

**CITY OF PORTLAND, MAINE**  
**HISTORIC PRESERVATION BOARD**

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Rick Romano, Chair  
Martha Deprez, Vice Chair  
Scott Benson  
Otis Baron  
Michael Hammen  
Ted Oldham  
John Turk

December 2, 2009

Alec Altman  
Bingas Wingas LLC.  
PO Box 10417  
Portland, Maine 04104


Re: 77 Free Street

Dear Mr. Altman:

During a recent inspection of the Congress Street Historic District, I noted that a sign has been installed over your front entry at 77 Free Street and that the exterior improvements that were reviewed and approved by the Historic Preservation Board in July appear to have been suspended. My assumption is that the sign was installed as a strictly temporary measure until the approved canopy/sign can be installed. If the current sign, which was installed without approval, is not removed within 60 days of the date of this letter, we will have to consider it a violation of the historic preservation and sign ordinances and proceed accordingly.

Please advise this office of your projected timeframe for removal of the current sign and installation of the approved canopy/sign.

Sincerely,

  
Deborah Andrews  
Historic Preservation Program Manager

Enc.

Cc: Scott Hanson, Preservation Compliance Coordinator  
Mary Costigan, Associate Corporation Counsel  
David Matero, DayMatero Studios

file:  
77 Free St.  
Bingas  
Wingas

Deb,

Per the request of the Historic Planning Board, attached is the lighting calculations for the canopy at Bingas at the Stadium. As you can see, the average luminance under the canopy is 47 foot candles.

Please contact me with questions and please let me know if you require additional information.

Sincerely,

David Matero

David S. Matero, AIA, LEED AP

**DayMatero** studio

100 Front Street

Top Floor

Bath, ME 04530

[david@daymatero.com](mailto:david@daymatero.com)

<http://www.daymatero.com/>

207.671.6820

Title : Bingas Stadium - Portland, Maine

Date : 30 Jul 2009

Description : Exterior Canopy Lighting

For : Bingas Stadium  
By : DayMatere studio

**Luminaire** Number of Lamps : 2 IES Filename : 13956.IES

Lamp Luminaires : 3600	lms	Description : T024910 DAYMATERE F STANDARD STRIP F40CV10
Lamp Wa.lage : 44	v	

Light Loss Factor (LLF) : 0.30

**Room Dimensions**

Length (X) : 12	ft
Width (Y) : 11	ft
Height (Z) : 11	ft
WorkPlane Height : 0	ft
Suspension Length : 0	ft
Room Cavity Ratio (RCR) : 9.583	



**Room Reflectance**

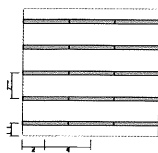
Ceiling : 80	%
Walls : 10	%
Floor : 20	%

Effective Cavity Reflectance -- Ceiling : 80.0 %  
Effective Cavity Reflectance -- Floor : 20.0 %

Coefficient of Utilization (CU) : 0.192

**Results**

Average Illuminance : 47	fc
Number of Luminaires : 15	
Lighting Power Density (LPD) : 10	W/ft²



**Layout**

	Rows (Width)		Columns (Length)	
Grid Layout (size) :	5	X	3	luminaire
Grid Spacing :	2.20	X	4.00	ft
Wall (start) Spacing :	1.10	X	2.00	ft
Spacing Criteria :	1.23	X	1.60	

Deb,

Attached is a drawing of the storefront revision we discussed earlier.

Our structural engineer, Casco Bay Engineering, does not feel comfortable using the exterior wall concrete block as a bearing wall for the storefront openings. The existing block backup for the yellow brick veneers is only a 4" block wall with an infill of an assortment of brick sizes and shapes. Everything is mortared together so the wall is very sturdy, but it is difficult as a new bearing wall. For this reason, we are proposing adding 4" tube posts on the sides of the storefront openings to carry the steel lintel/beam.

As I stated in our phone conversation, the existing storefront windows have a brake metal header, and the new openings will match this. The only change will be the jambs of the new openings will have a brake metal wrap around the 4" posts. See storefront type S3 on the attached drawing (type S2 is the existing storefront) and jamb detail S6.

Please let me know if this is acceptable.

Thank you.

David

David S. Matero, AIA, LEED AP

**DayMatero studio**

100 Front Street

Top Floor



**CITY OF PORTLAND, MAINE**  
**HISTORIC PRESERVATION BOARD**

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John Turk, Chair  
Rick Romano, Vice Chair  
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Scott Benson  
Martha Deprez  
Michael Hammen  
Ted Oldham

July 10, 2008

Alec Altman  
Bingas Wingas LLC  
PO Box 10417  
Portland, Maine 04104

Re: Sign, Banner & Entrance Canopy Installation; 77 Free Street

Dear Mr. Altman:

On July 8, 2009, the City of Portland's Historic Preservation Board reviewed your request for the installation of banners, entrance canopy and LED sign panels at 77 Free Street. Following deliberations, the Board voted 7-0 to approve the proposed banner program and the entrance canopy (as amended), but did not support the proposed LED sign panels.

Approval was made subject to the following conditions:

- \* Canopy height to be reduced to 18" and the LED sign panels to be eliminated. The addition of signage on the side panels of the canopy is acceptable, provided it is coordinated with that proposed for the front panel. Internal illumination of the sign copy is also acceptable, provided final canopy design and associated signage is reviewed and approved by historic preservation staff.
- \* Proposed light levels at underside of canopy and at banners to be reviewed and approved by Planning staff.

*Note: Proposed fenestration changes associated with the rehabilitation project at 77 Free Street were reviewed and approved on June 17, 2009. All outstanding conditions associated with such approval have been satisfied.*

All improvements shall be carried out as shown on the plans and specifications submitted by project architect David Matero for the 7/08/09 public hearing and/or as described above. Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work.

This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Note: Your project also requires a building permit. Please call Building Inspections (874-8703) if you have question about the permit requirements.

Sincerely,

A handwritten signature in black ink, appearing to read "Deborah Andrews". The signature is fluid and cursive, with the first name being more prominent.

Deborah Andrews  
Historic Preservation Program Manager

cc: David Matero, Day Matero Studio

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

**CITY OF PORTLAND  
HISTORIC PRESERVATION  
CERTIFICATE OF APPROPRIATENESS**

This is to certify that

Alec Altman

has received approval for

exterior alterations; sign installation

at

77 Free Street

provided that the person or persons, firm or corporation accepting this Certificate shall comply with all other applicable provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in the Historic Preservation Office of the Planning Department. For more information on this project, call 874-8719.

Denavah Audubon  
Historic Preservation Manager

NOTE: THIS IS NOT A BUILDING PERMIT

**CITY OF PORTLAND, MAINE**  
**HISTORIC PRESERVATION BOARD**

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John Turk, Chair  
Rick Romano, Vice Chair  
Otis Baron  
Scott Benson  
Martha Deprez  
Michael Hammen  
Ted Oldham

June 22, 2008

Alan Mooney  
28 Monument Square LLC  
22 Monument Square  
Portland, Maine 04101

Re: Storefront redesign; 28 Monument Square

Dear Mr. Mooney:

On June 17, 2009 the City of Portland's Historic Preservation Board voted 7-0 to approve your application for a Certificate of Appropriateness for the comprehensive redesign/replacement of the storefront level of 28 Monument Square.

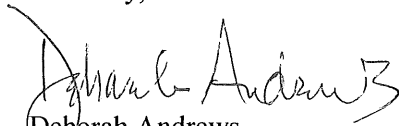
Board approval was made subject to the following conditions:

- \* Final design and specifications for exterior signs to be reviewed and approved by historic preservation staff.
- \* Proposed window signs at the 2<sup>nd</sup> floor level shall exhibit the design character and degree of window coverage as represented in the elevation submitted for the 6/17/09 public hearing. It is understood that all windows on the 2<sup>nd</sup> floor level, with the exception of the center window, may include window signs consistent with those depicted. Any deviation in the number, coverage or general character of signs shall be subject to historic preservation staff approval.
- \* Final material selection and treatment for storefront threshold floors shall be reviewed and approved by historic preservation staff.

All improvements shall be carried out as shown on the plans and specifications submitted for the 6/17/2009 public hearing and/or as described above. Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work.

This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Sincerely,

A handwritten signature in cursive script that reads "Deborah Andrews". The signature is written in dark ink and is positioned above the printed name.

Deborah Andrews  
Historic Preservation Program Manager

**HISTORIC PRESERVATION BOARD  
CITY OF PORTLAND, MAINE**

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**PUBLIC HEARING  
77 FREE STREET**

**TO:** Members of the Historic Preservation Board

**FROM:** Scott Hanson, Preservation Planner

**DATE:** June 10, 2009

Application For: Certificate of Appropriateness for proposed Exterior Alterations and Signage

Address: 77 Free Street

Applicant: Alec Altman, Binga Wingas, LLC

Project Architect: David Matero, Day Matero Studio

**Introduction**

Alec Altman, owner of Binga Wingas's restaurant, is requesting preliminary review of his proposal for new fenestration and signage on the Free Street and Brown Street elevations of 504 Congress St. (77 Free Street). The Stadium restaurant and Binga Wingas will be entering into a joint venture/partnership at this location.

Enclosed are the submitted application, plans, elevations, and photos showing and describing the proposed alterations and signage.

**Subject Property**

77 Free Street is the rear portion of 504 Congress Street. Located at the corner of Free and Brown Street, the rear and side elevations of the building are stylistically unrelated to the Moderne façade on Congress Street. That façade is the basis of this building's "Contributing" status in the Congress Street Historic District. These rear and side elevations were clearly designed to be the "service" sides of the building, similar to the Free Street facades of other Congress Street buildings on this block, most of which had loading docks and services entrances on this side. The small building at 500 Congress Street (occupied by Material Objects and Barba & Wheelock Architects) physically separates the Brown Street and Congress Street facades of 504 Congress St./77 Free St.

Both walls are of yellow brick with a recessed entrance and two partially blocked up storefront windows on Free Street, and virtually no fenestration on Brown Street. Along Free St. and for approximately half of the Brown St. frontage, the building is one-story with an unornamented parapet. A portion of the Brown St. facade steps up to two stories, with a matching parapet. Although not indicated by the architecture, approximately half of the two-story yellow brick portion of the Brown Street wall belongs to the abutting property owner. The chimney is located approximately at the property line

## **Project Description**

As described in the attached application, the intent of the proposed alterations is to animate the exterior of the building to create an inviting atmosphere. Five elements are included in the proposal.

- 1) The two partially blocked up windows on Free Street would be replaced with new aluminum storefront windows and two new matching window openings would be cut into the Brown Street façade. All of these windows would have spandrel glass in the lower tier of glazing panels to accommodate the raised floor level within the building.
- 2) The roll-up door at the right of the Free Street façade would be replaced with an aluminum framed door and side spandrel panel, matching the storefront windows, to meet fire egress requirements from the basement level.
- 3) A series of sixteen 2' x 8' banners would be installed along both sides of the building on stainless steel brackets with LED lighting on the banners. The application indicates a range of design options for what could be shown on the banners, including local and Boston sports team names and logos, local festivals and galleries. Additionally, it is suggested that the banners could be changed out for particular sports events, such as the Calder Cup.
- 4) A 5' x 3' two-sided electronic sign with the restaurant name etched into stainless steel plate is proposed for the corner of the building.
- 5) An existing awning frame on the property would be reinstalled over the entrance and receive a new cover.

## **Staff Comments**

With the departure of the large retail stores that occupied the buildings on this block (Owen Moore, W.T Grant, Porteous, and Woolworth's) and the development of the Cumberland County Civic Center on Free Street, there have been efforts to create a more pedestrian friendly appearance on the Free Street facades of these buildings. The objectives of this project appear to fit within that evolution of the block over the past several decades.

The change from a service entrance on a utilitarian "back of building" to a primary retail/restaurant entrance can be challenging without a wholesale redesign of the façade. While such a series of banners might be problematic on an architecturally distinguished building, on the

largely blank walls of this building they may be effective in providing visual interest for the pedestrian. That said, the Board may want to carefully consider the number and placement of any banners approved. Complicating the installation of any banners on the two-story portion of the Brown Street wall is the fact that the wall material flows across the property line for a considerable distance. A series of banners that runs to the property line will appear to stop arbitrarily in the middle of a large blank wall.

No detail is shown for the sign, but the Board can address the threshold question of whether or not an electronic message board is appropriate here, and perhaps provide some guidance as to what kind of “frame” or surrounding materials and supports might be appropriate if they determine that the message board could be acceptable.

The Board should be aware that the Zoning Administrator has expressed to staff that there may be issues with, or restrictions on, the proposed signage and banners - related to the use of changeable messages and advertising for off-premise businesses and events. In addition to approval from this Board, the applicant will have to resolve those questions with the Zoning Administrator before any permits can be issued.

Given the limited information submitted on the actual graphics for the LED changeable message board sign or the banners, if the Board approves either they will want final designs to come back for approval, either to the Board or staff.

### **Applicable Review Standards**

- (2) *The distinguishing original qualities or character of a structure, object or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.*
  
- (9) *Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archeological materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the size, scale, color, material and character of the property, neighborhood or environment.*

### **Motion for Consideration**

On the basis of plans and specifications submitted by the applicant for the June 17, 2009 public hearing and information included in the accompanying staff report, the Board finds that the proposed alterations and signage at 77 Free Street **meets (fails to meet)** the Standards for Review of Alterations within the historic preservation ordinance, **(subject to the following conditions.....)**

### **Attachments**

- 1.) Application and drawings submitted by applicant
- 2.) Staff photos



RECEIVED

Att. 1



JUN 3 2009

Date: 6/3/09

City of Portland  
Planning Division **HISTORIC PRESERVATION**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Pursuant to review under the City of Portland's Historic Preservation Ordinance (Chapter 14, Article IX of the Portland City Code), application is hereby made for a Certificate of Appropriateness for the following work on the specified historic property:

PROPERTY ADDRESS: 77 FREE STREET

**APPLICANT:**

Name: ALEC ALTMAN Telephone: 914-261-4440

Company, if applicable: BINGAS WINGAS LLC

Address: PO BOX 10417 PORTLAND, ME 04104

E-mail address: ALEC@BINGASWINGAS.COM

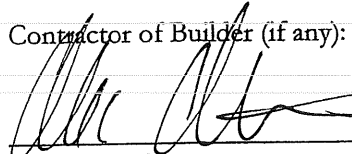
**PROPERTY OWNER (if different):**

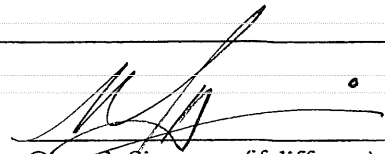
Name: KAPLAN 504 LLC Telephone: \_\_\_\_\_

Address: 49 OCEAN AVE. PORTLAND, ME 04103

Architect (if any): DAYMATERO STUDIO 100 FRONT ST. BATH, ME

Contractor of Builder (if any): \_\_\_\_\_

  
Applicant's Signature

  
Owner's Signature (if different)

**BILL TO: (Please list contact information for future advertising expenses)**

Name: ALEC ALTMAN Telephone: 914-261-4440

Company, if applicable: BINGAS WINGAS LLC

Address: PO BOX 10417 PORTLAND, ME 04104

**APPLICATION FEE:**

See attached fee schedule. Please submit fee with completed application.

## Activities Requiring Approval in Historic Districts

If your property is located within a historic district or is an individually designated historic structure, it is necessary to receive approval before proceeding with any exterior alteration, construction activity or site improvement that will be visible from a public way. Following is a list of activities requiring review. **Please check all those activities that apply to your proposed project.**

### Alterations and Repair

- Window and door replacement, including storms/screens
- Removal and/or replacement of architectural detailing (for example porch spindles and columns, railings, window moldings, and cornices)
- Porch replacement or construction of new porches
- Installation or replacement of siding
- Masonry work, including repointing, sandblasting, chemical cleaning, painting where the masonry has never been painted, or conversely, removal of paint where the masonry historically has been painted. *MINOR RUST REMOVAL*
- Installation or replacement of either roofing or gutters when they are a significant and integral feature of the structure
- Alteration of accessory structures such as garages

### Additions and New Construction

- Building additions, including rooftop additions, dormers or decks
- Construction of accessory structures
- Installation of exterior access stairs or fire escapes
- Installation of antennas and satellite receiving dishes
- Installation of solar collectors
- Rooftop mechanicals *SMOKE VENT / EXHAUST*

### Signage and Exterior Utilities

- Installation or alteration of any exterior sign, awning, or related lighting
- Exterior lighting where proposed in conjunction with commercial and institutional signage or awnings
- Exterior utilities, including mechanical, plumbing, and electrical, where placed on or near clearly visible facades

### Site Alterations

- Installation or modification of site features other than vegetation, including fencing, retaining walls, driveways, paving, and re-grading

### Moving and Demolition

- Moving of structures or objects on the same site or to another site
- Any demolition or relocation of a landmark contributing and/or contributing structure within a district

**Note:** Your project may also require a building permit. Call Building Inspections (874-8703) to make this determination.

## ATTACHMENTS

To supplement your application, please submit the following items, *as applicable to your project*. Keep in mind that the information you provide the Historic Preservation Board and staff is the only description they will have of your project or design. Therefore, it should precisely illustrate the proposed alteration(s).

- Exterior photographs (required for all applications.) Include general streetscape view, view of entire building & close-ups of affected area.
- Sketches or elevation drawings at a minimum 1/4" scale. Please label relevant dimensions. Plans or drawings should generally not exceed 11" x 17". For major projects, 22" x 34" plans are requested.
- Details or sections, where applicable.
- Floor plans, where applicable.
- Site plan showing relative location of adjoining structures. / SIDEWALK
- Catalog cuts or product information (e.g. proposed windows, doors, lighting fixtures)
- Materials - list all visible exterior materials. Samples are helpful.
- Other(explain) \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

If you have any questions or need assistance in completing this form, please contact Historic Preservation staff: Deb Andrews (874-8726) or Scott Hanson (756-8023)

**Please return this form, application fee (see attached fee schedule), and related materials to:**

Historic Preservation Division  
Department of Planning and Development  
Portland City Hall, 4<sup>th</sup> Floor  
389 Congress Street  
Portland, ME 04101



## PROJECT DESCRIPTION

The Stadium Restaurant and Binga's Wingas is entering into a joint venture/partnership at 77 Free Street, currently the location of The Stadium Restaurant. The proposed renovation will include new stairs and handicap accessibility at the main entrance, revised seating layout to include booths and table options, new windows, new lighting, a takeout component, and a new function room in the basement.

This one-story, yellow brick building is severely limited in fenestration and architectural features, and is quite severe along Brown Street. There are only two doors along this side of Brown Street. Existing conditions limit much fenestration along Brown Street because of the existing kitchen, stairs, and toilet rooms.

The concept for the renovation to 77 Free Street is to animate the exterior to create an inviting atmosphere. A sports bar/restaurant, the location is ideal for Civic Center events but the severity of the exterior is difficult to get past if you are not familiar with the restaurant. The stadium theme is reinforced by a series of fabric banners along both Brown and Free Street. These banners, 2' wide x 8' high, will break up the brick façade with color and movement. LED lighting attached to the brackets will not only light the banners but graze the brick façade and spill onto the sidewalk, creating a safe and interesting pedestrian experience. Currently, Brown Street is quite dark and uninviting. There are many options for banner designs, such as local team sports (Pirates, Sea Dogs, Red Claws), professional Boston sports, and even local items of interest like festivals and galleries. The banners can be replaced so that if the Pirates are playing for the Calder Cup, all of the banners could be changed to a Pirates theme.

While banners lead one's eyes to the corner, a double sided LED text sign will anchor the corner. This sign will display scores of sporting events and will be used to introduce events across the street at the Civic Center to

welcome guests visiting the area. This sign will be used to invite the public to the restaurant.

The banners and LED text sign will offer a three-dimension aspect to the façade. A fabric awning will be reinstalled over the entrance to identify the main entrance, often an issue at the current Stadium Restaurant because the front door is difficult to find.

Most important to the interior of the renovation project, new windows will be installed in the brick wall near the corner of Brown and Free Street. Two large openings will be added along Brown, and the existing windows along Free Street will be reconstructed. Glazing will be increased to put more eyes on the street. The main floor is not level with the street so the first panels will be glazed spandrel panels. In lieu of the current dark bronze windows, the storefront will be aluminum color. Along with stainless steel brackets for the sign and banners, this material will not contrast with the light colored brick and not feel so dark.

As part of the restaurant renovation, a new smoker will be installed in the basement. It will vent through the roof and consists of a metalbestos chimney, similar to a wood stove, and a fan for the exhaust system. It will be not be noticeable from the street as it is located 10' from the edge and will only be 4 or 6' high.

According to the Portland Code of Ordinances, building signage in a B-3 zone is limited to 2 sf per tenant's building frontage. The Stadium frontage is 235 linear feet,  $\times 2 = 470$  sf allowable signage. Taking into account signage on the new awning facing Free Street and up/down the sidewalk,  $13 \text{ sf} \times 3 = 39$  sf. The LED sign is  $25 \text{ sf} \times 2$  (double sided) = 50 sf. There are 16 banners proposed at 16 sf each for a total of 256 sf. The total proposed signage for Binga's Wingas at the Stadium is 345 sf, under the allowable 470 sf.

Attached with this submission are the following plans and cut sheets:

Application with this project description

A.1, Proposed Floor Plan

A.2, Building Elevations and Banner Detail (with notes)

A.3, Building Elevations and Banner Detail (presentation with color)

A.4, Building Perspectives

Bronzelite, grazing and banner light cut sheet



来.#2









**HISTORIC PRESERVATION BOARD  
CITY OF PORTLAND, MAINE**

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**PUBLIC HEARING  
77 FREE STREET**

**TO:** Members of the Historic Preservation Board

**FROM:** Scott Hanson, Preservation Planner

**DATE:** June 10, 2009

Application For: Certificate of Appropriateness for proposed Exterior Alterations and Signage

Address: 77 Free Street

Applicant: Alec Altman, Binga Wingas, LLC

Project Architect: David Matero, Day Matero Studio

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Given the limited information submitted on the actual graphics for the LED changeable message board sign or the banners, if the Board approves either they will want final designs to come back for approval, either to the Board or staff.

### **Applicable Review Standards**

- (2) *The distinguishing original qualities or character of a structure, object or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.*
  
- (9) *Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archeological materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the size, scale, color, material and character of the property, neighborhood or environment.*

### **Motion for Consideration**

On the basis of plans and specifications submitted by the applicant for the June 17, 2009 public hearing and information included in the accompanying staff report, the Board finds that the proposed alterations and signage at 77 Free Street **meets (fails to meet)** the Standards for Review of Alterations within the historic preservation ordinance, **(subject to the following conditions.....)**

### **Attachments**

- 1.) Application and drawings submitted by applicant
- 2.) Staff photos

RECEIVED

Att. 1



JUN 3 2009

Date: 6/3/09

City of Portland  
Planning Division **HISTORIC PRESERVATION**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Pursuant to review under the City of Portland's Historic Preservation Ordinance (Chapter 14, Article IX of the Portland City Code), application is hereby made for a Certificate of Appropriateness for the following work on the specified historic property:

PROPERTY ADDRESS: 77 FREE STREET

**APPLICANT:**

Name: ALEC ALTMAN Telephone: 914-261-4440

Company, if applicable: BINGAS WINGAS LLC

Address: PO BOX 10417 PORTLAND, ME 04104

E-mail address: ALEC@BINGASWINGAS.COM

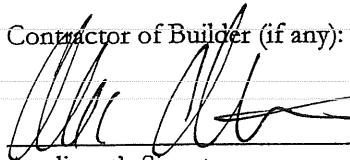
**PROPERTY OWNER (if different):**

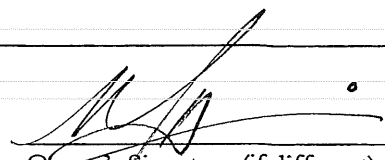
Name: KAPLAN 504 LLC Telephone: \_\_\_\_\_

Address: 49 OCEAN AVE. PORTLAND, ME 04103

Architect (if any): DAY MATERO STUDIO 100 FRONT ST. BATH, ME

Contractor of Builder (if any): \_\_\_\_\_

  
Applicant's Signature

  
Owner's Signature (if different)

**BILL TO: (Please list contact information for future advertising expenses)**

Name: ALEC ALTMAN Telephone: 914-261-4440

Company, if applicable: BINGAS WINGAS LLC

Address: PO BOX 10417 PORTLAND, ME 04104

**APPLICATION FEE:**

See attached fee schedule. Please submit fee with completed application.

## Activities Requiring Approval in Historic Districts

If your property is located within a historic district or is an individually designated historic structure, it is necessary to receive approval before proceeding with any exterior alteration, construction activity or site improvement that will be visible from a public way. Following is a list of activities requiring review. **Please check all those activities that apply to your proposed project.**

### Alterations and Repair

- Window and door replacement, including storms/screens
- Removal and/or replacement of architectural detailing (for example porch spindles and columns, railings, window moldings, and cornices)
- Porch replacement or construction of new porches
- Installation or replacement of siding
- Masonry work, including repointing, sandblasting, chemical cleaning, painting where the masonry has never been painted, or conversely, removal of paint where the masonry historically has been painted. *MINOR RUST REMOVAL*
- Installation or replacement of either roofing or gutters when they are a significant and integral feature of the structure
- Alteration of accessory structures such as garages

### Additions and New Construction

- Building additions, including rooftop additions, dormers or decks
- Construction of accessory structures
- Installation of exterior access stairs or fire escapes
- Installation of antennas and satellite receiving dishes
- Installation of solar collectors
- Rooftop mechanicals *SMOKE VENT / EXHAUST*

### Signage and Exterior Utilities

- Installation or alteration of any exterior sign, awning, or related lighting
- Exterior lighting where proposed in conjunction with commercial and institutional signage or awnings
- Exterior utilities, including mechanical, plumbing, and electrical, where placed on or near clearly visible facades

### Site Alterations

- Installation or modification of site features other than vegetation, including fencing, retaining walls, driveways, paving, and re-grading

### Moving and Demolition

- Moving of structures or objects on the same site or to another site
- Any demolition or relocation of a landmark contributing and/or contributing structure within a district

***Note: Your project may also require a building permit. Call Building Inspections (874-8703) to make this determination.***

## ATTACHMENTS

To supplement your application, please submit the following items, *as applicable to your project*. Keep in mind that the information you provide the Historic Preservation Board and staff is the only description they will have of your project or design. Therefore, it should precisely illustrate the proposed alteration(s).

- Exterior photographs (required for all applications.) Include general streetscape view, view of entire building & close-ups of affected area.
- Sketches or elevation drawings at a minimum 1/4" scale. Please label relevant dimensions. Plans or drawings should generally not exceed 11" x 17". For major projects, 22" x 34" plans are requested.
- Details or sections, where applicable.
- Floor plans, where applicable.
- Site plan showing relative location of adjoining structures. / SIDEWALK
- Catalog cuts or product information (e.g. proposed windows, doors, lighting fixtures)
- Materials - list all visible exterior materials. Samples are helpful.
- Other(explain) \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

If you have any questions or need assistance in completing this form, please contact Historic Preservation staff: Deb Andrews (874-8726) or Scott Hanson (756-8023)

**Please return this form, application fee (see attached fee schedule), and related materials to:**

Historic Preservation Division  
Department of Planning and Development  
Portland City Hall, 4<sup>th</sup> Floor  
389 Congress Street  
Portland, ME 04101



## PROJECT DESCRIPTION

The Stadium Restaurant and Binga's Wingas is entering into a joint venture/partnership at 77 Free Street, currently the location of The Stadium Restaurant. The proposed renovation will include new stairs and handicap accessibility at the main entrance, revised seating layout to include booths and table options, new windows, new lighting, a takeout component, and a new function room in the basement.

This one-story, yellow brick building is severely limited in fenestration and architectural features, and is quite severe along Brown Street. There are only two doors along this side of Brown Street. Existing conditions limit much fenestration along Brown Street because of the existing kitchen, stairs, and toilet rooms.

The concept for the renovation to 77 Free Street is to animate the exterior to create an inviting atmosphere. A sports bar/restaurant, the location is ideal for Civic Center events but the severity of the exterior is difficult to get past if you are not familiar with the restaurant. The stadium theme is reinforced by a series of fabric banners along both Brown and Free Street. These banners, 2' wide x 8' high, will break up the brick façade with color and movement. LED lighting attached to the brackets will not only light the banners but graze the brick façade and spill onto the sidewalk, creating a safe and interesting pedestrian experience. Currently, Brown Street is quite dark and uninviting. There are many options for banner designs, such as local team sports (Pirates, Sea Dogs, Red Claws), professional Boston sports, and even local items of interest like festivals and galleries. The banners can be replaced so that if the Pirates are playing for the Calder Cup, all of the banners could be changed to a Pirates theme.

While banners lead one's eyes to the corner, a double sided LED text sign will anchor the corner. This sign will display scores of sporting events and will be used to introduce events across the street at the Civic Center to

welcome guests visiting the area. This sign will be used to invite the public to the restaurant.

The banners and LED text sign will offer a three-dimension aspect to the façade. A fabric awning will be reinstalled over the entrance to identify the main entrance, often an issue at the current Stadium Restaurant because the front door is difficult to find.

Most important to the interior of the renovation project, new windows will be installed in the brick wall near the corner of Brown and Free Street. Two large openings will be added along Brown, and the existing windows along Free Street will be reconstructed. Glazing will be increased to put more eyes on the street. The main floor is not level with the street so the first panels will be glazed spandrel panels. In lieu of the current dark bronze windows, the storefront will be aluminum color. Along with stainless steel brackets for the sign and banners, this material will not contrast with the light colored brick and not feel so dark.

As part of the restaurant renovation, a new smoker will be installed in the basement. It will vent through the roof and consists of a metalbestos chimney, similar to a wood stove, and a fan for the exhaust system. It will be not be noticeable from the street as it is located 10' from the edge and will only be 4 or 6' high.

According to the Portland Code of Ordinances, building signage in a B-3 zone is limited to 2 sf per tenant's building frontage. The Stadium frontage is 235 linear feet,  $\times 2 = 470$  sf allowable signage. Taking into account signage on the new awning facing Free Street and up/down the sidewalk,  $13 \text{ sf} \times 3 = 39$  sf. The LED sign is  $25 \text{ sf} \times 2$  (double sided) = 50 sf. There are 16 banners proposed at 16 sf each for a total of 256 sf. The total proposed signage for Binga's Wingas at the Stadium is 345 sf, under the allowable 470 sf.

Attached with this submission are the following plans and cut sheets:

Application with this project description

A.1, Proposed Floor Plan

A.2, Building Elevations and Banner Detail (with notes)

A.3, Building Elevations and Banner Detail (presentation with color)

A.4, Building Perspectives

Bronzelite, grazing and banner light cut sheet



**Bronzelite**  
Sure to endure

# TL5000 / TL6000 / TL7000

Accent Lighting



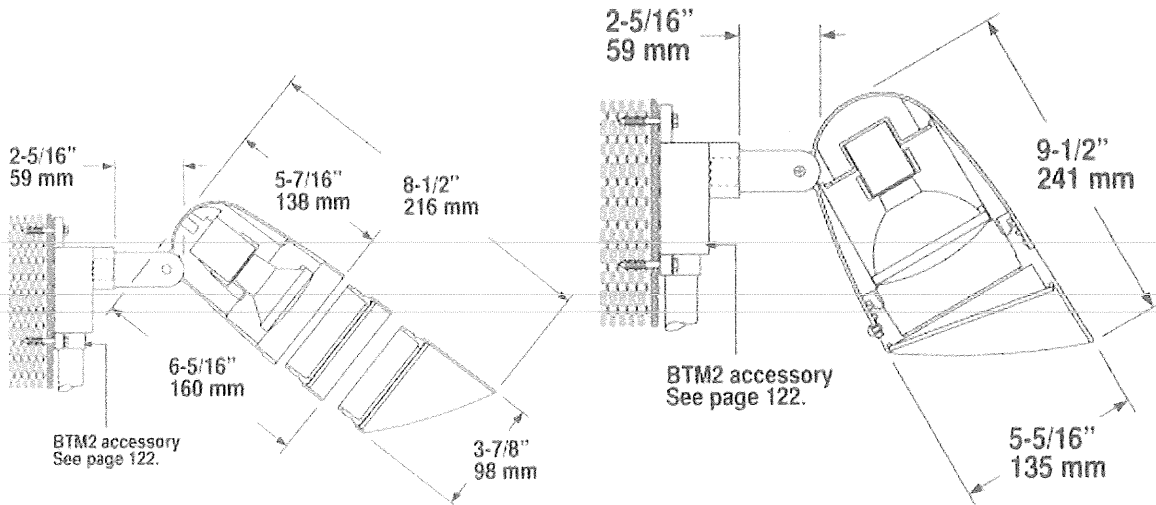
Print this Page

The TL Series, available in three sizes, offers a choice of light sources, power distribution systems and accessories to create impressive and effective landscape lighting designs. The rugged, heavy-duty construction of the TL Series ensures long-lasting, low maintenance operation.

TL5000 Specification Sheet

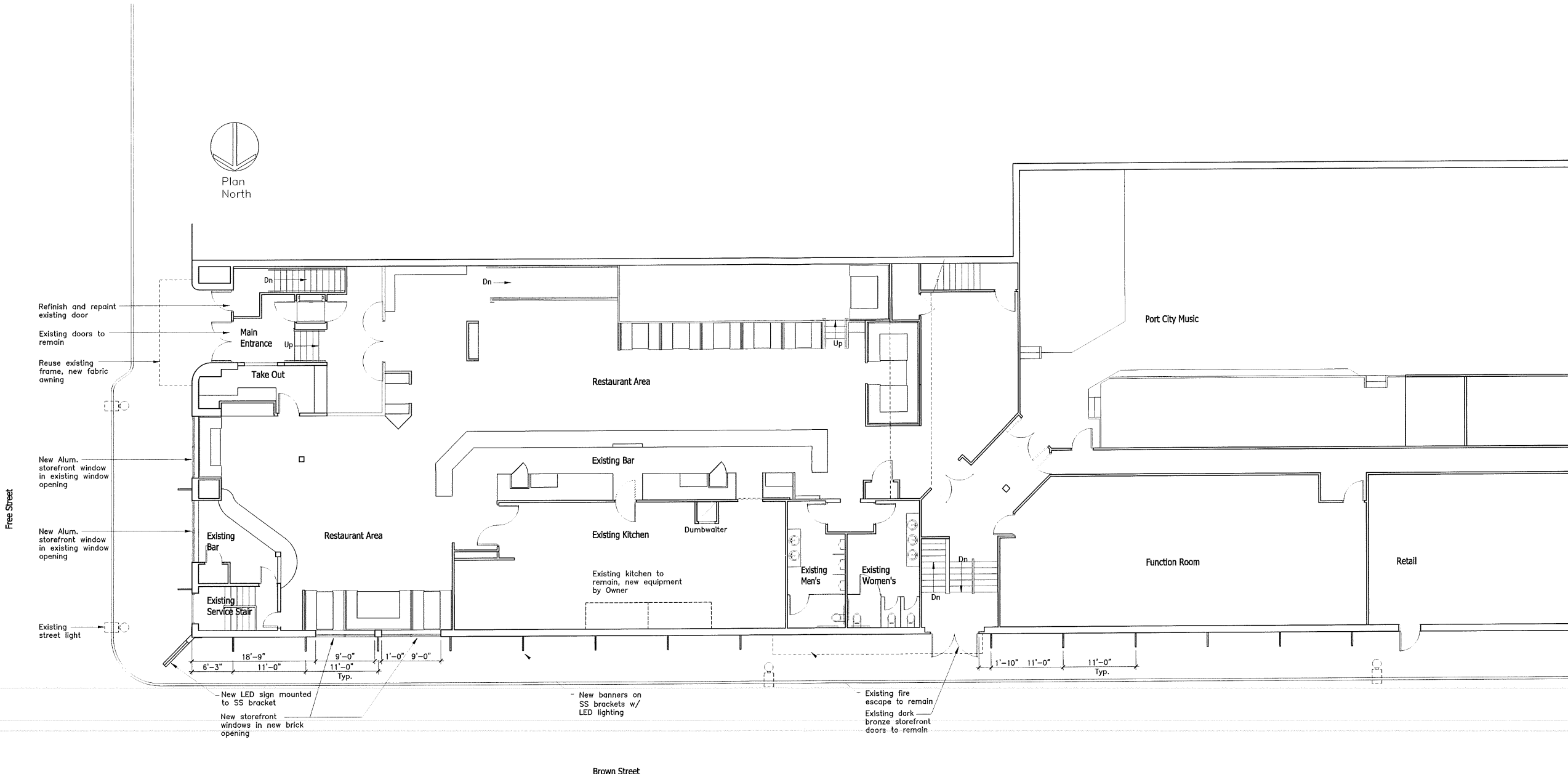
TL6000 Specification Sheet

TL7000 Specification Sheet





Binga's Wingas at the Stadium  
Free and Brown Street  
Portland, Maine

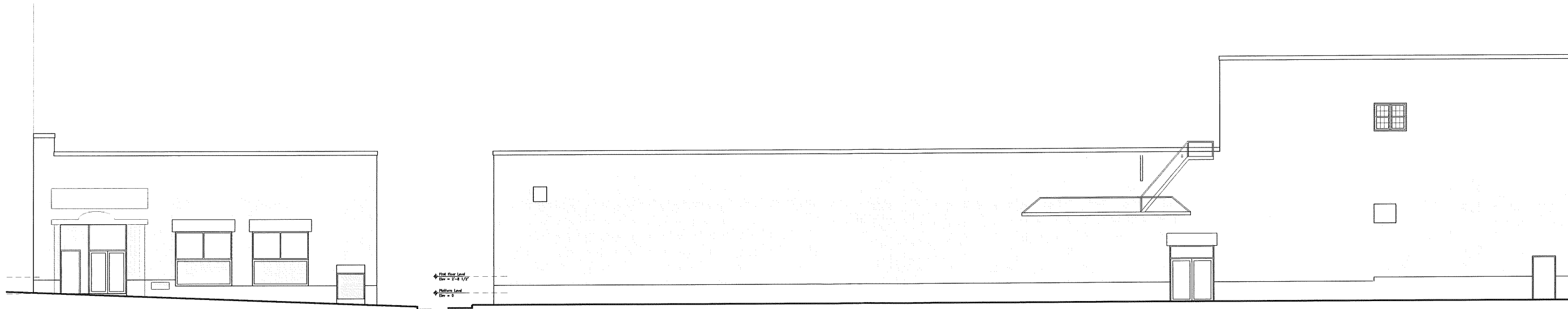


1 Proposed First Floor Plan  
Scale: 1/8" = 1'-0"

Job Number: 09.011  
Date: 03.Jun.09  
Scale: 1/8" = 1'-0"

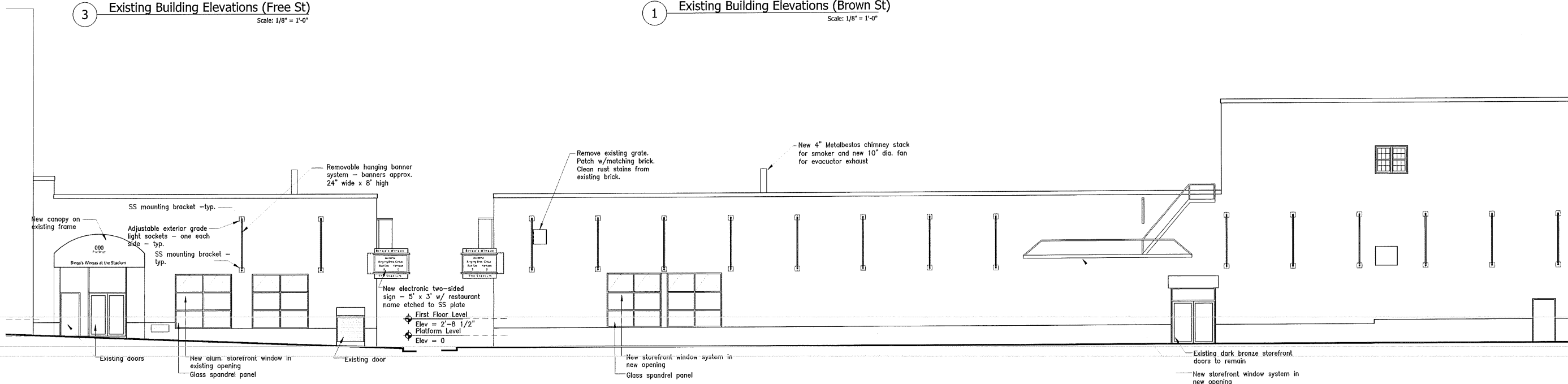
Drawing Title:  
Proposed First Floor Plan

A.1  
Historic  
Preservation



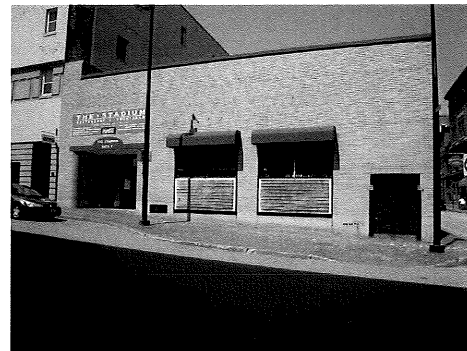
3 Existing Building Elevations (Free St)  
 Scale: 1/8" = 1'-0"

1 Existing Building Elevations (Brown St)  
 Scale: 1/8" = 1'-0"

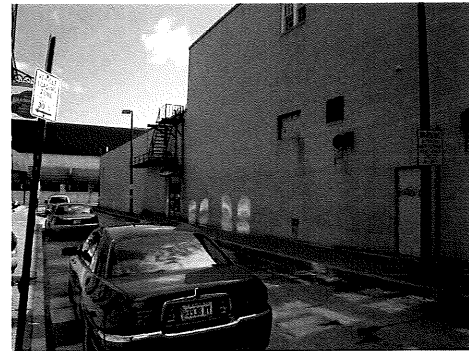


4 Proposed Building Elevations (Free St.)  
 Scale: 1/8" = 1'-0"

2 Proposed Building Elevations (Brown St.)  
 Scale: 1/8" = 1'-0"



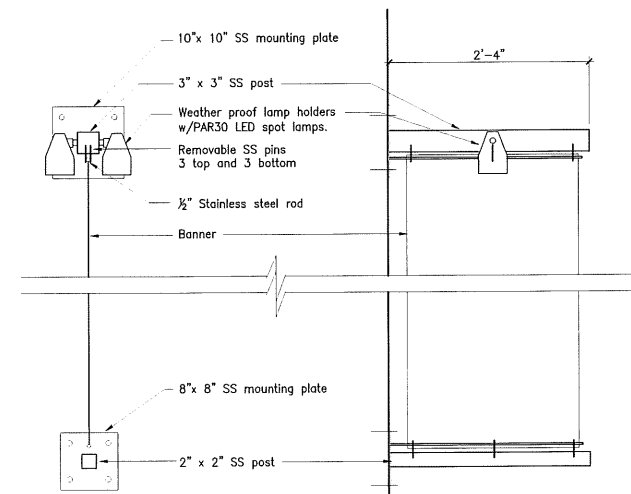
8 View from Free Street  
 NTS



7 View from Brown Street  
 NTS



6 View from Monument Square Parking Garage  
 NTS



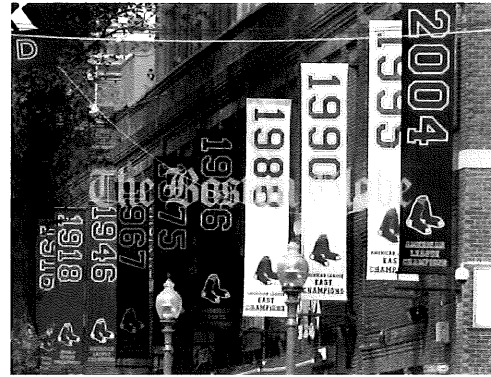
5 Proposed Banner Detail  
 Scale: 1" = 1'-0"

**Binga's Wings at the Stadium**  
 Free and Brown Street  
 Portland, Maine

Job Number: 09.011  
 Date: 03.Jun.09  
 Scale: As noted

Drawing Title:  
**Building Elevations and Banner Detail**

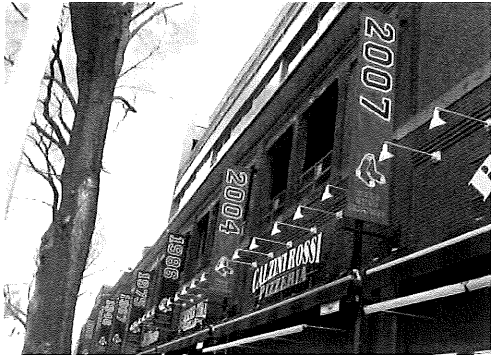
**A.2**  
 Historic Preservation



3 Inspirations  
Scale: N.T.S.



4 Inspirations  
Scale: N.T.S.



5 Inspirations  
Scale: N.T.S.

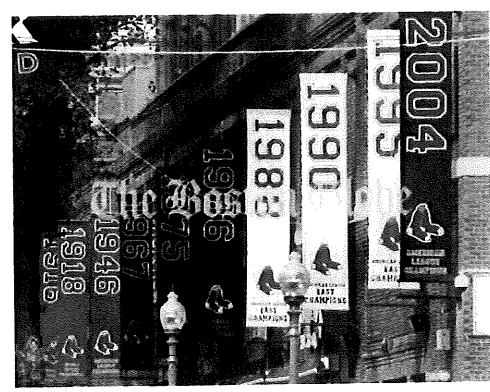


1 Existing Building  
Scale: N.T.S.



2 Proposed Changes  
Scale: N.T.S.

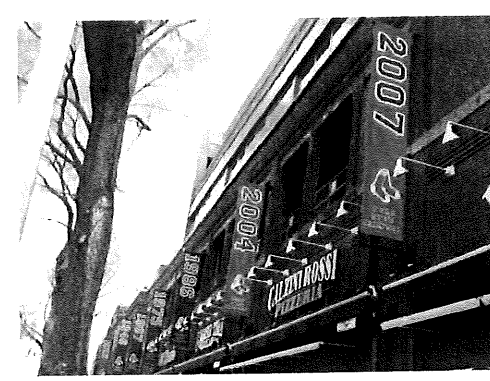




3 Inspirations  
Scale: N.T.S.



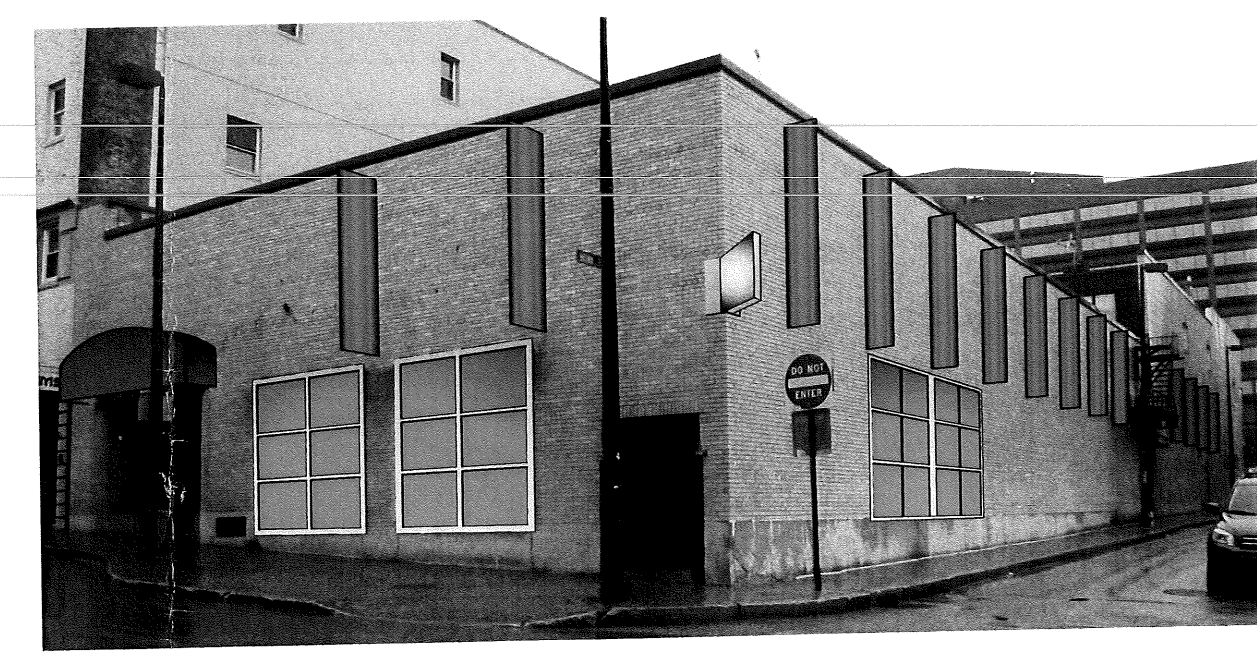
4 Inspirations  
Scale: N.T.S.



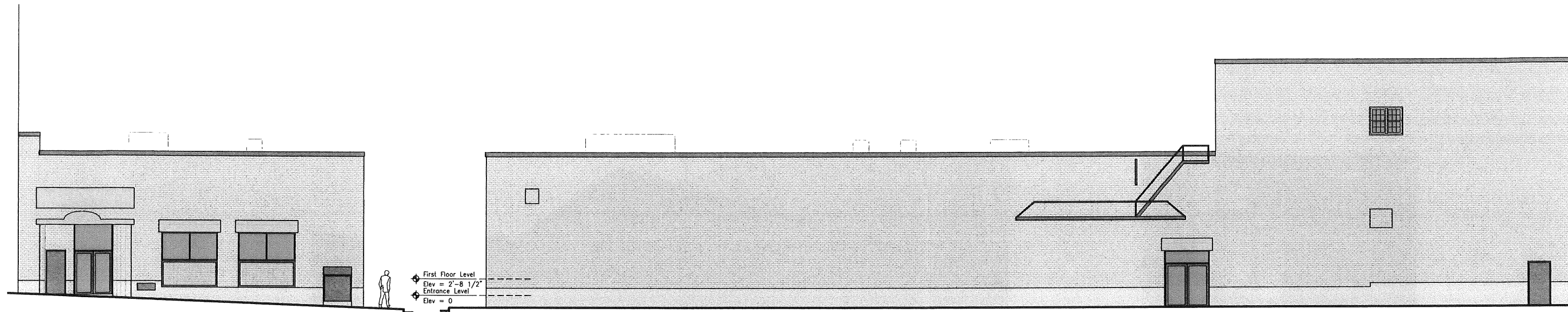
5 Inspirations  
Scale: N.T.S.



1 Existing Building  
Scale: N.T.S.

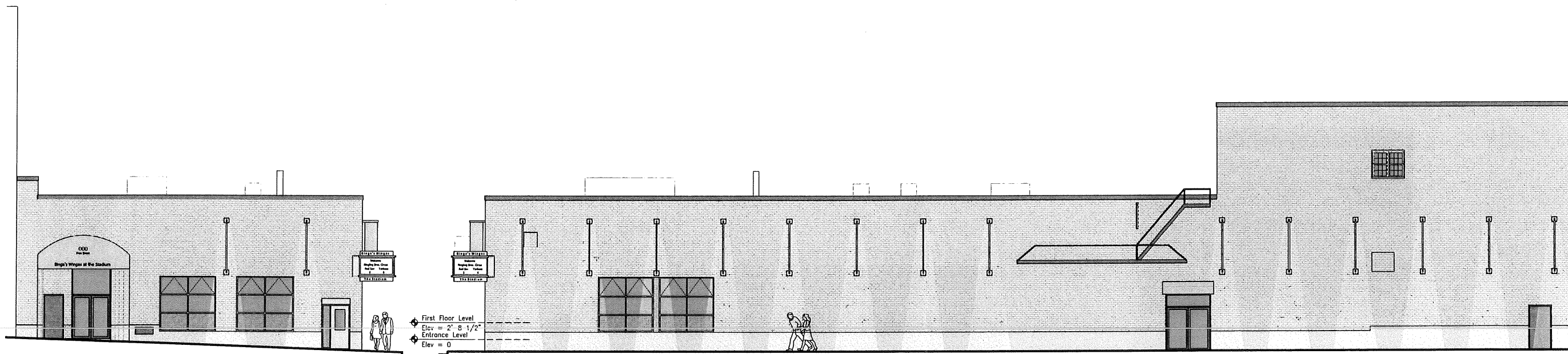


2 Proposed Changes  
Scale: N.T.S.




1 Existing Building Elevation (Brown St)  
Scale: 1/8" = 1'-0"

3 Existing Building Elevation (Free St)  
Scale: 1/8" = 1'-0"



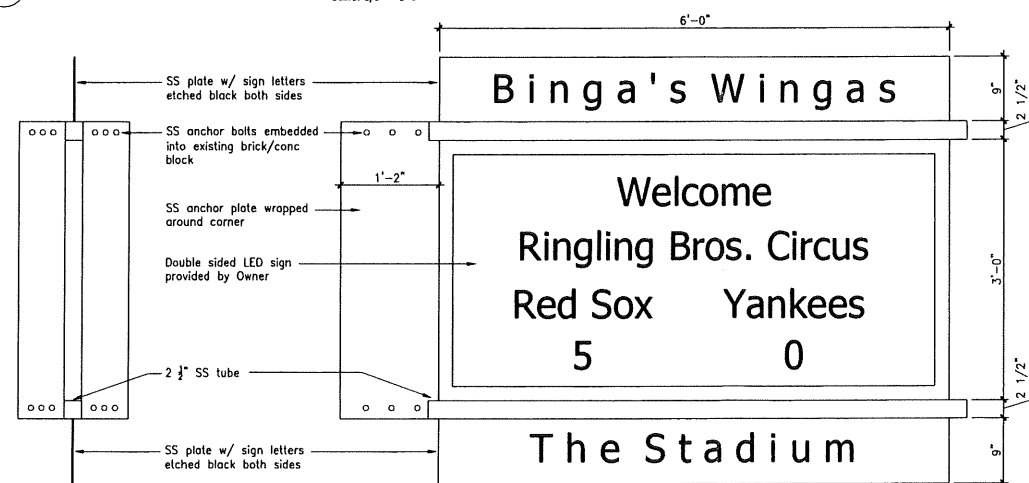
2 Proposed Building Elevation (Brown St.)  
Scale: 1/8" = 1'-0"

4 Proposed Building Elevation (Free St.)  
Scale: 1/8" = 1'-0"

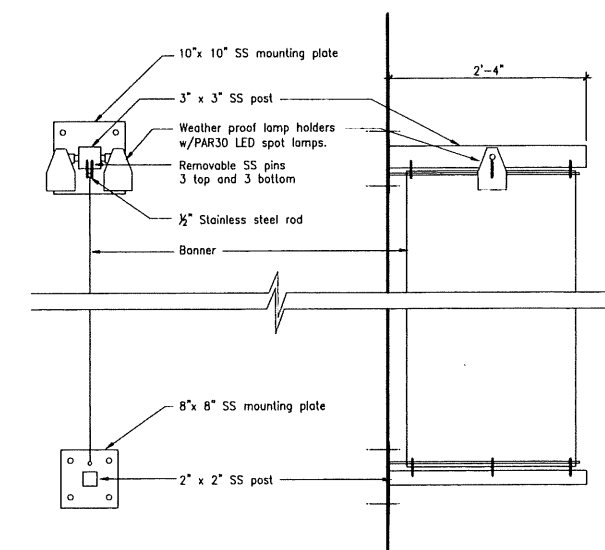

**Binga's Wingas at the Stadium**  
 Free and Brown Street  
 Portland, Maine



7 View from Free Street  
NTS



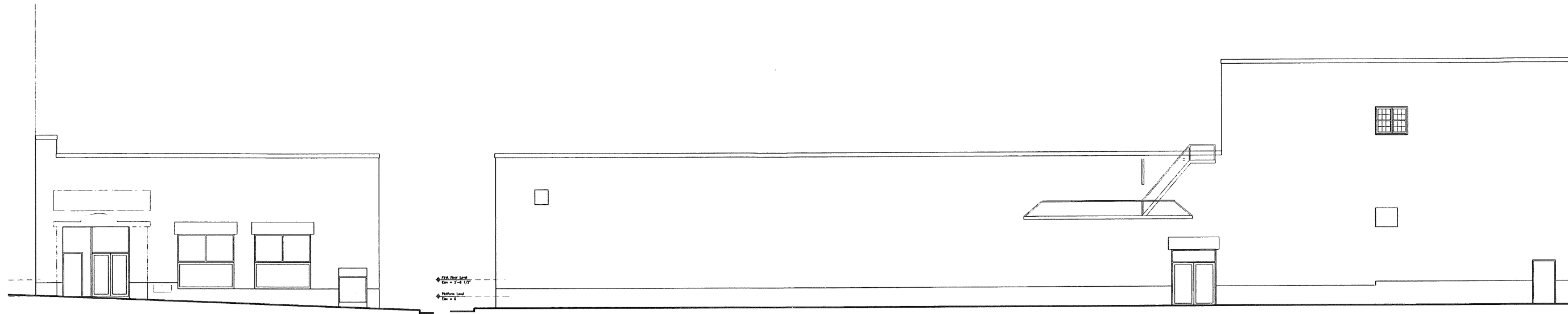
6 LED Sign Detail  
Scale: 1" = 1'-0"



5 Proposed Banner Detail  
Scale: 1" = 1'-0"

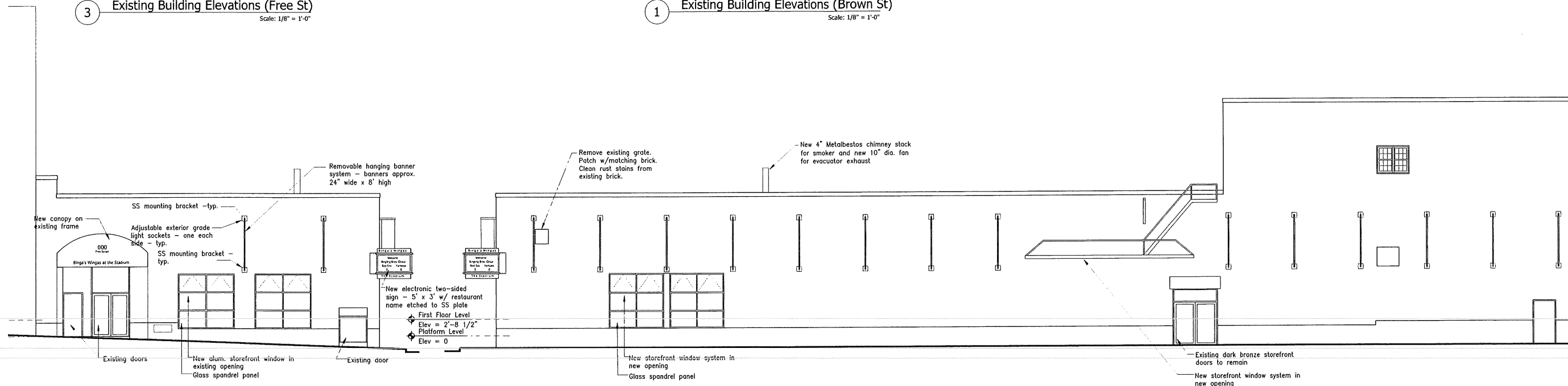
Job Number: 09.011  
Date: 03.Jun.09  
Scale: 1/8" = 1'-0"  
Drawing Title:  
**Building Elevations and Banner Detail**

**A.3**  
Historic Preservation



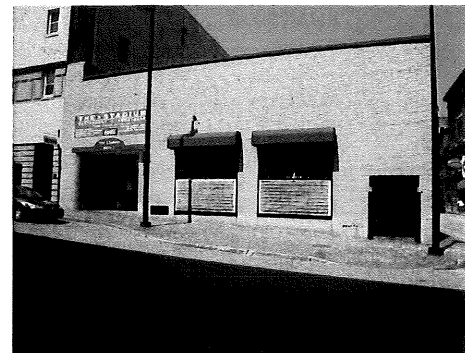
3 Existing Building Elevations (Free St.)  
Scale: 1/8" = 1'-0"

1 Existing Building Elevations (Brown St.)  
Scale: 1/8" = 1'-0"



4 Proposed Building Elevations (Free St.)  
Scale: 1/8" = 1'-0"

2 Proposed Building Elevations (Brown St.)  
Scale: 1/8" = 1'-0"



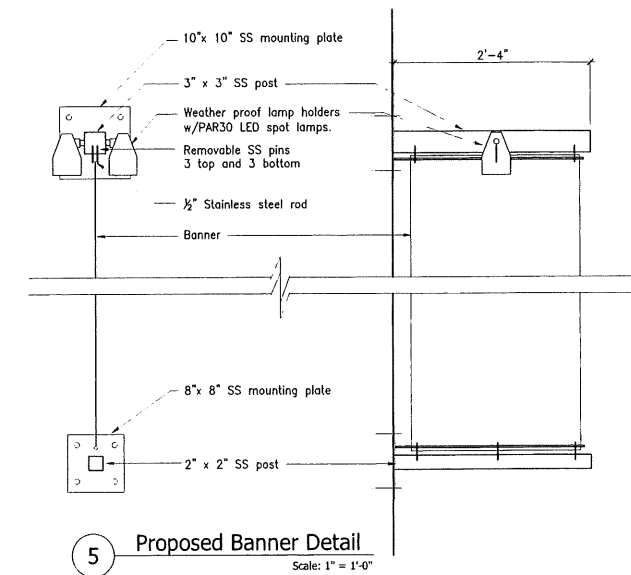
8 View from Free Street  
NTS



7 View from Brown Street  
NTS



6 View from Monument Square Parking Garage  
NTS



5 Proposed Banner Detail  
Scale: 1" = 1'-0"



ATT # 2


DayMatero

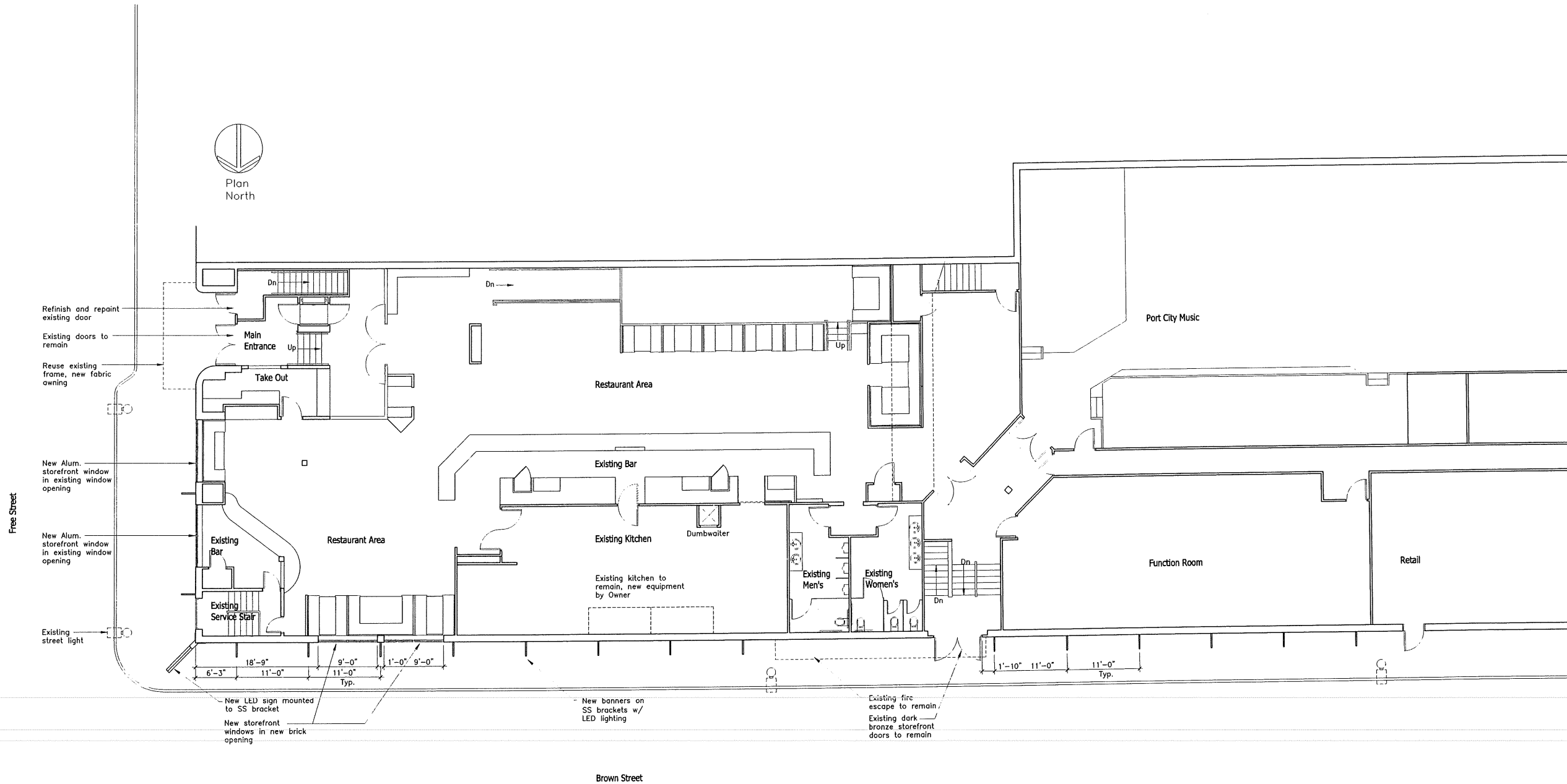
Architecture - Lighting Design

100 Front Street  
Top Floor  
Bath Maine US 04530  
207.671.6819  
info@daymatero.com

Consultants  
Food Service  
TJM Consulting  
Structural Engineering  
Casco Bay Engineering

Revisions

  
Binga's Wings at the Stadium  
Free and Brown Street  
Portland, Maine



1 Proposed First Floor Plan  
Scale: 1/8" = 1'-0"

Job Number: 09.011  
Date: 03.Jun.09  
Scale: 1/8" = 1'-0"

Drawing Title:  
Proposed First Floor Plan

A.1  
Historic  
Preservation

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