SER to verify on shop drawings.	3		
	b. Manufacturers Certificate of Compliance required.	Exempt	Engage AISC certified fabricator			
5. Inspection of Welding – Structural Steel	a. Single Pass fillet welds < 5/16”	Periodic		1,3		
	b. Floor and deck welds	None				
6. Inspection of Steel Frame Joint details for compliance with approved construction documents.	a. Bracing connections	Periodic		1,3		
	b. Member locations	Periodic		1,3		
	c. Application of joint details at each connection.	Periodic		1,3		

**TABLE 1 – STATEMENT OF SPECIAL INSPECTIONS, cont.**

MATERIAL/ACTIVITY	EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
<b>1704.4 CONCRETE CONSTRUCTION</b>					
1. Inspection of reinforcing steel, including placement.	None				
2. Inspection of reinforcing steel welding	None				
1. Inspect bolts embedded into concrete prior to and during placement of concrete where allowable loads have been increased.	None	Allowable loads have not been increased for lateral loads.			
2. Verify use of required concrete mix design(s)	None	SER review and approve mix design prior to installation. SI verify delivery ticket matches approved mix design.			
3. Sample fresh concrete for strength tests, perform slump and air content tests, and determine temperature of concrete.	None				
6. Inspection of concrete placement for proper techniques.	None				
7. Inspection for maintenance of specified curing temperature and techniques.	None				
<b>1704.5 MASONRY CONSTRUCTION - Level 1 Special Inspection for non-essential facility – 1704.5.2</b>					
1. As Masonry Construction begins, the following shall be verified to ensure conformance	a. Proportions of site-prepared mortar	None			
	b. Construction of mortar joints	None			
	c. Location of reinforcement	None			
	d. Pre-stressing technique	None	No pre-stressing in building		
	e. Grade and size of pre-stressing tendons.	None	No pre-stressing in building		
2. The Inspection program shall verify the following:	a. Size and location of structural elements.	None			
	b. Type, size, and location of embedded anchors.	None			
	c. Size, grade, and type of reinforcing	None			

**TABLE 1 – STATEMENT OF SPECIAL INSPECTIONS, cont.**

MATERIAL/ACTIVITY		EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
<b>1704.5 MASONRY CONSTRUCTION - Level 1 Special Inspection for non-essential facility – 1704.5.2</b>						
2. The Inspection program shall verify the following, cont:	d. welding of reinforcing bars	None				
	e. Protection of Masonry during cold weather (temp. below 40 deg F.)	None				
	f. Application and measurement of pre-stressing reinforcement	None	No pre-stressing in building			
3. Prior to grouting, the following shall be verified to ensure compliance.	a. Grout space is clean	None				
	b. Placement of reinforcement	None				
	c. Proportions of site-prepared grout	None				
	d. Construction of mortar joints	None				
4. Grout placement shall be verified to ensure compliance with code and construction document provisions.		None				
5. Preparation of any grout specimens, mortar specimens and/or prisms shall be observed		None				
4. Compliance with required inspection provisions of the construction documents and the approved submittals shall be verified.		None				
<b>1704.6 WOOD CONSTRUCTION</b>						
1. Horizontal Diaphragms and Vertical Shearwalls	a. Inspect sheathing size, grade, and thickness for conformance with construction documents.	None				
	b. Inspect sheathing fastener size and pattern for conformance with construction documents.	None				
	c. Verify attachment to supporting elements is per contract documents.	None				
2. Wood truss fabricator certification / quality control procedures	Verify shop fabrication and quality control procedures for wood truss plant.	None	Fabricator Exempt			
3. Material Grading	Verify material grading for sawn lumber for compliance with construction documents. Verify manufactured lumber (LVL'S, PSL's) for conformance with construction documents.	None				
<b>1704.6 WOOD CONSTRUCTION</b>						

**TABLE 1 – STATEMENT OF SPECIAL INSPECTIONS, cont.**

MATERIAL/ACTIVITY		EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
4. Wood Connections	Verify that connections are made as shown in the contract documents. For connections not specifically detailed, verify conformance with IBC 2003 Ch. 23					
5. Framing	Verify that framing is installed in accordance with construction documents.					
6. Pre-Fabricated Wood Trusses						
<b>1704.7SOILS</b>						
1. Site Preparation	Inspect preparation of site for conformance with Geotechnical recommendations prior to placement of prepared fill.					
2. Fill Placement	During Fill Placement verify that material and lift thickness comply with approved Geotechnical report.					
<b>1704.7SOILS, con't</b>						
3. In-Place Soil Density	Verify compliance of in-place compacted dry density with approved Geotechnical report.					
<b>1704.8PILE FOUNDATIONS</b>						
	Record installation and testing of procedures of each pile. Submit reports to building official and EOR. Reports to include pile tip cutoff elevation relative to a common benchmark.					
<b>1704.10 ARCHITECTURAL WALL PANELS AND VENEERS</b>						
	Verify compliance of attachment of interior and exterior Architectural veneers to supporting structure for building in Seismic Design Category E or F.					
<b>1704.11 SPRAYED FIRE-RESISTANT MATERIAL</b>						
	a. Verify conformance of the prepared surface with manufacturer's specifications prior to application of material.					
	b. Verify that substrate's ambient					

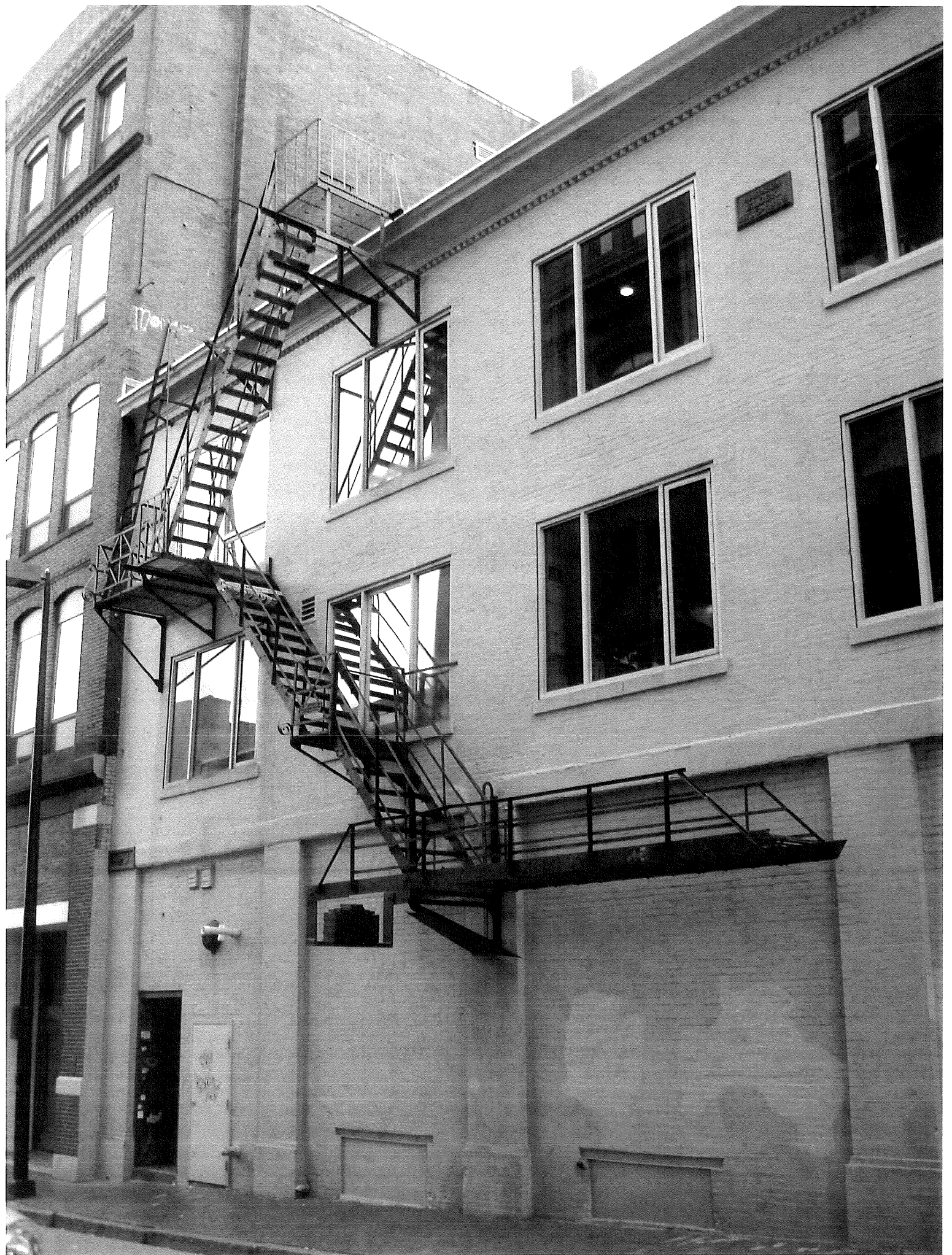
**TABLE 1 – STATEMENT OF SPECIAL INSPECTIONS, cont.**

MATERIAL/ACTIVITY		EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
	temperature meet manufacturer's specifications.					
	c. Verify that material thickness meets design specifications.					
	d. Verify that the material density meets the design specifications. Test in accordance with ASTM E 605.					
	e. Verify that bond strength between material and substrate is greater than or equal to 150 psf. Test in accordance with ASTM E 736 and IBC 2003 1704.11.5.1 – 1704.11.5.2					
<b>1704.12 EXTERIOR AND INSULATION AND FINISH SYSTEMS (EIFS)</b>	Verify conformance of EIFS installation with manufacturers and design specifications.		Not Required if applied over a water resistive barrier with a means of draining moisture to the outside. Not required for EIFS installed over concrete or masonry walls.			
<b>1704.13 SPECIAL CASES COLD FORMED METAL FRAMING</b>						
1. Horizontal Diaphragms and Vertical Shearwalls	a. Inspect sheathing size, grade, and thickness for conformance with construction documents.					
	b. Inspect sheathing fastener size and pattern for conformance with construction documents.					
2. Framing	Verify member size, thickness, material, and spacing is in accordance with design specifications and drawings.					
3. Wood truss fabricator certification / quality control procedures	Verify shop fabrication and quality control procedures for wood truss plant.	None				
4. Framing Connections	Verify that member connections are in accordance with design specifications and drawings.					



**TABLE 1 – STATEMENT OF SPECIAL INSPECTIONS, cont.**

MATERIAL/ACTIVITY		EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
5. Welding	Verify welding of cold formed members is in accordance with design specifications and AWS standards.					
6. Light Gage Trusses	a. Verify that light gage trusses are design in accordance with the loads specified on the contract documents.					
	b. Verify that light gage trusses and truss bracing is installed per manufacturers specifications, contract documents, and BCSI 1-03 guidelines.					
1704.10 SMOKE CONTROL						
	a. Test ductwork for leakage and recode device locations prior to concealment of mechanical systems.					
	Prior to building occupation, perform pressure difference testing, flow measurements and detection, and control monitoring.					





**To:**  
**Jeanie Bourke**  
Planning and Urban Development Department  
389 Congress St  
Room 308  
Portland, ME 04101

**Reply to:**  
**Assoicated Design Partners, Inc**  
80 Leighton Road  
Falmouth, Maine 04105  
tel. (207) 878-1751 fax. (207) 878-1788  
email. adp@adpengineering.com

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Progress	
Comment	
Approval	
Information	
Construction	
Records	x
As noted	
Revision Purposes	
Client Review	
Bidding	
For Your Use	

<b>Job Title:</b>	<b>Stenhouse Publishers (480 Congress St)</b>
<b>ADP Job #</b>	<b>10227</b>

**Remarks:** Jeannie, these are revised plans for the fire escape stairs at 480 Congress St (Stenhouse Publishers, Elaine Cyr permit applicant). We modified the railing and tread elements for cost savings. The railings now consist of steel pipe elements, and the treads are solid slip resistant steel plate.

Drawing / Document No.	Revision	No. of Copies		Date	Title / Description	Comments
		Prints	Repros			
A101	3	1	1	1/11/2011		
A301	2	1	1	1/11/2011		
A302	2	1	1	1/11/2011		

Copies have been forwarded for information as follows:

Complete Sets	No.	Transmittal Note Only

Issued By:

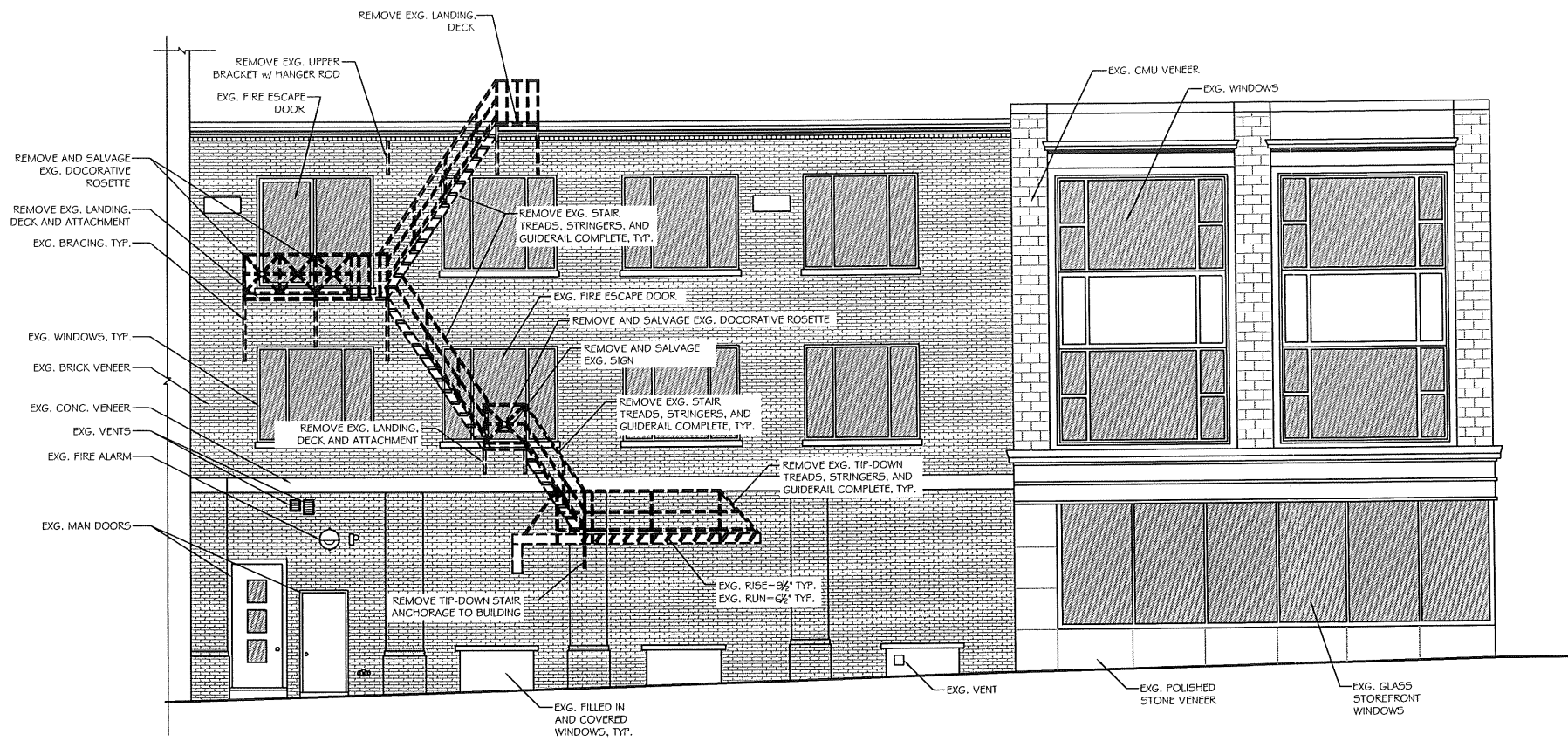
Date

Aaron Wilson/Betsy

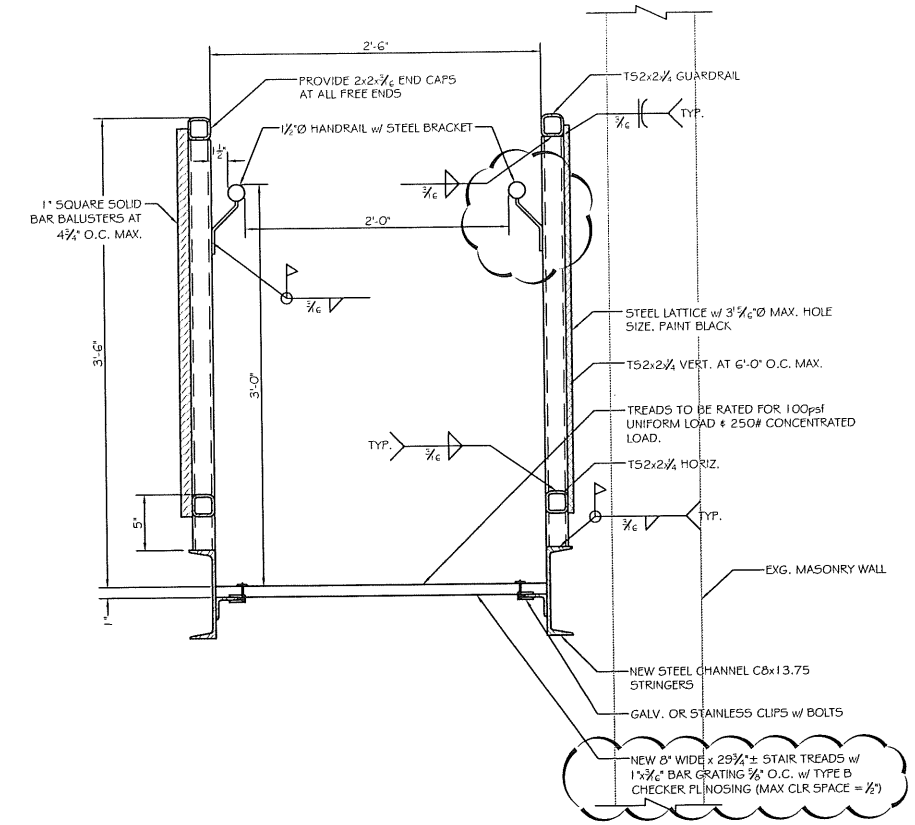
1/17/2011

CBL: 037-1-004

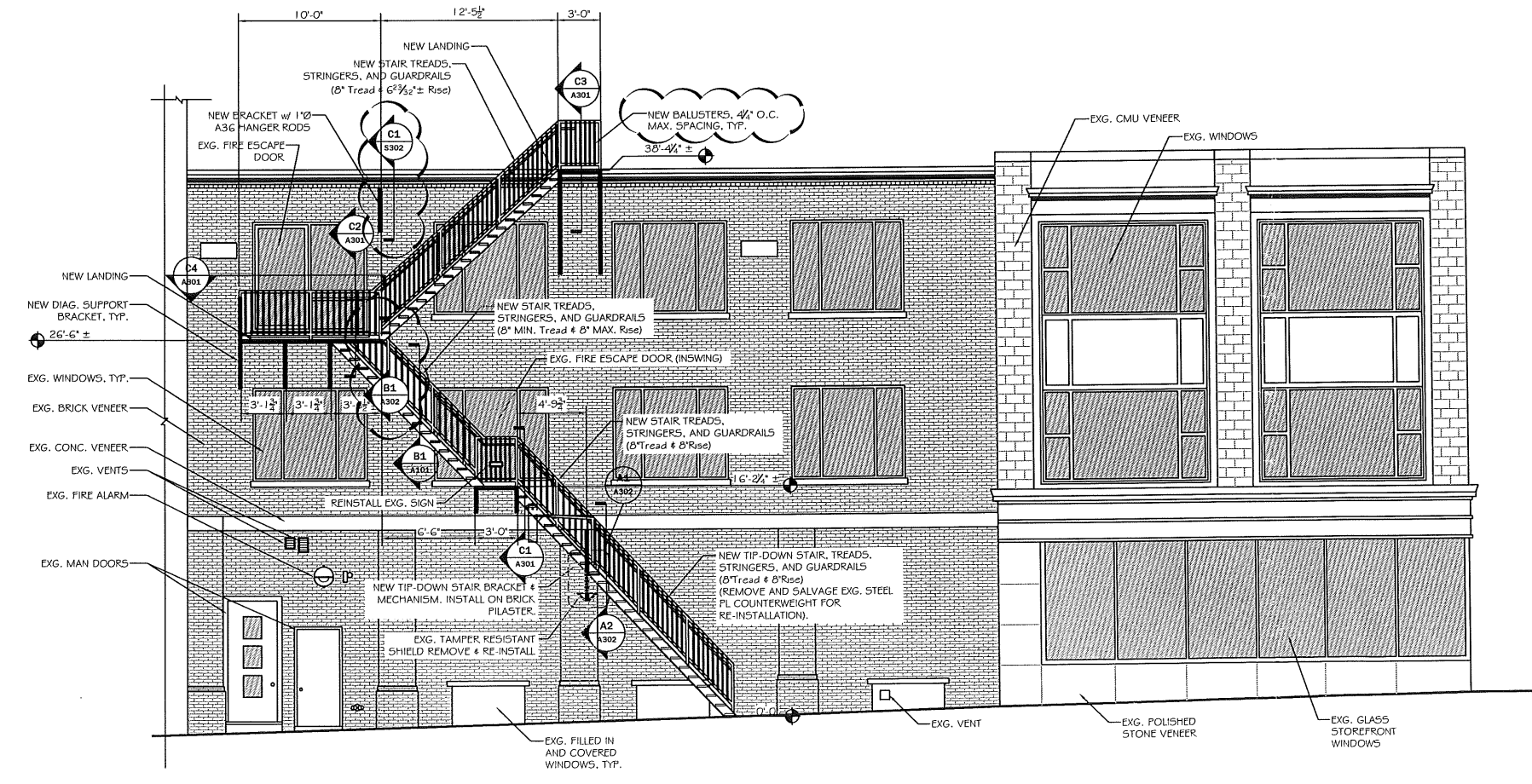
**RECEIVED**  
JAN 19 2011  
Dept. of Building Inspections  
City of Portland Maine



B2 EXISTING ELEVATION  
SCALE: 3/8" = 1'-0"



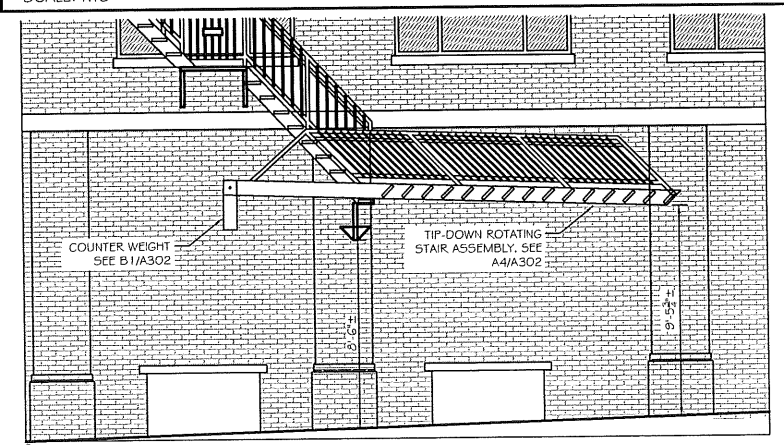
B1 TYPICAL STAIR SECTION  
SCALE: 1/2" = 1'-0"



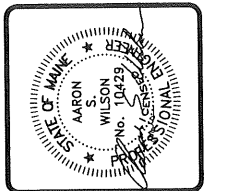
A2 REPLACEMENT FIRE ESCAPE STAIR  
SCALE: 3/8" = 1'-0"

- NOTES:
1. ALL STAIR PARTS TO BE PRIMED & PAINTED (2 COATS) FLAT BLACK. SUBMIT MANUFACTURER SPECS ON PRIMER & PAINT TO ENGINEER FOR REVIEW.
  2. ALL DIMS NOTED (±) TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO FABRICATION.
  3. COORDINATE w/ CITY OF PORTLAND FOR TEMPORARY SIDEWALK / ROAD CLOSURE DURING CONSTRUCTION.
  4. SALVAGE, CLEAN, PAINT, & RE-INSTALL ALL DECORATIVE ELEMENTS AT SIMILAR LOCATIONS TO EXG.
  5. DESIGN LL=100PSF (250# CONCENTRATED)
  6. CONTRACTOR FIELD VERIFY EXG. MASONRY WALL THICKNESS PRIOR TO CONSTRUCTION.

A3 NOTES  
SCALE: NT5



A1 ELEVATION AT TIP-DOWN STAIR IN UP POSITION  
SCALE: 1/2" = 1'-0"



**ASSOCIATED DESIGN PARTNERS INC.**  
Office: (207) 878-1751  
Falmouth, Maine 04105  
Fax: (207) 878-1788  
E-Mail: [adp@adpengineering.com](mailto:adp@adpengineering.com)

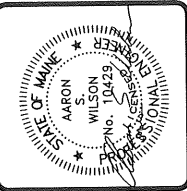
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PROJECT: **STENHOUSE PUBLISHERS**  
**PORTLAND, MAINE**  
FOR:  
SHEET TITLE: **FIRE ESCAPE STAIR EXTERIOR ELEVATIONS**  
**ISSUED FOR PERMITTING**

REVISIONS	DATE	DESCRIPTION
1	11/16/10	ADDITIONAL DETAILS
2	12/28/10	REV. PER CITY OF PORTLAND

DATE : 11-10-10  
SCALE : AS NOTED  
DESIGN BY: ASW  
DRAWN BY: RSC  
FILE #: 10227-A301.DWG  
PROJECT NUMBER:  
**10227**  
SHEET NO:  
**A101**

RECEIVED  
 Dept. of Building Inspection  
 City of Portland Maine



**ASSOCIATED DESIGN PARTNERS INC.**

Office: (207) 878-1751  
 Fax: (207) 878-1788  
 E-Mail: adp@engrinc.com

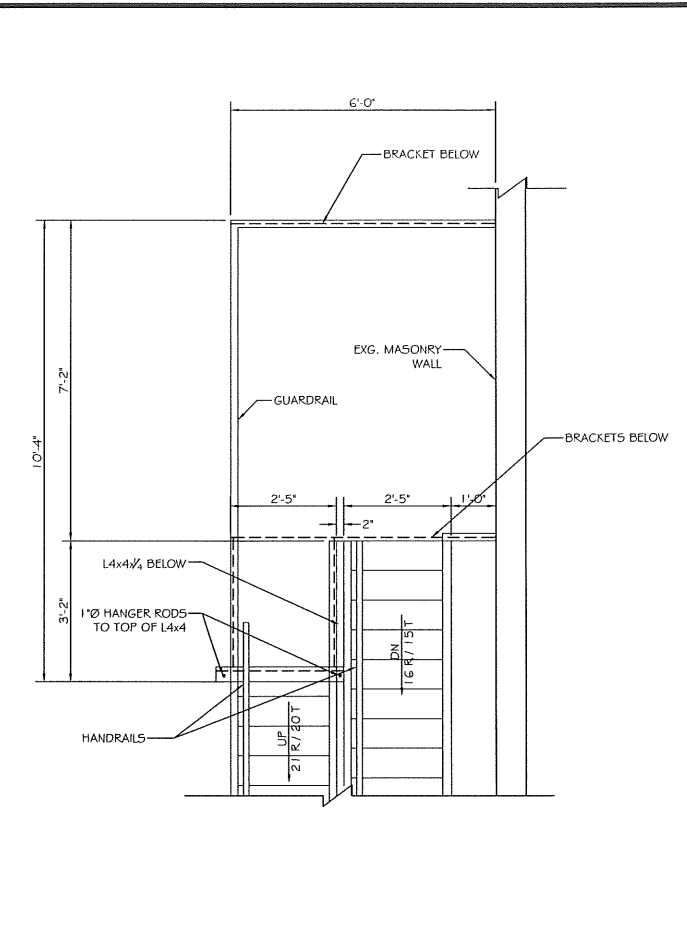
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PROJECT: **STENHOUSE PUBLISHERS**  
**PORTLAND, MAINE**

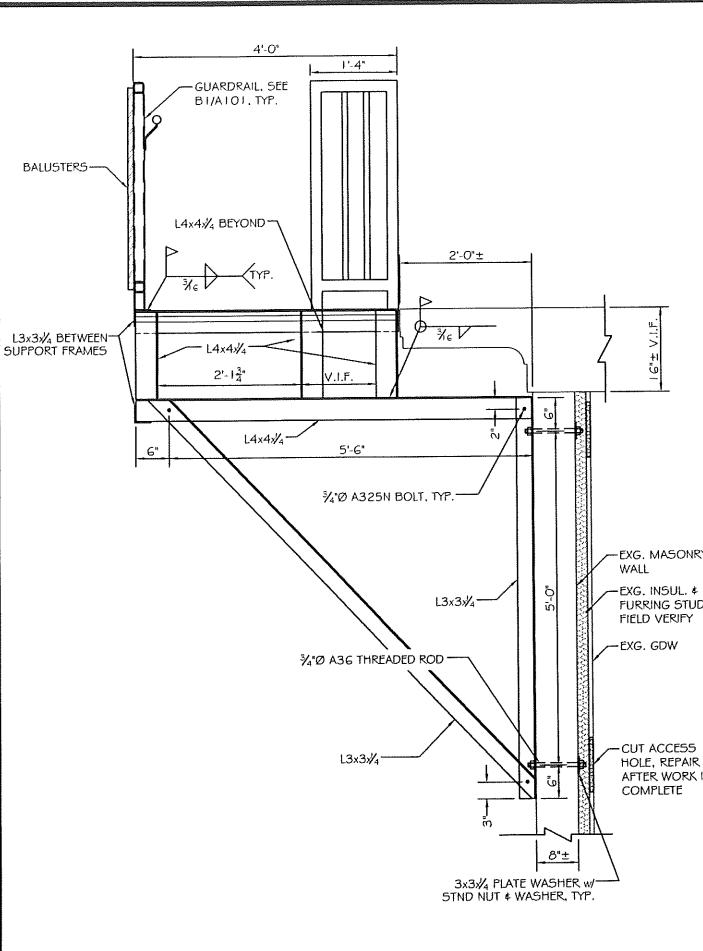
FOR: **ISSUED FOR BID**

REV. NO.	DATE	DESCRIPTION
1	12/28/10	
2		
3		
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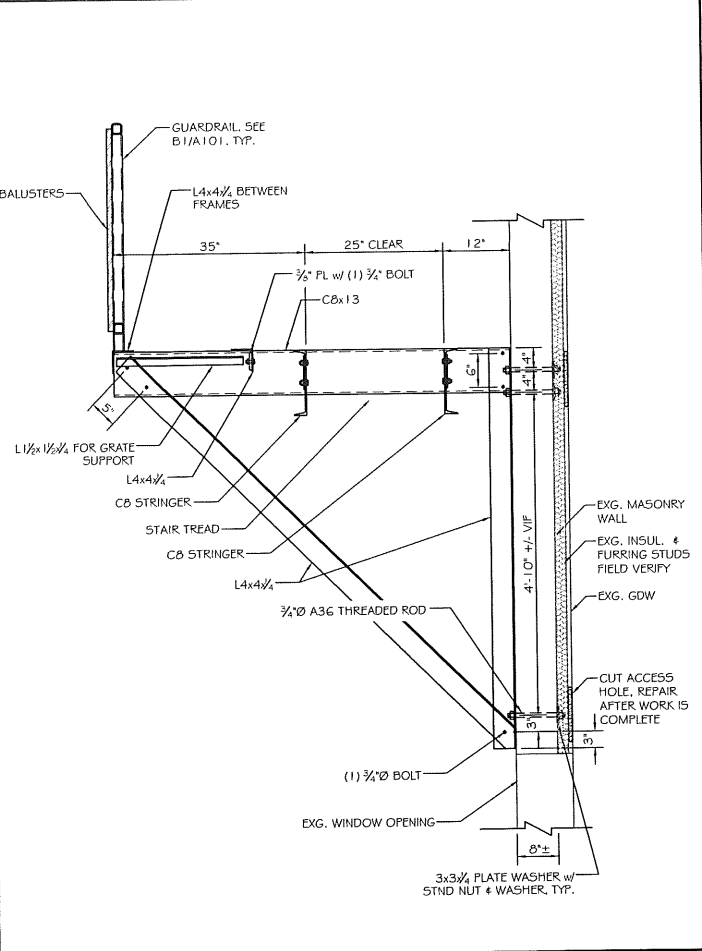
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**10227**  
 SHEET NO:  
**A301**



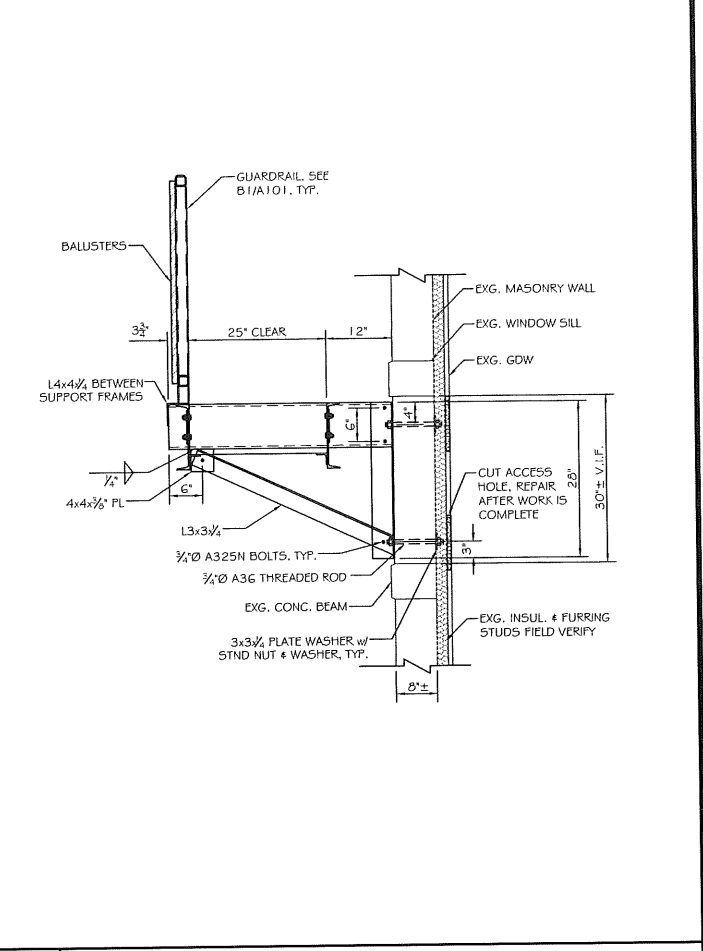
**C4 3rd FLOOR LANDING PLAN**  
 SCALE: 1"=1'-0"



**C3 SECTION AT ROOF LANDING FRAME**  
 SCALE: 3/4"=1'-0"



**C2 SECTION AT 3rd FLOOR LANDING FRAME**  
 SCALE: 3/4"=1'-0"



**C1 SECTION AT 2nd FLOOR LANDING FRAME**  
 SCALE: 3/4"=1'-0"

**STRUCTURAL STEEL NOTES**

**PART 1 - GENERAL**

1.00 STANDARD SPECIFICATIONS

A. FABRICATION, ERECTION, AND WELDING; IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS, ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN ADOPTED JUNE 1989, INCLUDING ALL PUBLISHED SUPPLEMENTS. A.I.S.C.

B. WELDING--IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY 'STRUCTURAL WELDING CODE', AWS D1.1, LATEST EDITION.

C. BOLTING OF STRUCTURAL JOINTS SHALL BE IN ACCORDANCE WITH 'AISC SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS', LATEST EDITION.

1.01 QUALIFICATIONS

A. WELDING PROCEDURES, WELDERS, WELDING OPERATIONS AND TACKING: QUALIFIED IN ACCORDANCE WITH AWS CODE.

1.02 SUBMITTALS

A. SUBMIT FOUR (4) SETS OF SHOP DRAWING PRINTS FOR REVIEW. INDICATE SHOP AND ERECTION DETAILS, INCLUDING CUTS, COPIES, CONNECTIONS, HOLES, THREADED FASTENERS, AND WELDS.

B. PROVIDE SETTING DRAWINGS, TEMPLATES AND DIRECTIONS FOR THE INSTALLATION OF ANCHOR BOLTS AND OTHER DEVICES.

1.03 PRODUCT HANDLING

A. STORE STRUCTURAL STEEL MEMBERS AT THE PROJECT SITE ABOVE GROUND ON PLATFORMS, SKIDS, OR OTHER SUPPORTS.

B. PROTECT STEEL FROM CORROSION.

**PART 2 - PRODUCTS**

2.01 MATERIALS

A. STRUCTURAL STEEL BEAMS, CHANNELS, AND T-SHAPES, ASTM A992.

B. STEEL ANGLES, BARS, AND PLATES - ASTM A-36.

C. STRUCTURAL TUBES AND COLUMNS - ASTM A500, GRADE B.

D. STRUCTURAL PIPE - ASTM A53, TYPE E, GRADE B, SCHEDULE 40.

E. HIGH STRENGTH BOLTS 3/4" ASTM A-325, TYPE 1 OR 2 GALVANIZED.

F. ANCHOR BOLTS - ASTM A-307, GRADE A GALVANIZED.

G. WELDING TO BE PERFORMED WITH E70XX 70 ksi ELECTRODES.

**PART 3 - EXECUTION**

3.01 FABRICATION

A. FABRICATE STRUCTURAL STEEL IN ACCORDANCE WITH THE REQUIREMENTS OF THE DRAWINGS AND THIS SECTION OF THE SPECIFICATIONS.

**A3 GENERAL NOTES**  
 SCALE: NTS

**STRUCTURAL STEEL NOTES, CONT.**

3.02 ERECTION

A. THE STRUCTURAL METAL SHALL BE ERECTED PLUMB AND TRUE TO THE LINES AND EVALUATIONS INDICATED ON THE DRAWINGS.

B. ERECTION TOLERANCES SHALL BE WITHIN THE LIMITS SPECIFIED IN SECTION 7.11 OF THE 'AISC CODE OF STANDARD PRACTICE'.

C. TEMPORARY CONNECTIONS SHALL BE ADEQUATE TO SAFELY SUPPORT ALL DEAD LOAD AND ERECTION IMPOSED STRESSES.

D. TEMPORARY BRACING SHALL BE PROVIDED WHEREVER NECESSARY TO HOLD THE STEEL IN A HORIZONTAL AND VERTICAL PLANE UNTIL PERMANENT BOLTING HAS BEEN COMPLETED.

E. BOLTS SHALL BE INSTALLED IN PROPERLY ALIGNED HOLES AND BROUGHT TO 'SNUG TIGHT' CONDITION, ALL PILES OF JOINT IN FIRM CONTACT, IN ACCORDANCE WITH SECTION 8.9 (C) OF THE BOLT SPECIFICATION OF SECTION 1.01 C OF THIS SPECIFICATION.

F. ENLARGEMENT OF HOLES BY BURNING WITH A TORCH SHALL NOT BE ALLOWED. ALL STEEL WITH BURNT HOLE ENLARGEMENTS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

3.03 PAINTING

A. SHOP PAINT PREPARED SURFACES OF ALL STEEL WORK WITH FABRICATOR'S STANDARD RUST INHIBITIVE PAINT, MINIMUM 2.0 MIL THICKNESS, COMPATIBLE WITH BASE COAT.

B. SURFACE PREPARE ALL FABRICATED STEEL TO RECEIVE SHOP PRIME (ONLY), TO A MINIMUM OF HAND TOOL CLEAN OR EQUIVALENT AS DICTATED BY CONDITION OF PRODUCT AT TIME OF PAINTING.

C. PROVIDE BRUSH BLAST OR HANDTOOL SURFACE PREP FOR ALL FABRICATION TO RECEIVE A TOP COAT OF PAINT.

**A3 GENERAL NOTES**  
 SCALE: NTS

**GENERAL STRUCTURAL NOTES**

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE STATE AND LOCAL CODES, INCLUDING BUT NOT LIMITED TO:

- INTERNATIONAL BUILDING CODE 2003 ED
- ANSI-ASCE 7-02
- ACI 318-02 'BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE'
- ACI 301 'SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS'
- AISC STEEL CONSTRUCTION MANUAL
- SISI COLD FORMED STEEL DESIGN MANUAL
- ANSI-AF&PA NDS-2001

2. STAIR DESIGN LOADS: SNOW LOAD 50 PSF + DRIFT  
 LIVE LOAD 100 PSF  
 DEAD LOAD 20 PSF

3. WIND LOADS:  
 BASED ON WIND SPEED OF 100 MPH, 28 PSF COMPONENTS AND CLADDING.

4. CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ENGINEER ANY CONDITIONS DIFFERENT FROM THOSE SHOWN ON THE DRAWINGS AND ALSO ANY CONDITIONS THAT PREVENT THE CONTRACTOR'S COMPLETION OF THE WORK AS SHOWN ON THE CONSTRUCTION DRAWINGS.

5. ALL WORK SHALL BE PERFORMED BY PERSONS QUALIFIED IN THEIR TRADE AND LICENSED TO PRACTICE SUCH TRADE IN THE STATE IN WHICH THE PROJECT IS LOCATED.

6. THESE DRAWINGS SHALL BE USED IN CONJUNCTION WITH ANY ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, IN ADDITION TO SPECIFICATIONS AND ANY SHOP DRAWINGS PROVIDED BY SUBCONTRACTORS AND SUPPLIERS.

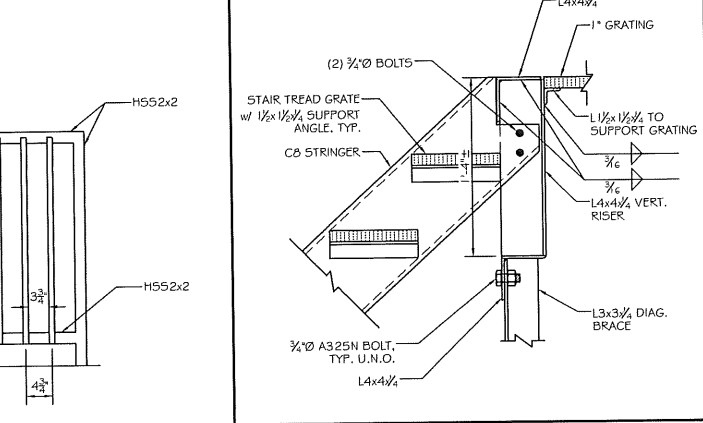
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8. UNLESS OTHERWISE NOTED, DETAILS, SECTIONS, AND NOTES SHOWN ON ANY DRAWING SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR DETAILS.

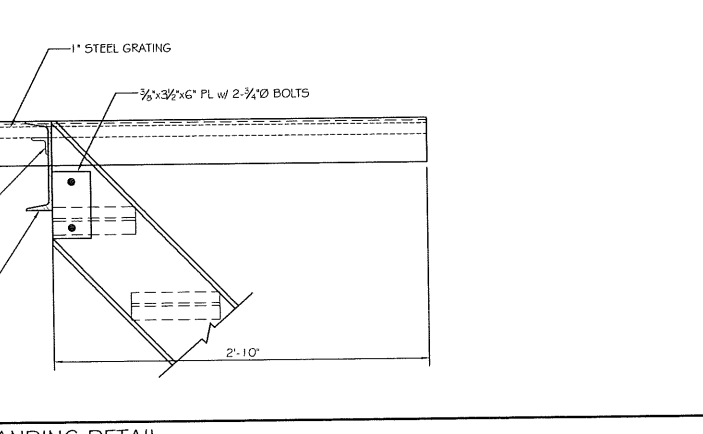
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11. SUBMIT MANUFACTURER DATE FOR PROPOSED RUST-INHIBITIVE PAINT AND PRIMER.

**A1 3rd FLOOR LANDING DETAIL**  
 SCALE: 1/2"=1'-0"

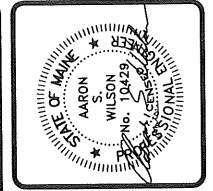


**B2 RAILING ASSEMBLY TYP.**  
 SCALE: 3/4"=1'-0"



**B1 4th FLOOR LANDING DETAIL**  
 SCALE: 1/2"=1'-0"

**A301**



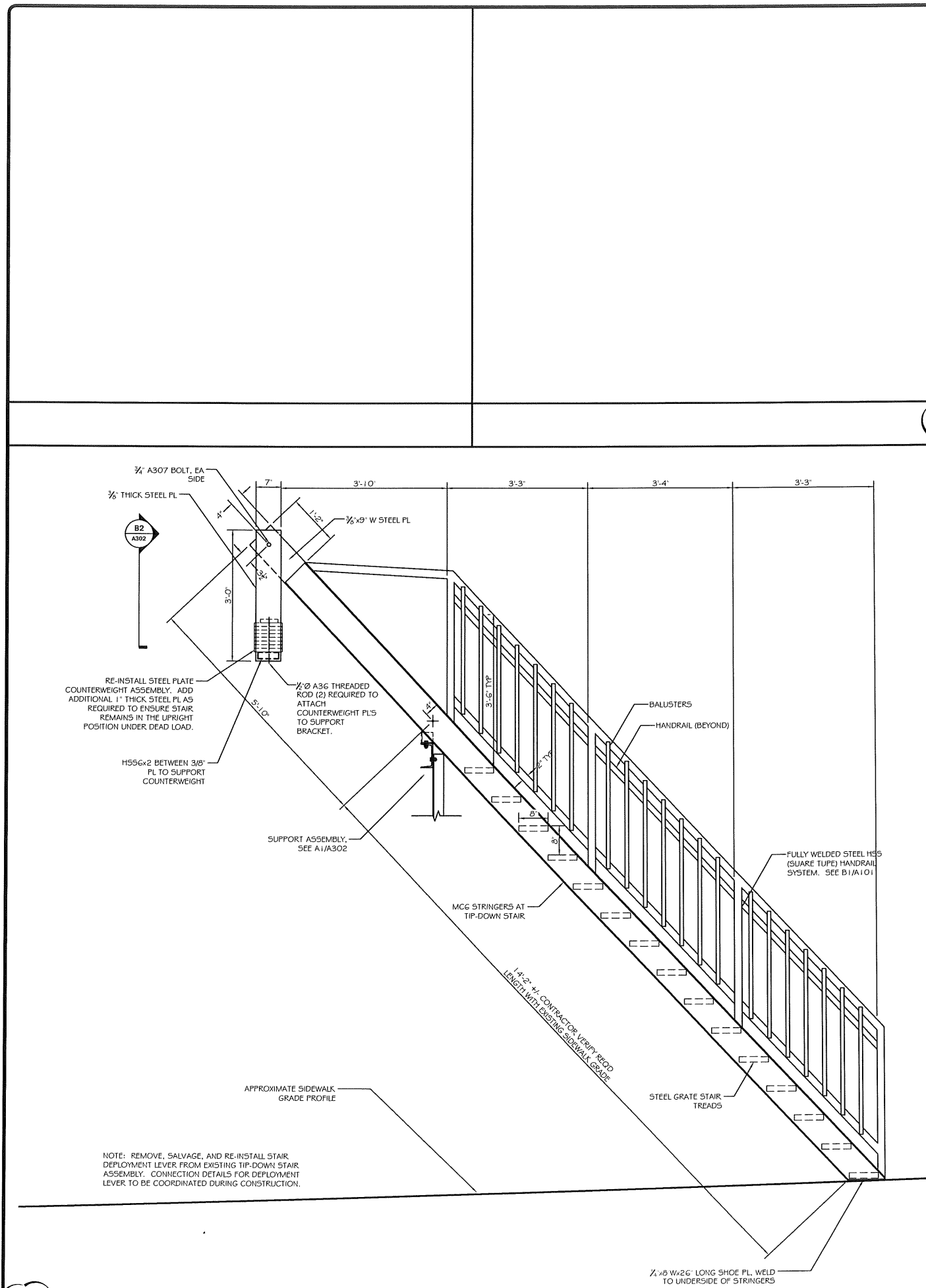
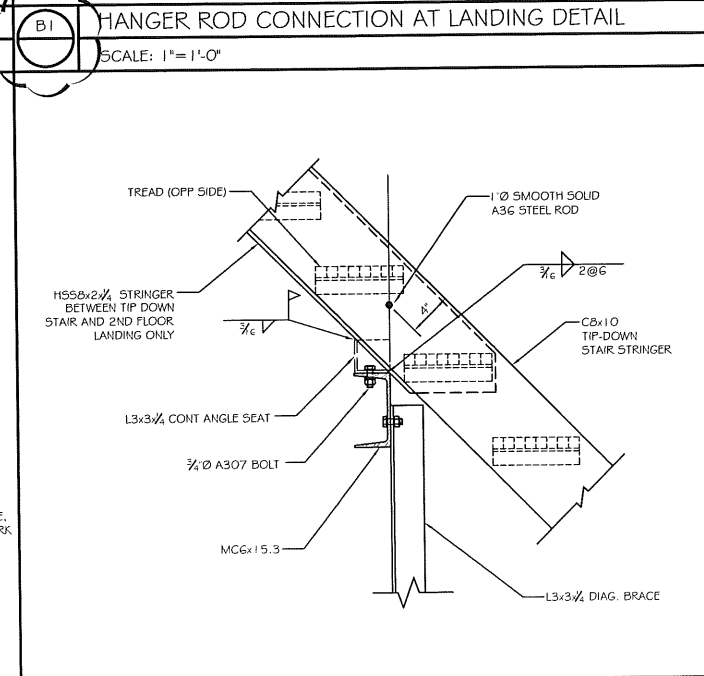
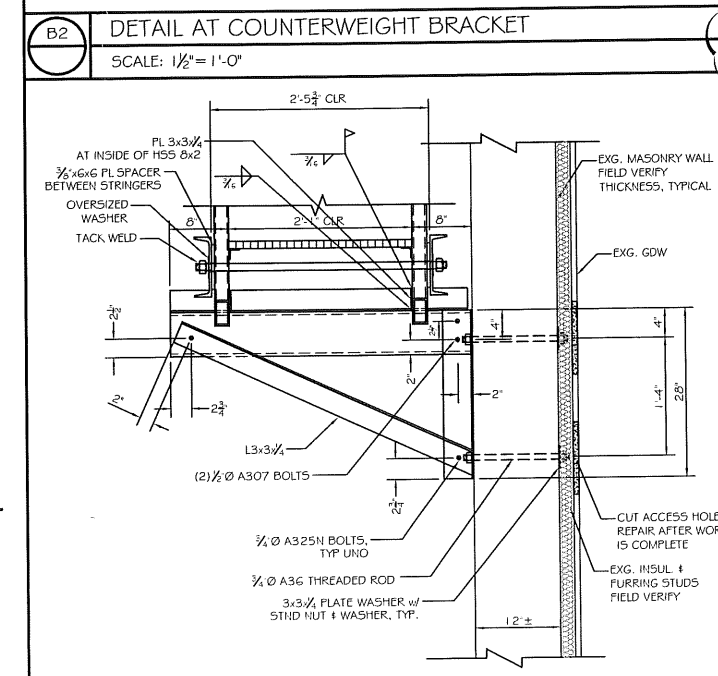
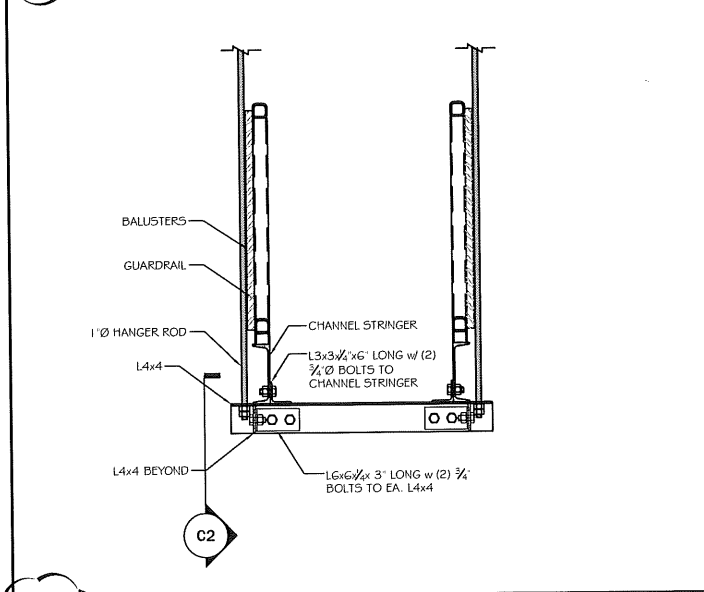
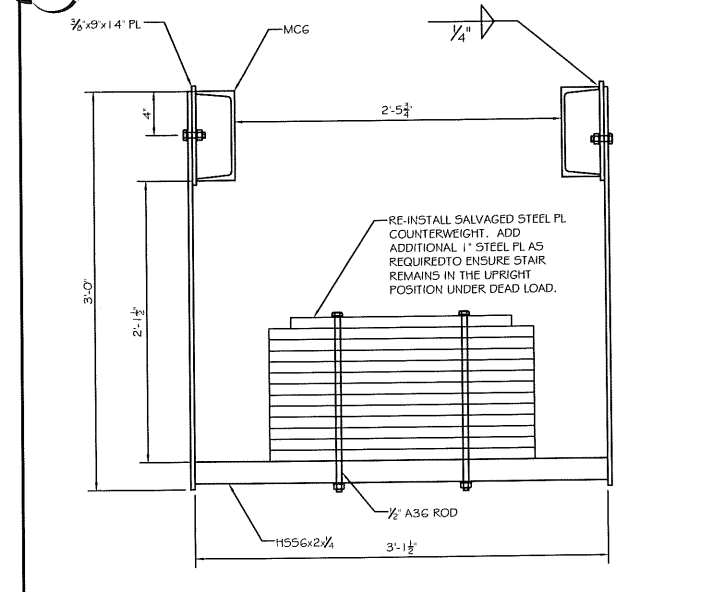
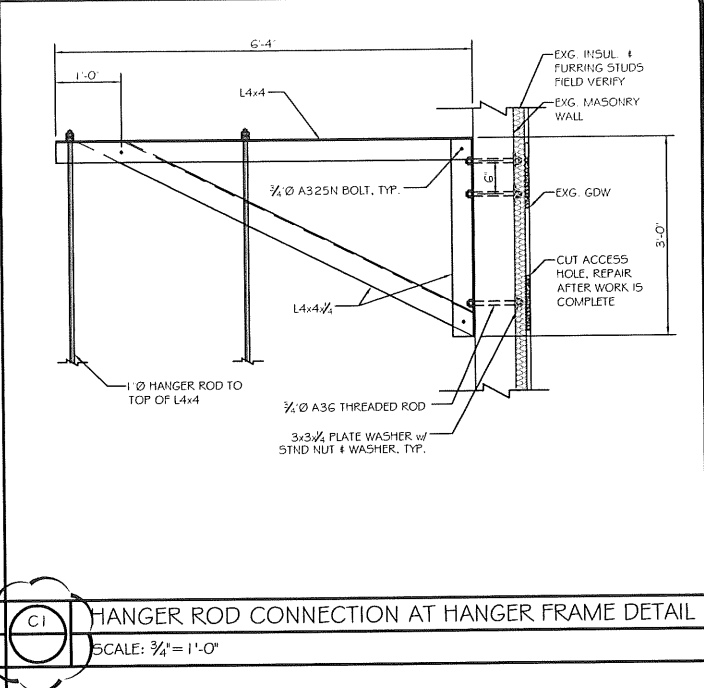
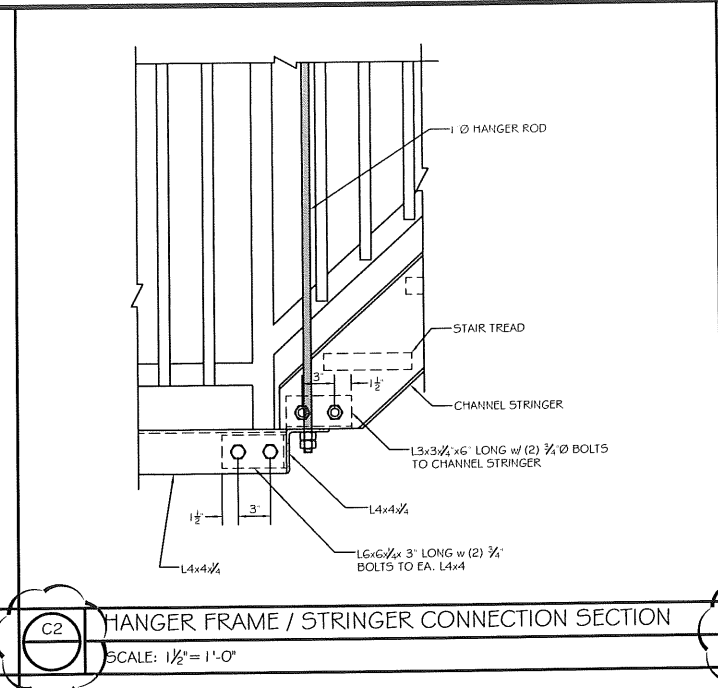
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 Office: (207) 878-1751  
 (207) 878-1788  
 Fax: E-Mail: adp@adpengineering.com  
 80 Leighton Road  
 Falmouth, Maine 04105

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PROJECT: **STENHOUSE PUBLISHERS**  
**PORTLAND, MAINE**  
 FOR:  
 SHEET TITLE: **STRUCTURAL DETAILS ISSUED FOR BID**

NO.	BY	DATE	REVISIONS DESCRIPTION
1	ASW	11/15/10	ADDITIONAL DETAILS
2	ASW	12/28/10	REV. PER CITY OF PORTLAND

DATE: 11-10-10  
 SCALE: AS NOTED  
 DESIGN BY: ASW  
 DRAWN BY: RSC  
 FILE #: 10227-A301.DWG  
 PROJECT NUMBER:  
**10227**  
 SHEET NO:  
**A302**



**A4 TIP-DOWN STAIR SECTION**  
 SCALE: 3/4" = 1'-0"

**A2 SECTION AT TIP-DOWN STAIR SUPPORT FRAME**  
 SCALE: 1" = 1'-0"

**A1 SECTION AT TIP-DOWN STAIR**  
 SCALE: 1/2" = 1'-0"

NOTE: REMOVE, SALVAGE, AND RE-INSTALL STAIR DEPLOYMENT LEVER FROM EXISTING TIP-DOWN STAIR ASSEMBLY. CONNECTION DETAILS FOR DEPLOYMENT LEVER TO BE COORDINATED DURING CONSTRUCTION.

DATE: 11-2-10  
 SCALE: AS NOTED  
 DESIGN BY: ASW  
 DRAWN BY: ASW  
 FILE #: 10227-C101.DWG  
 PROJECT NUMBER:  
 10227  
 SHEET NO.:  
 C101

No.	BY	REVISIONS	DATE

PROJECT: **STENHOUSE PUBLISHERS**  
 FOR: **PORTLAND, MAINE**  
 SHEET TITLE:  
**SCHEMATIC PLOT PLAN**  
**ISSUED FOR PERMITTING**

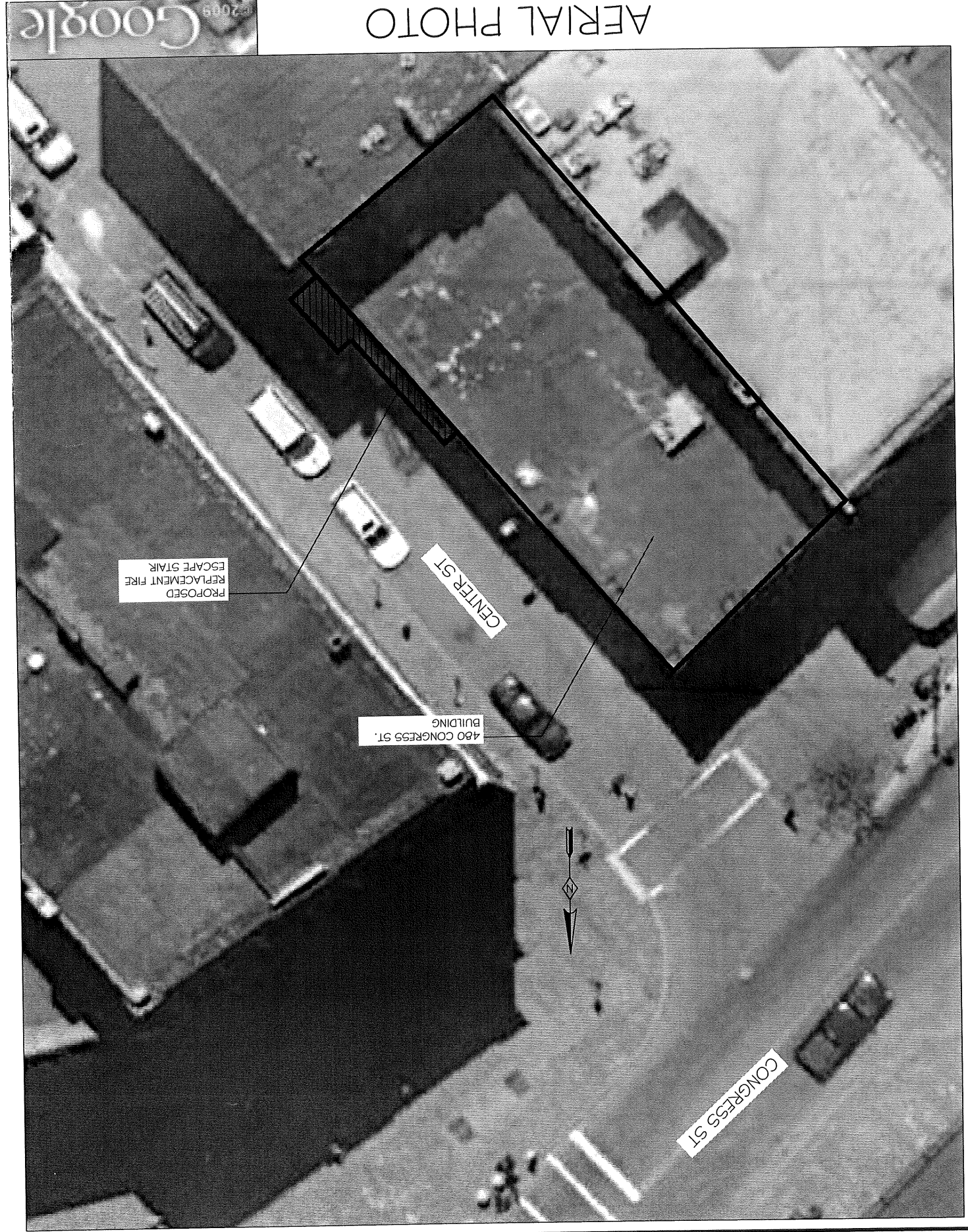
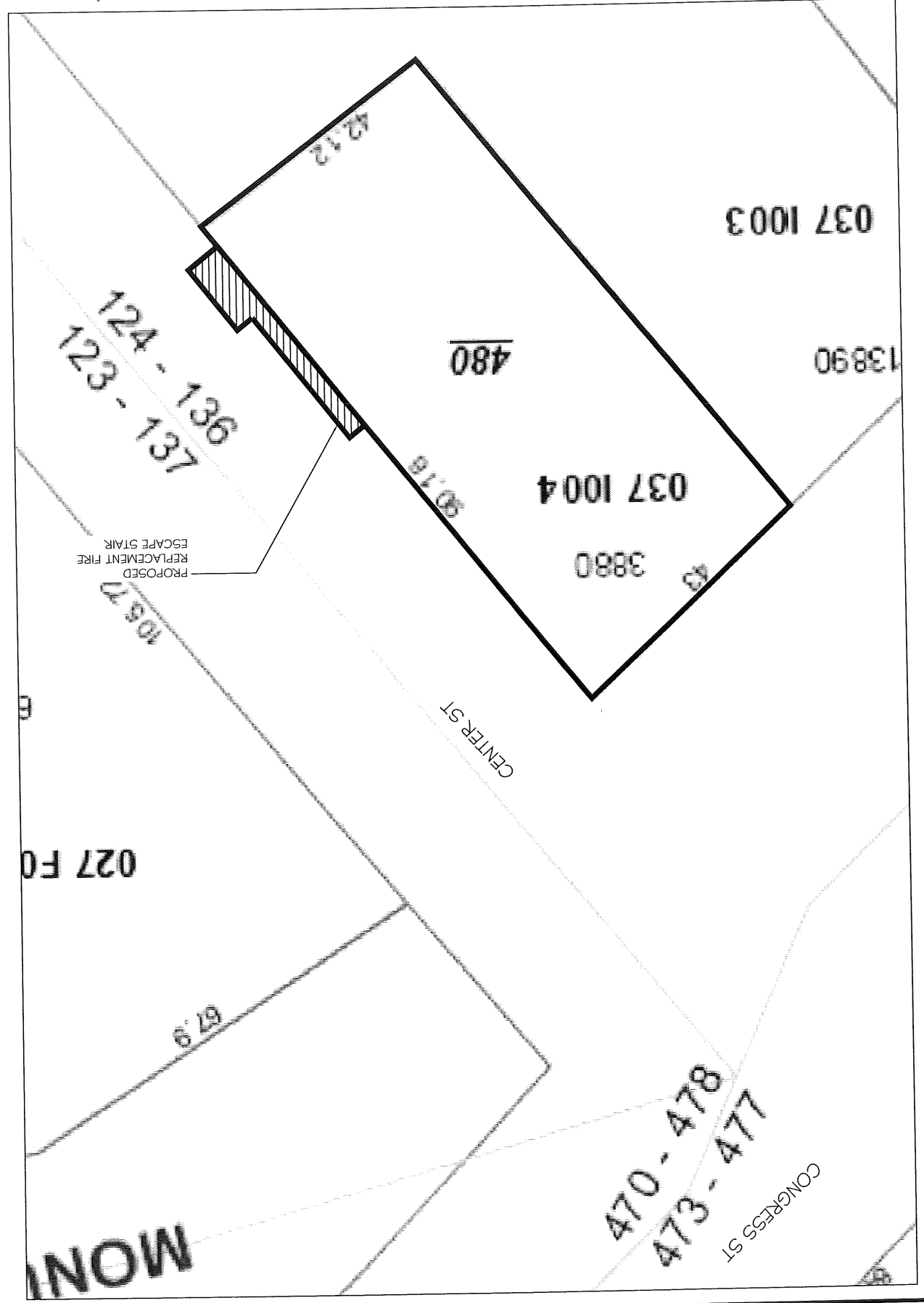
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 E-Mail: [adp@adpengineering.com](mailto:adp@adpengineering.com)

#10-1363  
 37-I-d  
 480 Congress

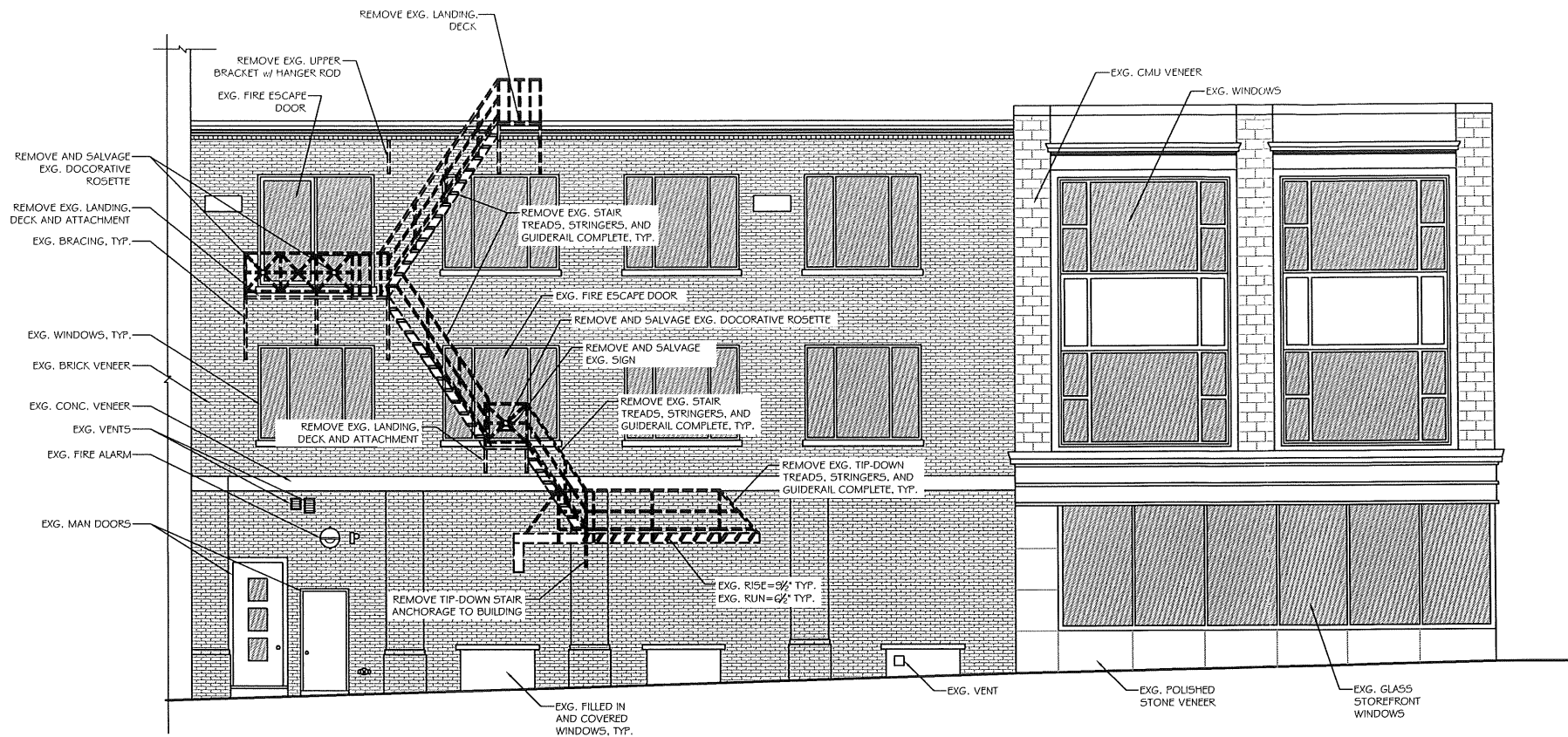
TAX MAP PLOT PLAN

NOTE:  
 INFORMATION DEPICTED ON THIS PLAN IS DERIVED FROM THE CITY OF  
 PORTLAND TAX MAP AND ASSOCIATED DESIGN PARTNERS, INC. DOES NOT  
 WARRANT OR GUARANTEE IN ANY WAY THE ACCURACY OR COMPLETENESS  
 OF INFORMATION DERIVED. THIS IS A SCHEMATIC REPRESENTATION OF THE  
 BUILDING AND LOT CONFIGURATION AND IS NOT A BOUNDARY SURVEY.

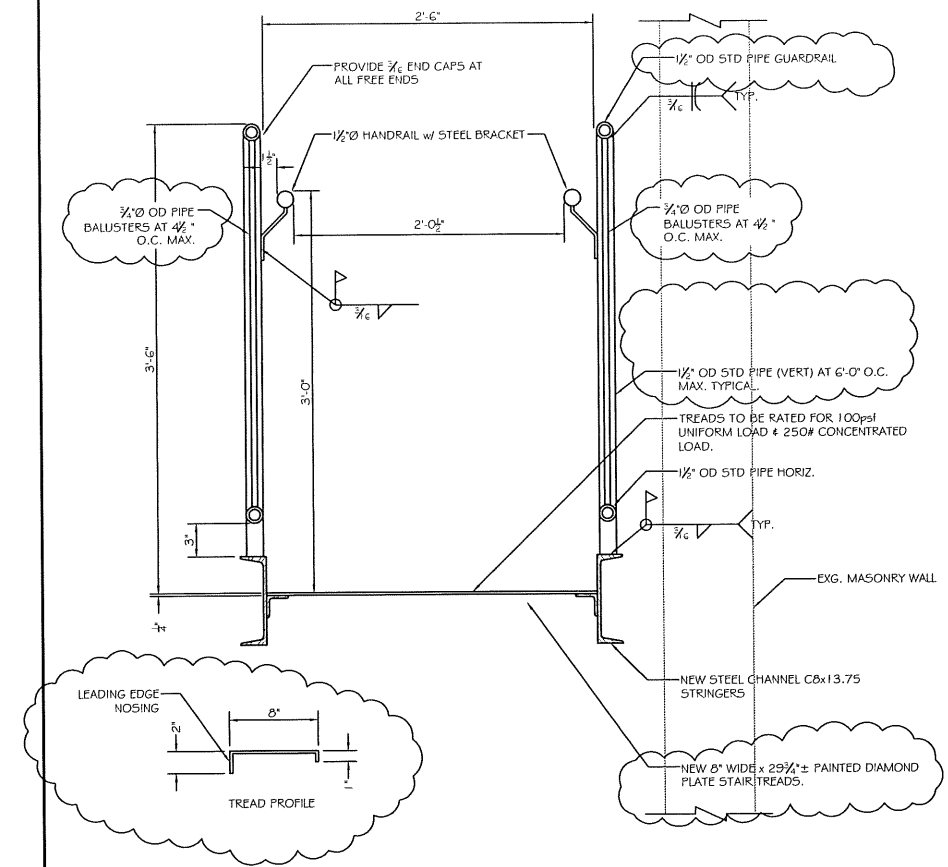


AERIAL PHOTO

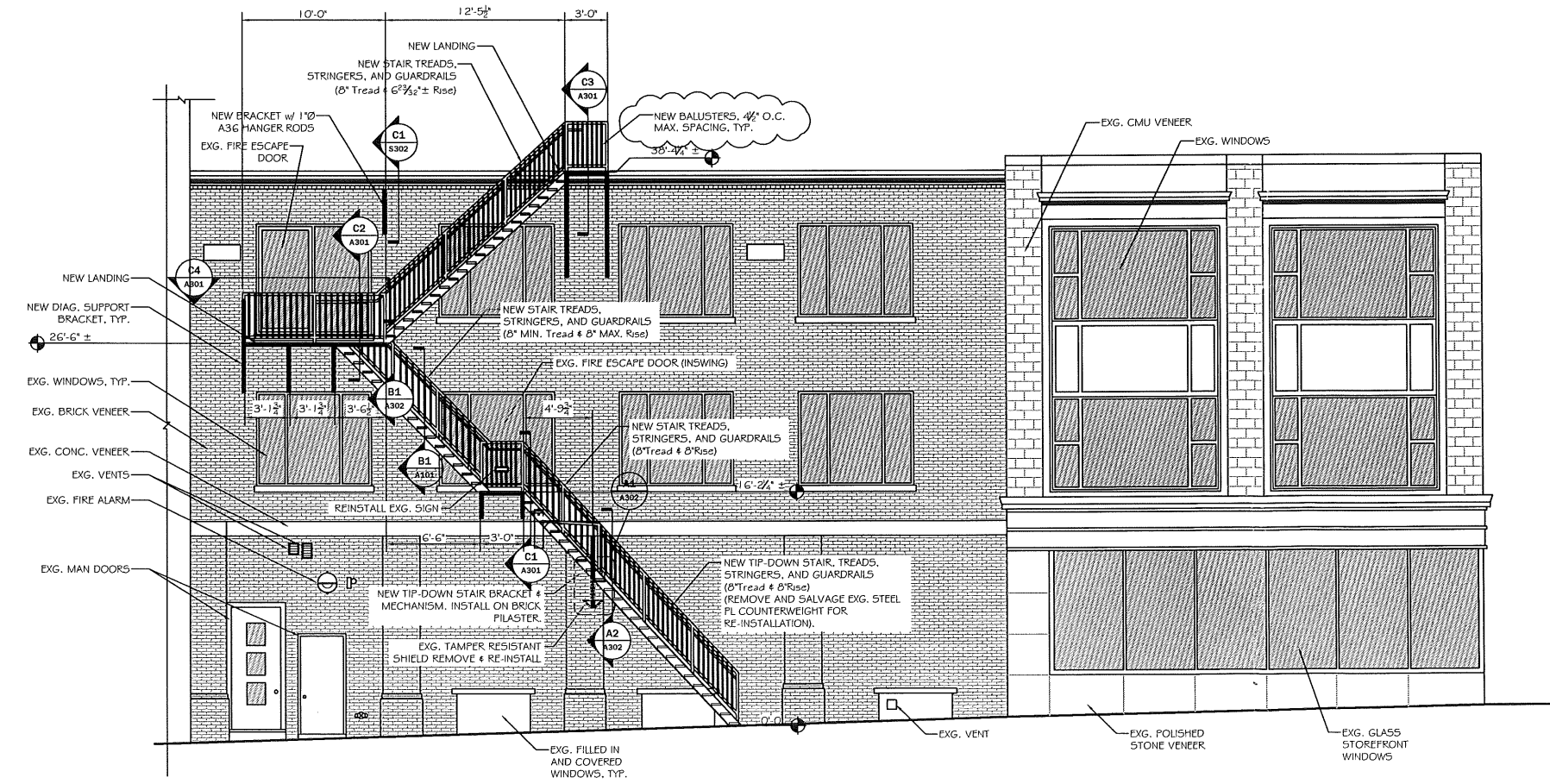
©2009 Google



B2 EXISTING ELEVATION  
SCALE: 3/8" = 1'-0"



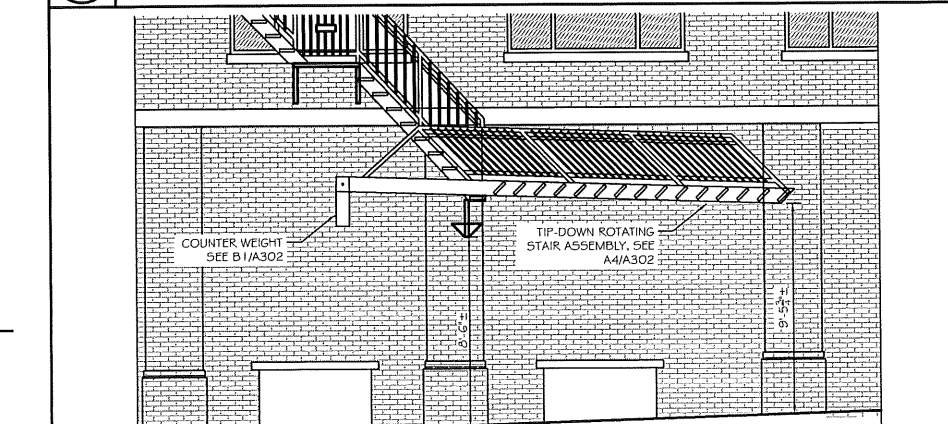
B1 TYPICAL STAIR SECTION  
SCALE: 1/2" = 1'-0"



A2 REPLACEMENT FIRE ESCAPE STAIR  
SCALE: 3/8" = 1'-0"

NOTES:  
 1. ALL STAIR PARTS TO BE PRIMED & PAINTED (2 COATS) FLAT BLACK. SUBMIT MANUFACTURER SPECS ON PRIMER & PAINT TO ENGINEER FOR REVIEW.  
 2. ALL DIMS NOTED (±) TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO FABRICATION.  
 3. COORDINATE w/ CITY OF PORTLAND FOR TEMPORARY SIDEWALK / ROAD CLOSURE DURING CONSTRUCTION.  
 4. SALVAGE, CLEAN, PAINT, & RE-INSTALL ALL DECORATIVE ELEMENTS AT SIMILAR LOCATIONS TO EXG.  
 5. DESIGN LL=100PSF (250# CONCENTRATED)  
 6. CONTRACTOR FIELD VERIFY EXG. MASONRY WALL THICKNESS PRIOR TO CONSTRUCTION.

A3 NOTES  
SCALE: NTS



A1 ELEVATION AT TIP-DOWN STAIR IN UP POSITION  
SCALE: 1/2" = 1'-0"



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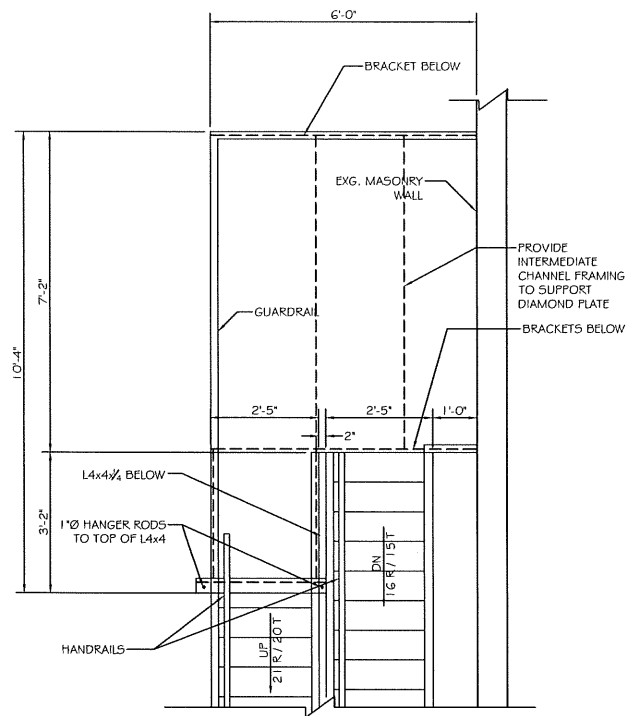
PROJECT: **STENHOUSE PUBLISHERS**  
 PORTLAND, MAINE  
 FOR:  
 SHEET TITLE: **FIRE ESCAPE STAIR EXTERIOR ELEVATIONS ISSUED FOR PERMITTING**

**RECEIVED**  
 JAN 19 2011  
 Dept. of Building Inspections  
 City of Portland Maine

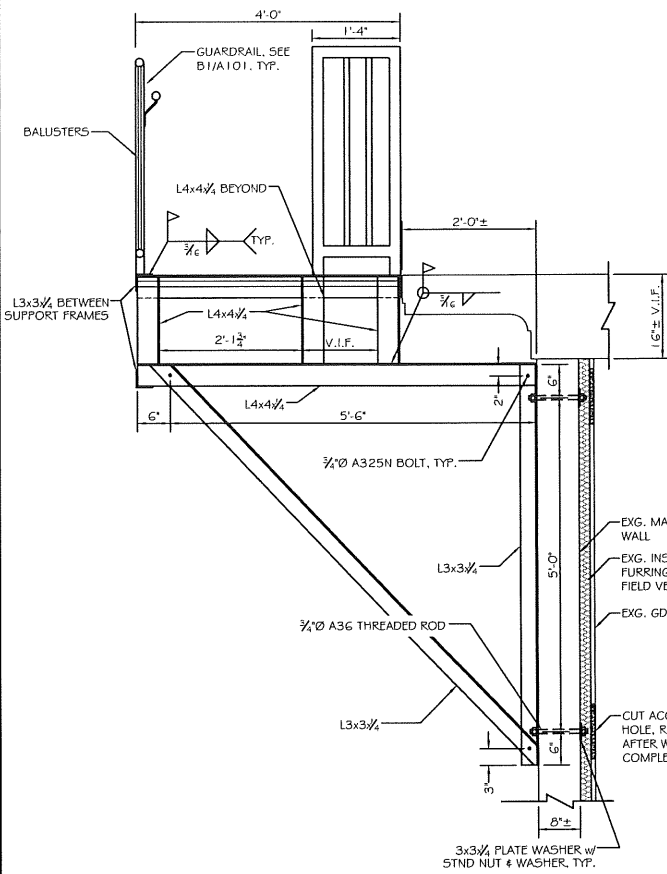
NO.	BY	DESCRIPTION	DATE
1	ASW	ADDITIONAL #1 - ADDITIONAL DETAILS	11/16/10
2	ASW	REV. PER CITY OF PORTLAND	12/28/10
3	ASW	REVISED TREAD AND BALUSTER MATERIALS	1/11/11
4			
5			
6			
7			
8			
9			
10			

DATE : 11-10-10  
 SCALE : AS NOTED  
 DESIGN BY: ASW  
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 FILE #: 10227-A301.DWG  
 PROJECT NUMBER:  
**10227**  
 SHEET NO:  
**A101**

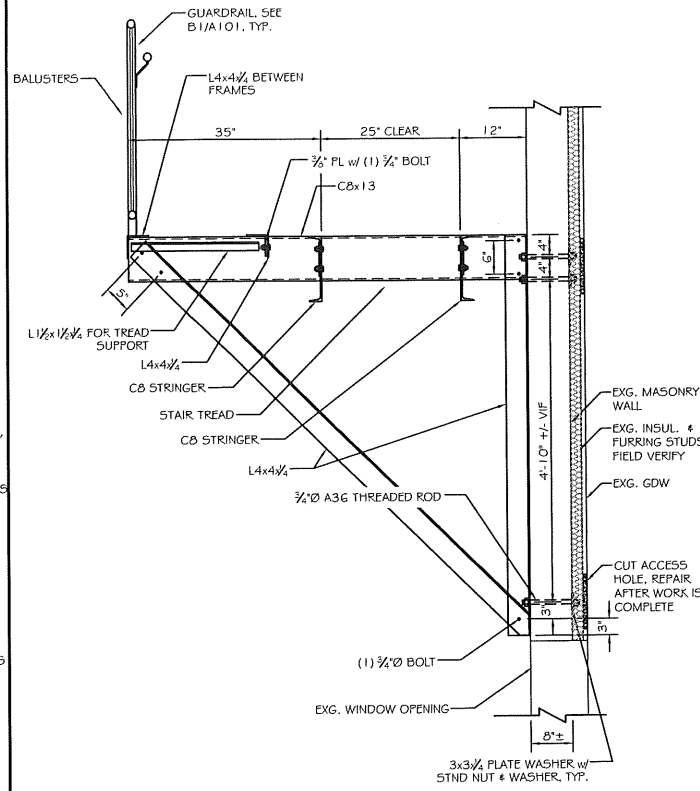




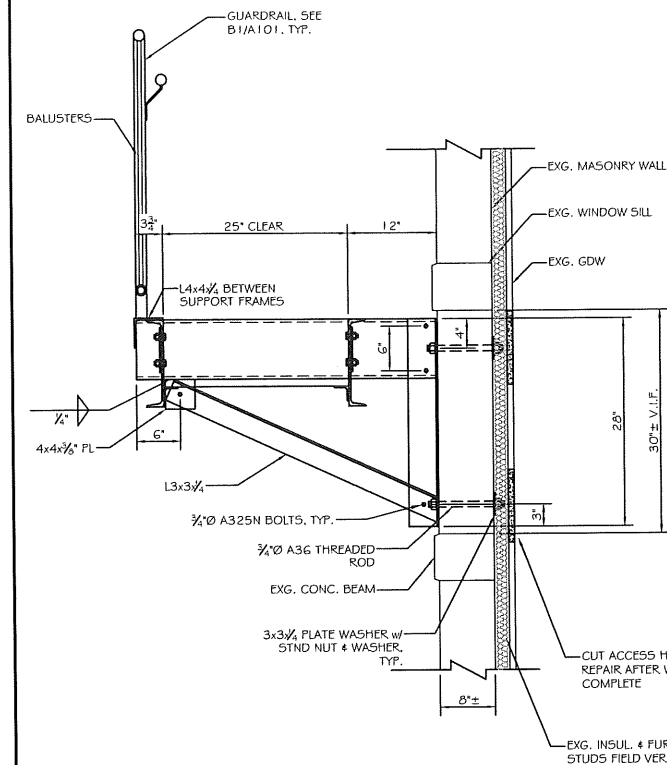
C4 3rd FLOOR LANDING PLAN  
SCALE: 1" = 1'-0"



C3 SECTION AT ROOF LANDING FRAME  
SCALE: 3/4" = 1'-0"



C2 SECTION AT 3rd FLOOR LANDING FRAME  
SCALE: 3/4" = 1'-0"



C1 SECTION AT 2nd FLOOR LANDING FRAME  
SCALE: 1" = 1'-0"

STRUCTURAL STEEL NOTES

PART 1 - GENERAL

1.00 STANDARD SPECIFICATIONS

A. FABRICATION, ERECTION, AND WELDING; IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS, ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN ADOPTED JUNE 1989, INCLUDING ALL PUBLISHED SUPPLEMENTS. A.I.S.C.

B. WELDING—IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY 'STRUCTURAL WELDING CODE', AWS D1.1, LATEST EDITION.

C. BOLTING OF STRUCTURAL JOINTS SHALL BE IN ACCORDANCE WITH 'AISC SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS', LATEST EDITION.

1.01 QUALIFICATIONS

A. WELDING PROCEDURES, WELDERS, WELDING OPERATIONS AND TACKING: QUALIFIED IN ACCORDANCE WITH AWS CODE.

1.02 SUBMITTALS

A. SUBMIT FOUR (4) SETS OF SHOP DRAWING PRINTS FOR REVIEW. INDICATE SHOP AND ERECTION DETAILS, INCLUDING CUTS, COPEES, CONNECTIONS, HOLES, THREADED FASTENERS, AND WELDS.

B. PROVIDE SETTING DRAWINGS, TEMPLATES AND DIRECTIONS FOR THE INSTALLATION OF ANCHOR BOLTS AND OTHER DEVICES.

1.03 PRODUCT HANDLING

A. STORE STRUCTURAL STEEL MEMBERS AT THE PROJECT SITE ABOVE GROUND ON PLATFORMS, SKIDS, OR OTHER SUPPORTS.

B. PROTECT STEEL FROM CORROSION.

PART 2 - PRODUCTS

2.01 MATERIALS

A. STRUCTURAL STEEL BEAMS, CHANNELS, AND T-SHAPES, ASTM A992.

B. STEEL ANGLES, BARS, AND PLATES - ASTM A-36.

C. STRUCTURAL TUBES AND COLUMNS - ASTM A500, GRADE B.

D. STRUCTURAL PIPE - ASTM A53, TYPE E, GRADE B, SCHEDULE 40.

E. HIGH STRENGTH BOLTS 3/4" ASTM A-325, TYPE 1 OR 2 GALVANIZED.

F. ANCHOR BOLTS - ASTM A-307, GRADE A GALVANIZED.

G. WELDING TO BE PERFORMED WITH E70XX 70 ksi ELECTRODES.

PART 3 - EXECUTION

3.01 FABRICATION

A. FABRICATE STRUCTURAL STEEL IN ACCORDANCE WITH THE REQUIREMENTS OF THE DRAWINGS AND THIS SECTION OF THE SPECIFICATIONS.

STRUCTURAL STEEL NOTES, CONT.

3.02 ERECTION

A. THE STRUCTURAL METAL SHALL BE ERECTED PLUMB AND TRUE TO THE LINES AND EVALUATIONS INDICATED ON THE DRAWINGS.

B. ERECTION TOLERANCES SHALL BE WITHIN THE LIMITS SPECIFIED IN SECTION 7.11 OF THE 'AISC CODE OF STANDARD PRACTICE'.

C. TEMPORARY CONNECTIONS SHALL BE ADEQUATE TO SAFELY SUPPORT ALL DEAD LOAD AND ERECTION IMPOSED STRESSES.

D. TEMPORARY BRACING SHALL BE PROVIDED WHEREVER NECESSARY TO HOLD THE STEEL IN A HORIZONTAL AND VERTICAL PLANE UNTIL PERMANENT BOLTING HAS BEEN COMPLETED.

E. BOLTS SHALL BE INSTALLED IN PROPERLY ALIGNED HOLES AND BROUGHT TO 'SNUG TIGHT' CONDITION, ALL PLIES OF JOINT IN FIRM CONTACT, IN ACCORDANCE WITH SECTION 8u (C) OF THE BOLT SPECIFICATION OF SECTION 1.01 C OF THIS SPECIFICATION.

F. ENLARGEMENT OF HOLES BY BURNING WITH A TORCH SHALL NOT BE ALLOWED. ALL STEEL WITH BURNT HOLE ENLARGEMENTS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

3.03 PAINTING

A. SHOP PAINT PREPARED SURFACES OF ALL STEEL WORK WITH FABRICATOR'S STANDARD RUST INHIBITIVE PAINT, MINIMUM 2.0 MIL THICKNESS, COMPATIBLE WITH BASE COAT.

B. SURFACE PREPARE ALL FABRICATED STEEL TO RECEIVE SHOP PRIME (ONLY), TO A MINIMUM OF HAND TOOL CLEAN OR EQUIVALENT AS DICTATED BY CONDITION OF PRODUCT AT TIME OF PAINTING.

C. PROVIDE BRUSH BLAST OR HANDTOOL SURFACE PREP FOR ALL FABRICATION TO RECEIVE A TOP COAT OF PAINT.

GENERAL STRUCTURAL NOTES

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE STATE AND LOCAL CODES, INCLUDING BUT NOT LIMITED TO:

- INTERNATIONAL BUILDING CODE 2003 ED
- ANSI-ASCE 7-02
- ACI 318-02 'BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE'
- ACI 301 'SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS'
- AISC STEEL CONSTRUCTION MANUAL
- SIS1 COLD FORMED STEEL DESIGN MANUAL
- ANSI-AFPA NDS-2001

2. STAIR DESIGN LOADS: SNOW LOAD 50 PSF + DRIFT  
LIVE LOAD 100 PSF  
DEAD LOAD 20 PSF

3. WIND LOADS: BASED ON WIND SPEED OF 100 MPH, 28 PSF COMPONENTS AND CLADDING.

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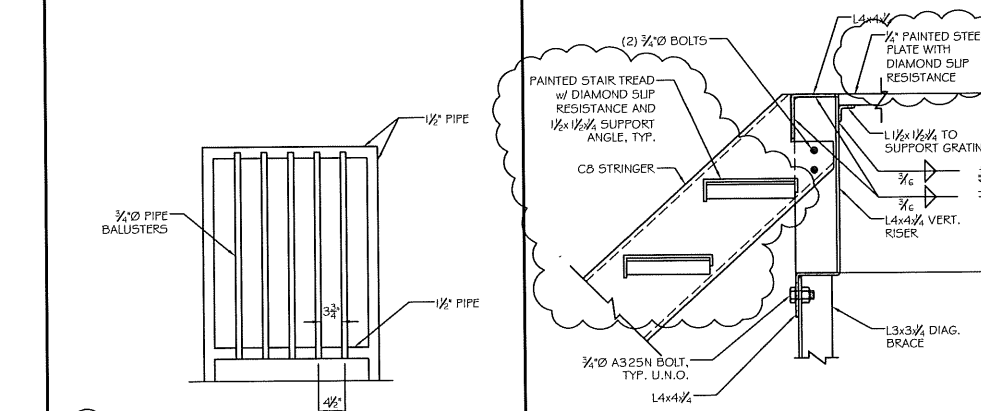
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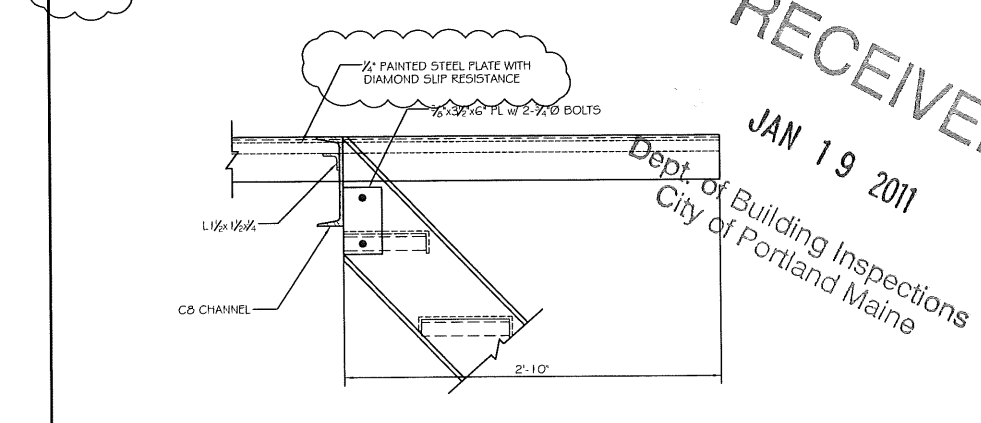
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11. SUBMIT MANUFACTURER DATE FOR PROPOSED RUST-INHIBITIVE PAINT AND PRIMER.

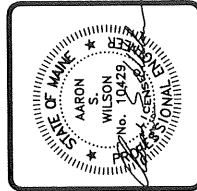


B2 RAILING ASSEMBLY TYP.  
SCALE: 3/4" = 1'-0"

B1 4th FLOOR LANDING DETAIL  
SCALE: 1/2" = 1'-0"



A1 3rd FLOOR LANDING DETAIL  
SCALE: 1/2" = 1'-0"



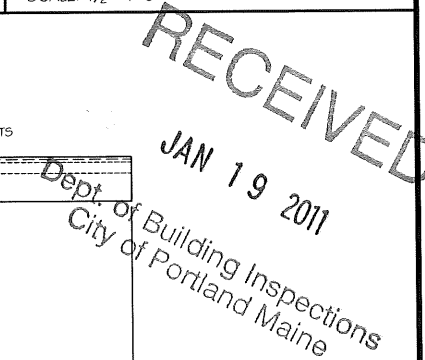
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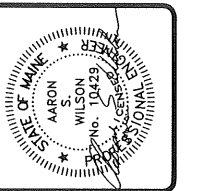
PROJECT: **STENHOUSE PUBLISHERS PORTLAND, MAINE**  
FOR:  
SHEET TITLE: **STRUCTURAL NOTES AND DETAILS ISSUED FOR PERMITTING**

NO.	BY	DATE	REVISIONS
1	ASW	12/28/10	REV. PER CITY OF PORTLAND
2	ASW	1/11/11	REVISED TREAD AND BALUSTER MATERIALS

DATE: 11-10-10  
SCALE: AS NOTED  
DESIGN BY: ASW  
DRAWN BY: RSC  
FILE #: 10227-A301.DWG  
PROJECT NUMBER: **10227**  
SHEET NO: **A301**



A3 GENERAL NOTES  
SCALE: NTS



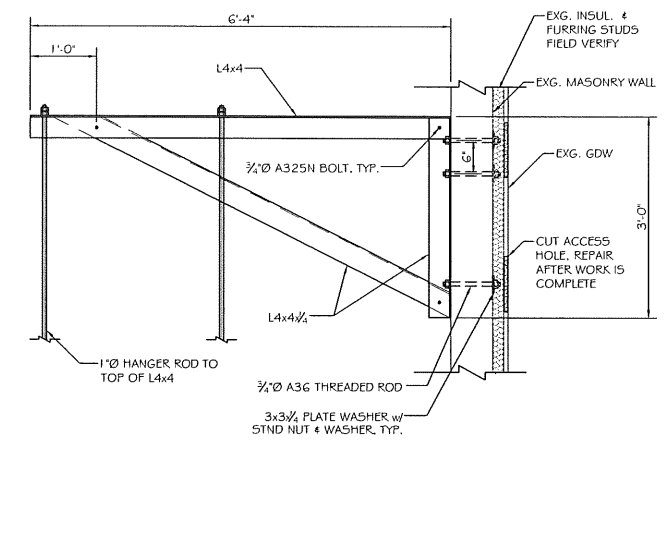
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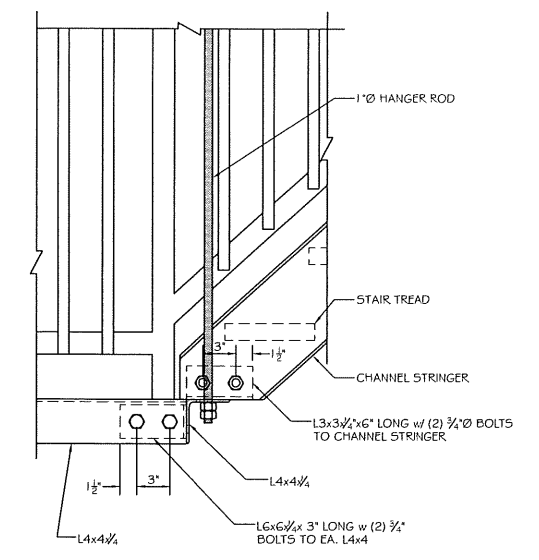
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 PORTLAND, MAINE  
 PROJECT: FOR: SHEET TITLE:  
**STRUCTURAL DETAILS**  
**ISSUED FOR PERMITTING**

NO.	BY	DATE	DESCRIPTION
1	ASW	11/16/10	ADDITIONAL DETAILS
2	ASW	12/28/10	REV. PER CITY OF PORTLAND
3	ASW	1/17/11	REVISED TREAD AND BALUSTER MATERIALS

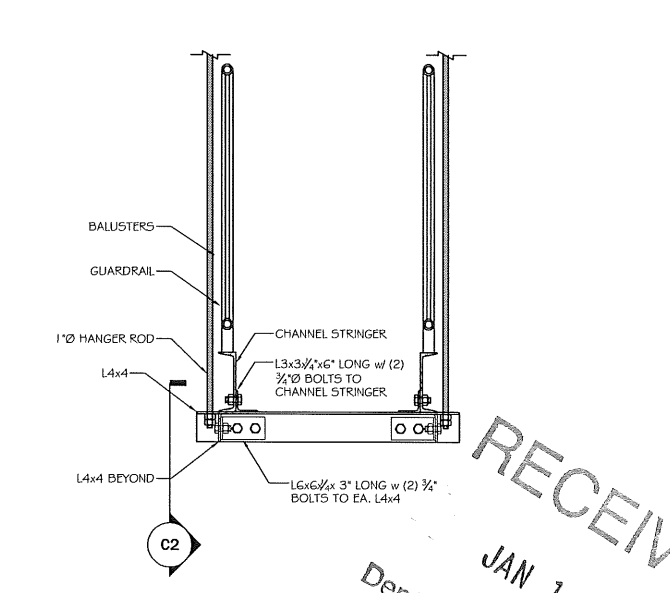
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 PROJECT NUMBER:  
**10227**  
 SHEET NO.:  
**A302**



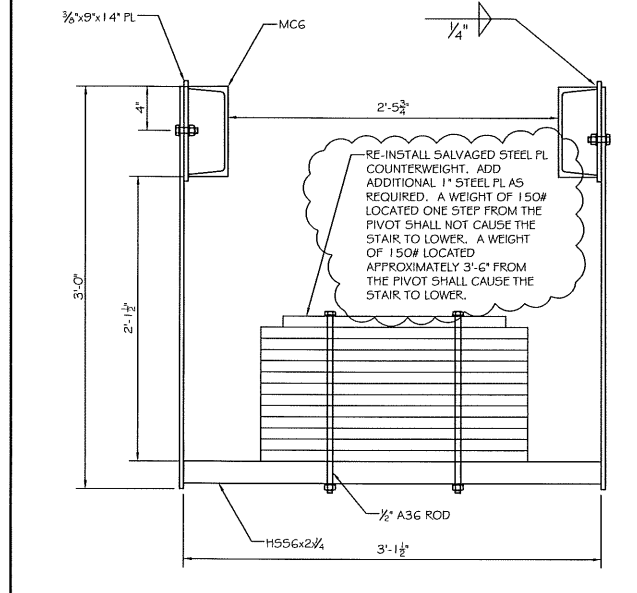
**C1** HANGER ROD CONNECTION AT HANGER FRAME DETAIL  
 SCALE: 3/4" = 1'-0"



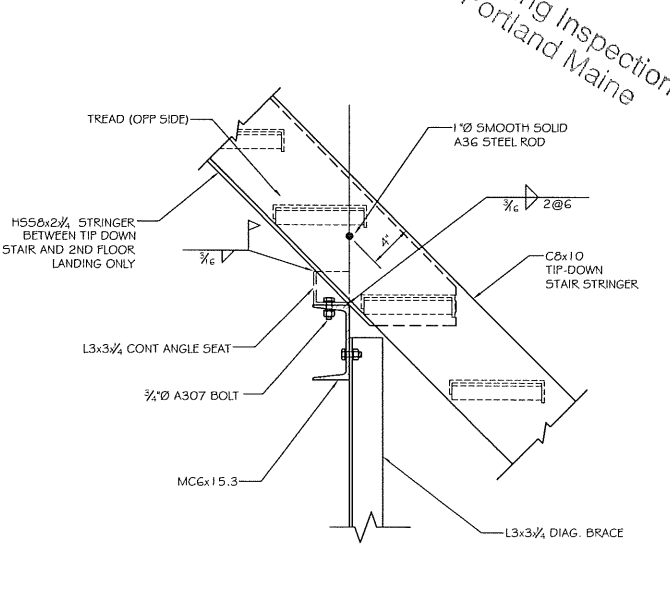
**C2** HANGER FRAME / STRINGER CONNECTION SECTION  
 SCALE: 1 1/2" = 1'-0"



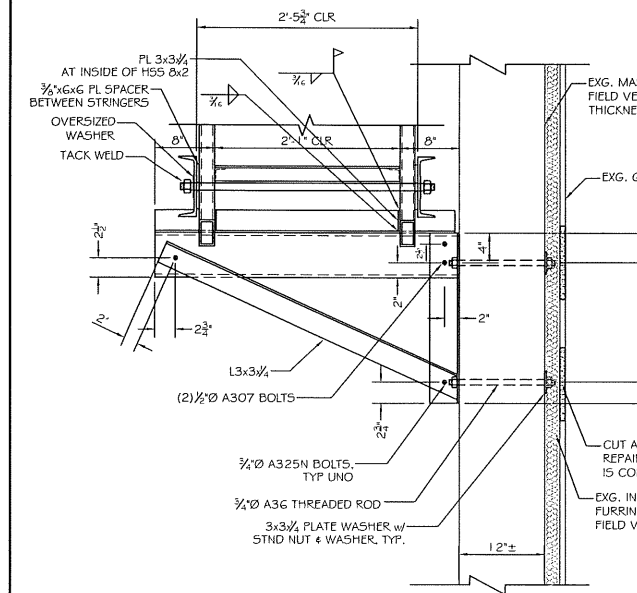
**B1** HANGER ROD CONNECTION AT LANDING DETAIL  
 SCALE: 1" = 1'-0"



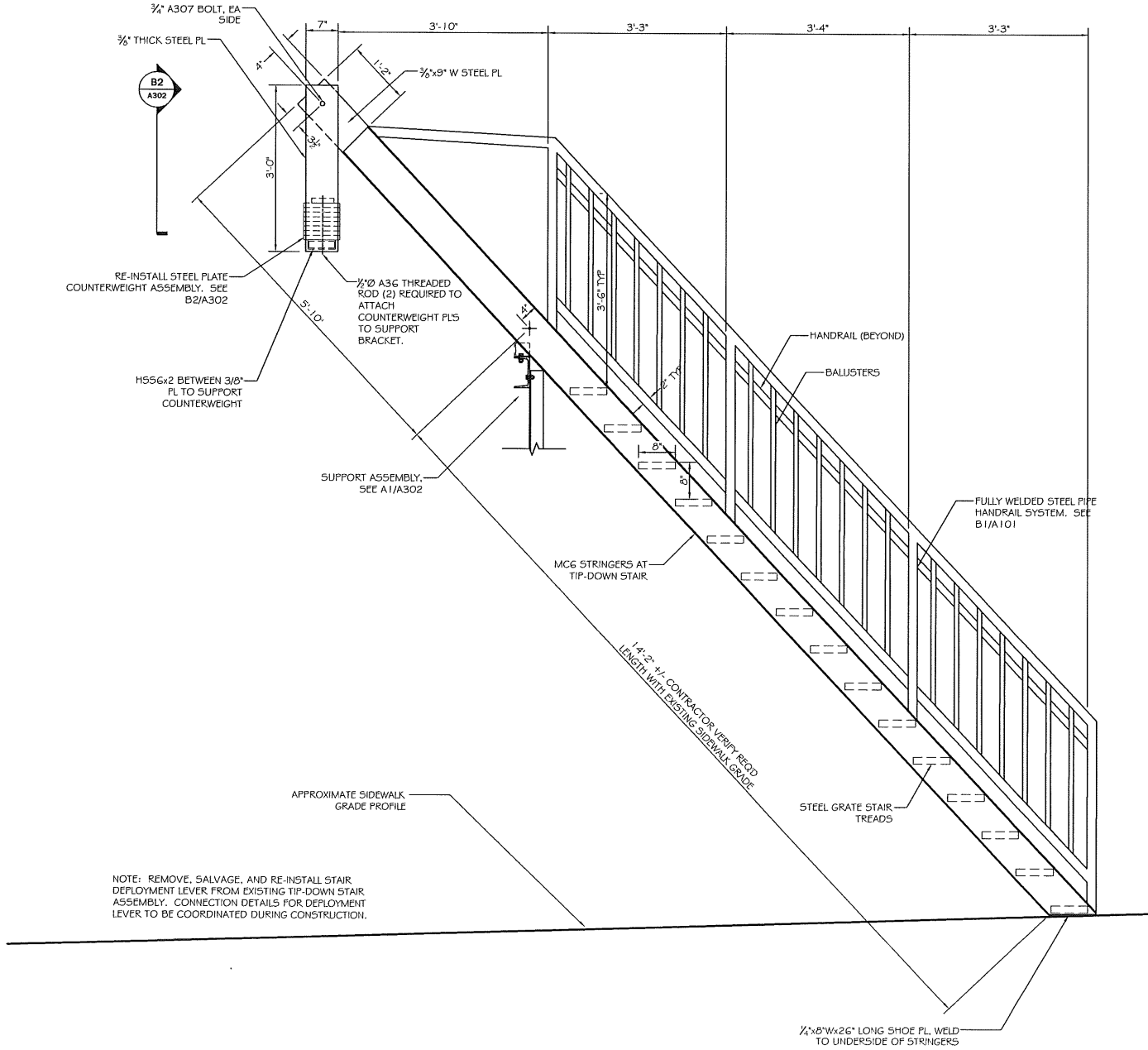
**B2** DETAIL AT COUNTERWEIGHT BRACKET  
 SCALE: 1 1/2" = 1'-0"



**A1** SECTION AT TIP-DOWN STAIR  
 SCALE: 1 1/2" = 1'-0"



**A2** SECTION AT TIP-DOWN STAIR SUPPORT FRAME  
 SCALE: 1" = 1'-0"



**A4** TIP-DOWN STAIR SECTION  
 SCALE: 3/4" = 1'-0"