

NEW FRONT ELEVATION (OAK STREET SIDE)
Scale 1/4" = 1'-0"

RENOVATIONS to the OAK LEAF INN

OAK STREET
PORTLAND, ME 04101

OWNER:

EVERETT HOTEL LLC

ONE CITY CENTER
PORTLAND, ME 04101
207-780-0223

ARCHITECT:

CWS ARCHITECTS

434 CUMBERLAND AVENUE
PORTLAND, ME 04101
207-774-4441

CONTRACTOR:

BENCHMARK CONS' RUCTION

34 THOMAS DRIVE
WESTBROOK, ME 04092
207-591-7600

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

JAN 18 2005

RECEIVED

PARTITION TYPE	DESCRIPTION	TAGGED SIDE	OPPOSITE SIDE
1	2x4 (2x6 IF INDICATED AS SUCH) WOOD STUDS @ 16" O.C. TO UNDERSIDE OF FLOOR FRAMING SYSTEM. (1) LAYER 5/8" TYPE "X" GWB TAGGED SIDE. CONTINUOUS 2x2 1/2" ACOUSTICAL INSULATION @ BEDROOM & BATHROOM WOODS. (1) LAYER 5/8" TYPE "X" GWB OPPOSITE SIDE.		
4	1 HOUR FIRE RATED UNIT/CORRIDOR ASSEMBLY: 2x4 WOOD STUDS @ 16" O.C. TO UNDERSIDE OF FLOOR FRAMING SYSTEM. 1/2" RESILIENT CHANNELS @ 16" OC ON TAGGED SIDE AND (1) LAYER OF 5/8" TYPE "X" GWB EACH SIDE. CONTINUOUS ACOUSTICAL INSULATION. PROVIDE MOISTURE RESISTANT GWB WITHIN ALL BATHROOMS, JANITORS ROOM, AND BEHIND ALL KITCHEN SINKS.		
4	1 HOUR FIRE RATED UNIT/CORRIDOR ASSEMBLY: 2x4 WOOD STUDS @ 16" O.C. TO UNDERSIDE OF FLOOR FRAMING SYSTEM. 1/2" RESILIENT CHANNELS @ 16" OC ON TAGGED SIDE AND (1) LAYER OF 5/8" TYPE "X" GWB EACH SIDE. CONTINUOUS ACOUSTICAL INSULATION.		
4	2 HOUR FIRE RATED STAIR/CORRIDOR WALL ASSEMBLY: 2x6 WOOD STUDS @ 16" O.C. (2) LAYERS OF 5/8" TYPE "X" GWB EACH SIDE. CONTINUOUS ACOUSTICAL INSULATION.		
4	2 HOUR FIRE RATED STAIR/CORRIDOR WALL ASSEMBLY: 2x6 WOOD STUDS @ 16" O.C. TO UNDERSIDE OF FLOOR FRAMING SYSTEM. (2) LAYERS OF 5/8" TYPE "X" GWB TAGGED SIDE. (2) LAYERS OF 5/8" TYPE "X" GWB OPPOSITE SIDE.		
4	2 HOUR FIRE RATED SHAFT WALL SYSTEM. SIMILAR TO U.L. DESIGN NO. U336 2 LAYERS 1" SHEETROCK BRAND GYPSUM LINER PANELS SET BETWEEN U.S. H-STUDS @ 24" O.C. 2" AIR SPACE. 2x4 WOOD STUDS @ 16" O.C. 2 1/2" SOUND BATT INSULATION. (1) LAYER 5/8" TYPE "X" GWB.		

GENERAL PARTITIONING NOTE:

PROVIDE MOISTURE RESISTANT GWB @ ALL BATHROOMS, JANITOR'S ROOM, AND BEHIND ALL KITCHEN SINKS. EXTEND ONE LAYER TYPE "X" GWB BEHIND ALL TUB/SHOWER UNITS AT FIRE RATED AND COMMON WALLS.

ASSEMBLY SCHEDULE

GENERAL ASSEMBLY DESCRIPTION

1 HOUR FLOOR / CEILING ASSEMBLY @ BASEMENT
(1 Hour, UL L579):
EXISTING FINISH FLOOR
EXISTING 1x WOOD SUBFLOOR
EXISTING 2x12 WOOD JOISTS @ 16" O.C.
1 LAYER 5/8" TYPE "X" GWB

FLOOR / CEILING ASSEMBLY @ RETAIL SPACES
(2 HOUR FIRE RATING):
EXISTING WOOD FLOORING
EXISTING 2x12 JOISTS @ 16" OC
1 LAYER 5/8" TYPE "X" GWB OR
PREPARE 88 INTUMESCENT PAINT ON EXIST TIN CEILING
1 HOUR FIRE RATED ACOUSTICAL CEILING PANELS

RENOVATIONS TO THE OAK LEAF INN

OAK STREET
PORTLAND, ME

Project No: 04433

Drawing Title:

TITLE PAGE
ASSEMBLES

Scale: 1/2" = 1'-0"
Date: 07 January 2005

Revisions:

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Drawing Number:

A1.0

CWS Architects
Architects
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Value Design
434 Cumberland Avenue
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Phone (207) 774-4441
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One City Center
Portland, ME 04101
(207) 780-0223

Contractor:
BENCHMARK
34 Thomas Drive
Westbrook, ME 04092
(207) 591-7600



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 □ Interior Design
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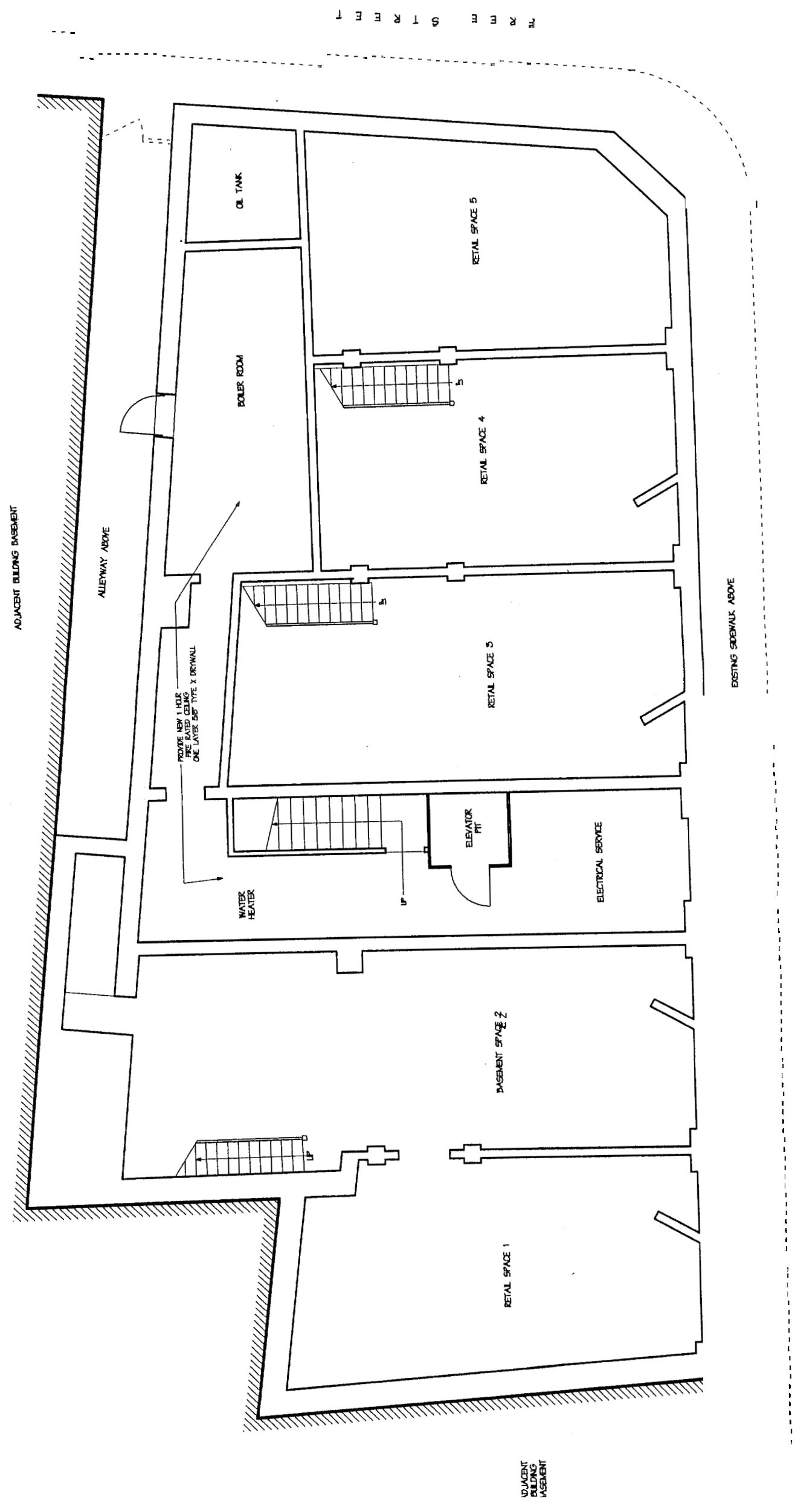
Owner: **EVERETT HOTEL LLC**
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 Portland, ME 04101
 (207) 780-0225

Contractor: **BENCHMARK**
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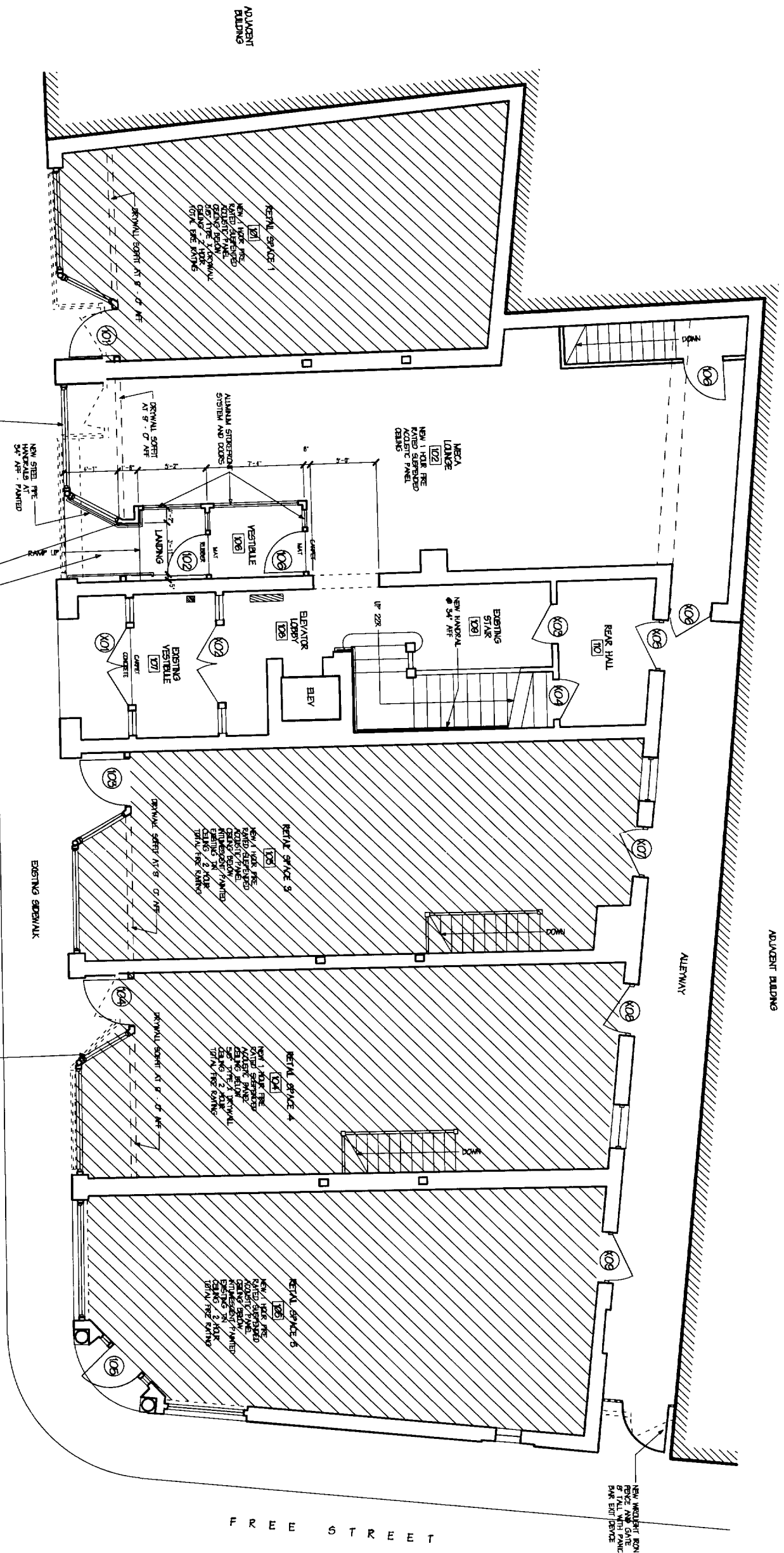
RENOVATIONS TO THE OAK LEAF INN
 OAK STREET
 PORTLAND, ME

Project No: 04-433
 Drawing Title: **BASEMENT PLAN**
 Scale: 1/4" = 1'-0"
 Date: 22 Nov 2004
 Revisions:

Drawing Number: **A1.B**



BASEMENT FLOOR PLAN
 Scale: 1/4" = 1'-0"



FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0"

OAK STREET

FREE STREET



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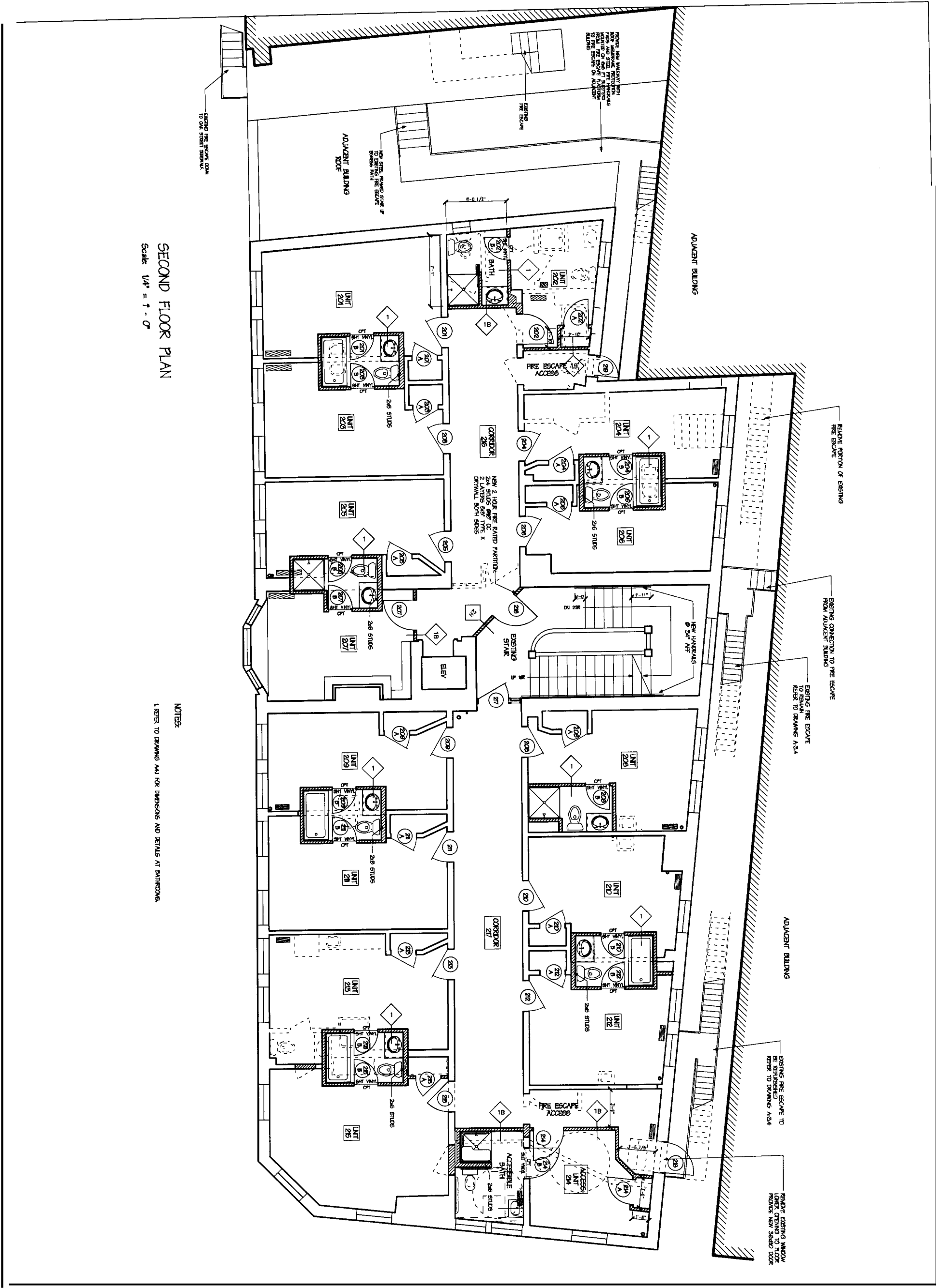
Contractor:
BENCHMARK
 34 Thomas Drive
 Westbrook, ME 04092
 (207) 591-7600

Project No: 04-133
 Drawing Title:
FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"
 Date: 31 December 2004
 Revisions:
 1
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Drawing Number:
A1.1

A1.1



SECOND FLOOR PLAN
Scale 1/4" = 1'-0"

NOTES:
1. REFER TO DRAWING A41 FOR DIMENSIONS AND DETAILS AT BATHROOMS.

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Contractor:
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 34 Thomas Drive
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 (207) 694-7600

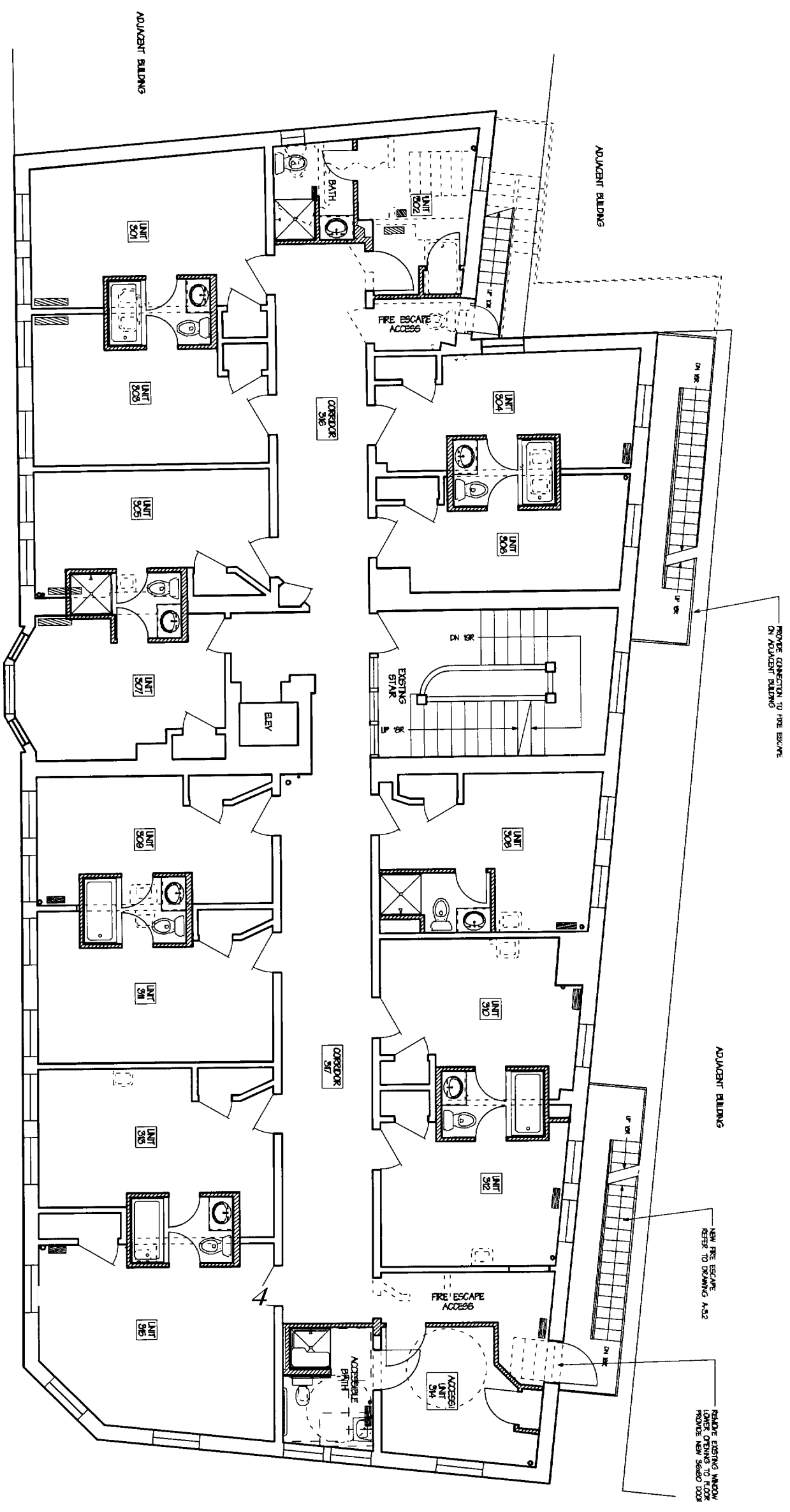
RENOVATIONS TO THE INN OAK LEAF INN

OAK STREET
 PORTLAND, ME

Project No: O444x
Drawn By: T.H.K.
SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"
 Date: 31 December 2004
 Revisions:

Drawing Number: **A1.2**



THIRD FLOOR PLAN
Scale: 1/4" = 1'-0"



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- Interiors
- Planning
- Title
- Design

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RENOVATIONS TO THE OAK LEAF INN

OAK STREET
PORTLAND, ME

Project No: **0444x**

Drawing Title:
THIRD FLOOR PLAN

Scale: 1/4" = 1'-0"
Date: 22 Oct 2004
Revisions:

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Drawing Number:
A1.3



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RENOVATIONS TO THE OAK LEAF INN

OAK STREET
PORTLAND, ME

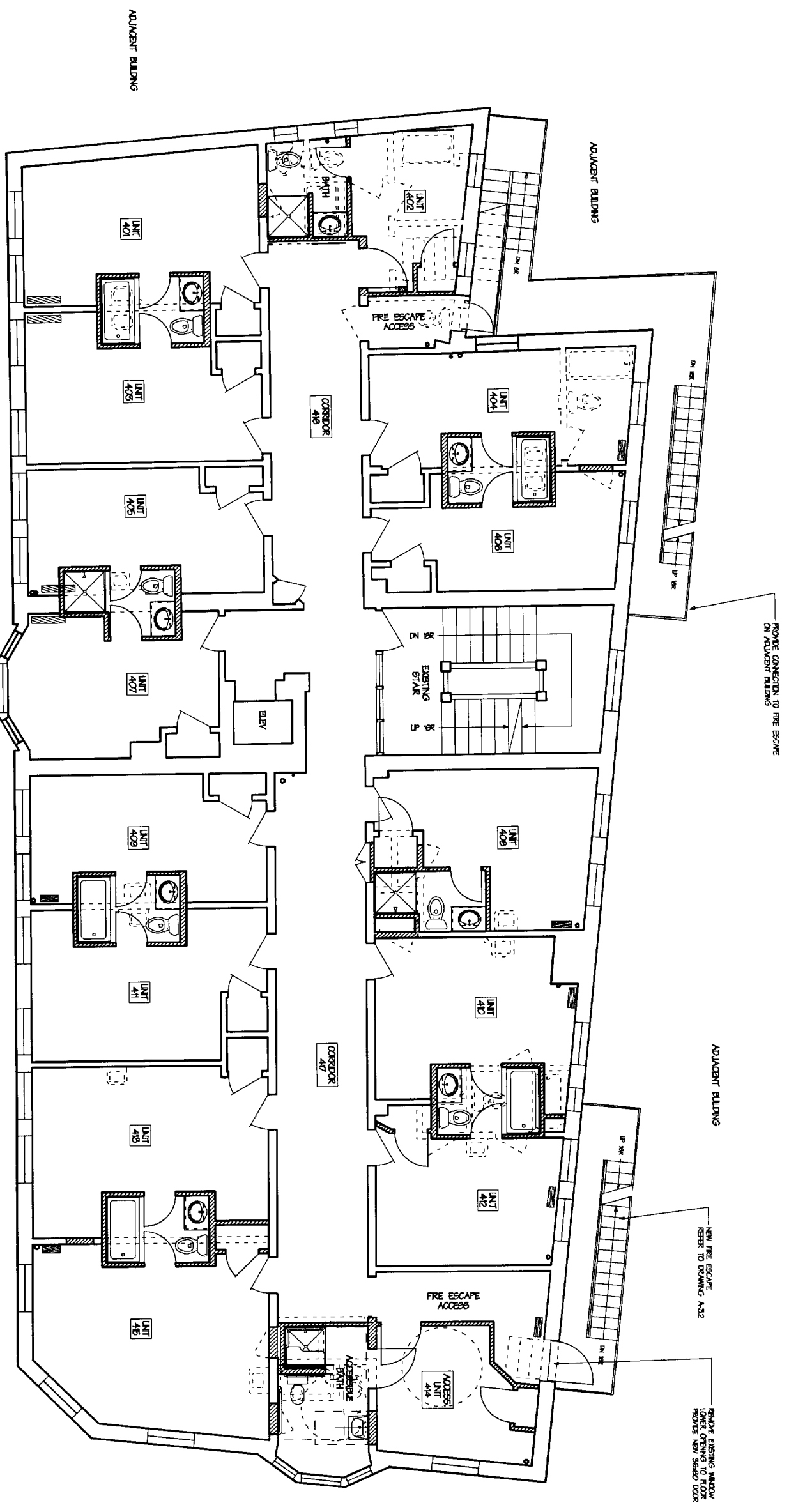
Project No: 0444x
 Drinking Tank
FOURTH FLOOR PLAN

Scale: 1/4" = 1'-0"
 Date: 22 Oct 2004
 Reviewers:

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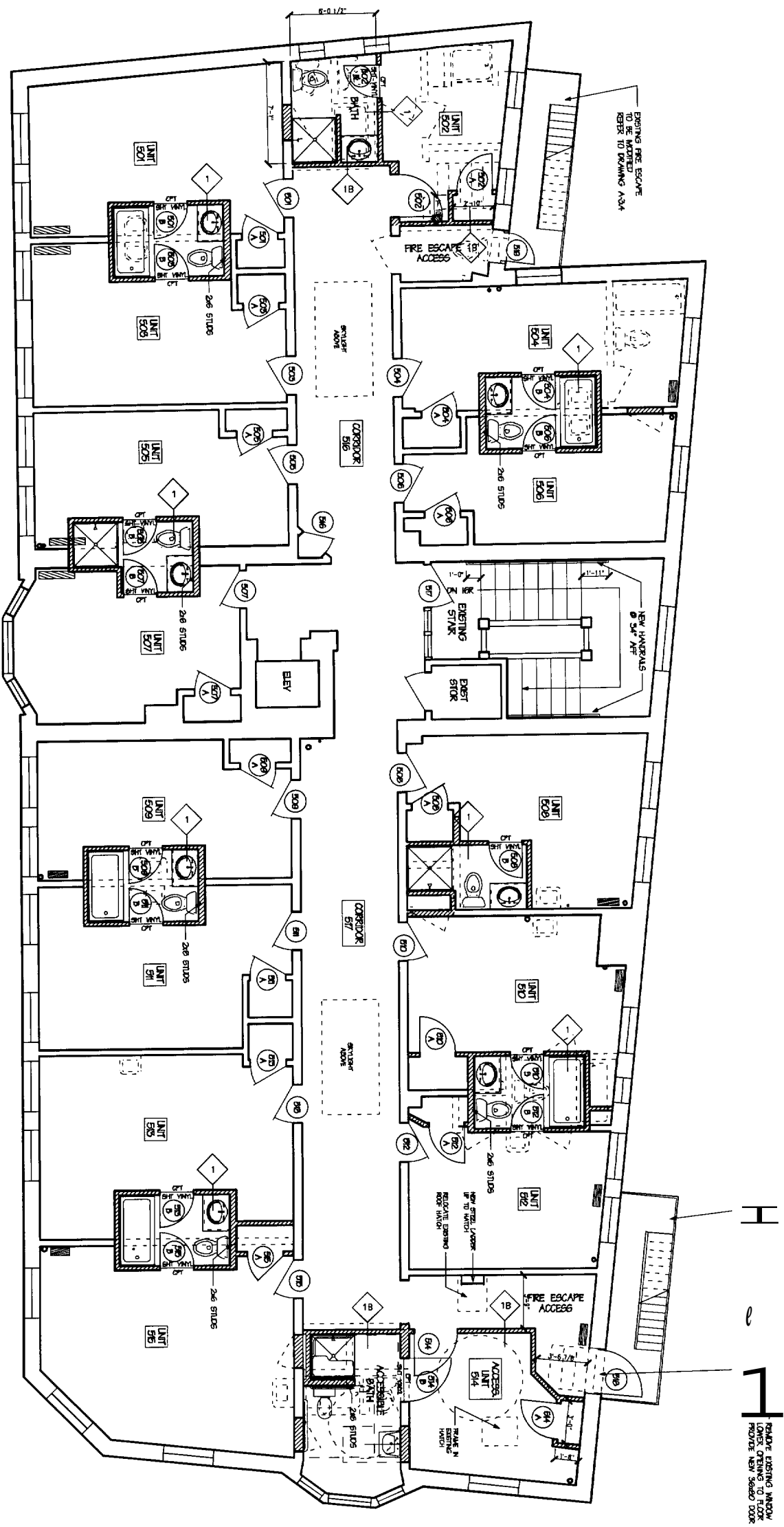
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FOURTH FLOOR PLAN

Scale: 1/4" = 1'-0"



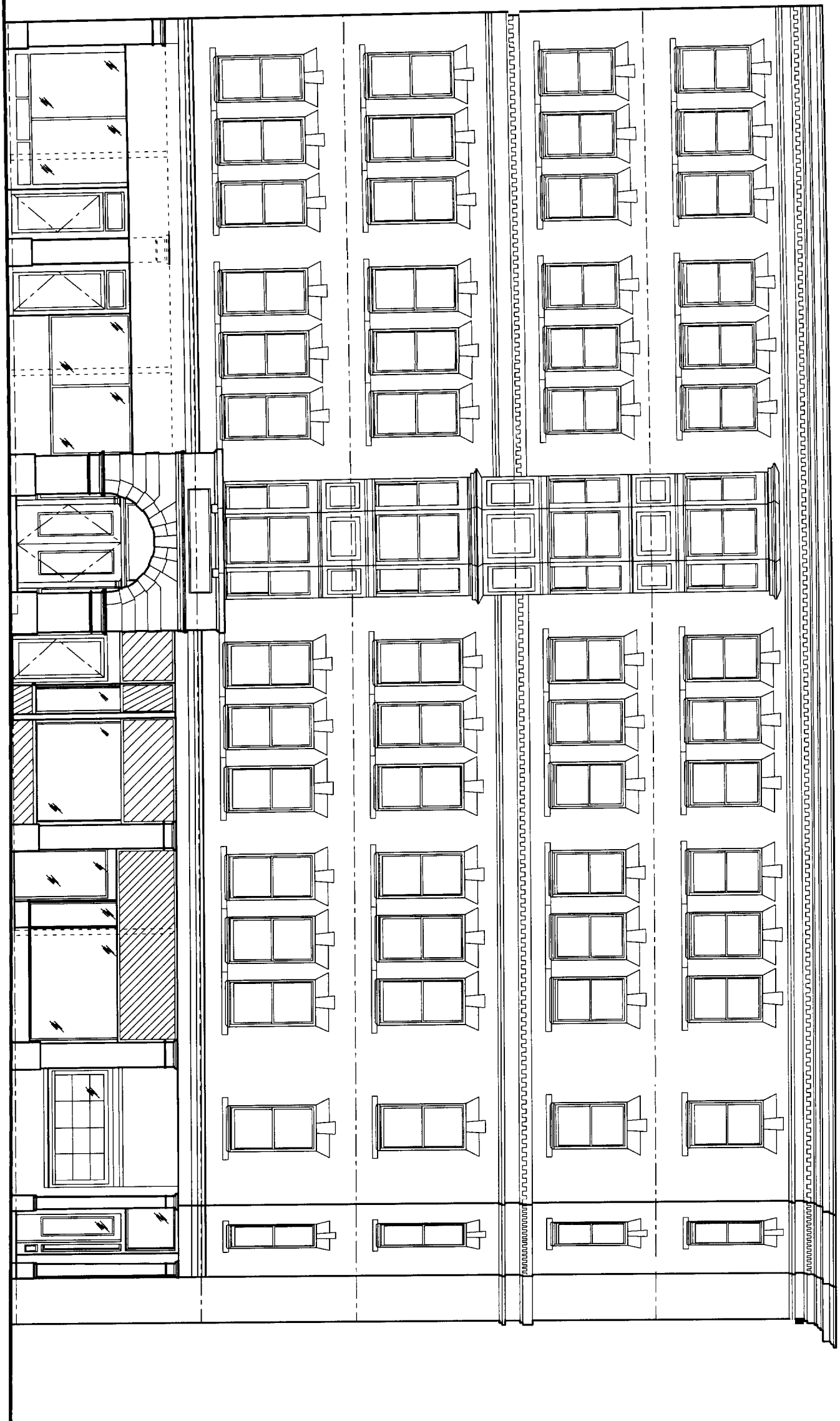
FIFTH FLOOR PLAN
 Scale: 1/4" = 1'-0"

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 Contractor:
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Project No: 0444x
 Drawing Title:
FIFTH FLOOR PLAN
 Scale: 1/4" = 1'-0"
 Date: 31 December 2004
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Drawing Number:
A1.5



EXISTING FRONT ELEVATION (OAK STREET SIDE)

Scale: 1/4" = 1' - 0"



CWS Architects

- Architecture
- Space Planning
- Value Design

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Contractor:

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**RENOVATIONS
TO THE NW
OAK LEAF INN**

OAK STREET
PORTLAND, ME

Project No: 04433

Drawing Title

**EXIST. FRONT
ELEVATION**

Scale: 1/4" = 1'-0"

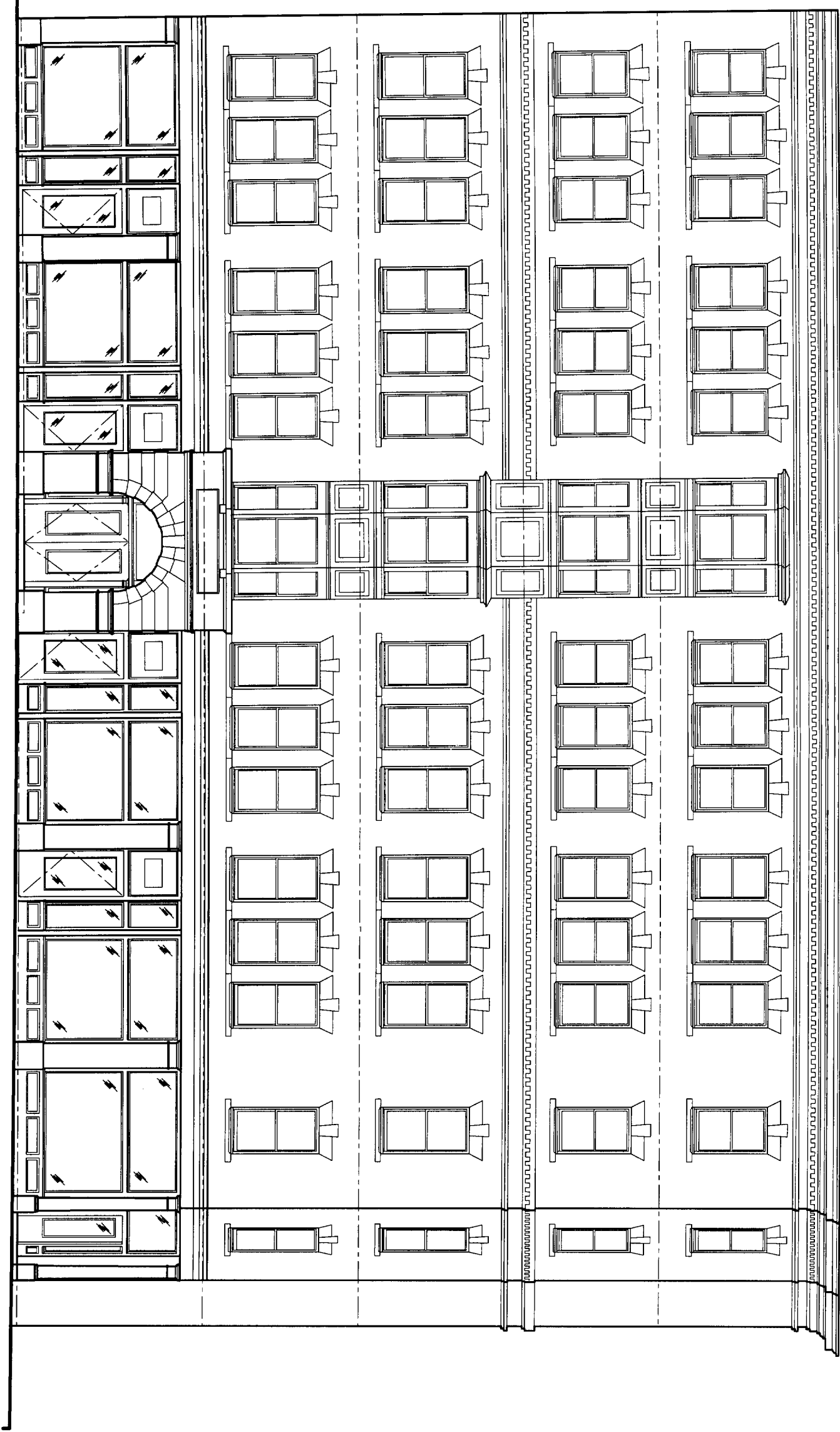
Date: 22 Nov 2004

Revisions:

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Drawing Number:

A3.1



NEW FRONT ELEVATION (OAK STREET SIDE)
 Scale: 1/4" = 1' - 0"



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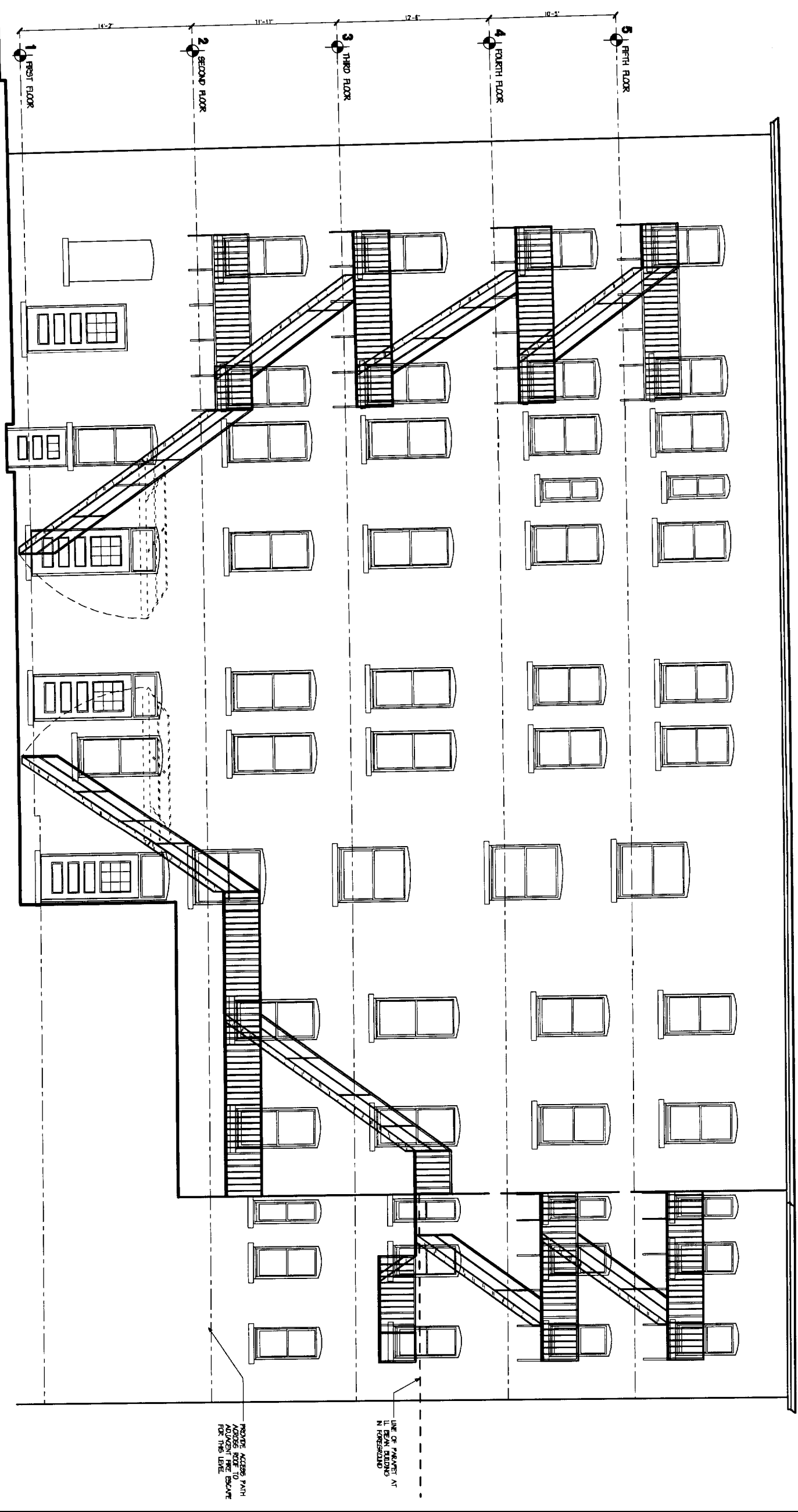
Owner
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 Contractor
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 34 Thomas Drive
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 (207) 881-7600

RENOVATIONS TO THE OAK LEAF INN

OAK STREET
 PORTLAND, ME

Project No: 04433
 Drawing Title
FRONT ELEVATION
 Scale: 1/4" = 1'-0"
 Date: 22 Nov 2004
 Revisions:
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Drawing Number:
A3.2



EXISTING REAR ELEVATION (ALLEY SIDE)
 Scale: 1/4" = 1' - 0"



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- Architecture
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- Value Design

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 (207) 780-0225

Contractor:

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 Westbrook, ME 04092
 (207) 891-7600

RENOVATIONS TO THE OAK LEAF INN

OAK STREET
 PORTLAND, ME

Project No: 04-453

Drawing Title:

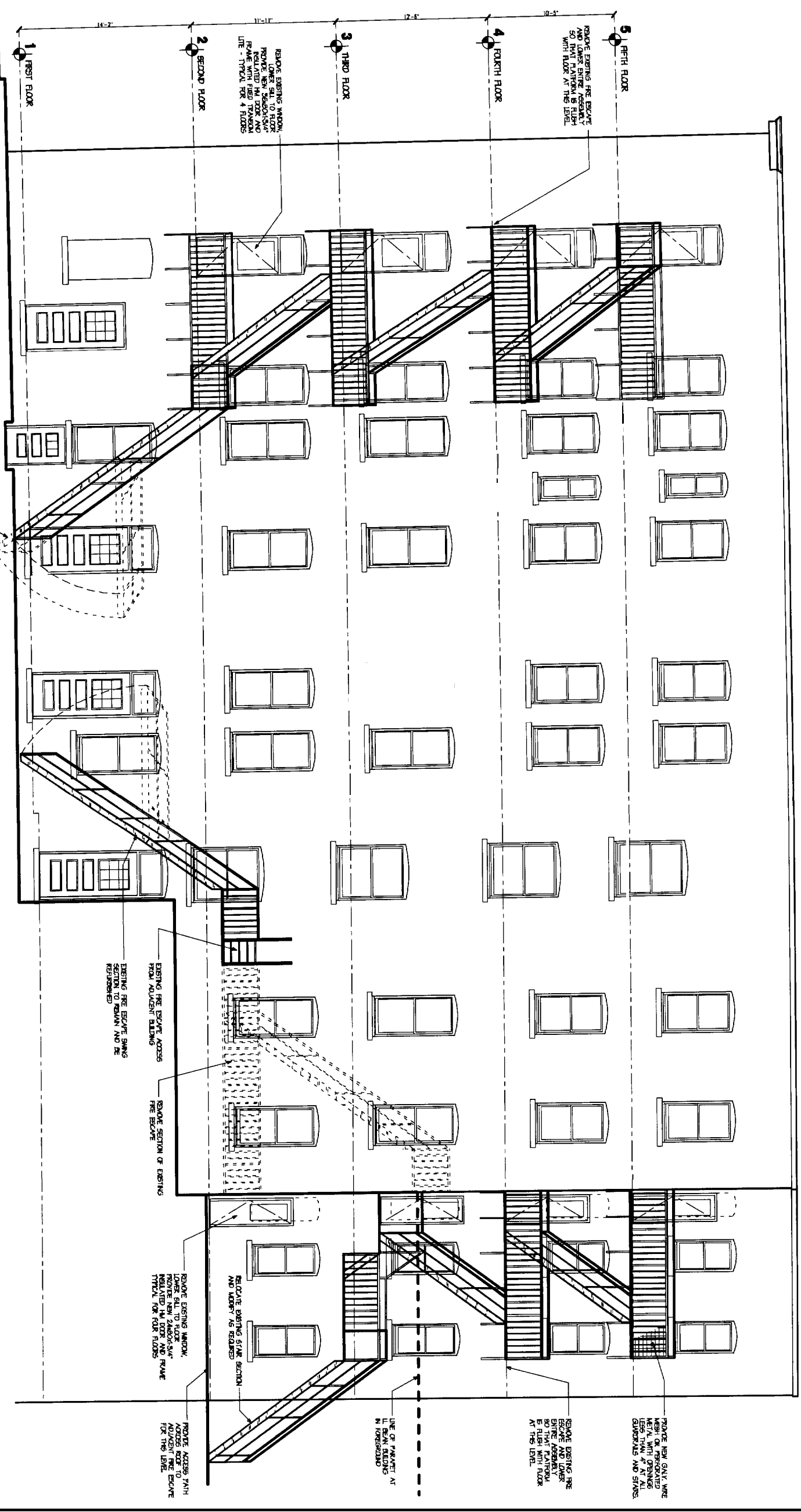
EXISTING REAR ELEVATION

Scale: 1/4" = 1'-0"
 Date: 19 November 2004
 Revision:

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Drawing Number:

A3.3



REAR ELEVATION (ALLEY SIDE)

Scale: 1/4" = 1' - 0"

NOTES

1. MODIFY EXISTING FIRE ESCAPES AS NOTICED HEREIN AND ON STRUCTURAL DRAWINGS.
2. COMPLY WITH STRUCTURAL LOAD REQUIREMENTS OF IBC 2003 FOR PLATFORMS, STAIRS AND GUARDRAILS.
3. PROVIDE NEW 1/2" DIA. GUARDRAILS AT 42" ABOVE TREADS AND PLATFORMS.
4. PROVIDE REWORKED STEEL PANELS OR WIRE MESH WITH OPENINGS NOT GREATER THAN 4" AT ALL GUARDRAILS.
5. REATTACH FIRE ESCAPE BRACKETS TO WALL AS NOTICED ON STRUCTURAL DRAWINGS.
6. CLEAN SOOT AND STAINS OFF MASONRY WITH GREENLEE RESTORATION CENTER.



CRS ARCHITECTS

- Architecture
- Space Planning
- Value Pricing

466 Cumberland Avenue
Portland, ME 04101
Phone (207) 774-4444
Fax (207) 774-4066
www.crsarch.com

Owner:
EMERY HOTEL LLC

One City Center
Portland, ME 04101
(207) 780-0223

Contractor:
BENCHMARK
34 Thomas Drive
Westbrook, ME 04092
(207) 897-7600

RENOVATIONS TO THE OAK LEAF INN

OAK STREET
PORTLAND, ME

Project No: 04435

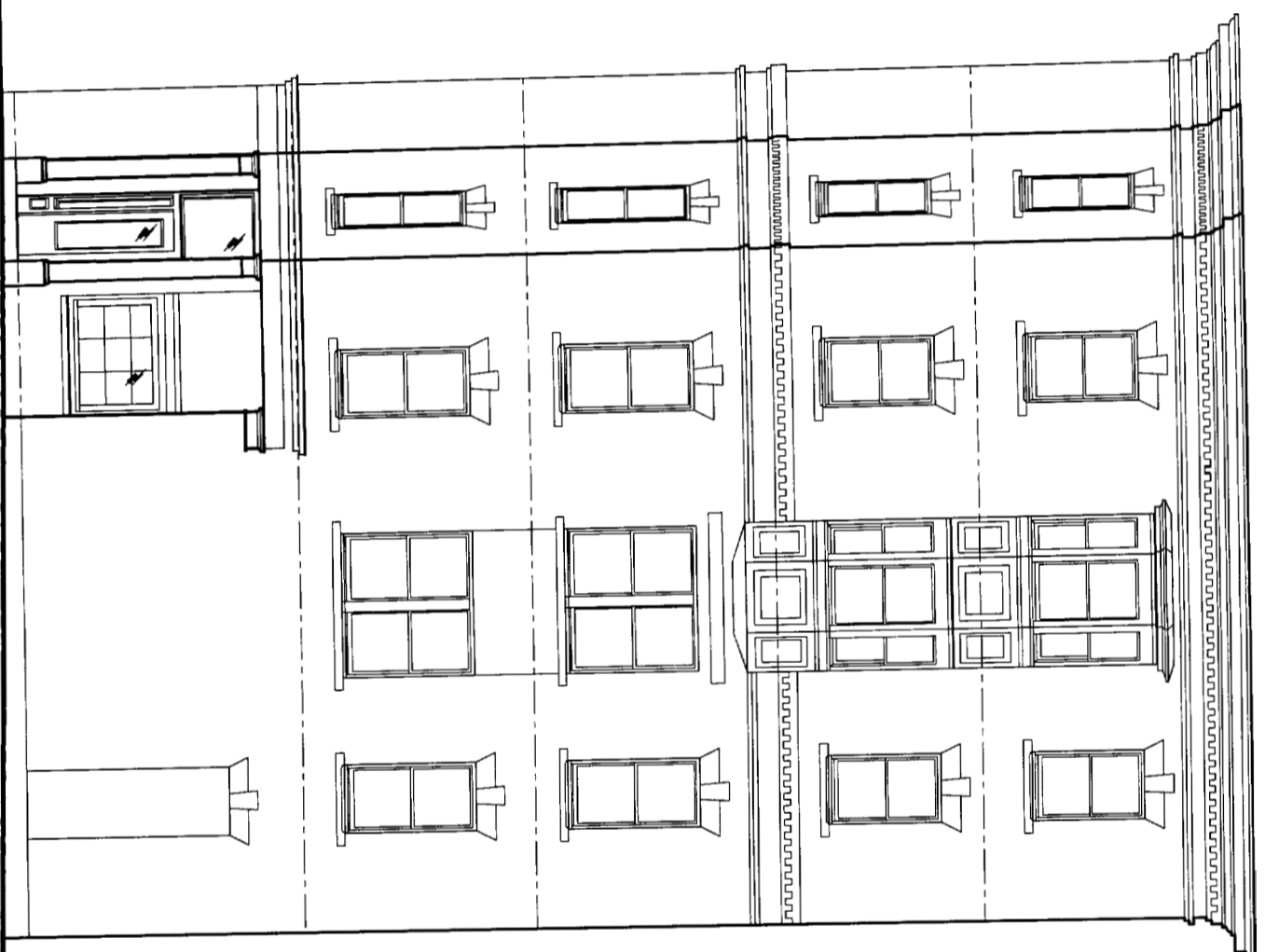
REAR ELEVATION

Scale: 1/4" = 1'-0"
Date: 1 December 2004
Revision:

- △
- △
- △
- △
- △
- △
- △
- △

Drawing Number:

A3.4



EXISTING RIGHT SIDE ELEVATION (FREE STREET SIDE)
 Scale: 1/4" = 1' - 0"

ADJACENT BUILDING



CWS Architects

- Architecture
- Space Planning
- Value Design

434 Cumberland Avenue
 Portland, ME 04101
 Phone (207) 774-4444
 Fax (207) 774-4098
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Owner:

**ENERGET HOTEL
 LLC**

One City Center
 Portland, ME 04101
 (207) 780-0223

Contractor:

BENCHMARK

34 Thomas Drive
 Westbrook, ME 04092
 (207) 897-7600

**RENOVATIONS
 TO THE
 OAK LEAF INN**

OAK STREET
 PORTLAND, ME

Project No: 04-435

Drafting Title

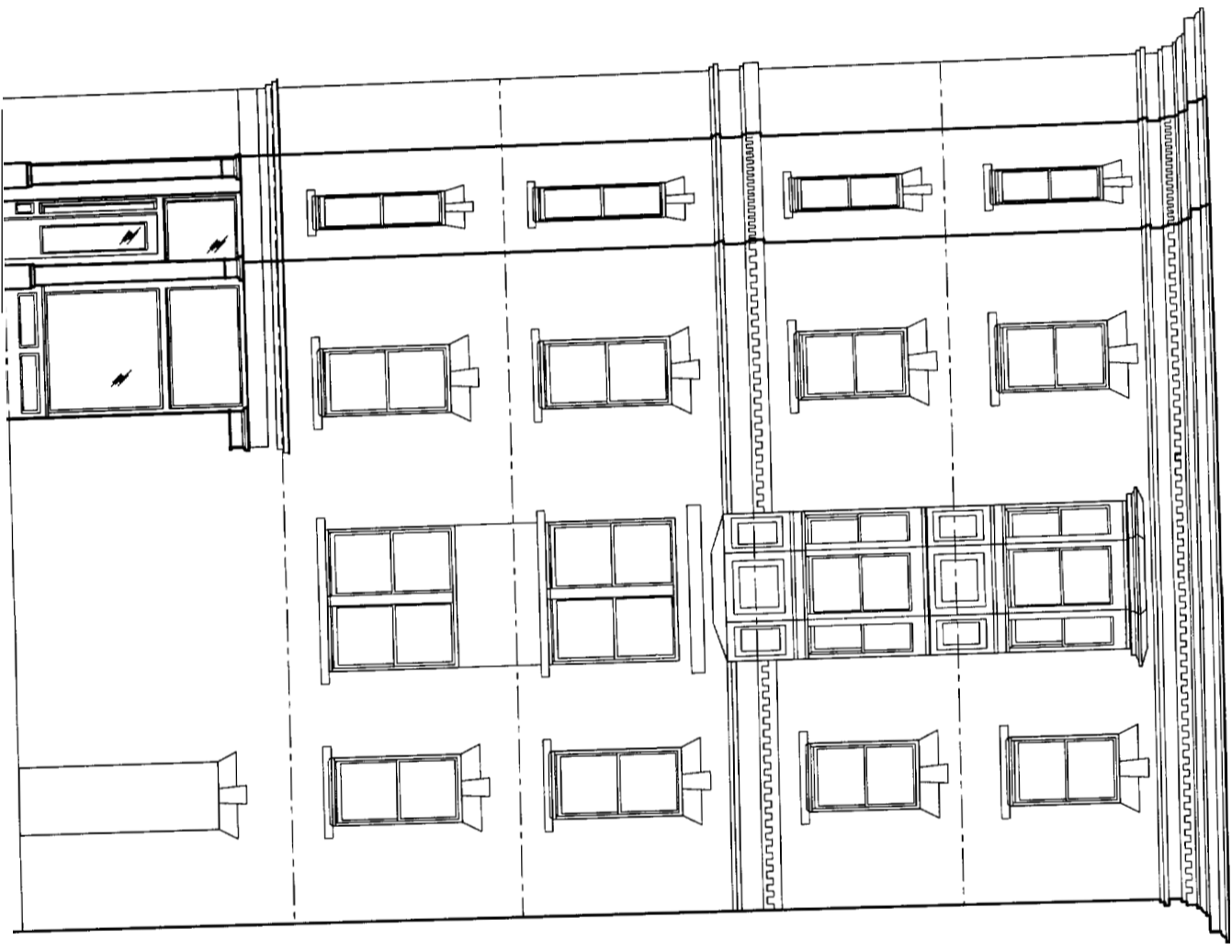
**EXIST. FREE ST.
 ELEVATION**

Scale: 1/4" = 1'-0"
 Date: 1 December 2004
 Revisions:

- △
- △
- △
- △
- △
- △
- △

Drawing Number:

A3.5



NEW RIGHT SIDE ELEVATION (FREE STREET SIDE)
 Scale: 1/4" = 1' - 0"

ADJACENT BUILDING



CWS Architects

Architects
 Space Planning
 Title Deeds

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 Portland, ME 04101
 Phone (207) 774-4444
 Fax (207) 774-4086
www.cwsarch.com

Owner:

**EVERETT HOTEL
 LLC**

One City Center
 Portland, ME 04101
 (207) 780-0223

Contractor:

BENCHMARK

34 Thomas Drive
 Westbrook, ME 04092
 (207) 897-7800

**RENOVATIONS
 TO THE
 OAK LEAF INN**

OAK STREET
 PORTLAND, ME

Project No: 04453

Drawing Title

**NEW FREE ST.
 ELEVATION**

Scale: 1/4" = 1'-0"
 Date: 1 December 2004
 Revisions:

- △
- △
- △
- △
- △
- △
- △

Drawing Number:

A3.6

CMS Architects
 ARCHITECTS
 SPACE PLANNING
 VALUE DESIGN
 404 Cumberland Avenue
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 Phone (207) 774-4441
 Fax (207) 774-4016
 www.cmsarchitects.com

Owner
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 Portland, ME 04101
 (207) 780-0225

Contractor
BENCHMARK
 94 Thomas Drive
 Westbrook, ME 04092
 (207) 991-7600

RENOVATIONS TO THE OAK LEAF INN

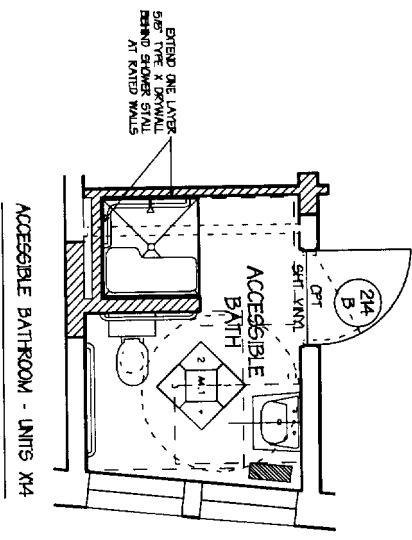
OAK STREET
 PORTLAND, ME

Project No: 04-433

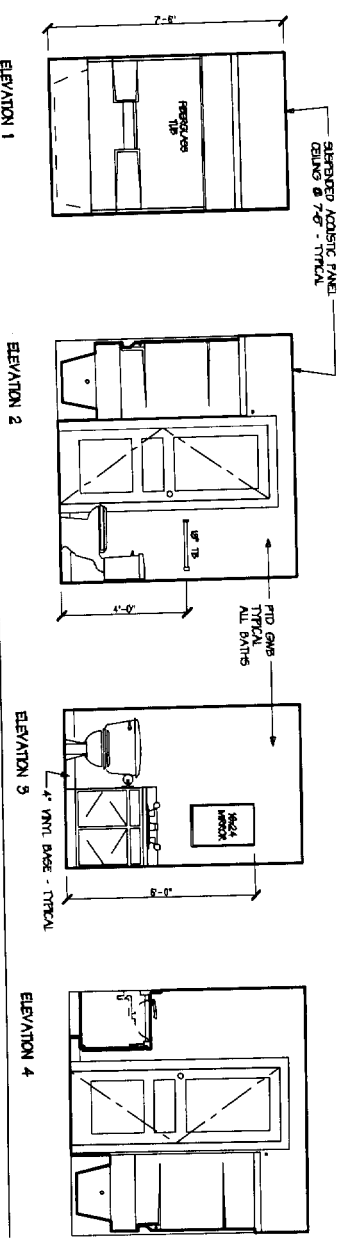
Drawing Title
BATHROOM ELEVATIONS
 Scale: 3/8" = 1'-0"
 Date: 8 December 2004
 Designer:

Drawing Number:

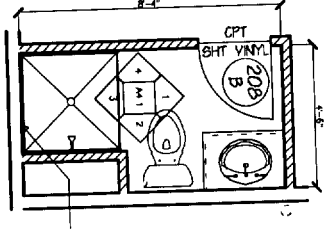
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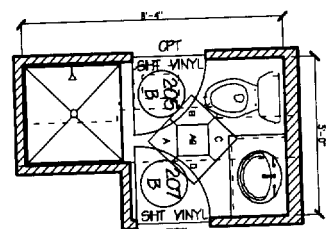
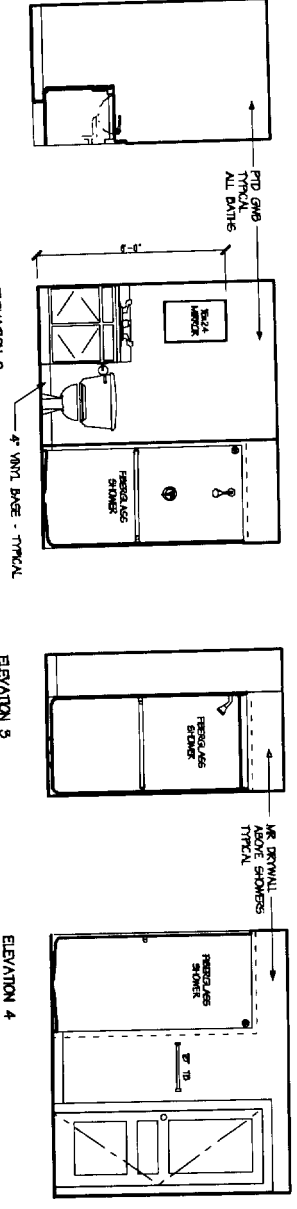
ACCESSIBLE BATHROOM - UNITS X14



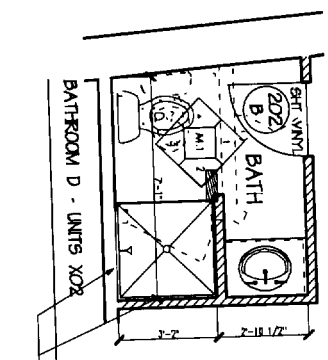
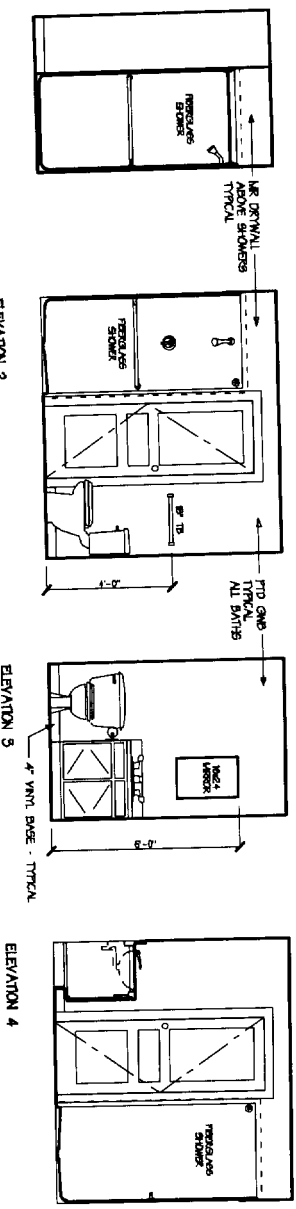
BATHROOM A - ALL OTHER UNITS



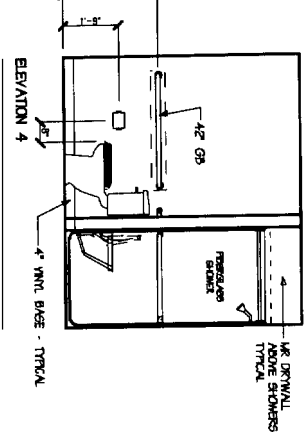
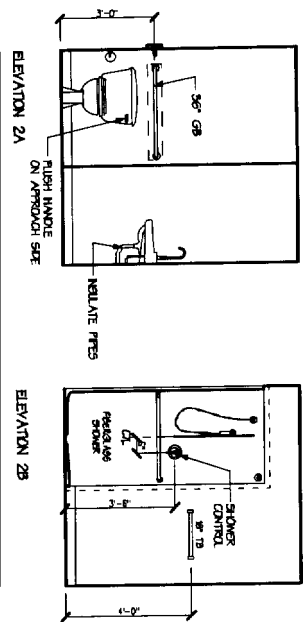
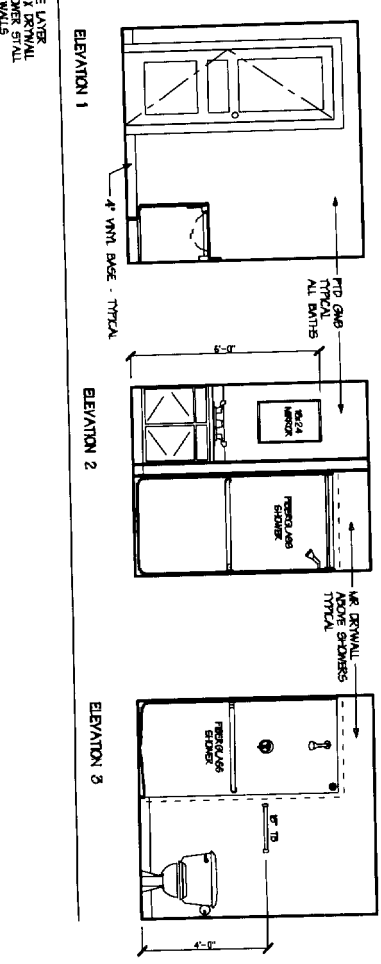
BATHROOM B - UNITS X06



BATHROOM C - UNITS X06/X07



BATHROOM D - UNITS X02



CWB Architects
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 Value Engineering
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 (207) 780-0225

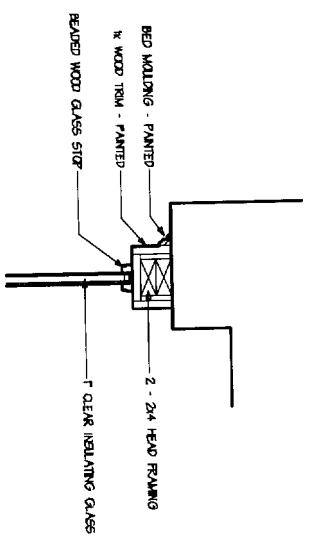
Contractor: **BENCHMARK**
 34 Thomas Drive
 Westbrook, ME 04092
 (207) 591-7600

RENOVATIONS TO THE OAK LEAF INN
 OAK STREET
 PORTLAND, ME

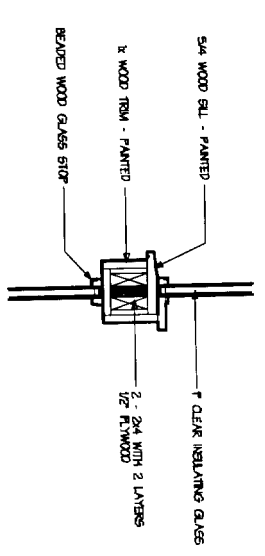
Project No: 04453
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 Scale: 1/2" = 1'-0"
 Date: 22 Nov 2004
 Revisions:

□ Drawing Title
 □ TITLE HERE

Design Number: **A-.-**



1 DET. @ STOREFRONT HEAD SCALE: 1/4"
 REFERENCE:



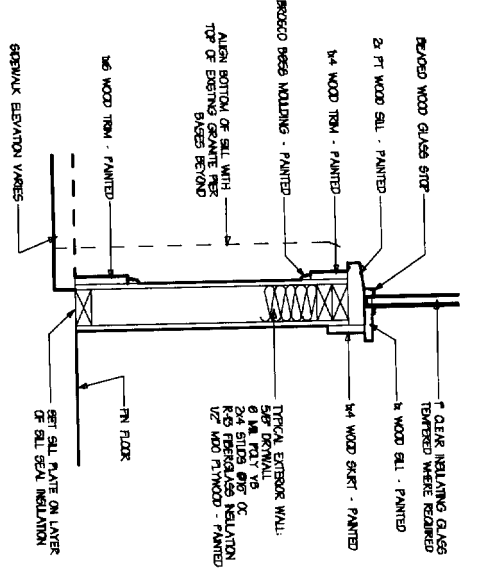
2 DTL @ REFERENCE SCALE:
 REFERENCE:

5 DTL @ HORIZONTAL MULLION SCALE: 1/2"
 REFERENCE:

6 DTL @ REFERENCE SCALE:
 REFERENCE:

7 DTL @ REFERENCE SCALE:
 REFERENCE:

8 DTL @ REFERENCE SCALE:
 REFERENCE:



9 DTL @ BASE OF STOREFRONT SCALE: 1/2" = 1'-0"
 REFERENCE:

10 DTL @ REFERENCE SCALE: 1/2" = 1'-0"
 REFERENCE:

11 DTL @ REFERENCE SCALE: 1/2" = 1'-0"
 REFERENCE:

12 DTL @ REFERENCE SCALE:
 REFERENCE:

GENERAL NOTES

- 1. THE FOLLOWING NOTES ARE INTENDED TO BE USED AS OUTLINED SPECIFICATIONS FOR THIS PROJECT. THE REFERENCED STANDARDS ARE CONSIDERED TO BE PART OF THE WORK.
2. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS AND CONSULT THE ARCHITECT FOR ALL CONFLICTS, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
4. EXISTING CONDITIONS DETECTED WITHIN ARE BASED ON PASTORIAL ORIGINAL RECORDINGS AND FIELD EXAMINATION. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO PREPARATION OF SHOP DRAWINGS AND PROCEED WITH AFFECTED PORTION OF WORK IMMEDIATELY NOTIFY ARCHITECT AND ENGINEER OF EXISTING CONDITIONS FROM THESE DOCUMENTS. DUE TO THE TIME AND COST OF CORRECTION OF WORK BASED ON UNCOVERED CONDITIONS WILL BE REQUIRED.
5. THE STRUCTURE IS DESIGNED TO BE PERMANENTLY SELF-SUPPORTING AND STABLE ONLY AFTER THE STRUCTURAL WORK IS COMPLETED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF THE BUILDING AND ITS COMPONENTS DURING WORK. THIS INCLUDES THE ADOPTION OF NECESSARY SHORING, SKELETON, TEMPORARY BRACING, GUYS OR TIE-DOWNS, SUCH MATERIALS SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
6. SECTIONS AND DETAILS SHOWN ON ANY STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS AS DETERMINED BY THE ARCHITECT.
7. THE CONTRACTOR SHALL SUBMIT COMPLETE SHOP DRAWINGS FOR ALL PARTS OF THE WORK, INCLUDING DESCRIPTION OF SHOPPING AND CONSTRUCTION METHODS AND SEQUENCING WHERE APPLICABLE. NO REWORKABLE STRUCTURE OR INCLUDING, BUT NOT LIMITED TO, NEW STRUCTURAL ELEMENTS, SHALL COMMENCE WITHOUT REVIEW OF THE SHOP DRAWINGS BY THE ARCHITECT AND ENGINEER. SUBMIT ONE COPY AND ONE SET OF SERIAL COPY WILL BE RETAINED AND SEPA. WILL BE RETURNED.

DESIGN LOADS

- 1. BUILDING CODE: INTERNATIONAL BUILDING CODE, 2003 EDITION, WITH SUPPLEMENTAL DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
2. DESIGN FLOOR LIVE LOADS: DWELLING UNITS & CORRIDORS: 40 PSF ABOVE GRADE FLOOR: 40 PSF

STRUCTURAL STEEL NOTES

- 1. STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO AISC SPECIFICATION FOR THE DESIGN FABRICATION, AND ERECTION OF STRUCTURAL STEEL, 9TH EDITION, AND THE CODE OF STANDARD PRACTICE, LATEST EDITION. SUBMIT MATERIAL CERTIFICATES OF COMPLIANCE FOR ALL LATEST COMPONENTS INDICATED ON THE STRUCTURAL DRAWINGS.
2. STRUCTURAL STEEL, STEEL PLATES, SHAPES, AND BARS, CONFORM TO ASTM A36 UNLESS NOTED OTHERWISE (UNCO). STRUCTURAL STEEL SHAPES DESIGNATED ON THE DRAWINGS FOR WIDE-FLANGE SECTIONS ASTM A992 AS IN DATED MARCH 31, 2007 (A36) WITH SPECIAL REQUIREMENTS PER AISC LISTEN 31 DATED MARCH 31, 2007 (A992). WHERE WELDING IS INDICATED, ALL WELDING SHALL CONFORM TO AWS D1.1 - LATEST EDITION. ELECTRODES SHALL BE CONFORM TO AWS E6013. AT ALL CONNECTIONS, THE CONTRACTOR SHALL VERIFY WELDING ELECTRODES ARE CONFORM TO BOTH THE EXISTING STEEL AND NEW STEEL MATERIAL. SUBMIT ELECTRODE INFORMATION INDICATING SUCH.
6. DESIGN AND DETAIL ALL CONNECTIONS ACCORDING TO AISC STANDARD LOAD CAPACITY OF THE MEMBER BRACING CONNECTIONS HAVE BEEN DETAILED ON THE DRAWINGS.
7. ALL WAREHOUSE STEEL SHALL BE FABRICATED AND SHIPPED AS BARE UNPAINTED STEEL EXISTING AND NEW FIRE ESCAPE STEEL SHALL BE CLEANED AND PAINTED PER THE REQUIREMENTS OF THE DIVISION 9 SPECIFICATIONS.
8. PROVIDE ALL ANGLES, PLATES, ANCHORS, BOLTS, ETC., SHOWN ON ARCHITECTURAL DRAWINGS.
9. NEW LOOSE LIMITS FOR EXTERIOR MASONRY WEATHER SHALL BE 1/4" SIP CALUMNEZED ACCORDING TO ASTM A123. REFER TO PLANS AND ELEVATIONS FOR UNIT SIZES.
10. ADEQUATE ANCHORING SYSTEM SHALL BE HELD BY 2. PROVIDE SCREEN TUBES AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS. MANUFACTURER SHALL BE CONTACTED TO PROVIDE A SERIES OF FALL TEST TO ENSURE ANCHOR CAPACITY. DESIGNER OR REVIEWER SHALL VERIFY FALL TEST. THE CONTRACTOR SHALL VERIFY ALL TEST CRITERIA AND TO CONFIRM THE FALL TEST. CALL CONTACT: BRITANNY HOBBER, FIELD ENGINEER (900) 879-6000 EXT. 2208.

MASONRY NOTES

- 1. ALL MASONRY CONSTRUCTION SHALL CONFORM TO ACI 530.1-02.
2. MORTAR SHALL CONFORM TO ASTM SPECIFICATION C270, TYPE M OR S.
3. GROUT SHALL CONFORM TO ASTM C-476.
4. ALL BRICK MASONRY UNITS SHALL BE Laid IN RUNNING BOND UNLESS OTHERWISE NOTED. PROVIDE FULL WORKMAN COVERAGE.
5. ALL NEW WALL PENETRATIONS SHALL RECEIVE A UNILITE AS INDICATED.
6. SEE ARCHITECTURAL DRAWINGS AND PROJECT SPECIFICATIONS FOR ADDITIONAL MASONRY RECOMMENDATIONS.

TIMBER NOTES

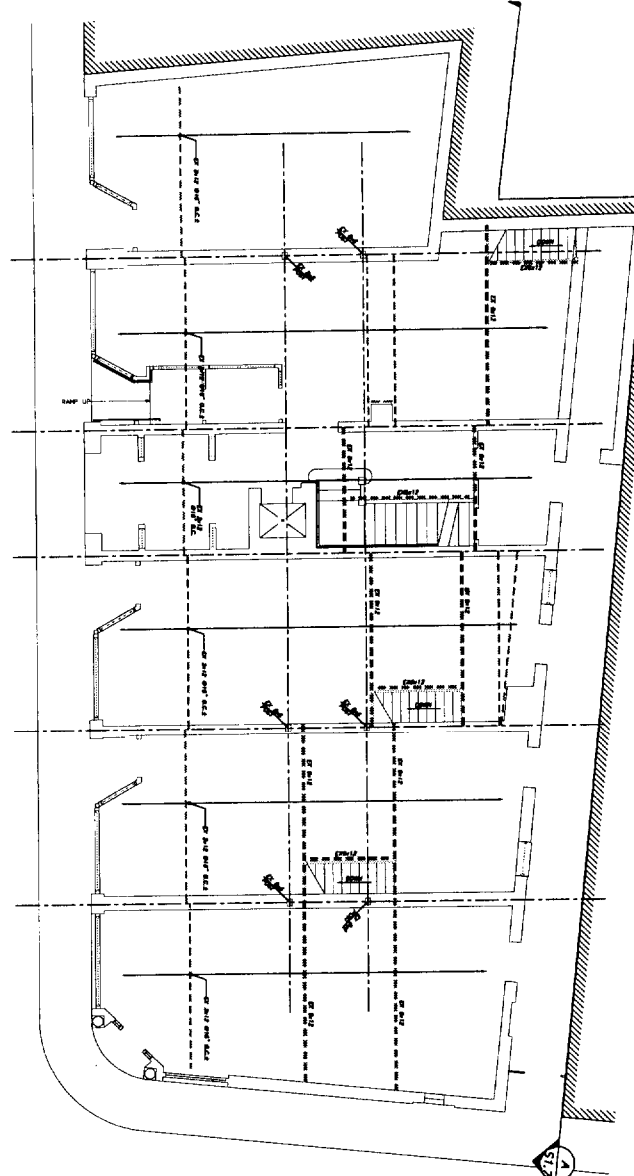
- 1. ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE AIA TC TIMBER CONSTRUCTION MANUAL - LATEST EDITION, AND THE NFAI NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) 2001 EDITION.
2. INDIVIDUAL TIMBER FRAMING MEMBERS SHALL BE VISUALLY GRADED, MINIMUM GRADE NOT/NOZ SPRUCE-PAINE-FIR KAY DRIED TO 19% MAXIMUM MOISTURE CONTENT (UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
3. ENGINEERED WOOD PRODUCTS SHALL BE AS SPECIFIED ON THE DRAWINGS. REFER TO MANUFACTURER'S LITERATURE FOR PROPER HANDLING AND INSTALLATION GUIDELINES. MANUFACTURER AND PRODUCT SHALL BE PARALLAX (PS) MEMBERS, MANUFACTURED BY TRUSS JOIST.
4. SUBSTITUTIONS OF ENGINEERED WOOD MATERIALS OTHER THAN THOSE SPECIFIED SHALL BE PERMITTED ONLY WITH WRITTEN CERTIFICATION FROM THE MANUFACTURER, INCLUDING ENGINEERING AND DURABILITY CHARACTERISTICS. SUBSTITUTIONS ARE SUBJECT TO APPROVAL BY THE ARCHITECT AND ENGINEER.
5. PRESURE TREATED LUMBER SHALL BE USED FOR ALL MEMBERS, EXTERIOR EXPOSURE, OR WHERE SHOWN ON THE DRAWINGS. TIMBER SHALL BE SOUTHERN YELLOW PINE TREATED WITH CCA OR ACO TO 0.4 PC/FT IN ACCORDANCE WITH ANNA C-18. ACZA IS STYLICAL PROHIBITED.
6. ALL BUILT-UP BEAMS AND COLUMNS SHALL BE WALED AS FOLLOWS (FASTENING IN EACH PLY):
HEADERS: 2 RIMS OF 18# NAILS AT 12" O.C., STAGGERED
COLUMNS/LAMB AT GIRDERS: 2-10# NAILS AT 12" O.C.

SUBMITTALS

- 1. THE CONTRACTOR SHALL SUBMIT COMPLETE SHOP DRAWINGS FOR ALL PARTS OF THE WORK, INCLUDING DESCRIPTION OF SHOPPING AND CONSTRUCTION METHODS INCLUDING, BUT NOT LIMITED TO, SHOPPING AND DETAILING OF EXISTING STRUCTURE, OR FABRICATION OR ERECTION OF NEW STRUCTURAL ELEMENTS SHALL COMMENCE WITHOUT REVIEW OF THE SHOP DRAWINGS BY THE ARCHITECT AND ENGINEER. SUBMIT ONE COPY AND ONE SET OF SERIAL COPY WILL BE RETAINED AND SEPA. WILL BE RETURNED. CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR REVIEW.
2. REQUIRED SUBMITTALS INCLUDE:
a. ENGINEERED WOOD MATERIALS AND CONNECTIONS: MANUFACTURER'S LITERATURE, CURRENT SHOP AND FIELD WELDER CERTIFICATIONS
b. STRUCTURAL STEEL, FIELD WELDED CONNECTIONS: PREPARED SHOP AND FIELD WELDER CERTIFICATIONS
c. STRUCTURAL STEEL, FIELD WELDED CONNECTIONS: TESTING AGENCY REPORTS (SEE BELOW)
3. TESTING AGENCY REPORTS (SEE BELOW)
1. OWNER WILL EMPLOY A QUALIFIED TESTING AGENCY TO CONDUCT PERIODIC TESTING OF CONSTRUCTION IS IN COMPLIANCE WITH SPECIFIED PROCEDURES AND SPECIFICATIONS.

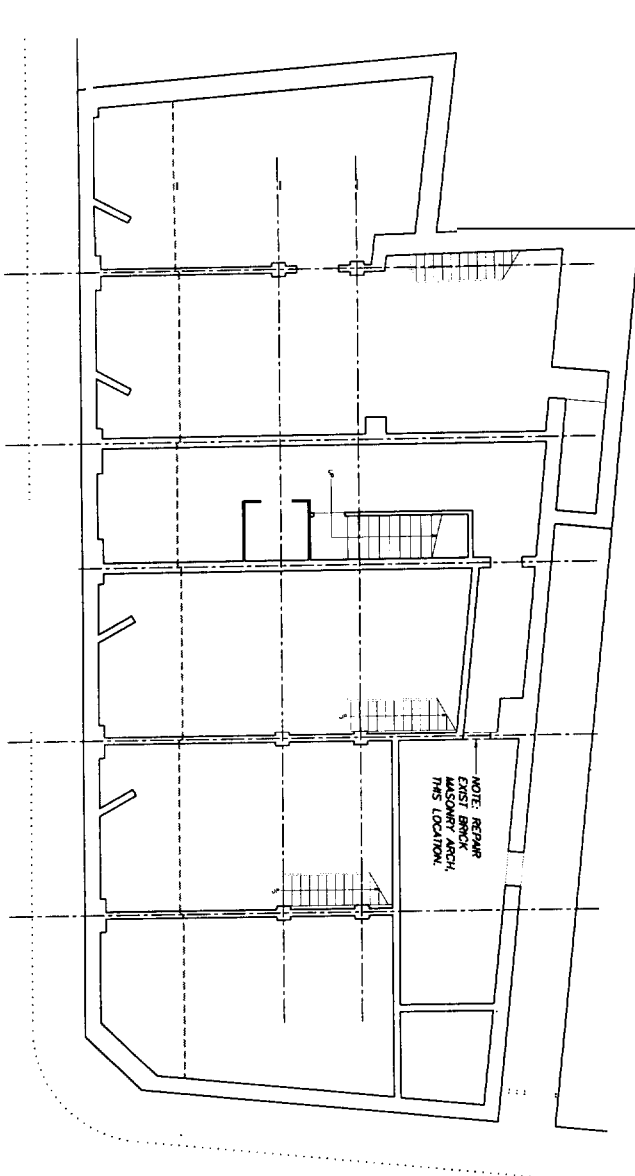
TESTING

- 1. TESTING AGENCY REPORTS (SEE BELOW)
2. TESTING SHALL INCLUDE:
STRUCTURAL STEEL, FIELD BOLTED CONNECTIONS
STRUCTURAL STEEL, FIELD WELDED CONNECTIONS
3. TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW WITHIN 48 HOURS OF COMPLETION OF EACH TEST



FIRST FLOOR FRAMING PLAN

1/8"=1'-0"



FOUNDATION PLAN

1/8"=1'-0"

NOTE: REPAIR MASONRY ARCH THIS LOCATION.

PERMIT ISSUE 1-10-05



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Space Planning
Voice Design

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BENCHMARK

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RENOVATIONS TO THE OAK LEAF INN
OAK STREET
PORTLAND, ME

Project No: S1.1
Drawing Title: GENERAL NOTES AND PLANS

Scale: NONE
Date: 01/10/2005
Revised:

Permit Number: S1.1