

April 10, 1941

us, Mitchell & From Co.,
Congress Street,
St. Louis

Each:
While examining your building at 522 Congress Street in connection
with proposed addition at the fourth story level, I noted that the emergency
means of egress by way of outside fire escapes to Fro. Street are for the most
part not marked at all as to their location, so that persons in the store or
office could know quickly where to go in case of emergency to reach those
emergency means of egress.

It is a well known principle of safety that a condition whereby the
location and means of access to fire escapes or other emergency means of egress
are not quickly discoverable in case of emergency, is not much better than a
situation where the means of egress do not exist at all.

I strongly recommend that you have all of these emergency means of
egress clearly marked, so that there may be no regrets if an emergency should
arise.

Very truly yours,

Inspector of Buildings

Wich/H
CC: Chief Sanborn,,

4-15-1941
Sept. 1940-1

George A. Clark,
46 Portland Street,
Portland, Maine

Gentlemen:

The plans you have filed (three sheets in all) to explain the proposed addition for Porteous, Mitchell & Braun Company at 522 Congress Street (33 Free Street), are very much short of sufficient information as to the job to make it possible for us to check the proposition against building Code requirements. The plans filed seem to represent only the structural steel drawings by Megquier & Jones, and no doubt are competent to show that part of the work, but there are no architectural drawings whatever to show the general location of the proposed addition on the building, its effect upon the general appearance situation and all the many other details which I am required to check against building Code requirements.

I can appreciate a desire to economize on working drawings, but most every owner and everyone else wants to feel when a permit is issued from this department that the work intended is in compliance with building Code requirements. How can we possibly issue permits on that basis if the plans are not in sufficient detail to stand alone and explain the job at hand?

The Building Code requires that we have in this office with each application for a permit sufficient information about the job to be filed away, so that I can feel reasonably sure that the job in all of its details complies with building Code requirements and so that I may be able to defend my issuance of the permit at any time in the future on the basis of the information we have on file.

Perhaps you have not thought of it, and I know you are always exceptionally cooperative with the department, but we are trying to do a staggering amount of rather technical work with a personnel of the department which is much too small for no other reason than economy to the tax payer. In brief, just now we are literally swamped with application for permits, a considerable part of which are in sufficient detail so that we can check the job involved against building Code requirements promptly. Naturally those applications which are not adequate to explain the job must wait until sufficient information is supplied.

The owner and Megquier & Jones Company each has a copy of this letter. May we have the cooperation of the one responsible for furnishing adequate information about the job to the end that we may serve you all as quickly as possible, and at the same time perform the duty imposed by law?

Very truly yours,

WCB/A

Inspector of Buildings

CC: Megquier & Jones Co., 33 Pearl St.
Porteous, Mitchell & Braun Co., 522 Congress Street



INSPECTION NOT COMPLETED

Original Permit No. 11/111

Amendment No. 5

AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, February 25, 1912

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 11/111 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location: 522-534 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address: Porteous, Mitchell & Brown Co.,
Contractor's name and address: George L. Clark, 46 Portland St.,
Plans filed as part of this Amendment: yes No. of Sheets: 1
Is any plumbing work involved in this work? Is any electrical work involved in this work?
Increased cost of work: Additional fee: 25
Framing Lumber: Kind? Dressed or Full Size?

Description of Proposed Work

To provide glass block partition on first floor for stairway enclosure as shown on plan

INSPECTION NOT COMPLETED

Approved:

Chief of Fire Department.

INSPECTION COPY

Commissioner of Public Works.

Porteous, Mitchell & Brown Co.
Signature of Owner: George L. Clark

Approved: 2/24/12 [Signature]
Inspector of Buildings



INSPECTION NOT COMPLETED
AMENDMENT TO APPLICATION FOR PERMIT

Original Permit No. 42/444

Amendment No. 6/11/42

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, December 12, 1941

Supersedes amendment #3, 9/30/41

The undersigned hereby applies for an amendment to Permit No. 42/444 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 422-524 Congress Street Within Fire Limits? yes Dist. No. 1

Owner's & Lessee's name and address Porteous, Mitchell & Braun Co.,

Contractor's name and address Guggins & Clark, 16 Portland St. 2-3168

Plans filed as part of this Amendment yes & specific No. of Sheets 7

Is any plumbing work involved in this work? yes Is any electrical work involved in this work? yes

Increased cost of work 12,000 Additional fee 11.25 paid

Framing Lumber: Kind? 2000 Dressed or Full Size? 12.95 add'l

Description of Proposed Work

To alter store front as per plans

To make alterations to section of first floor and basement now occupied by Kresge as per plans

INSPECTION NOT COMPLETED

Approved:

Chief of Fire Department

Edward M. Hunt

INSPECTION COPY

Commissioner of Public Works

Porteous, Mitchell & Braun Co.
By Guggins & Clark

Signature of Owner

By G. H. Clark

Approved: 1/16/42 - Wm. J. ...

Inspector of Buildings



INSPECTION NOT COMPLETED
PRIMINARY
AMENDMENT TO APPLICATION FOR PERMIT

Original Permit No. 12571
Amendment No. 3

Portland, Maine, December 30, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 11/444, pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 521-524 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Porteous, Mitchell & Brown Co., 522-524 Congress St.,
Contractor's name and address Coogan & Clark, 14 Portland St.,
Plans filed as part of this Amendment No. of Sheets
Is any plumbing work involved in this work? Is any electrical work involved in this work?
Increased cost of work Additional for
Framing Lumber: Kind? Dressed or Full Size?

Description of Proposed Work

To erect only for the alterations covered in Amendment No. 4, but not closer than six feet to the westerly Porteous, Mitchell & Brown property line

INSPECTION NOT COMPLETED

Approved: _____
Chief of Fire Department.

Commissioner of Public Works.

Porteous, Mitchell & Brown Co.
By Coogan & Clark
Signature of Owner By [Signature]
Approved: 12/30/41 - [Signature]
Inspector of Buildings.

INSPECTION COPY
INS
Inspector of Buildings.



AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, September 30, 1911

Original Permit No. 15/111-1

Amendment No. 2 3

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 15/111-1 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location: 522-524 Congress Street
Owner's or Lessee's name and address: Porteous, Mitchell & Braun Co., 522 Congress Street
Contractor's name and address: Googins & Clark, 15 Portland Street
Plans filed as part of this Amendment: yes No. of Sheets: 4
Is any plumbing work involved in this work? no Is any electrical work involved in this work? yes
Increased cost of work: \$2500.00 Additional fee: 11.25
Framing Lumber: Kind? Dressed or Full Size?

Description of Proposed Work
To alter store front and entrances as per plans submitted.

Approved:
Chief of Fire Department.
Commissioner of Public Works.

Porteous, Mitchell & Braun Co.
Googins & Clark
Signature of Owner by:

Approved: _____
Inspector of Buildings

INSPECTION COPY

Inspector of Buildings



INSPECTION NOT COMPLETED
AMENDMENT TO APPLICATION FOR PERMIT 1231

Original Permit No. 1231
Amendment No. 2

Portland, Maine, July 1, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 1231 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 523-531 Commercial Street Within Fire Limits? Yes Dist. No. 1
Owner's or Lessee's name and address Fortenberry, Mitchell & Brann Co.
Contractor's name and address Georgius & Clark, 14 Portland Street 2-2152
Plans filed as part of this Amendment No No. of Sheets 2
Is any plumbing work involved in this work? No Is any electrical work involved in this work? No
Increased cost of work None Additional fee None
Framing Lumber: Kind None Dressed or Full Size None

Description of Proposed Work

To change window to door (Kalamazoo), fifth floor, to lead onto roof of addition covered under original permit

INSPECTION NOT COMPLETED

Approved:

Edward W. Hunt
Chief of Fire Department.

Commissioner of Public Works.

INSPECTION COPY

Fortenberry, Mitchell & Brann Co.
By Georgius & Clark

Signature of Owner W. H. Clark

Approved: 7/2/41
Inspector of Buildings



INSPECTION NOT COMPLETED

PERMIT ISSUED

Amendment No. 1

JUN 13 1947

AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, June 6, 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 43/44, pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 522-534 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Porteous, Mitchell & Braun Co.
Contractor's name and address Georgias & Clark, 65 Portland St. 3-3148
Plans filed as part of this Amendment yes & Spec. No. of Sheets 4
Is any plumbing work involved in this work? Miller & Seal, Jr. Is any electrical work involved in this work?
Increased cost of work 16,000 Additional fee 12.25
Framing Lumber: Kind? fir Dressed or Full Size? full size

Description of Proposed Work

brick
To build one story addition 64' x 59' on existing two story rear portion of building
as per plans

INSPECTION NOT COMPLETED

Approved:

Porteous, Mitchell & Braun Co.
By Georgias & Clark

Signature of Owner [Signature]

15C



APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class
INSPECTION NOT COMPLETED

Permit No. 444

APR 10 1941

Portland, Maine, April 9, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure or equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 522-534 Congress Street
Free Street

Within Fire Limits? yes Dist. No. 1

Owner's name and address Porteous, Mitchell & Braw Co., 522 Congress Street

Telephone 2-3168

Contractor's name and address Googins & Clark, 46 Portland St.

Plans filed yes No. of sheets 3

Architect Regulator & Jones Co., 33 Pearl St.

No. families 1

Proposed use of building Store

Fee \$ 3.75

Other buildings on same lot

Estimated cost \$12,500.

Description of Present Building to be Altered

Material brick No. stories 5 Heat radiators

Style of roof flat Roofing asph. flt.

Last use Store

General Description of New Work

To build one story addition 18' x 45' on top of existing four story portion of building as per plans submitted

INSPECTION NOT COMPLETED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of

Details of New Work

Is any plumbing work involved in this work? no Height average grade to top of plate 0
Is any electrical work involved in this work? no Height average grade to highest point of roof 0
Size, front 18' depth 45' No. stories 5 earth or rock? earth
To be erected on solid or filled land? solid Thickness, top 12" bottom 12" cellar no
Material of foundation concrete Height 0 Thickness 12"
Material of underpinning concrete Rise per foot 1" Roof covering Tar and gravel 5 ply
Kind of roof flat Material of chimneys brick of lining asph. flt.
No. of chimneys 0 Type of fuel oil Is gas fitting involved? no
Kind of heat radiators Dressed or full size? dressed
Framing lumber—Kind douglas fir Size 2x4
Joists 2x8 Sills 4x6 Girt or ledger board? 4x6
Material columns under girders 2x4-16" O. C. Size 2x4 Max. on centers 16'
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof yes
Joists and rafters: 1st floor 2x8, 2nd 2x8, 3rd 2x8, roof 2x8
On centers: 1st floor 16", 2nd 16", 3rd 16", roof 16"
Maximum span: 1st floor 16', 2nd 16', 3rd 16', height? 16'
If one story building with masonry walls, thickness of walls? 12" if Garage no
No. cars now accommodated on same lot 0 to be accommodated 0
Total number commercial cars to be accommodated 0
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Porteous, Mitchell & Braw Co.
Googins & Clark

Memorandum from Department of Building Inspection, Portland, Maine
522-534 Congress St. --Installation of new elevator for Porteous, Mitchell & Braun Co.
by Otis Elevator Co. 7/15/41

To Installer and Owner:

The plan accompanying the application does not show all of the usual data as to weights of car, etc. but it is assumed that the cables and all supports have been designed based upon a factor of safety of six as required by the Building Code.

If alteration in the shaft enclosure or the penthouse are required they should be covered by a separate construction permit, applied for in the name of the owner by the construction contractor.

CC Porteous Mitchell & Braun Co.,
522-534 Congress St.

(Signed) Warren McDonald
Inspector of Buildings

STATEMENT OF ELEVATOR TESTS

PORTLAND, MAINE,

I, R. E. Colpitts, have personally supervised the
as an employee of W. E. Elevator Co., hatchways and enclosures at Station Kitchell & Co. as permitted
installation of alterations to the elevator, and have personally supervised tests of loading capacity and of all brakes, inter-
under Building Permit 411999, and I do here state that, according to my best knowledge and belief, the elevator will
locking and all other safety devices, and I do here state that, according to my best knowledge and belief, the elevator will
safely carry the maximum rated loading and all brakes, interlocking and other safety devices are in satisfactory condition.

PORTLAND, MAINE, Oct 27/44

STATE OF MAINE.

CUMBERLAND, SS:

Personally appeared the above named
subscriber, are true.

L. E. Colpitts

and made oath the statements by him

John P. Fawcett
Justice of the Peace

APPLICANT'S COPY

interior frame steel
Style of roof flat No. of existing elevators in building 6

Remarks

5, 4, 1, 1, 1, 1 = 27.4
75 x 75 = 2050

Details of Proposed Work

Extent of work by elevator contractor furnish and install elevator
Extent of work by owner proper hatchway
Type of elevator electric passenger, in new or existing shaftway existing
Shaftway enclosed or open enclosed No. elevator stops 5
Capacity of elevator 2500 lbs., Speed in feet per minute 250
Material of cables steel traction No. and size of hoisting cables 5 #4's
Location of machinery overhead Material of supports brick, of guides brick
Minimum diameter of sheaves 33" Minimum clearance counterweights and overhead beams 3'
Minimum clearance above car at topmost floor level 3'
Minimum clearance buffer plates and springs when car is at lowest floor level 3'
Type of power electric Type of machine traction
Will elevator be equipped with the following safety devices: governor? yes, car safety? yes, electric brake
yes, automatic terminal stops at top and bottom? yes, slack cable stops? yes, safety floor stops? yes

If Passenger Elevator

Passenger capacity? 2500 lbs. Area of platform 51 x 41 1/2' Material of enclosure steel
No. of entrances 2 Type of gates collapsible, interlocked? yes automatic closing device? no
Will elevator be automatic or will operator be in attendance? manual operator in attendance
Will doors in shaftway enclosure be interlocked? yes

If Freight Elevator

Area of platform _____ No. of sides enclosed _____ Height of enclosure _____
Will shaftway be enclosed? _____ Self-closing hatch gates? _____, height? _____
No. outside entrances to shaftway? _____ Self-closing slatted gates? _____, height? _____

Miscellaneous

Plans filed as part of this application? yes No. of sheets 1
Estimated cost of work by elevator contractor? \$ 10,015 This Elevator Co. R. E. Colpitts
Signature of elevator contractor by

STATEMENT OF ELEVATOR TESTS

PORTLAND, MAINE,

I, _____, have personally supervised the
as an employee of _____, hatchways and enclosures at _____ as permitted
installation of alterations to the elevator, and have personally supervised tests of loading capacity and of all brakes, inter-
under Building Permit _____, and I do here state that, according to my best knowledge and belief, the elevator will
locking and all other safety devices, and I do here state that, according to my best knowledge and belief, the elevator will
safely carry the maximum rated loading and all brakes, interlocking and other safety devices are in satisfactory condition.

(Signature)

PORTLAND, MAINE,

STATE OF MAINE

CUMBERLAND, SS:

Personally appeared the above named
subscriber, are true.

and made oath the statements by him

Notary Public

Peace

INSPECTION COPY



CENTRAL BUSINESS ZONE

PERMIT ISSUED

Permit No. 717

APPLICATION FOR ELEVATOR PERMIT JUL 15 1941 P

Portland, Maine, July 11, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install one elevator in accordance with the Laws of the State of Maine, the building Code of the City of Portland, plans and specifications submitted herewith, and the following specifications:

Location 572-574 Congress Street Ward 4 Within Fire Limits? yes Dist. No. 1
Owner's name and address Porter Co., Mitchell & Silva Co., 572-574 Congress St.
Elevator contractor's name and address Otis Elevator Co., 495 Java St. Telephone 3-8052
Last use of building Store No. families _____
Proposed use of building Store No. families _____
Material of outside walls of building brick interior frame steel
No. of stories 5 Style of roof flat No. of existing elevators in building 4

Remarks

Details of Proposed Work

Extent of work by elevator contractor install elevator
Extent of work by owner prepare shaftway
Type of elevator electric passenger in new or existing shaftway existing
Shaftway enclosed or open enclosed No. elevator stops 5
Capacity of elevator 2500 lbs. Speed in feet per minute 200
Material of cables steel traction No. and size of hoisting cables 1 / 32
Location of machinery overhead Material of supports brick of guides brick
Minimum diameter of sheaves 3" Minimum clearance counterweights and overhead beams 3"
Minimum clearance above car at topmost floor level 3'
Minimum clearance buffer plates and springs when car is at lowest floor level 3'
Type of power electric Type of machine traction
Will elevator be equipped with the following safety devices: governor? yes, car safety? yes, electric brakes? yes, automatic terminal stops at top and bottom? yes, slack cable stops? yes, safety floor stops? yes

If Passenger Elevator

Passenger capacity? 2500 lb. Area of platform 5' x 10' Material of enclosure steel
No. of entrances 2 Type of gates collapsible interlocked? yes, automatic closing device? no
Will elevator be automatic or will operator be in attendance? manual operator in attendance
Will doors in shaftway enclosure be interlocked? yes

If Freight Elevator

Area of platform _____ No. of sides enclosed _____ Height of enclosure _____
Will shaftway be enclosed? _____ Self-closing hatch gates? _____, height? _____
No. outside entrances to shaftway? _____ Self-closing slatted gates? _____, height? _____

Miscellaneous

Plans filed as part of this application? yes No. of sheets 1
Estimated cost of work by elevator contractor? \$ 10,115 Fee \$ 10.00
Signature of elevator contractor Otis Elevator Co. R. E. L. [Signature]

STATEMENT OF ELEVATOR TESTS

PORTLAND, MAINE, _____

I, _____, have personally supervised the installation of alterations to the elevator, hatchways and enclosures at _____ as permitted under Building Permit _____, and have personally supervised tests of loading capacity and of all brakes, interlocking and all other safety devices, and I do hereby state that, according to my best knowledge and belief, the elevator will safely carry the maximum rated loading and all brakes, interlocking and other safety devices are in satisfactory condition.

(Signature)

PORTLAND, MAINE, _____

STATE OF MAINE

CUMBERLAND, SS:

Personally appeared the above named _____ and _____ oath the statements by him subscribed are true.

INSPECTION COPY

Notary Public

Peace

Permit No. 41/999P
528-537 Angren
Owner: Porteus Mitchell & Breen
Date of permit 7/15/41
Elev. Cont.
Statement of tests rec'd 10/31/41
Final Notif.
INSPECTED
Final Inspn. 11/7/41
INSPECTION NOT COMPLETED
Certificate issued

NOTES

Details of Inspection Work

Inspector

Inspector

Inspector

Inspector

Inspector

Inspector

Inspector

Inspector

Inspector

Inspector

Inspector

Inspector

10/24/41

City of Portland, Maine
IN BOARD OF MUNICIPAL OFFICERS

ORDERED, that the Municipal Officers order of October 6, 1941 pertaining to approval of a building permit to include the construction of a marquee in connection with the construction of a new store front for Porteous, Mitchell & Braun Company on their building at 522-534 Congress Street, be amended and that said building permit be and hereby is approved with the allowance that the west end of the marquee or canopy may be only nine feet six inches above the public sidewalk instead of the minimum of ten feet set by the Building Code and that the erection of certain individual letters be permitted above and along the edges of the marquee or canopy for the purpose of displaying the firm name.

City of Portland, Maine
IN BOARD OF MUNICIPAL OFFICERS

COPY

Adopted 10/6/41
mm

ORDERED;

That the building permit covering construction of a marquee intended to project eight feet over the public sidewalk and to be about 121 feet long, on the building of Porteous, Mitchell and Brain Co. at 522-534 Congress Street, be approved subject to the following conditions:

1. That all terms of the Building Code be complied with.
2. That, before the building permit is issued, the owner, in consideration of approval of said building permit, shall agree in writing for itself, its successors and assigns as follows:
 - (a) To adopt and carry out methods of snow removal from the roof of the marquee, such methods to be approved by the City Manager and to be recited in detail in the written agreement;
 - (b) To adopt and provide such methods of roof drainage and disposal of ice that may form on the marquee, which methods shall be approved by the City Manager as adequate to protect the public sidewalk and the pedestrians thereon;
 - (c) To refrain from placing or supporting on and from allowing to be placed or supported on said marquee any advertising device other than a painted representation upon the faces of the marquee; or any decorations or ornamentation other than shown upon the plans accompanying the application for the permit; or any display of persons, goods or objects.

See sufficient
order of 10/24/41

B. P. 41/44-I
Amdt. No. 3

none

October 18, 1941

To the Municipal Officers:

The attached is a petition from Porteous, Mitchell & Braun Co. relating to their proposed new store front on Congress Street, which I explained to you at some length on Friday evening.

Par. (1) represents the shortage in clearance of the long marquee, - 9 feet 6 1/2 inches on the west end only as against 10 feet, the minimum provided by the Code.

Par. (3) represents the desired projection over the public sidewalk in order to avoid cutting back or removing the present stone work.

Par. (2) is really a request to set up a new method of applying masonry veneer not specifically covered in the Building Code, Section 114 authorizing you to approve such an alternative method or material. The method of accomplishing such an approval on your part, is to have all of the proposed scheme submitted to the Inspector of Buildings who shall report his findings with or without recommendations. The Municipal Officers may then allow such use, with any qualifying conditions deemed necessary, as coming within the intent and purpose of the Building Code, or may disallow it of course.

The attached blueprint represents practically all of the information I have on the proposition, this having been supplemented by verbal description by Mr. Boal, architect. I have wired the manufacturer of the stone to send as much data as he has. At first glance the scheme appears extraordinary and questionable in several details.

The owner of the building is in a very difficult situation, and certainly a conclusion should be reached as soon as possible, but I am sure that you want no uncertainty as to the safety of support and anchorage, and the permanency of this exceedingly heavy veneer, which, I understand, will extend as high as 18 feet above the Congress Street sidewalk.

As soon as full information is received I will try and reach a conclusion and submit the findings to you without unnecessary delay.

Very truly yours,

W. H. Boal
Inspector of Buildings

P. S. It occurs to me that you are entitled to conclusive and practical reasons, supported by detailed plans, as to why the owner cannot keep the new store front (except the marquee) all on his own property, when you are being asked to establish such a precedent as allowing him to encroach even as much as 1 1/2 inches on the public way.

City of Portland, Maine

IN BOARD OF MUNICIPAL OFFICERS

October 24, 1941

To the Municipal Officers:

Referring to item (2) of a petition to you by Porteous, Mitchell and Braun Co. relating to a proposed new store front at 522-534 Congress St., and asking the right under the Building Code to use a granite veneer $1\frac{1}{2}$ to 2 $\frac{1}{2}$ inches thick instead of the minimum 3-inch thickness stipulated by Section 507-b-8.5-(a) of the Building Code, as provided in Section 114, I respectfully report as follows:

The proposal contemplates laying up these large, thin slabs of granite on edge, one above the other, anchored to the face of the existing masonry by non-corrodible anchors, two at the top and two at the bottom of each stone; the anchors to be dowelled into top and bottom edges of each stone and other end of anchors to be cemented into slots cut in the face of the existing masonry. The maximum height of this veneer in this case would be about 21 feet above the public sidewalk.

In my belief it is hardly possible to follow the specifications of the manufacturer closely when confronted with the practical conditions on the job. For instance the specifications call for cutting "wedge-shaped" slots in the existing masonry. The probability of actually getting such slots cut is very small indeed. It is probable, either through carelessness of workman or practical difficulties on the job that these anchors will not be well cemented either to the existing masonry or to the veneer. If defects should exist now in anchorage of existing masonry they would probably not be detected but would likely be aggravated by cutting the slots in the masonry. The supports and anchorage of the new veneer could be no better than these of the existing masonry.

The actual thickness of the veneer does not seem of as much importance as its supports and anchorage. I feel that I should recommend to you that this type of veneer be allowed anywhere in the city, provided (1) the height of such veneer shall be limited to 25 feet above the grade; (2) the veneer shall be supported by such an arrangement that its entire weight may be transmitted to the foundations of the building to which the veneer is attached without depending upon the bonding or tying of the individual blocks; (3) such veneer shall be allowed only where laid up at the same time as and thoroughly anchored to new masonry backing sufficient in thickness and anchorage of itself to undoubtedly support the veneer; veneer stones shall be anchored to backing by non-corrodible anchors not less than No. 6 gauge dowelled at least one inch into the top edge and not more than 12 inches apart of all horizontal joints of veneer where stones are not more than 12 inches high, similarly dowelled into both top and bottom edges where stones are more than 12 inches high, and similarly dowelled into both ends no more than 24 inches apart where stones are more than 24 inches high; all spaces which would otherwise exist between veneer and backing to be slushed full of mortar.

ORTEOUS, MITCHELL AND BRAUN CO.

Portland, Maine
October 18, 1941

To the Municipal Officers of
City of Portland, Maine

Gentlemen:

We desire to modernize the existing Congress Street front of our building, for which sketches and plans have been prepared by Miller & Ecal, Inc., Architects. These plans have been presented to the City Building Inspector by our contractors, Googins & Clark, and a permit requested.

Mr. McDonald has considered our request and points out that an appeal be made on several points at issue:

*cleaned up
10/24/41*
(1) Canopy over show windows, which will be One Hundred Twenty-one feet Six inches, has been placed 9' 6 1/2" above the sidewalk at the westerly end and with a level front the canopy will come 14' 3" above the sidewalk at the easterly end; or an average height of about 12'. As it is, the high end is 18" or 20" higher than is desired.

We wish to have the name of our firm along the front edge and the initials of the firm at both ends, as shown by the submitted colored drawing; such bronze letters to be of course bolted or screwed down substantially to the steel channel.

*2/24/41
as suggested*
(2) Precision Cut Agate Polished Granite, the finest material in appearance and the most dense, has been procured for this job. The thickness of such material is 1 3/4" to 2". Since the minimum thickness mentioned in the Code is 3" and in pursuance of Art. 114 we request an Amendment to allow the use of granite of this thickness. (Sample of material in question, diagram of supporting and securing same, submitted to the Building Inspector.)

withdrawing
(3) To save demolishing the Seven Stone Limestone Piers which are 28" square in section, it is proposed to shear a 1" projection from the base of granite plinth stones and to cut back to the die of the piers the present caps and neck mouldings. This will make the face of the new front 1 1/4" ahead of our present plinth line and possibly an encroachment of that much on the property edge of sidewalk.

We will greatly appreciate your compliance with these requests.

Very truly yours,

ORTEOUS, MITCHELL & BRAUN CO.

(Signed) Louis R. Orteous
Louis R. Orteous
President



(G) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT **PERMIT ISSUED**Class of Building or Type of Structure Second Class

1370

Portland, Maine, July 19, 1940 JUL 19 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 522 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Porteous, Mitchell & Braun Co., 522 Congress Street
Contractor's name and address F. O. Bailey Co., 72 Street Telephone _____
Architect _____ Plans filed yes No. of sheets 1
Proposed use of building Department store No. families _____
Other buildings on same lot _____
Estimated cost \$ 500. Fee \$.75

Description of Present Building to be Altered

Material brick No. stories 5 Heat _____ Style of roof _____ Roofing _____
Last use Department store No. families _____

General Description of New Work

To ~~erect~~ partition off three rooms, 4th floor, to be used as display rooms,
as per plan submitted.

Studs 2x4, 16" O.C., covered both sides with sheetrock.

NOTIFICATION BEFORE LATHING
OR CLOSING IN IS WAIVED.
CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? no
Is any electrical work involved in this work? yes Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing: Lumber—Kind _____ Dressed or Full Size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner By: Porteous, Mitchell & Braun Co.

INSTRUCTION COPY

Permit No. 40/970 Sec 41, 1441
Location 522 Congress St.
Owner Porteous Mitchell
Date of permit 7/19/40
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 10/31/41
Cert. of Occupancy issued None

NOTES
10/31/40 - P.T.F. - QJS

~~RECEIVED
CITY OF BOSTON
DEPT. OF PUBLIC WORKS
OCT 1 1941~~



GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

Permit No. **0413**
ISSUED

Class of Building or Type of Structure Mill Garage APR 22 1940
Portland, Maine, April 22, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure-equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 522-534 Congress Street Within Fire Limits? yes Dist. No. 3
Owner's or Lessee's name and address Porteous, Mitchell & Braun Co., 522 Congress St. Telephone 2-3168
Contractor's name and address Googins & Clark, 14 Portland St. Plans filed yes No. of sheets 1
Architect _____ No. families _____
Proposed use of building Stores and Offices Fee \$ 1.00
Other buildings on same lot _____
Estimated cost \$ 600

Description of Present Building to be Altered
Memorandum from Department of Building Inspection, Portland, Maine
522-534 Congress st.-Porteous, Mitchell & Braun Co.-Googins & Clark, Contrs. 4/23/40

To Builder: A labeled fire door is required where new opening is to be cut in fire wall. Build-Code does not require double fire doors (one on each side of the wall), but there are double fire doors on the other opening in this wall, and for the benefit of the owners it would be well to check up and see if double doors will be necessary on the new opening to maintain the same insurance rate.

I assume new partitions are to be 2x4's vertically 16 inches on centers to satisfy Code. There new partition is to be built against elevator shaft wall, it is necessary to remove metal clad doors and brick up opening. These doors may be used in new opening to shaft, if desired. If new doors are used on shaft they should be labeled fire doors. In any event, suitable gates to operate with the movement of the elevator should be provided at new opening to shaft and all other safeguards against injury.
CO Porteous, Mitchell & Braun Co.

(Signed) Warren McDonald
Inspector of Buildings

CERTIFICATE OF COMPLIANCE
REQUIREMENT IS WAIVED

Details of New Work

the heating contractor.

Is any plumbing work involved in this work? _____
Is any electrical work involved in this work? yes Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____ of lining _____
No. of chimneys _____ Material of chimneys _____ Is gas fitting involved? _____
Kind of heat _____ Type of fuel _____ Dressed or Full Size? _____
Framing Lumber-Kind _____ Girt or ledger board? _____ Size _____
Corner posts _____ Sills _____ Max. on centers _____
Material columns under girders _____ Size _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: _____ 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: _____ 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: _____ 1st floor _____, 2nd _____, 3rd _____, height? _____
If one story building with masonry walls, thickness of walls? _____
If a Garage _____, to be accommodated _____
No. cars now accommodated on same lot _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Signature of owner By Googins & Clark
Porteous, Mitchell & Braun Co.
W. H. Clark

INSTRUCTION COPY



GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

Permit No. 0213
ISSUED

Class of Building or Type of Structure Mill Co.

Portland, Maine, April 22, 1940 APR 22 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure-equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 522-534 Congress Street Within Fire Limits? yes Dist. No. 3
Owner's or Lessee's name and address Porteous, Mitchell & Braun Co., 522 Congress St. Telephone 2-3168
Contractor's name and address Gougeon & Clark, 16 Portland St. Telephone 2-3168
Architect _____
Proposed use of building Stores and Offices Plans filed yes No. of sheets 1
Other buildings on same lot _____ No. families _____
Estimated cost \$ 600 Fee \$ 1.00

Description of Present Building to be Altered

Material brick No. stories 5 Heat _____ Style of roof _____ Roofing _____
Last use Stores and Offices No. families _____

Fifth floor of building General Description of New Work

To enlarge "branch office" as shown on plan - relocating door to men's toilet, and closing up metal doors to freight elevator and putting office studding against it, and providing new metal doors to freight elevator on opposite side, (metal covered doors) studs 2x4, 16" OC

To cut in new 5' opening in existing 12" brick wall and supporting same with steel, door as required by Building Code

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

Is any plumbing work involved in this work? _____
Is any electrical work involved in this work? yes Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing Lumber—Kind _____ Dressed or Full Size? _____
Corner posts: _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSTRUCTION COPY

Signature of owner Porteous, Mitchell & Braun Co.

By W. H. Clark



(G) GENERAL BUSINESS ZONE PERMIT ISSUED
APPLICATION FOR PERMIT Permit No. 2618

Class of Building or Type of Structure

NOV 17 1933

Portland, Maine,

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 522-524 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Porteous, Mitchell & Bram Co., 522 Congress Telephone 2-3168
Contractor's name and address C. Galli & Sons, 46 Portland St. Telephone 2-3168
Architect _____ Plans filed yes No. of sheets 1
Proposed use of building Stores No. families _____
Other buildings on same lot _____
Estimated cost \$ 100. Fee \$.50

Description of Present Building to be Altered

Material brick No. stories 5 Heat _____ Style of roof _____ Roofing _____
Last use Stores No. families _____

General Description of New Work

To provide re-inforced concrete entrance floor to store at 528 Congress Street as per plan submitted

NOTIFICATION BEFORE LATHING
OR CLOSING IN IS WAIVED

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing Lumber—Kind _____ Dressed or Full Size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Porteous, Mitchell & Bram Co.

Signature of owner by Carleton J. Galli

INSPECTION COPY

34000

Permit No. 38/2018

Location 522-534 Congress St.

On Continental Building & Drm Co

Date of permit 11/17/18

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 11/21/18

Cert. of Occupancy issued none

NOTES

11/21/18 Work done
0.08



3/3/37

Notes on Specification

Page 23. ~~When most numerous birds were between~~
~~2 brown and 2 grey head elevations~~
Now about five young cots per nesting
wall.

^{wall.}
Bye at Ben's house to meet Mr. present - what?

Page 2. Are any fine lions really say?
What about fine lions on east?

Page 32 - Pl. ^{see c. 7} not suff. to fine for an
on columns suff. to fine for an
main. do not consider

Page 3 - 2" T & G. J. L. ...
... to make ...

Page 34 - Training steps in ground to
and back to ground joined to
and ground 2nd

فوق

to be 3 days more of independent work. All
have about a half dozen copies of them.

22' long 8' 8"

3/6/37

General

walks with rails on roofs leading from upper
fire escapes to those below.

Structural

6x16" D.F. on 22'-span good for

OK 12012 x 3.23 = 99702

22x3x90 = 5940

18" I @ 54.7" on 18'-span good for

58,100

18x22x90 = 35,640

2-15" I @ 42.9" on 22'-span good for

OK 2x32,100 = 64,200

120x22x24 = 63,360

12012	66	22
.83	90	18
36036	5940	176
96096		12
99696		396
	528	90
24	120	5640
22		
48	63360	
48		
528		

File: P.37/235-1
R-1-5-38

January 20, 1938

Googins & Clark
46 Portland Street
Portland, Maine

Gentlemen:

The anti-panic hardware at Porteous, Mitchell & Braun Company store, 512 Congress Street, on the door leading from the third story addition to the roof of the second story is so stiff and difficult of operation that it is almost impossible to open the door. It is necessary to open this door to go out on the second story roof and thence to the fire escape in order to make this means of egress effective.

Will you be kind enough to see that this hardware is freed so that it will work easily and without fail by February 4, 1938?

Very truly yours,

Wich/H
CC: Porteous, Mitchell & Braun Co.
512 Congress Street
Inspector of Buildings

PERMIT ISSUED
Original Permit No. 1
Amendment No. 1

AMENDMENT TO APPLICATION FOR PERMIT
JUN 11 1937
Portland, Maine, June 10, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 37/235 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 622 Congress Street Ward 4 With the Fire Limits? yes Dist. No. 1
Owner's or lessor's name and address Porteous, Mitchell & Braun Co.
Contractor's name and address McGuire & Jones Co., 85 Pearl St. 3-5471
Plans filed as part of this Amendment yes No. of Sheets 1
Increased cost of work \$50. Additional fee \$5

Description of Proposed Work

To make alterations and addition to present fire escapes per plan submitted

Porteous, Mitchell & Braun Co.
By McGuire & Jones Co.
Signature of Owner By H.C. Eelrich

1. The new windows in the easterly wall of the third story addition are required to be fire windows, that is, water sash and wire glass. I am not certain whether you propose to have fire windows in the southerly wall of the new addition facing Free Street or not. Although I strongly recommend that you do have fire windows in this wall and also a fire door leading to the second story roof, as shown on the plans, I doubt if the Building Code actually requires these devices according to the precise terms of it. It is desirable that these fire resistive be provided, however, because the windows and the door are directly exposed in case of a fire below the second story roof of the same building.

2. Satisfactory fireproofing has been indicated now on the double steel beams intended to support what remains of the four brick wall of the main building, but no legal fireproofing is shown on the new columns which are to be provided to support these beams in the existing third story and in place of the brick wall removed. Because these columns will support brick masonry, the Building Code requires that they be fireproofed with suitable material to a thickness of one and one-half inches against the edges of flanges and three inches elsewhere. Plastering is not to be counted as thickness of fireproofing, but required thickness may be provided by means of tile, brick, or poured concrete. In fact I am unable to find any indication on the plans of the size of these new columns, a discrepancy which leads me to believe that perhaps we still do not have all of the plans. If we do not have all of the plans which have been issued, will you be kind enough to furnish those we do not have and also furnish a detail from the architect showing at least the size of these new columns and the details of the fireproofing proposed?

File: Rec. 3783B-I

March 6, 1937

Coogins & Clark,
46 Portland St.,
Portland, Maine.

Gentlemen:

Enclosed is the building permit covering alterations in the building of Porterson, Mitchell & Braun Co. at 522 Congress Street, the Chief of the Fire Department having approved this new arrangement of fire escapes in the rear, but with certain conditions attached to his approval. Because of the uncertainty as to whether or not a person compelled to use the fire escapes from the upper stories could find his way, unaided, to the ground because the runs and landings of the fire escapes are not continuous, the Board of Fire Engineers direct that wooden walks with a railing on at least one side be provided on the new third story roof and the existing second story roof leading from the bottom of each separate fire escape to the top of each separate fire escape that leads downward to the ground, also that such a walk be provided from the new door leading onto the second story roof from the new third story addition to the fire escape from the second story roof level downwards; also a red exit light be provided over this new doorway.

The following matters are called to your attention:

1. The new windows in the easterly wall of the third story addition are required to be fire windows; that is, metal sash and wire glass. I am not certain whether you propose to have fire windows in the southerly wall of the new addition facing Free Street or not. Although I strongly recommend that you do have fire windows in this wall and also a fire door leading to the second story roof, as shown on the plans, I doubt if the Building Code actually requires these devices according to the precise terms of it. It is desirable that these fire resistive be provided, however, because the windows and the door are directly exposed in case of a fire below the second story roof of the same building.

2. Satisfactory fireproofing has been indicated now on the double steel beams intended to support what remains of the rear brick wall of the main building; but no legal fireproofing is shown on the new columns which are to be provided to support these beams in the existing third story and in place of the brick wall removed. Because these columns will support brick masonry, the Building Code requires that they be fireproofed with suitable material to a thickness of one and one-half inches against the edges of flanges and three inches elsewhere. Plastering is not to be counted as thickness of fireproofing, but required thickness may be provided by means of tile, brick, or poured concrete. In fact I am unable to find any indication on the plans of the size of these new columns, a discrepancy which leads me to believe that perhaps we still do not have all of the plans. If we do not have all of the plans which have been issued, will you be kind enough to furnish those we do not have and also furnish a detail from the architect showing at least the size of these new columns and the details of the fireproofing proposed?

March 6, 1937

3. In order to maintain the classification of this new construction work as mill construction, the two inch tongued and grooved flooring should be surfaced four sides.

4. Where milling strips are provided on girders to support floor joists, the strips should be at least 2x4 instead of 2x6 as indicated in the specifications.

5. A door leading from the new third story portion to the existing roof of the second story should be equipped with such a lockset that the door may always be opened without fail from the inside merely by turning the knob.

6. In order to maintain the classification of the building as mill construction, I presume the six inches by sixteen inches floor timbers and all other framing members are to be surfaced on four sides.

Please be governed accordingly.

Very truly yours,

Inspector of Buildings

McB/H

File: Rec. 5768E-1

February 25, 1937

Higgins & Clark,
35 Portland Street,
Portland, Maine

Gentlemen:

We are short the following information necessary for intelligent examination of the proposed addition by Forteous, Mitchell & Braun Co. at 512 Congress Street before the building permit is issued:

1. A statement of design by the person who designed the new steel work.
2. The specifications for the job.
3. Detailed plans of adjustment in addition to the fire escape to provide adequate means of egress for the proposed addition and for the existing fourth and fifth floors. We have been over this situation with Mr. Higgins and he has assured us that it will be taken care of, but it is necessary to have the detailed information on the plans so that the approval of the Board of Fire Engineers may be secured.
4. Details and material of fireproofing of structural steel intended to support the rear brick wall on the fourth and fifth stories of the existing building.

I note that the wall anchors proposed between the brick walls and the new steel timbers is not of the releasing type specified by the building Code. The type shown is likely to do great injury to the walls in case of fire.

Please furnish this additional information promptly so that I may be in a position to issue the permit without delay.

Very truly yours,

MBP/H

Inspector of Buildings

CC: Forteous, Mitchell, & Braun Co.
Ambrose S. Higgins



GENERAL BUSINESS ZONE Permit No. 0235 P
APPLICATION FOR PERMIT

Class of Building or Type of Structure Second
Portland, Maine, Feb. 24, 1927

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 522 Congress St. Ward 4 Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Porteous, Mitchell & Braun Co. 522 Congress St. Telephone 2-2165
Contractor's name and address Goggin & Clark 46 Portland St.
Architect's name and address E. Leander Higgins 514 Congress St. No. families
Proposed use of building Mercantile
Other buildings on same lot No. of sheets 3
Plans filed as part of this application? yes Fee \$ 11.25
Estimated cost \$ 14000

Description of Present Building to be Altered
Material stone No. stories 2-5 Heat Style of roof Roofing
Last use Mercantile No. families

General Description of New Work
To build addition, third floor, as per plans filed

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front depth No. stories Height average grade to top of plate
To be erected on solid or filled land? Height average grade to highest point of roof
Material of foundation Thickness, top bottom
Material of underpinning Height Thickness
Kind of Roof Rise per foot Roof covering of lining
No. of chimneys Material of chimneys Is gas fitting involved?
Kind of heat present building Type of fuel Size
Corner posts Sills Girt or ledger board? Max. on centers
Material columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor , 2nd , 3rd see plans, roof see plans
On centers: 1st floor , 2nd , 3rd , roof
Maximum span: 1st floor , 2nd , 3rd , height?
If one story building with masonry walls, thickness of walls?
If a Garage

No. cars now accommodated on same lot , to be accommodated
Total number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

INSPECTION COPY
CITY OF FIRE DEPT.

Signature of owner

Porteous, Mitchell & Braun Co.

by

Goggin & Clark
E. Leander Higgins

87438

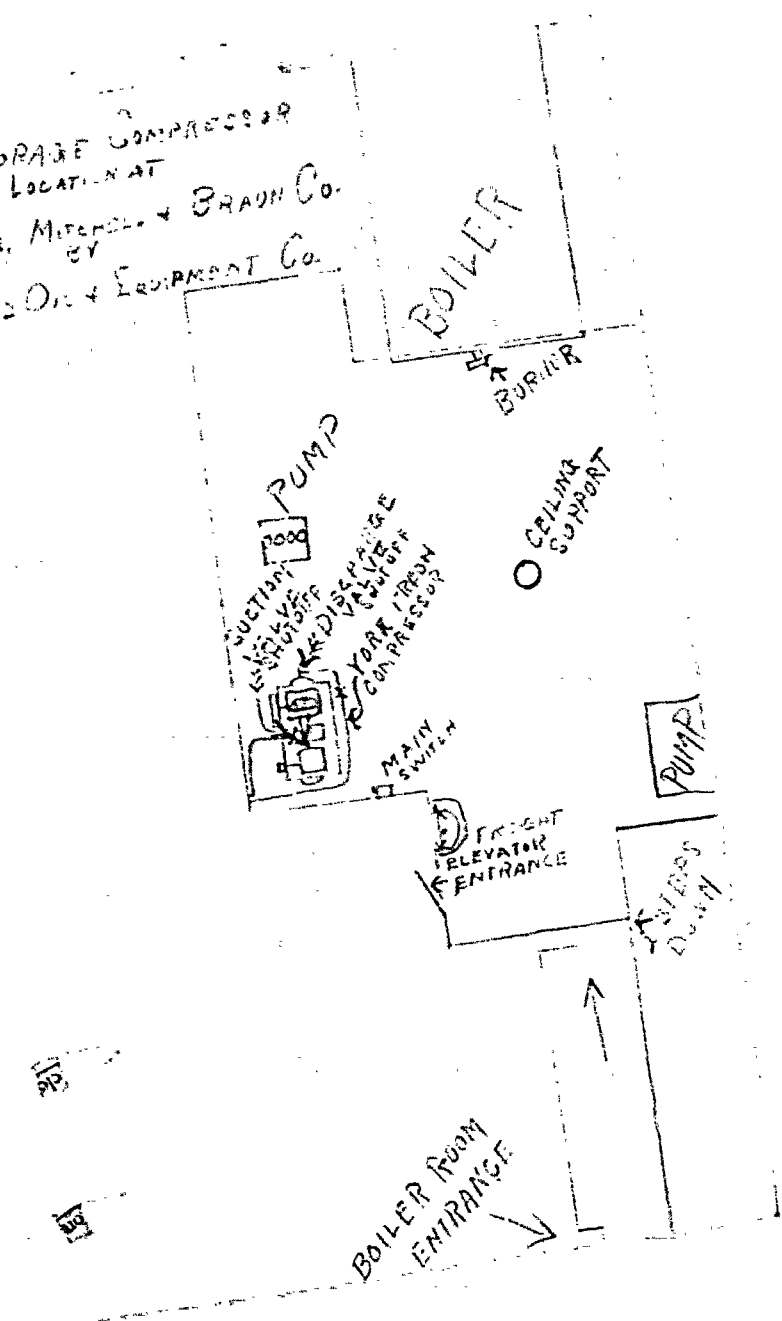
Ward 4 Permit No. 37/235 P
 Location 529 Cuyper St.
 Owner Porters Mitchell Co
 Permit 3/6/37
 Notif. closing-in 5/28/37
 Inspn. closing-in 5/28/37 - G.T.
 Final Notif.
 Final Inspn. 2/5/38
 Cert. of Occupancy issued None

NOTES

3/12/37 - Work on
 3/19/37 - Land A.S.D.
 3/25/37 - Land A.S.D.
 4/1/37 -
 4/15/37 -
 4/30/37 -
 5/1/37 -
 5/1/37 - New roof and
 old roof of over and story
 being removed - A.S.D.
 5/28/37 -
 The above mentioned work
 at back base of column
 A.S.D.
 6/2/37 -
 6/2/37 -

1/28/37 - Fine example
 of side frame built on
 door head and door
 - Under story addition
 to roof of second story
 and the side frame
 work is hand laid
 - Sweep across
 door with hand
 made different type
 1/29/38 - Gutter - G.T.
 2/5/38 - Bolt gun work
 O.K. - G.T.

FUR STORAGE COMPRESSOR
LOCATION AT
PORTER, MITCHELL & BRAUN CO.
BY
RALLAPPA OIL & EQUIPMENT CO.





APPLICATION FOR PERMIT

Permit No. 0-115

PERMIT ISSUED

Class of Building or Type of Structure

Portland, Maine

APR 5 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect or install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 522 Congress Street Ward 4 Within Fire Limits? yes Dist. No. 1
Owner's or lessor's name and address Porteous, Mitchell & Braun Co., 522 Congress St. Phone
Contractor's name and address Ballard Oil & Equipment Co., 124 High St. Telephone 2-1991
Architect's name and address
Proposed use of building Store No. families
Other buildings on same lot
Plans filed as part of this application? yes @ Fire Dept. No. of sheets 1
Estimated cost \$1,700. Fee \$ 2.75

Description of Present Building to be Altered

Material brick No. stories 5 Heat _____ Style of roof _____ Roofing _____
Last use Store No. families _____

General Description of New Work

To install refrigeration system in connection with fur storage plant

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
By Porteous, Mitchell & Braun Co.
By Ballard Oil & Equipment Co.

Signature of owner

INSPECTION COPY

Oliver T. Sanborn

CHIEF OF FIRE DEPT.

By W.D. Mooney

46320

Ward 4 Permit No. 35/415
Address 522 Congress St.
Owner *William Mitchell & Co.*
Date of permit 4/5/35
Not closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 4/11/35 *OK*
Cert. of Occupancy issued *None*

NOTES
4/11/35, alterations
started. Further insp.
not required. *OK*

STATEMENT OF ELEVATOR TESTS

I, Benjamin F. Lang PORTLAND, MAINE, Nov 17, 1935
as an employee of Otis Elevator Co, have personally supervised the
installation of alterations to the elevator, hatchways and enclosures at Paterson Brothers Co as permitted
under Building Permit 34/1445, and have personally supervised tests of loading capacity and of all brakes, inter-
locking and all other safety devices, and I do here state that, according to my best knowledge and belief, the elevator will
safely carry the maximum rated loading and all brakes, interlocking and other safety devices are in satisfactory condition.

Benjamin F. Lang
(Signature)

PORTLAND, MAINE, Sept 19, 1935

STATE OF MAINE

CUMBERLAND, SS.:

Personally appeared the above named Benjamin F. Lang

and made oath the statements by him

subscribed are true.

Walter C. Dushinsky
Notary Public Justice of the Peace

APPLICANT'S COPY

27873

May 31, 1935

File P.34/1445B-I

Otis Elevator Company,
495 Fore Street,
Portland, Maine.

Gentlemen:-

With reference to the elevators installed for Porteous, Mitchell and Braun Company at 522 Congress Street under building permit No. 34/1445, we find that you have not provided a plate in each elevator cab giving the material and size of the hoisting cables as required by Building Code regulations. Will you be kind enough to have these plates installed without delay and notify this office when the work is done.

We further note that the required grating under the machinery room has been made of iron bars spaced one and one-quarter inches apart. We have no objection to this type of grating in this particular case because apparently there is no way that anything could be dropped down through this grating and reach the elevator well. Your attention is called to this situation, however, so that you may avoid using such a type of grating in the normal job where the grating is directly over the shaft. The Building Code requires in such a grating that the openings or meshes shall not be larger than one and one-half inches square.

Some time elapsed from the time this elevator work was completed to the time when we received your statements of elevator tests, several weeks at least. Will you be kind enough in the future to have these statements of tests furnished promptly after the elevator work is completed?

Very truly yours,

Inspector of Buildings.

McL/H

PERMIT ISSUED
Permit No. 145

APPLICATION FOR ELEVATOR PERMIT SEP 26 1934

Portland, Maine, September 24, 1934

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install ~~at~~ elevator 5 in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications submitted herewith, and the following specifications:

Location 522 Congress Street Ward 4 Within Fire Limits? yes Dist. No. 1
Owner's name and address Porteous, Mitchell & Braun Co., 522 Congress St.
Elevator contractor's name and address Otis Elevator Co., 495 Fore St. Telephone 3-8058
Last use of building Department store No. families _____
Proposed use of building Department store No. families _____
Material of outside walls of building brick, interior frame wood and steel
No. of stories 5 Style of roof flat No. of existing elevators in building 2 7

Remarks

Details of Proposed Work

Extent of work by elevator contractor install two new elevators
Extent of work by owner roughhouse and enclosing shaftway
Type of elevator passenger (2), in new or existing shaftway existing
Shaftway enclosed or open enclosed No. elevator stops 5
Capacity of elevator 2000 lbs., Speed in feet per minute 250
Material of cables steel No. and size of hoisting cables 8 - 5/8"
Location of machinery overhead Material of supports steel, of guides steel
Minimum diameter of sheaves 30" Minimum clearance counterweights and overhead beams 6'
Minimum clearance above car at topmost floor level 8'
Minimum clearance buffer plates and springs when car is at lowest floor level 2'
Type of power electric Type of machine Geared traction
Will elevator be equipped with the following safety devices: governor? yes, car safety? yes, electric brakes? yes, automatic terminal stops at top and bottom? yes, slack cable stops? yes, safety floor stops? yes

If Passenger Elevator

Passenger capacity? 10 Area of platform 5'6" x 4'10" Material of enclosure steel
No. of entrances 2 each Type of gates collapsible, interlocked? yes, automatic closing device? no
Will elevator be automatic or will operator be in attendance? Operator
Will doors in shaftway enclosure be interlocked? yes

If Freight Elevator

Area of platform _____ No. of sides enclosed _____ Height of enclosure _____
Will shaftway be enclosed? _____ Self-closing hatch gates? _____, height? _____
No. outside entrances to shaftway? _____ Self-closing slatted gates? _____, height? _____

Miscellaneous

Plans filed as part of this application? yes No. of sheets 1
Estimated cost of work by elevator contractor? \$ 23,000. Fee \$ 3.00
Signature of elevator contractor Ray T. Cary

STATEMENT OF ELEVATOR TESTS

PORTLAND, MAINE, _____

I, _____, have personally supervised the installation of alterations to the elevator, hatchways and enclosures at _____ as permitted under Building Permit _____, and have personally supervised tests of loading capacity and of all brakes, interlocking and all other safety devices, and I do here state that, according to my best knowledge and belief, the elevator will safely carry the maximum rated loading and all brakes, interlocking and other safety devices are in satisfactory condition.

(Signature)

PORTLAND, MAINE, _____

STATE OF MAINE

CUMBERLAND, SS:

Personally appeared the above named _____ and made oath the statements by him subscribed are true.

INSPECTION

Public Justice of the Peace

Ward 4 Permit No. 34/1445P

Location 522 Congress St.

Owner Polaris Mitchell Brea

Date of permit 9/26/34

Elev. Cont.

State of tests rec'd 5/3/35

Final Notif.

Final Insp. 5/23/35

Certificate issued 9/11/35

NOTES

4/12/35 - Mr. Colpitts says that work is completed. He has statement tests made. 5/23/35 - Openings in shaftway are 2' x 16" and 4' x 6" or 5' x 5". Area of 2 shaftways is 2' x 65.4' x 76.8'. Area of openings required is 1/2 of 76.8' x 51.4' so openings are large enough. Gratings over openings are of 1/4" strap iron on edge spaced 1 1/2" apart similar to platforms steel fire escapes. There is a platform

each new elevator cab giving capacity of 3000 lbs. There is nothing to show the maximum size of cables at

5/31/35 - Letter to City
9/10/35 - Placed in

Details of Proposed Work

Issued

Porters, Mitchell & Brown Co. - Balcony 1st story
 rear - 522 Congress St. 2/6/55

2x8 spruce floor joists - 11' span - 16" O.C.

good for 1422[#]

OK $\frac{1422}{11 \times 1.33} = \frac{1422}{14.63} = 97\frac{1}{2}$ / per sq ft.

4x8 on 7' span header good for 4x978 = 3912

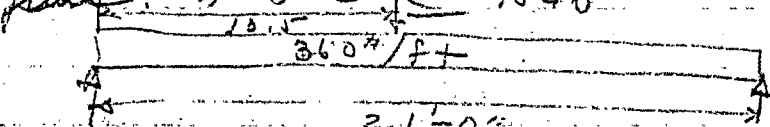
OK $\frac{3912}{7 \times 5.5} = \frac{1118}{11} = 101\frac{1}{2}$ / sq ft.

7x5.5 x 80 = 3080[#]

$$\begin{array}{r} 56.0 \\ 5.5 \\ \hline 280.0 \\ 280 \\ \hline 3080.0 \end{array}$$

Present floor stringer in 2nd floor 6x16 H.P. in

21' span - 4'-0" O.C. 1540[#]



Ref 10.5 x 360 = 3780
 1540 x 2 = 3080
 4550

$M = (4550 \times 10.5 - 10.5 \times 360 \times 5.25) / 12 =$

$= (4777.5 - 19843) / 12 = 2795.2 \times 12$

55.86³

279.32 x 12

1050

550

1

= 223.44 required S.

OK

A of 6x16 = 256

4x8 between 6x16's on 3'6" span - acuthe board

$M = 1540 \times 1.75 \times 12 = 2695 \times 12$

OK $\frac{2695 \times 12}{11.5} = 29.40$ req S.

1 S of 4x8 = 42.6



APPLICATION FOR PERMIT

Permit No. 0145 P

FEB 6 1935

Class of Building or Type of Structure Second Class

Portland, Maine, February 6, 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter ~~install~~ the following building structure-equipment-in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 522 Congress Street Ward 4 Within Fire Limits? yes Dist. No. 1

Owner's or ~~owner's~~ name and address Porteous, Mitchell & Braun Co. Telephone 2-5535

Contractor's name and address F. O. Bailey & Co., 72 Free St. Telephone 2-5535

Architect's name and address _____ No. families _____

Proposed use of building Store

Other buildings on same lot _____ No. of sheets 2

Plans filed as part of this application? yes Fee \$.75

Estimated cost \$ 500.

Description of Present Building to be Altered
Material brick & stone No. stories 5-2 Heat _____ Style of roof _____ Roofing _____
Last use Store No. families _____

General Description of New Work
To build balcony 11' x 30' along west side, first floor, of rear portion of building

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ Height average grade to highest point of roof _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____ of lining _____
No. of chimneys _____ Material of chimneys _____ Is gas fitting involved? _____
Kind of heat _____ Type of fuel _____ Size _____

Corner posts _____ Sills _____ Girt or ledger board? _____
Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd 2x8, 3rd _____, roof _____
On centers: 1st floor _____, 2nd 16", 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd 11', 3rd _____, height? _____

If one story building with masonry walls, thickness of walls? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Porteous, Mitchell & Braun Co.

Signature of owner By Hans R. Christensen
F. O. Bailey & Co

INSPECTION COPY

Ward 4 Permit No. 35/145 P

Location 522 Congress St

Owner Porter Mitchell
Beam Co

Date of permit 2/6/35

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 2/15/35

Cert. of Occupancy issued None

NOTES
2/15/35 - Work done -
A.G. &



9/12/34

P.M. + B. Br. Elbr. Alterations.

Refer to Mr. J. O. Lee job No. 8028. Sheet E15

Beam R4 = 10" I on 10' span good for 29,300

Elbr. br. d. loads = about $9600 + 7450 = 17050$

Reaction about $\frac{7450}{5} + \frac{4100}{2} = 1490 + 2050 = 3540$

OK. 1-3'1/2 x 1'1/2 x 1/8" and 1/2" length 6' = 22,500

Present 12" I beam on 22' span good for 19,600

OK. Load = about $2 \times 3540 + \frac{5 \times 10 \times 150}{2} = 7080 + 3750 = 10830$

R3 = 12" I on 10' span good for 14,300

OK. Elbr. br. d. load 2 about $1600 \times 1.8 = 2920$

OK P1 = 2-3'1/2 x 1'1/2 x 1/4" L - 5' unsupported good for 3800

new 12" I under R3 on 22' span good for 19,600

Reaction from R3 due to elbr. br. d. load about 8200

OK. $2 \times 8200 = 16,400$

Existing 10" I original 10' on 20' span good

for 35,500

Approx load $22 \times 20 \times 50 + \frac{5}{11} (3540 + 3540 + 8200) =$

OK. $22000 + 7263 = 29263$

No reinforcement of inside slab if
further shown

Porters, Mitchell & Braum Elevator Enclosure
522-534 Congress St.
8/30/34

Section 319-C

Indicate location & size of windows in front house as well as size of lights and thickness of glass. Total glass area must equal $\frac{3}{4}$ area of shaft ($\frac{3}{4} \times 14.0 \times 5.75 = 60.4 \text{ sq ft} = 8697 \text{ sq in}$). Glass must not exceed $\frac{3}{16}$ " in thickness, and lights not less than 200 inches area each. Windows must be either below solid floor under main landing or half of area of shaft must be covered by wire grating with openings larger than $1\frac{1}{2}$ square except those necessary for cable to pass thru and each opening shall be protected by raised lip on upper side. Grating shall be strong enough to sustain concentrated load of 300 lbs at any point.
Statement of Designer.

SPECIFICATIONS FOR WORK IN CONNECTION WITH THE TWO NEW PASSENGER
ELEVATORS AT PORTLAND, MITCHELL & BRAUN COMPANY, PORTLAND, MAINE.

Build temporary enclosure of studs and wall board from basement floor to fourth floor ceiling, covering in one-half of well so as to allow an opportunity to work inside. When the work of this half of the well is completed, take down this temporary enclosure and set the same around the unfinished half of well, removing same at completion. Build dividing partition between the two elevators from basement to roof and remove after completion.

Basement:

Remove the machine room, patching floor, ceiling and walls.
Remove elevator enclosure.
Build new partition around elevator.
Wire lath and plaster outside; shotrock with plaster joints inside including ceiling soffit.

First Floor:

Move fixtures and bookcases.
Remove iron enclosure.
Build partition.
Wire lath and plaster outside above panel wainscot; shotrock inside same as specified for basement.

Second Floor:

Remove and replace telephone booth.
Remove iron enclosure.
Build new partition as specified for first floor.

Third Floor:

Remove enclosure.
Build new partition, same to be of plaster and shotrock and as specified for 2nd. floor except that there will be no wainscot.

Fourth Floor:

Same as third floor.

Misc:

On each floor alter the steel ceiling to suit the new work, including cornice and border.

Mill Work:

In Basement:

Provide new base, base molding, and architraves on the two doors.

First Floor:

Panel front and one side similar to existing work. Provide architraves around the new openings.

Second Floor:

Same as first.

Third & Fourth Floors:

Base, base moulding, and architraves.

Plaster & Wood
All of this work is to be painted to match the adjoining work.
No painting inside shafts

FIRST FLOOR:

Extend the brickwork to take the steel beams.
Build the balance of walls of 2 x 4" studs, providing for four windows, also one door at the southeast end, to be 16" O. C.; rafters to be 2" x 6" 20" o. c. raised 6" on one side to allow for pitch; rafters to be covered with matched roof boards, walls to be covered in and out with square edge boards; 6" board to be provided at the outside edge at roof line to take care of edgestrip; ceiling to be furred level and strapped with 1" x 3" strapping.

Roof & Sheet Metal Work:

Cover the exterior walls with locked iron; provide copper base flashing at rain roof and copper edgestrip at pent house roof. Install gutter and conductor on this side. Cover three blocks with copper ready to receive iron stairway. Line the four walls for entire height and the ceiling with plain steel ceiling material.

After this structure has been made tight remove the present pent house and then install the structural steel frame as indicated on the enclosed sketch; also provide landing and fire-escape type stairs from the level of the concrete deck to the present roof. After the elevator machines have been set in place install forms, covering these forms with paper with cemented joints so that the water from the concrete will not drop down through the building, and a 4" concrete slab throughout the entire pent house, reinforcing same with one and one-half pounds of steel per square foot. In this floor and in the present roof install trap doors as indicated, set in plank frame and furnished with hinges, lift and hook. Door in the concrete deck to be tin covered.

The exterior and interior metal work is to be painted two coats.

NOT INCLUDED:

Plumbing, heating, electrical work, sprinklers, or changing of carpet.

August 30, 1934

Aloney Company
e Street
Maine

With reference to your application for a building permit to cover
of the elevator shaft at the store of Porteous, Mitchell & Braun Co.
Congress Street, the plans and specifications are not sufficiently
some details as to indicate whether or not the requirements of the
Code are to be observed.

The size, location as to height, size of lights and kind of glass
shown for the windows in the pent house. The net glass area of
windows are required to equal at least three-quarters of the area
shaftway, the glass must not exceed 3/16" in thickness and without
the lights of glass should be not less than 200 square inches in

If these windows are to be placed below the machinery floor, the
floor may be solid over the entire area of shaft, but, if the
are to be over the machinery floor, at least one-half of the floor
shaftway must be left without solid floor and covered by a metal
with no openings larger than 1 1/2 inches square, except those necessary
to pass through which should be protected by a raised lip on the
side. This grating is required to be strong enough to sustain a con-
ed load of 300 pounds at any point.

Unless the sprinkler system is to be extended to protect the pent
the roof over the entire area of the house must be covered with metal
and plaster.

Before the permit is issued, it is necessary to file here a statement
as called for by Section 28 of the Building Code for steel design,
by the designing engineer.

Perhaps if you can get a decision as to these details, they may be
by a supplemental statement on the application without further plans.

Very truly yours,

Inspector of Buildings.



APPLICATION FOR PERMIT **PERMIT ISS.**

Class of Building or Type of Structure Mill (Wash)

1338

SEP 19 1934

Portland, Maine, Sept. 1, 1934
Supersedes application of 8/18/34

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building ~~structure equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 522-534 Congress Street Ward 4 Within Fire Limits? YES Dist. No. 1
Owner's or Lessee's name and address Porteous, Mitchell & Braun Co. 522-534 Congress St. Telephone 4-3443
Contractor's name and address John J. Maloney Company 270 Middle St. Telephone 4-3443
Architect's name and address _____
Proposed use of building Store No. families _____
Other buildings on same lot _____
Plans filed as part of this application? W & specifications No. of sheets 6/
Estimated cost \$ 3200.00 Fee \$ 3.75

Description of Present Building to be Altered

Material brick No. stories 4-2 Heat _____ Style of roof flat Roofing Tar and gravel
Last use Store No. families _____

Preliminary permit given to cover construction of pent house only 9/1/34

General Description of New Work

To enclose double shaftway of the two passenger elevators in two main store from basement to roof and provide a new pent house as indicated on the plans and specifications attached. Enclosure of elevator machinery and fire doors and frames on elevator enclosure to be covered by separate permit. The machinery floor and pent house is not to be made solid as shown on plans, but half of the area of the shaftways is to be left open and protected by a metal grating with openings not larger than 1 1/2 inches square except any that may be necessary for cables to pass through which will be protected by a raised lip on the upper side, and the grating will be capable of sustaining a concentrated load of 200 pounds at any point. Windows are to be provided in the pent house walls with a total net glass area equal at least to 5/4 of the area of both shaftways, the glass to be not more than 3/16 inches thick without wire and the lights or glass not more than 1/8 inch thick. It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

200 square inches in area. The ~~existing~~ details of New Work system in the building is to be extended to fully protect the pent house.

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof Flat Rise per foot 2" Roof covering Metal
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof 2x8
On centers: 1st floor _____, 2nd _____, 3rd _____, roof 20"
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof 10'

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES

INSPECTION COPY

Signature of owner Porteous, Mitchell & Braun Co.
John J. Maloney Company

Signature of owner John J. Maloney



(7) GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

Permit No. _____

Class of Building or Type of Structure Will
Second Class

Portland, Maine, August 29, 1934

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter install the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 522-534 Congress Street Ward 4 Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Porteous, Mitchell & Braun Co., Telephone _____
Contractor's name and address John J. Maloney Co., 270 Middle St. Telephone 4-5446
Architect's name and address _____
Proposed use of building Store No. families _____
Other buildings on same lot _____
Plans filed as part of this application? _____ No. of sheets _____
Estimated cost \$ 5200. Fee \$ 2.75

Description of Present Building to be Altered

Material brick No. stories 4-2 Heat _____ Style of roof flat Roofing Tar and gravel
Last use Store No. families _____

General Description of New Work

To enclose front passenger elevator shaftway with wood stud covered on outside with metal lath and plaster and on the inside with sheet rock, entire length
To provide new penthouse 34' x 10', wood stud covered inside and out with metal, concrete slab (4") for base for elevator machinery
Relocation of elevator machinery from basement to new pent house to be covered by separate permit

It is understood that this permit does not include installation of heating apparatus which is to be taken out of the heating contractor.

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

Details of New Work

Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof flat Rise per foot 4" Roof covering metal
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof 2x8
On centers: 1st floor _____, 2nd _____, 3rd _____, roof 12' 60"
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof 10'

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

By Porteous, Mitchell & Braun Co.

Signature of owner John J. Maloney Co.

By John J. Maloney

INSPECTION COPY

35720

4 Permit No. 34/1338
 Location 522-534 Congress St.
Braun Co.
Antons, Mitchell &
 Date of permit 9/13/34
 Not. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn. 3/1/35
 Cert. of Occupancy issued None

NOTES

9/16/34 - Removal
 started on elevator
 enclosure also
 10/2/34 - Paint house
 built & closed in
 five windows with
 4 lights 15" x 35" glass
 in each - 2 in each
 Each shaft glass area
 of 35.4 sq. ft.
 $2 \times 35.4 = 70.8$ sq. ft.
 $3/4 \times 70.8 = 53.1$ sq. ft.
 glass req.

$5 \times 4 \times 1.25 \times 2.5 = 62.5$ sq. ft.
 glass - OK
 of opening
 $70.8 - 35.4$ sq. ft.
 to be removed
 from chamber
 surco

11/2/34 - Same Cox
 11/26/34 - Enclosure
 being made
 2/14/35 - Mr. Gofrits of
 Otis Elevator phoned
 and said they wanted
 to cover grille of
 5th floor enclosure
 with metal and
 carry it to ceiling,
 making no
 change in the
 doors. Gave him
 permission under
 this permit to
 go ahead - m



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

Permit No. 6535

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, May 9, 1934

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 522 Congress Street, City Use of Building Commercial
Name and address of owner Porteous, Mitchell - Braun Co., 522 Congress Street
Contractor's name and address Easternoil Inc., 135 Marginal Way Telephone 3-6495

General Description of Work

To install ONE Model A-1 Easternoil Automatic Oil Burner and 275 gal. tank.

IF HEAT, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? YES If not, which story? — Kind of Fuel oil
Material of supports of heater or equipment (concrete floor or what kind) concrete
Minimum distance to wood or combustible material, from top of boiler or casing top of furnace, —
from top of smoke pipe —, from front of heater — from sides or back of heater —

IF OIL BURNER

Name and type of burner Easternoil-gun type Labeled and approved by Underwriters' Laboratories? yes
Will operator be always in attendance? no Type of oil feed (gravity or pressure) pressure
Location of oil storage cellar No. and capacity of tanks 1- 275 gallon tank
Will all tanks be more than seven feet from any flame? yes How many tanks fireproofed? all

Amount of fee enclosed? \$1.00 (\$1.00 for one heater, etc.; 50 cents additional for each additional heater, etc., in same building at same time.)

INSPECTION COPY

Signature of contractor W. J. McQuinnick

1816

Ward 4 Permit No. 34/535
 Location 522 Congress St.
 Owner Porters Mitchell & Co.
 Date of permit 5/9/34
 Notif. closing-in _____
 Inspn. closing-in _____
 Final Notif. _____
 Final Inspn. 12/12/34. O.T./C.D.
 Cert. of Occupancy issued None

NOTES

7/16/34-

1. Kind of heat Hot Water Heater
2. Label ✓
3. Anti-siphon ✓
4. Oil storage ✓
5. Tank distance ✓
6. Vent pipe ✓
7. Fill pipe ✓
8. Gauge Glass Tube
9. Rigidity ✓
10. Feed safety ✓
11. Pipe sizes & material ✓
12. Control valve ✓
13. Rich pit vent ✓
14. Temp. or pressure safety ✓
15. Instruction card ✓
16. _____

12/11/34 Glass tube removed
 & measured by test well
 Tank, etc.

7/16/34- Glasstube
 for gauge A.J.S.
 7/16/34- Mr. Wm. Cornish
 says that he will
 have gauge glass
 removed A.J.S.

CITY OF PORTLAND, MAINE
ELEVATOR INSPECTION

Bldg. No. 51 Block C Shee. Z of 2

Location of Bldg. 522 CONGRESS ST

Owner JOHN PORTEOUS

Occupant PORTEOUS MITCHELL & BRAUN

Inspection by A. KEITH Date 3-2-34

Formal Complaint No. Date

Letter sent without complaint

Building Data

Mat'l outside walls BRICK Int. Frame STEEL

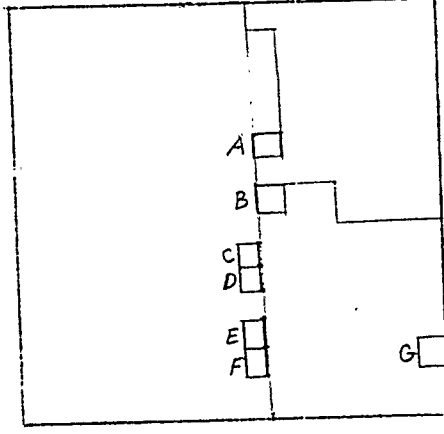
No. stories 5 Style of Roof FLAT

No. elev. in bldg. Passenger 3 Freight 4

Location of Elevator on Street Floor

ELEVATOR

Shown Below



CONGRESS St. Ave.

This report for 1 identical elevators

Elev. Man'f'r. OTIS (check)

Use of elev., Pass. Fr't. Comb'n. which

No. stops 2 Bsmt. 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12

Shaftway

Open? ✓ Hatch doors, Auto. Non-auto

Gates, auto. ✓ Semi-auto. Hand

Enclosed? ✓ Mat'l. of enclosure MASONRY

Fire Doors ✓ Normally closed ✓ open

Are enclosure doors interlocked? ✓

Height enclosure, full story ✓ what ht.

Elevator Machinery

Type of Power ELEC.

Type of Machine WORM-GEARED TRACTION

Location of Machine PENTHOUSE

Material of Supports STEEL of Guides STEEL

Material of cables STEEL

No. cables, hoisting 5 counterweight 5

Type of brakes ELEC.

Has elev. following safeties: Governor ✓

Car Safety ✓; Elect. Brakes ✓; Auto. Ter-

minial Stops top & bottom ✓; Slack Cable

Stops ✓; Safety Floor Stops ✓

Remarks: (note defects, if any)

Elevator Car

Platform Dimensions 5'x6' Capacity 3000

Mat'l. of Encl. STEEL No. sides encl. 2

Height of enclosure ✓ No. entrances 2

Type of gates or doors AUTO.

Are they interlocked? ✓

Have they auto-closing device? ✓

Type operation, Push-Button ✓ Operator

Any emergency exit? ✓

Remarks: (note defects, if any)

CITY OF PORTLAND, MAINE
ELEVATOR INSPECTION

Bldg. No. 51 Block C Sheet 2 of 7

Location of Bldg. 522 CONGRESS ST

Owner JOHN PORTEOUS

Occupant PORTEOUS MITCHELL & BRAUN

Inspection by A. KEITH Date 3-2-34

Formal Complaint No. Date

Letter sent without complaint

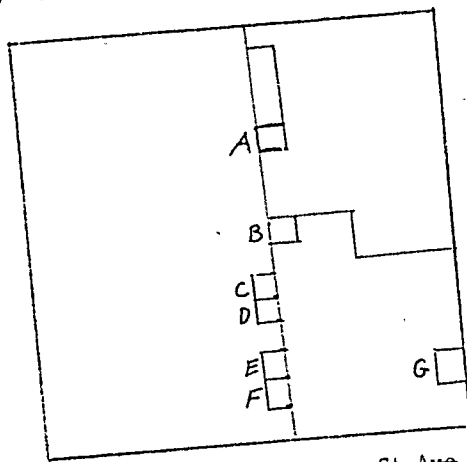
Building Data

Mat'l outside walls BRICK Int. Frame STEEL

No. stories 5 Style of Roof FLAT

No. elev. in bldg. Passenger 3 Freight 4

Location of Elevator on Street Floor
Shown Below



This report for 1 identical elevators

Elev. Man'f'r OTIS (check which)

Use of elev. Pass. Frt. Comb'n.

No. stops 6 Bsmt. 1,2,3,4,5,6,7,8,9,10,11,12

Shaftway

Open? Hatch doors, Auto. Non-auto

Gates, auto. Semi-auto. Hand

Enclosed? Mat'l. of enclosure MASONRY

Fire Doors Normally closed Open

Are enclosure doors interlocked?

Height enclosure, full story what ht.

Elevator Machinery

Type of Power ELEC.

Type of Machine WORM-GEARED

Location of Machine BASEMENT

Material of Supports STEEL of Guides WOOD

Material of cables STEEL

No. cables, hoisting 2 counterweight 2

Type of brakes ELEC.

Has elev. following safeties: Governor

Car Safety ; Elect. Brakes ; Auto. Ter-

minial Stops top & bottom ; Slack Cable

Stops ; Safety Floor Stops

Remarks: (note defects, if any)

Elevator Car

Platform Dimensions 7'x7' Capacity 3000

Mat'l. of Encl. STEEL No. sides encl. 2

Height of enclosure No. entrances 2

Type of gates or doors HAND

Are they interlocked?

Have they auto-closing device?

Type operation, Push-Button Operator HAND

Any emergency exit?

Remarks: (note defects, if any)

General Remarks:

CITY OF PORTLAND, MAINE
ELEVATOR INSPECTION

1-28

Bldg. No. 51 Block C Sheet 5 of 7

Location of Bldg. 522 CONGRESS ST

Owner JOHN PORTERUS

Occupant PORTERUS MITCHELL & BRAUN

Inspection by A. KEITH Date 3-2-34

Formal Complaint No. Date

Letter sent without complaint

Building Data

Mat'l outside walls BRICK Int. Frame STEEL

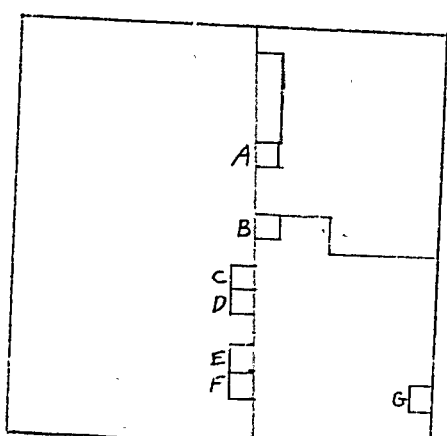
No. stories 5 Style of Roof FLAT

No. elev. in bldg. Passenger 3 Freight 4

Location of Elevator on Street Floor

ELEVATOR

Shown Below



CONGRESS St. Ave.

This report for 1 identical elevators

Elev. Man'f'r. OTIS

Use of elev., Pass. Fr't. Comb'n. (check which)

No. stops 2 Bsmt, 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12

Shaftway

Open? ✓ Hatch doors, Auto. — Non-auto —

Gates, auto. — Semi-auto. — Hand ✓

Enclosed? ✓ Mat'l. of enclosure MASONRY

Fire Doors ✓ Normally closed ✓ open —

Are enclosure doors interlocked? —

Height enclosure, full story ✓ what ht. —

Elevator Machinery

Type of Power ELEC.

Type of Machine WORM-GEARED

Location of Machine BASEMENT

Material of Supports STEEL of Guides WOOD

Material of cables STEEL

No. cables, hoisting 2 counterweight 2

Type of brakes ELEC.

Has elev. following safeties: Governor —

Car Safety ✓; Elect. Brakes ✓; Auto. Ter-

minial Stops top & bottom ✓; Slack Cable

Stops ✓; Safety Floor Stops ✓

Remarks: (note defects, if any)

Elevator Car

Platform Dimensions 6'x8' Capacity 3000

Mat'l. of Encl. STEEL No. sides encl. 2

Height of enclosure ✓ No. entrances 2

Type of gates or doors HAND

Are they interlocked? —

Have they auto-closing device? ✓

Type operation, Push-Button — Operator HAND

Any emergency exit? ✓

Remarks: (note defects, if any)

General Remarks:

CITY OF PORTLAND, MAINE
ELEVATOR INSPECTION

1-28

Bldg. No. 51 Block C Shee. 7 of 7

Location of Bldg. 522 CONGRESS ST

Owner JOHN PARTEOUS

Occupant PARTEOUS MITCHELL & BROWN

Inspection by A. KEITH Date 3-2-34

Formal Complaint No. Date

Letter sent without complaint

Buildir- Data

Mat'l outside walls BRICK Int. Frame STEEL

No. stories 5 Style of Roof FL.

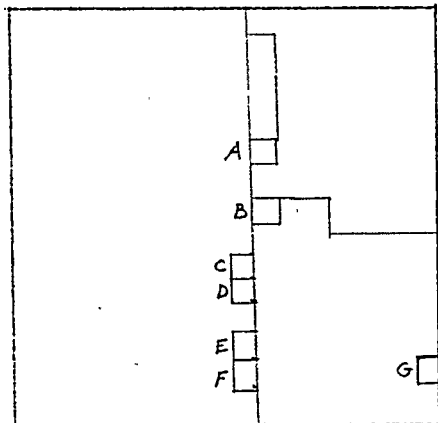
No. elev. in bldg. Passenger 3 Freight 4

Location of Elevator on Street Floor

ELEVATOR

Shown Below

D



CONGRESS St. Ave.

This report for 1 identical elevators

Elev. Man'f'r. ELECTRON (check)

Use of elev. Pass. Frt. ✓ Comb'n. which

No. stops 6 Bsmt. 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12

Shaftway

Open? ✓ Hatch doors, Auto. Non-auto

Gates, Auto. Semi-auto. Hand ✓

Enclosed? ✓ Mat'l. of enclosure BRICK

Fire Doors ✓ Normally closed ✓ open

Are enclosure doors interlocked?

Height enclosure, full story ✓ what ht.

Elevator Machinery

Type of Power ELEC.

Type of Machine WORM-GEARED

Location of Machine PENTHOUSE

Material of Supports STEEL of Guides WOOD

Material of cables STEEL

No. cables, hoisting 2 counterweight 2

Type of brakes HAND

Has elev. following safeties: Governor

Car Safety ✓; Elect. Brakes ; Auto. Ter-

minial Stops top & bottom ✓; Slack Cable

Stops ✓; Safety Floor Stops ✓

Remarks: (note defects, if any)

Elevator Car

Platform Dimensions 6'x6' Capacity 3000

Mat'l. of Encl. WOOD No. sides encl. 2

Height of enclosure ✓ No. entrances 2

Type of gates or doors HAND

Are they interlocked?

Have they auto-closing device? ✓

Type operation, Push-Button Operator HAND

Any emergency exit? ✓

Remarks: (note defects, if any)

General Remarks:

①

Porter, Mitchell & Braun Alterations # 1/25/34
See elevations with application of 1934 Reg'd
no. 1283 for letter reference to steel
members.

Old col. C is now to be removed. Apparently
it serves no structural purpose now
as it was turned off below splice D
in 1932. The splice shown on int'l
paper tracing rec'd 1/18/34 is that
at D which has been working since
1932. New col. E is to get its support
on girder B on 16" wall which
wall in turn gets its support on
20" I marked H. Col. J is to be turned
off below splice I and splice I
is to be designed to make of A +
B a simple beam. B & F are
to be support on new col. E

Girder A	14 x 20.5 x 90	= 25,830	20.5
B	5 x 20.5 x 90	= 9,225	14
		35,055	8.20
			20.5
			28.70
			90
			25.830
			102.50
			92.50

P.M + B-

Load on bol E

Unreduced

$$\text{Roof } 18 \times 20.5 \times 60 = 22,140$$

$$5th \ 18 \times 20.5 \times 9.5 + 18 \times 15 \times 20 = 10,935$$

$$4th \ 18 \times 20.5 \times 15 = 5,535$$

$$3rd \ 18 \times 20.5 \times 15 = 5,535$$

Reduced

$$3 \times 18 \times 20.5 \times 60 = 66,420$$

$$\text{Total load on cor E above } 110,565$$

2nd floor

2nd floor load on

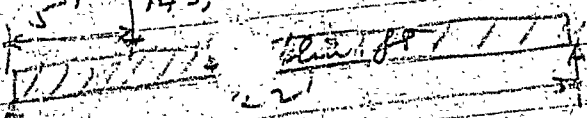
$$\text{cor E } = 18 \times 20.5 \times 90 = 33,210$$

$$\text{Total load on girders } = 143,775$$

$$\text{Avg girder } = 48" \times 16 = 768 \text{ sq in.}$$

$$768 \times 250 = 155,600$$

$$\text{I beam H } = 20" \text{ probably @ } 65.4$$



Re 138,000

$$R = \frac{17}{22} \times 143,000 + \frac{2500 \times 22}{2} = 110,500 + 27,500 = 138,000$$

$$\text{Unreduced } M = (138,000 \times 5 - 2500 \times 5 \times 2.5) / 12 = 658,750 \times 12$$

$$\text{at center } M = (138,000 \times 11 - 11 \times 2500 \times 5.5 - 143,000 \times 6) / 12 = 480,750 \times 12$$

$$658,750 \times 72 = 439.1 \text{ req sec. reqd.}$$

$$\text{Sec mod of } 20" \text{ I @ } 65.4 = 116.95$$