

FINISH NOTES

1. ALL INTERIOR PARTITIONS AND COLUMNS TO BE P-1, U.N.O.
2. FLOORING TO BE CPT-1, U.N.O. PROVIDE FURNITURE LIFT SYSTEM AS REQUIRED TO MINIMIZE DISRUPTION TO STAFF DURING REMOVAL AND INSTALLATION OF NEW CARPET.
3. PROVIDE B-1 RUBBER BASE THROUGHOUT, U.N.O.
4. PATCH/REPAIR ALL DAMAGED EXISTING FINISHES.
5. GENERAL CONTRACTOR TO PREPARE FLOOR, PROVIDE AND INSTALL ADHESIVES, CARPET AND BASE.
6. ALL FLOORING TRANSITIONS TO OCCUR AT CENTERLINE OF DOORWAYS, U.N.O.
7. FLOORING INSTALLER TO PROVIDE A METAL TRANSITION STRIP AT HARD SURFACE FLOORING TRANSITIONS, U.N.O. FINISH SHALL BE EQUAL IN COLOR AND/OR ANODIZED ALUMINUM.
8. PAINT CHAIR RAIL AND WALL BELOW CHAIR RAIL P-1 THROUGHOUT. RE: G8/A1105 FOR DETAILS.
9. ALL EXISTING DOORS TO REMAIN. PATCH AND REPAIR AS NEEDED.
10. ALL EXISTING PAINTED DOOR FRAMES TO REMAIN. PATCH AND REPAIR AS NEEDED. PAINT P-1 U.N.O. ALL EXISTING STAINED DOOR FRAMES TO REMAIN. PATCH/REPAIR AS NEEDED.
11. USE TCI PAINTS THROUGHOUT. MATCH COLOR TO WHAT IS SPECIFIED.

FINISH LEGEND

WALL FINISHES

PAINT

- Ⓟ WALL PAINT
MFR: SHERWIN WILLIAMS
COLOR: SW7004 SNOWBOUND
FIN: EGGSHELL - U.N.O.
- Ⓟ ACCENT PAINT
NOT USED.
- Ⓟ ACCENT PAINT
MFR: SHERWIN WILLIAMS
COLOR: SW6501 MARQUIS ORANGE
FIN: EGGSHELL, U.N.O.
- Ⓟ ACCENT PAINT
MFR: SHERWIN WILLIAMS
COLOR: SW7004 SNOWBOUND
FIN: EGGSHELL - U.N.O.
- Ⓟ ACCENT PAINT
MFR: SHERWIN WILLIAMS
COLOR: SW7004 SNOWBOUND
FIN: EGGSHELL - U.N.O.
- Ⓟ ACCENT PAINT
MFR: SHERWIN WILLIAMS
COLOR: SW7004 SNOWBOUND
FIN: EGGSHELL - U.N.O.
- Ⓟ ACCENT PAINT
MFR: SHERWIN WILLIAMS
COLOR: SW7004 SNOWBOUND
FIN: EGGSHELL - U.N.O.
- Ⓟ ACCENT PAINT
MFR: SHERWIN WILLIAMS
COLOR: SW7004 SNOWBOUND
FIN: EGGSHELL - U.N.O.

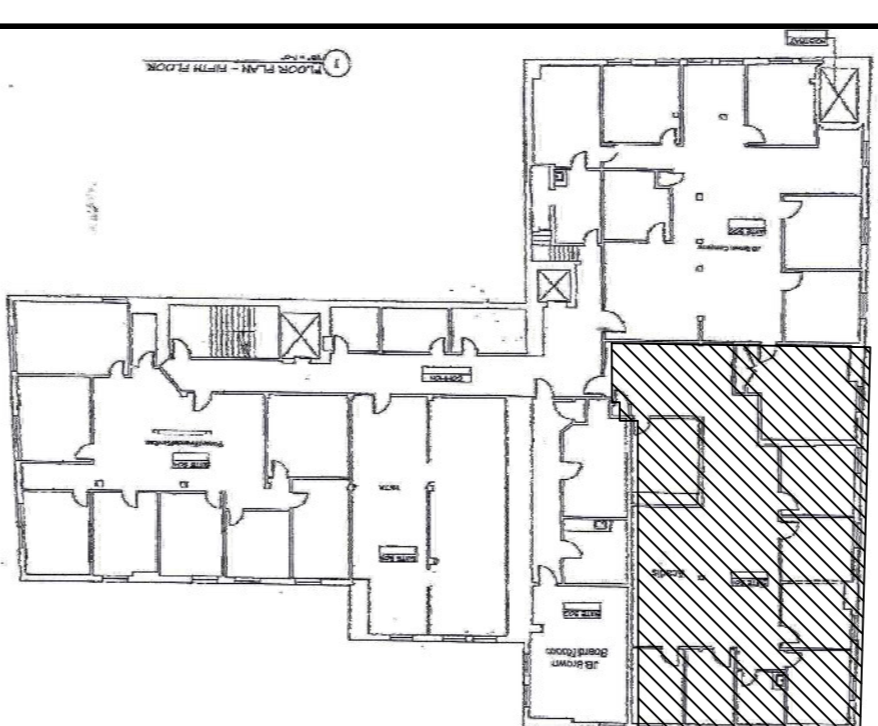
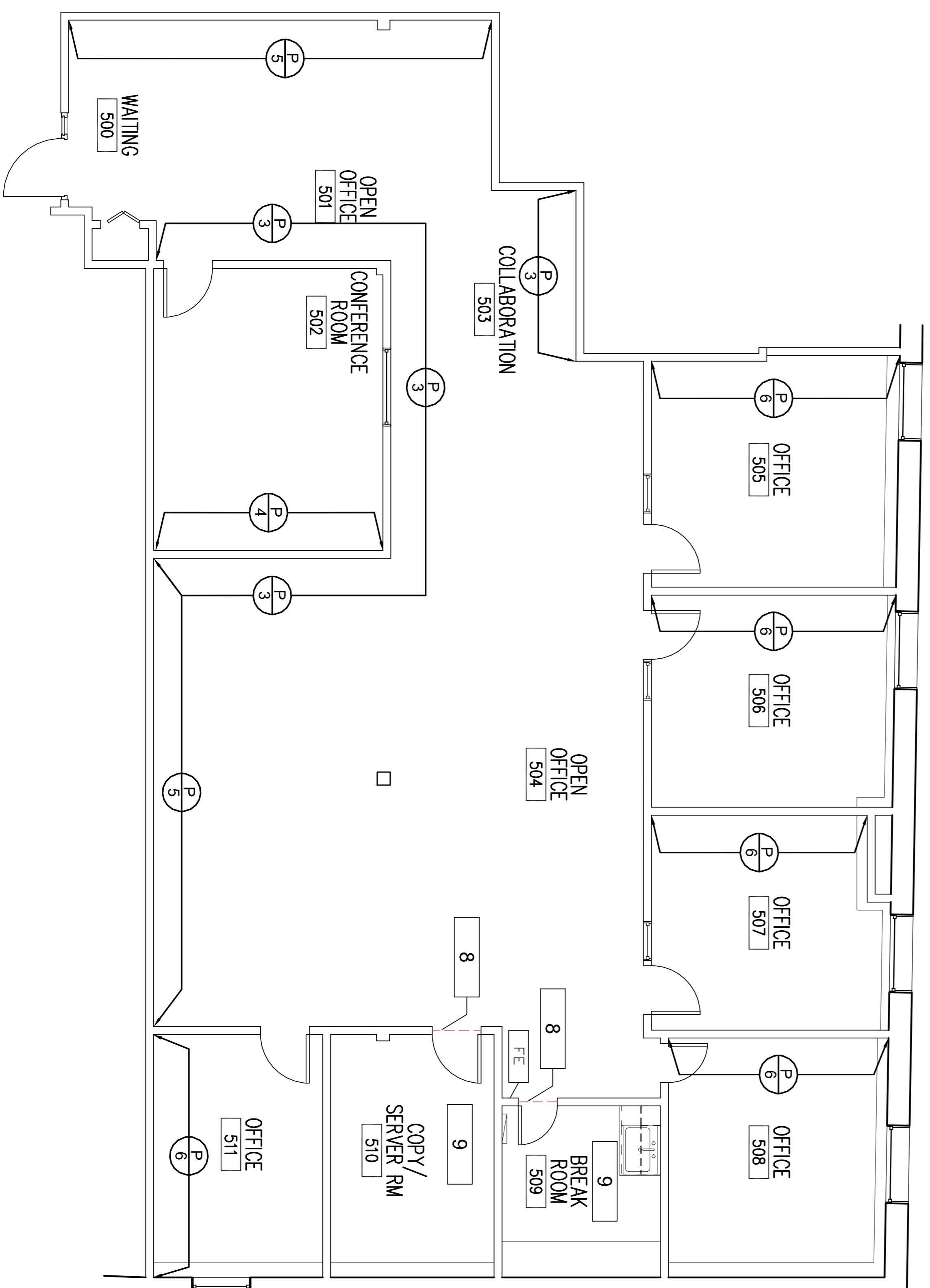
WALL BASE

- Ⓟ RUBBER BASE
MFR: SCOPPE
STYLE: 4 STRAIGHT BASE
CARP: 193 BACKBROWN

FLOORING FINISHES

CARPET

- Ⓟ GEN. OFFICE CARPET - TILE
MFR: MONAMK
STYLE: HEADSTRONG 817940B34
COLOR: 363 ROUST ABOUT
CONTRACT: SHANNON WHITE 720217 8956



PROJECT NORTH

REV.	DESCRIPTION	DATE
1	FINISH SELECTIONS	01/23/15
0	NOTE REVISIONS	01/15/15

CURRENT ISSUE STATUS:

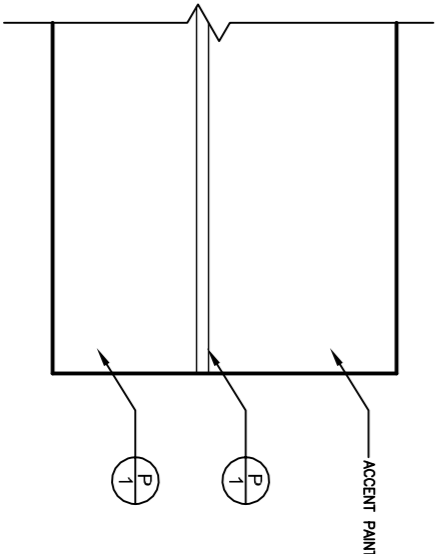
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TECHTURE + PLANNING
227 THE STREET
PORTLAND, MAINE 04101
(207) 698-3300

ARCADIS
city, stide

FINISH PLAN, NOTES AND LEGEND

SHEET TITLE:	GRAPHIC SCALE:
DATE: 12/19/2014	SCALE: 0" = 1'-0"
SCALE: 1/4" = 1'-0"	DATE: 06/20/12
PROJECT NO.: 124012	SHEET NO.: A-2
DRAWN BY: SH	DATE OF RECORD: 04/11

A2 1/4" = 1'-0"
TYP. PAINT LOCATIONS



A6 1/8" = 1'-0"
FINISH PLAN



GENERAL NOTES

- PRIOR TO STARTING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON SITE AND NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING.
- REFER TO CONSTRUCTION PLANS FOR NEW LAYOUT DIMENSIONS TO DETERMINE THE MINIMUM EXTENT POSSIBLE TO ACHIEVE NEW LAYOUT REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR UPDATING, PAINTING AND CLEANING ALL CEILING IN TENANT SPACE UNLESS NOTED OTHERWISE. THIS INCLUDES, BUT IS NOT LIMITED TO, CORE RESTROOMS, JANITOR CLOSETS, ELEVATOR CABS, STAIRWELLS AND ELECTRICAL ROOMS.
- ALL CONSTRUCTION TO BE DONE DURING BUSINESS HOURS SHALL BE COORDINATED IN ADVANCE WITH LOCAL CONTACT.
- PROTECT REMAINING WALLS, CEILINGS, FLOORS, AND EXPOSED FINISHES FROM DAMAGE.
- DEMOLISH ALL EXISTING FLOOR COVERINGS AND BASE THROUGHOUT SPACE UNLESS OTHERWISE NOTED. PREPARE FLOOR TO SMOOTH LEVEL SURFACE.
- PROTECT ALL WINDOW COVERINGS AT PERIMETER WINDOWS DURING DEMOLITION & CONSTRUCTION.
- C.C. RESPONSIBLE FOR COORDINATING THE HANDLING AND STORAGE OF ALL REMOVED ITEMS WITH THE BUILDING LANDLORD.
- EXISTING WALLS, FLOORS, CEILINGS, WINDOW SILLS, AND ALL EXPOSED SURFACES THAT HAVE BEEN DAMAGED OR DISTURBED BY DEMOLITION OR CONSTRUCTION WORK SHALL BE REPAIRED, REPLACED AND/OR RECONDITIONED SUCH THAT THEY CANNOT BE DISTINGUISHED FROM NEW OR ADJACENT EXISTING SURFACES.
- AND FINISHES.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE ADA ACCESSIBILITY GUIDELINES.
- ACCESS CONTROL DEVICES, DOOR HARDWARE, FIRE EXTINGUISHERS, SIGNAGE, ETC... SHALL COMPLY WITH THE ADA ACCESSIBILITY GUIDELINES.
- SUBMITTALS/SHOP DRAWINGS:
 - 13. SUBMIT FINISH SAMPLES TO TENANTS FOR APPROVAL.
 - 14. ALL SEALANTS, PAINTS, CLEANING PRODUCTS, ETC. SHALL EMIT LOW OR NO VOLATILE ORGANIC COMPOUNDS.
 - 15. PROVIDE WEEKLY PHOTO UPDATES OF CONSTRUCTION PROGRESS.
 - 16. PAINT EXISTING CEILING GRID AND RETURN AIR GRILLES WHITE AS NEEDED. REPLACE DAMAGED CEILING TILE AND GRID DURING CONSTRUCTION TO MATCH EXISTING.
 - 17. REBALANCE EXISTING HVAC SYSTEM.
 - 18. REPLACE ALL WORK/DAMAGED CEILING TILES WITH NEW TO MATCH EXISTING.

CODE SUMMARY

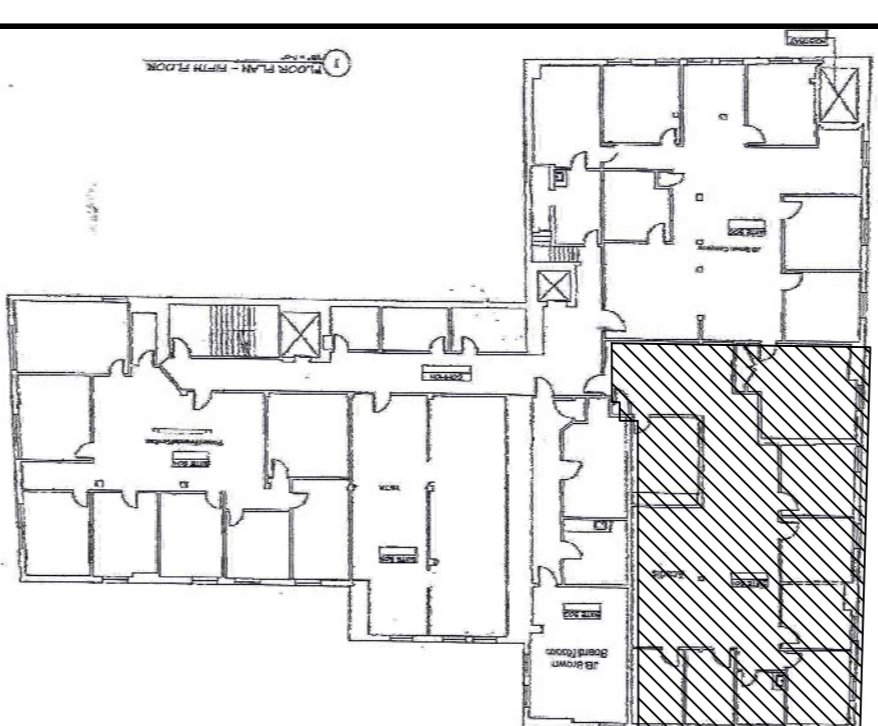
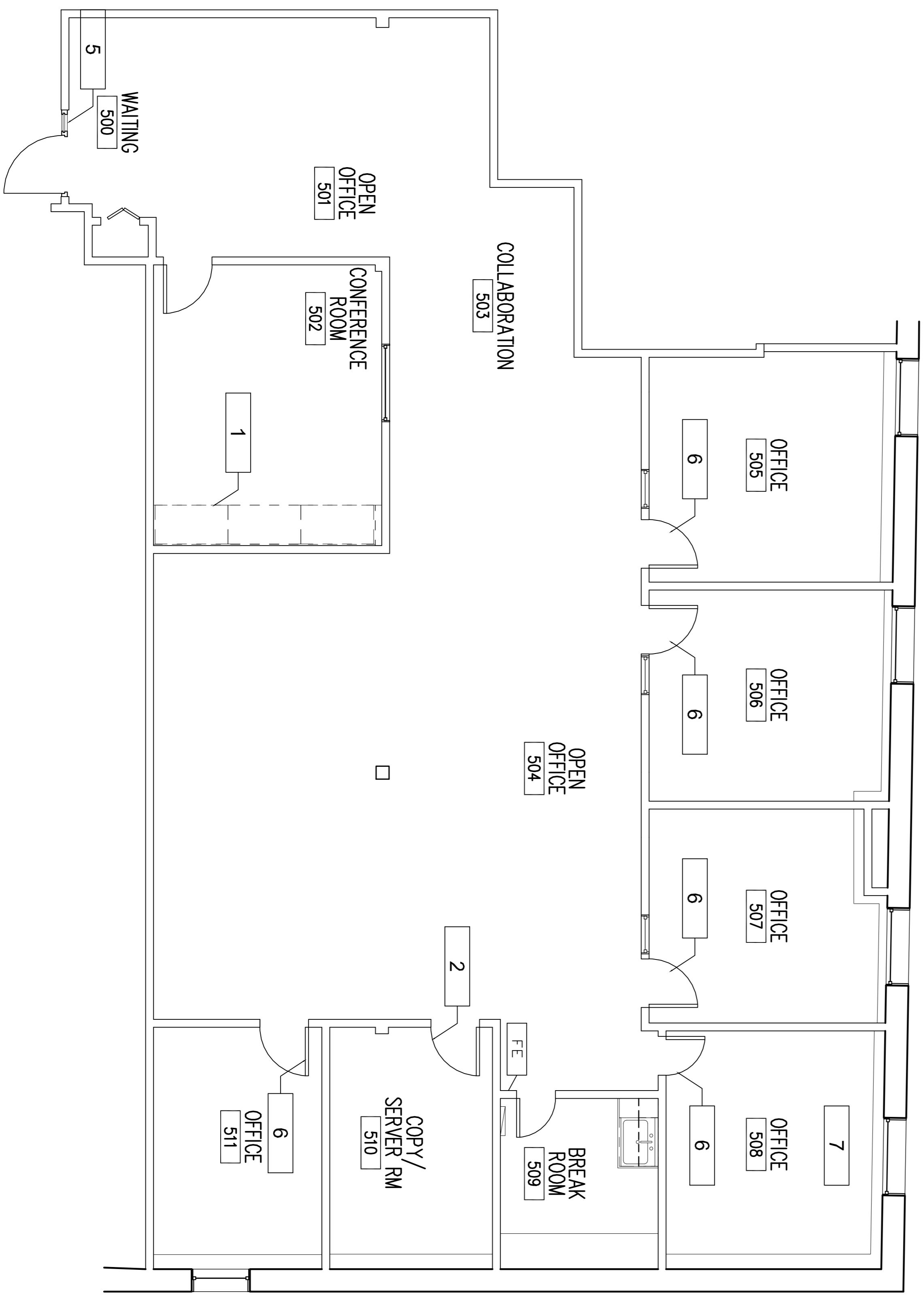
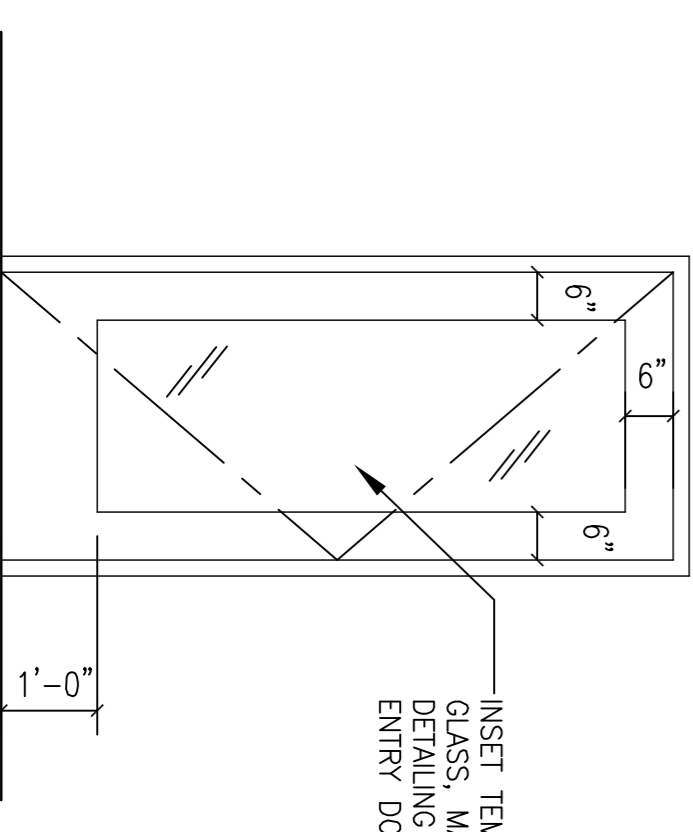
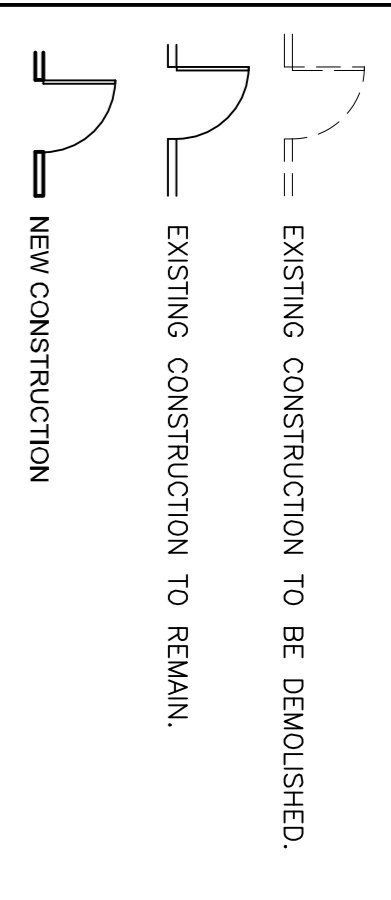
CODES REVIEWED:

- IEBC 2009, NFPA 101 2009, ADA ACCESSIBILITY GUIDELINES
- IEBC 2009
- 409.2.2 ALL NEWLY INSTALLED INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH SECTION 804 OF THE INTERNATIONAL BUILDING CODE (2009)
- 602.1 NEW INTERIOR FLOOR FINISH, INCLUDING NEW CARPETING, SHALL COMPLY WITH SECTION 804 OF THE INTERNATIONAL BUILDING CODE (2009)
- 602.2 MAINTAIN THE EXISTING LEVEL OF FIRE PROTECTION RENOVATED AREAS SHALL COMPLY WITH THE ADA ACCESSIBILITY GUIDELINES.
- 701.3 ALL NEW CONSTRUCTION ELEMENTS, COMPONENTS, SYSTEMS, AND INTERIORS SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (2009)
- NEPA 101 - CHAPTER 39 EXISTING BUILDING OCCUPANCY
 - 39.1.7 OCCUPANT LOAD = 100 SF PER OCCUPANT
 - AREA = 2,171 SF
 - 39.1.5.3.2 OCCUPANT PATH OR TRAVEL SHALL NOT BE LIMITED IN A SINGLE TENANT SPACE WITH AN OCCUPANT LOAD NOT EXCEEDING 50 PEOPLE
 - 39.2.6.2 TRAVEL DISTANCE TO AN EXIT = 200' MAXIMUM
- ADA ACCESSIBILITY GUIDELINES
- MINIMUM WIDTH ALONG ACCESSIBLE ROUTE = 36", INCLUDING ASILES.

KEYNOTES

- 1 DEMOLISH EXISTING BUILT-IN BOOK CASE, PATCH/REPAIR FINISHES AS REQUIRED SO THAT EXISTING FINISHES CAN NOT BE DISTINGUISHED FROM NEW.
- 2 PROVIDE LOUVER IN EXISTING DOOR.
- 3 TENANT PROVIDED FURNITURE. CONTRACTOR TO VERIFY DIMENSIONS AND COORDINATE PLACEMENT OF OUTLETS WITH TENANT AND FURNITURE VENDOR PRIOR TO ANY INSTALLATION.
- 4 PROVIDE ELECTRICAL OUTLET FOR EXISTING COPIER.
- 5 EXISTING DOOR & TRIM TO REMAIN AS IS.
- 6 PROVIDE INSET TEMPERED GLASS AT ALL EXISTING OFFICE DOORS. PER DETAIL 624N1.
- 7 REPAIR HEATING SYSTEM IN CORNER OFFICE. ASSESS AND MITIGATE ANY ENVIRONMENTAL DAMAGES IN CORNER OFFICE DUE TO IMPROPER HEATING OPERATIONS.
- 8 PROVIDE METAL TRANSITION STRIP, SCHAUTER OR EQUAL TO SEPARATE EXISTING FLOORING FROM NEW. TRANSITION TO BE CENTERED IN DOORWAY.
- 9 FLOORING TO REMAIN.
- 10 PROVIDE ALTERNATE PATH TO SUPPLY FLOOR POWER WITH OUTLETS SUBMERGED WITH NEW CARPET.
- FE EXISTING PORTABLE FIRE EXTINGUISHER

CONSTRUCTION LEGEND



PROJECT NORTH

REV.	DESCRIPTION	DATE
1	FINISH SELECTIONS	01/23/15
0	NOTE REVISIONS	01/15/15

CURRENT ISSUE STATUS:

DESIGN GROUP COLLABORATIVE ARCHITECTURE DESIGN + PLANNING
22 FREE STREET
PORTLAND, MAINE 04101
(207) 698-3300

ARCADIS
civ./stde



FLOOR PLAN

SHEET TITLE: FLOOR PLAN
DATE: 12/19/2014
SCALE: AS SHOWN
PROJECT NO.: 124012
DESIGN BFC: SEA
DATE OF RECORD: 01/15/15

GRAPHIC SCALE: 1" = 1'-0"

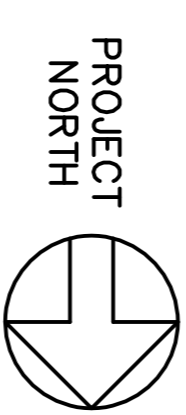
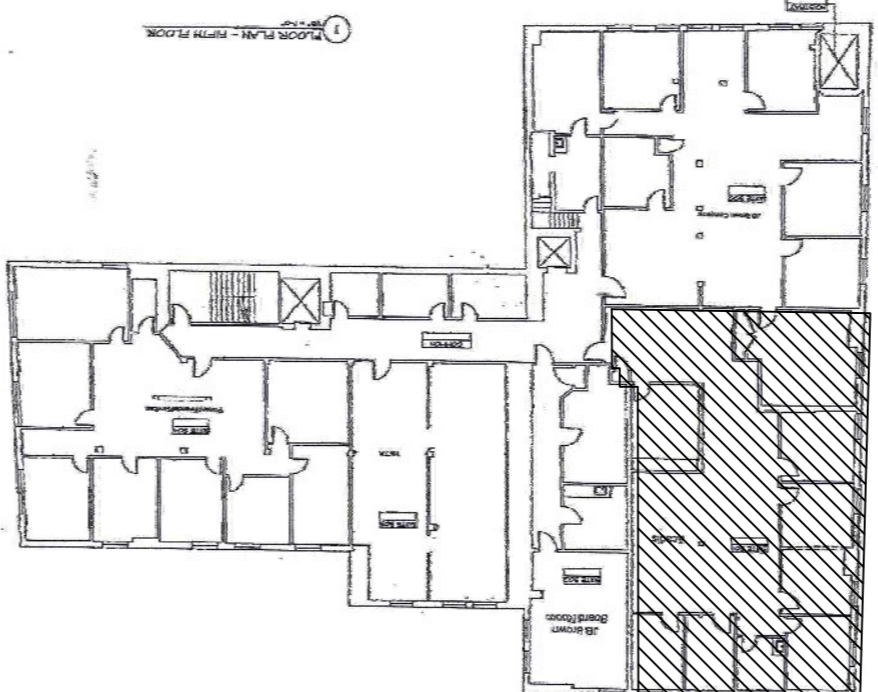
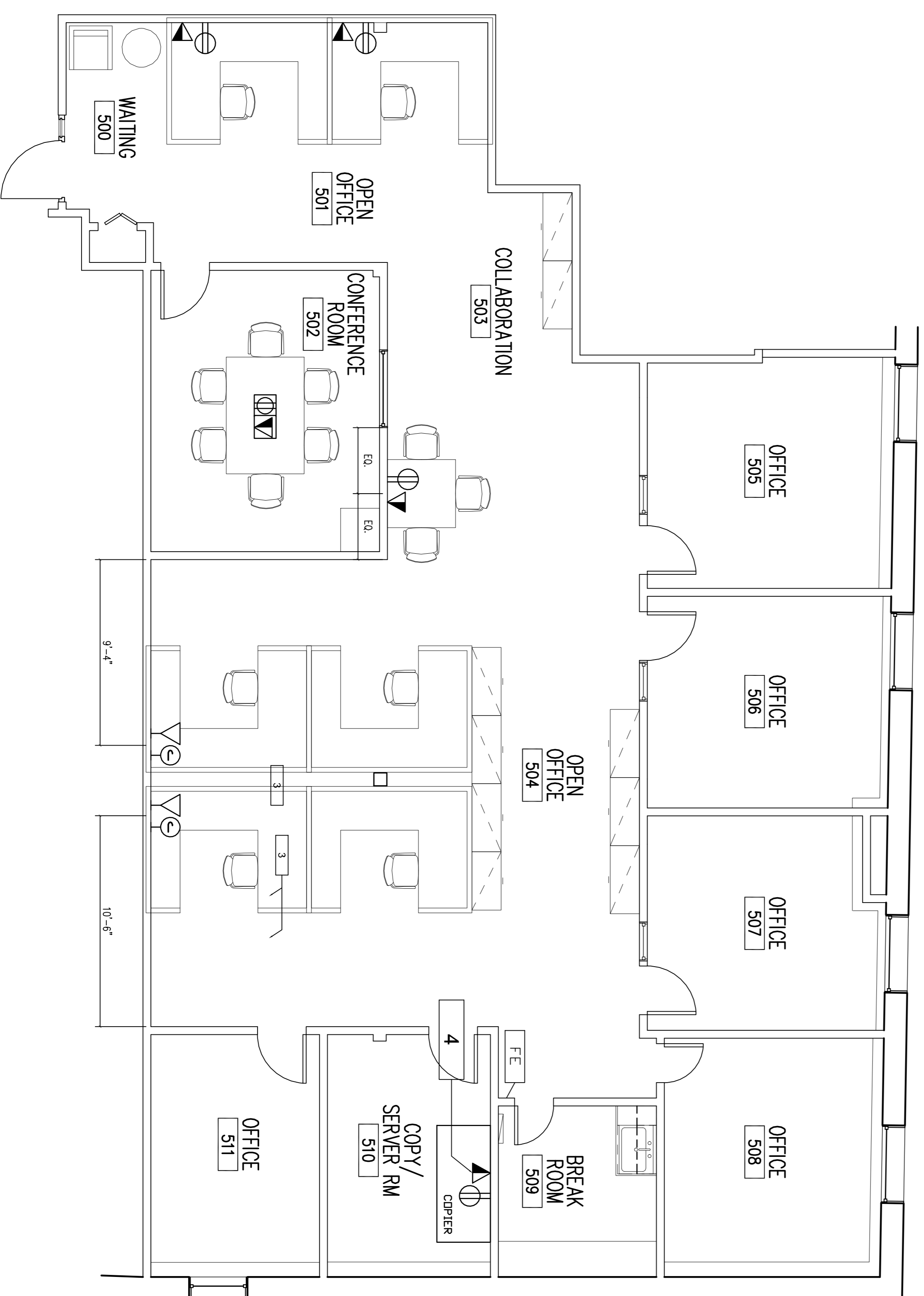
A-1

ELECTRICAL NOTES

- FURNITURE BY OTHERS. INFORMATION PROVIDED FOR INFORMATION ONLY.
- SPECIALTY POWER AND DATA NETWORK OUTLETS TO BE PROVIDED FOR ALL EQUIPMENT/ INCLUDING COPIERS, PLOTTERS, ETC.
- ELECTRICAL SHOWN AT RECOMMENDED LOCATIONS. REUSE EXISTING ELECTRICAL WHERE APPROPRIATE. PROVIDE CONFORMANCE OUTLETS AS NEEDED BY CONTRACTOR TO ASSESS EXISTING ELECTRICAL FOR USABILITY.
- DATA/COMMUNICATIONS SHALL BE FURNISHED AND INSTALLED BY TENANT'S CONTRACTOR. PROVIDE RING & STRING AT NEW LOCATIONS SHOWN ON PLAN.
- COORDINATE ALL ELECTRICAL DEVICE LOCATIONS AND REQUIREMENTS WITH FURNITURE VENDOR. NOTE SHALL BE PLACED ON ELECTRICAL POWER PLAN.
- ADD OR MODIFY EXISTING DETECTION AND ALARM SYSTEM AND STRINGS AS REQUIRED TO MEET ALL APPLICABLE REGULATORY AND CODE REQUIREMENTS. PROVIDE ADA ACCESSIBILITY GUIDELINES, G.C. TO REVIEW STROBE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. G.C. TO MARK AND VERIFY LOCATIONS OF ANY OF THE ABOVE EQUIPMENT BEFORE INSTALLING IN GYPSUM BOARD CEILING, RECEPTION, AND LARGE CONFERENCE ROOMS. DESIGN AND FINISHING TO BE DESIGN-BUILD.
- MODULAR FURNITURE TO BE A WIRE SYSTEM FED FROM A SYSTEMS FURNITURE CORE DRILL OR WALL FED. ASSUME A 4 CIRCUIT / 8 WIRE SYSTEM. ASSUME 1 CIRCUIT PER 2 WORKSTATIONS.
- ELECTRICAL CONTRACTOR SHALL SUPPLY 90 DEGREE ELBOW CONNECTORS TO THE FURNITURE WHIPS SUPPLIED BY VENDOR.
- ELECTRICAL DESIGN AND PERMITTING TO BE DESIGN-BUILD.

ELECTRICAL LEGEND

ELECTRICAL	FLOOR	WALL	DESCRIPTION
⊕	+	+	JUNCTION BOX
⊕	+	+	DUPLEX RECEPTACLE
⊕	+	+	AC = ABOVE COUNTER
⊕	+	+	QUADPLEX RECEPTACLE
⊕	+	+	TELEPHONE OUTLET MTD
⊕	+	+	TELECOMMUNICATION OUTLET MTD, UON
⊕	+	+	COMBINATION TELEPHONE/DATA OUTLET
⊕	+	+	COMB POWER/TELEPHONE/DATA OUTLET, FLUSH MOUNTED.
⊕	+	+	POWER POLE
⊕	+	+	FURNITURE FEED - COMMUNICATION, FLUSH MOUNT
⊕	+	+	FURNITURE FEED - POWER, FLUSH MOUNT



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22 FREE STREET
PORTLAND, MAINE 04101
(207) 698-3300

ARCADIS
cliv, stide

FURNITURE PLAN

SHEET TITLE:	FURNITURE PLAN
DATE:	12/19/2014
SCALE:	AS NOTED
PROJECT NO.:	124012
DESIGNER:	SHI
CHECKED BY:	CMH



A6
FURNITURE PLAN
1/8" = 1'-0"



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Strengthening a Remarkable City. Building a Community for Life. Date: 02/05/15

Jeff Levine, AICP, Director
Director of Planning and Urban Development

Tammy Munson
Director, Inspections Division

Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

Within 24-48 hours, upon receipt of an e-mailed invoice from Building Inspections, which signifies that my electronic permit application and corresponding paperwork have been received, determined complete, entered by an administrative representative, and assigned a permit number, I then have the following four (4) payment options:

- to provide an on-line electronic check or credit/debit card (we now accept American Express, Discover, VISA, and MasterCard) payment (along with applicable fees beginning July 1, 2014),
- call the Inspections Office at (207) 874-8703 and speak to an administrative representative to provide a credit/debit card payment over the phone,
- hand-deliver a payment method to the Inspections Office, Room 315, Portland City Hall,
- or deliver a payment method through the U.S. Postal Service, at the following address:

City of Portland
Inspections Division
389 Congress Street, Room 315
Portland, Maine 04101

Once my payment has been received, this then starts the review process of my permit. **After all approvals have been met and completed, I will then be issued my permit via e-mail.** No work shall be started until I have received my permit.

Applicant Signature: Date: 1-26-15

I have provided digital copies and sent them on: _____ Date: _____

NOTE: All electronic paperwork must be delivered to buildinginspections@portlandmaine.gov or by physical means ie; a thumb drive or CD to the office.

Room 315 - 389 Congress Street- Portland, Maine 04101 (207) 874-8703 - Fax: 874-8716 - TTY: 874-8936

Acknowledgment of Code Compliance Responsibility- Fast Track



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

I, David Cimino am the owner or duly authorized owner's agent of the property Date: 02/05/15
Print Legal Name

482 Congress Street, Suite 505,
Physical Address

I am seeking a permit for the construction or installation of:
Carpet replacement, painting, cut in glass panels into existing non-rated door,
remove millwork and repair wall.

Proposed Project Description

I understand that the permits obtained pursuant to this acknowledgement of code compliance responsibility will be in my name and that I am acting as the **general contractor** for this project. I accept full responsibility for the work performed.

I am submitting for a permit authorized by the **State of Maine Uniform Building and Energy Code (MUBEC), Fuel Board Laws and Rules and all locally adopted codes and standards applying to Plumbing, Electrical, Fire Prevention and Protection in anticipation of having it approved or approved with conditions.** I have read the following statement and understand that **failure to comply with all conditions once construction is begun may necessitate an immediate work stoppage until such time as compliance with the stipulated conditions is attained.** I certify that I have made a diligent inquiry regarding the need for concurrent state or federal permits to engage in the work requested under this building permit, and no such permits are required or I will have obtained the required permits prior to issuance of this permit. I understand that the granting of this permit shall not be construed as satisfying the requirements of other applicable Federal, State or Local laws or regulations, including City of Portland historic preservation requirements, if applicable. I understand and agree that this permit does not authorize the violation of regulations.

In addition, I understand and agree that this building permit does not authorize the violation of the **12 M.R.S. § 12801 et seq. - Endangered Species.**

I certify under penalty of perjury and under the laws of the State of Maine the foregoing is true and correct. I further certify that all easements, deed restrictions, or other encumbrances restricting the use of the property are shown on the site plans submitted with this application.

I hereby apply for a permit as a owner's agent of the below listed property and by so doing will assume responsibility for compliance with all applicable codes, bylaws, rules and regulations.
Owner or Owner's Agent

I further understand that it is my responsibility to schedule inspections of the work as required and that the City's inspections will, at that time, check the work for code compliance. The City's inspectors may require modifications to the work completed if it does not meet applicable codes. date INITIAL HERE

Sign Here: David Cimino
Owner or Owner's Authorized Agent

Date: 1/26/15

PLEASE ALSO FILL OUT AND SIGN SECOND PAGE

Acknowledgment of Code Compliance Responsibility- Fast Track

OFFICE USE ONLY

PERMIT # _____

CBL # _____



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 02/05/15

THIS PROJECT IS ELIGIBLE FOR FAST TRACK PERMITTING BECAUSE IT IS IN THE FOLLOWING CATEGORY / CATEGORIES (CHECK ALL THAT APPLY):

- One/Two Family Swimming Pools, Spas or Hot Tubs
- One/Two Family Decks, Stairs and Porches (attached or detached) First Floor Only
- One/Two Family Detached One Story Accessory Structures (garages, sheds, etc.) not to exceed 600sq ft with no habitable space
- Home Occupations (excluding day cares)
- One/Two Family Renovation/Rehabilitation (within the existing shell)
- Attached One /Two Family Garages /Additions/Dormers bearing the seal of a licensed design professional
- New *Sprinklered* One and Two Family Homes (bearing the seal of a licensed design professional stating code compliance) – **MUST STILL RECEIVE LEVEL 1 SITE PLAN APPROVAL FROM PLANNING**
- One/Two Family HVAC (including boilers, furnaces, heating appliances, pellet and wood stoves)
- Interior office renovations with no change of use (no expansions; no site work; no load bearing structural changes are eligible) bearing the seal of a licensed design professional stating code compliance
- Interior Demolition with no load bearing demolition
- Amendments to existing permits
- Commercial HVAC systems (with structural and mechanical plans bearing the seal of a licensed design professional stating code compliance)
- Commercial HVAC for Boilers/Furnaces/Heating Appliances
- Commercial Signs or Awnings
- Exterior Propane Tanks
- Residential or Commercial Subsurface Waste Water Systems (No Rule Variance Only)
- Renewal of Outdoor Dining Areas
- Temporary Outdoor Tents and stages under 750 sq ft per tent or stage
- Fire Suppression Systems (Both non-water and water based installations)
- Fences over 6'-0" in height
- Site work only
- Retaining walls over 4ft in height with stamped plans (or approval from inspection staff)

I understand that if the property is located in a historic district this application will also be reviewed by Historic Preservation. I further understand that the Building Inspections Division reserves the right to deny a fast track eligible project.

Sign Here: David Cimino
Owner or Owner's Authorized Agent

Date: 1/26/15



Certificate of Design Application



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

From Designer: Shirley E Holt, Maine Licensed Architect

Date: January 16, 2015

Job Name: Arcadis

Date: 02/05/15

Address of Construction: 482 Congress Street, Suite 501, Portland, Maine 04101

2009 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2009 Use Group Classification (s) Business

Type of Construction IV Heavy Timber

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2009 IRC _____

Is the Structure mixed use? Yes If yes, separated or non separated or non separated (section 302.3) Separated

Supervisory alarm System? Yes Geotechnical/Soils report required? (See Section 1802.2) No

Structural Design Calculations

NA Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

- _____ Live load reduction
- _____ Roof *live* loads (1603.1.2, 1607.11)
- _____ Roof snow loads (1603.7.3, 1608)
- _____ Ground snow load, P_g (1608.2)
- _____ If $P_g > 10$ psf, flat-roof snow load P_f
- _____ If $P_g > 10$ psf, snow exposure factor, C_e
- _____ If $P_g > 10$ psf, snow load importance factor, I_s
- _____ Roof thermal factor, C_t (1608.4)
- _____ Sloped roof snowload, P_s (1608.4)
- _____ Seismic design category (1616.3)
- _____ Basic seismic force resisting system (1617.6.2)
- _____ Response modification coefficient, R_f and deflection amplification factor C_d (1617.6.2)
- _____ Analysis procedure (1616.6, 1617.5)
- _____ Design base shear (1617.4, 1617.5.1)

Wind loads (1603.1.4, 1609)

- _____ Design option utilized (1609.1.1, 1609.6)
- _____ Basic wind speed (1809.3)
- _____ Building category and wind importance Factor, I_w table 1604.5, 1609.5)
- _____ Wind exposure category (1609.4)
- _____ Internal pressure coefficient (ASCE 7)
- _____ Component and cladding pressures (1609.1.1, 1609.6.2.2)
- _____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Flood loads (1803.1.6, 1612)

- _____ Flood Hazard area (1612.3)
- _____ Elevation of structure

Earth design data (1603.1.5, 1614-1623)

- _____ Design option utilized (1614.1)
- _____ Seismic use group ("Category")
- _____ Spectral response coefficients, S_D & S_D1 (1615.1)
- _____ Site class (1615.1.5)

Other loads

- _____ Concentrated loads (1607.4)
- _____ Partition loads (1607.5)
- _____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Accessibility Building Code Certificate



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Designer: Shirley E Holt, Maine Licensed Architect Date: 02/05/15

Address of Project: 482 Congress Street, Suite 501, Portland, Maine

Nature of Project: Renovations to an existing business office
for an existing tenant.

To the best of my knowledge, information and belief,
The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: Shirley E Holt Digitally signed by Shirley E Holt
DN: cn=Shirley E Holt, o=Design Group
Collaborative, ou=Portland,
email=Sholt@DGCArchitects.com, c=US
Date: 2015.01.16 14:35:00 -05'00'

Title: Senior Architect

Firm: Design Group Collaborative

Address: 22 Free Street, Suite 303

Phone: (207)699-3300

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: January 16, 2015 Date: 02/05/15

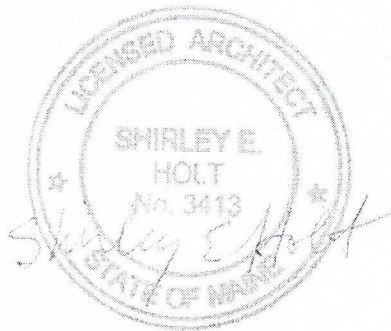
From: Shirley E Holt, Maine Licensed Architect

These plans and / or specifications covering construction work on:

482 Congress Street, Suite 501

Portland, Maine 04101

to the best of my knowledge, information and belief,
Have been designed and drawn up by the undersigned, a Maine registered Architect /
Engineer according to the **2009 International Building Code** and local amendments.



Signature: Shirley E Holt Digitally signed by Shirley E Holt
DN: cn=Shirley E Holt, o=Design Group
Collaborative, ou=Portland,
email=SHolt@DGCArchitects.com, c=US
Date: 2015.01.16 14:48:16 -0500

Title: Senior Architect

Firm: Design Group Collaborative

Address: 22 Free Street, Suite 303
Portland, Maine 04101

Phone: (207)699-3300

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges within the City, payment arrangements must be made before permits of any kind

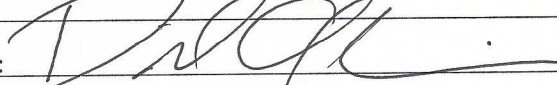
Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Address/Location of Construction: 482 Congress Street, suite 505		Date: 02/05/15
Total Square Footage of Proposed Structure:		2,171
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 037 100 3001	Applicant Name: Stroudwater Const Address 96 Ocean St. Unit 1 City, State & Zip So. Portland, Maine	Telephone: 207-767-9111 Email: david@stroudwatercon
Lessee/Owner Name : Arcadis (if different than applicant) Address: 482 Congress St. Suite 505 City, State & Zip: portland Telephone E-mail:	Contractor Name: same as Appl. (if different from Applicant) Address: City, State & Zip: Telephone E-mail:	Cost Of Work: \$ 3,550.00 C of O Fee: \$ _____ Historic Rev \$ _____ Total Fees : \$ _____
Current use (i.e. single family) <u>Business Tenant in mixed use business and retail</u>		
If vacant, what was the previous use? <u>N/A</u>		
Proposed Specific use: <u>Business Offices - currently occupied by tenant</u>		
Is property part of a subdivision? <u> </u> If yes, please name <u> </u>		
Project description: Carpet replacement, painting, cut in glass panels into existing non-rated doors, remove millwork. I was told I only need a permit for the doors		
Who should we contact when the permit is ready: David Cimino		
Address: 96 Ocean Street, Unit 1,		
City, State & Zip: South Portland, Maine 04106		
E-mail Address: David@Stroudwaterconstruction.com		
Telephone: 207-650-7802		

Please submit all of the information outlined on the applicable checklist. Failure to do so causes an automatic permit denial.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at <http://www.portlandmaine.gov/754/Applications-Fees> or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: 1-26-15

This is not a permit; you may not commence ANY work until the permit is issued.