

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

Please Read  
 Application And  
 Notes, If Any,  
 Attached

BUILDING INSPECTION

PERMIT

Permit Number: 080954

PERMIT ISSUED

This is to certify that KAPLAN 504 LLC/TBDhas permission to Interior renovations to portion of Stadium to create separate Night Club / Concert HallAT 504 CONGRESS ST

L 037 H013001

OCT 3 2008

provided that the person or persons who apply for and accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procedure before this building or part thereof is started or service closed-in 24 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

## OTHER REQUIRED APPROVALS

Fire Dept. Greg Cross

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Jeanne Bouke* 10/3/08  
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

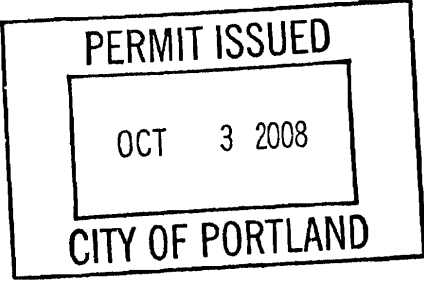
**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0954	Issue Date:	CBL: 037 H013001
-----------------------	-------------	---------------------

Location of Construction: 504 CONGRESS ST	Owner Name: KAPLAN 504 LLC	Owner Address: 49 OCEAN AVE	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Commercial - Night Club - "The Stadium"	Proposed Use: Commercial - Night Club / Concert Hall - Interior renovations to portion of Stadium to create separate Night Club / Concert Hall	Permit Fee: \$2,020.00	Cost of Work: \$200,000.00	CEO District: 1
Proposed Project Description: Interior renovations to portion of Stadium to create separate Night Club / Concert Hall		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: <i>A2</i> Type: <i>3A</i> <i>IBC-2003</i>	
		Signature: <i>Greg C...</i>	Signature: <i>JMB 10/3/08</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 08/01/2008	<b>Zoning Approval</b>
-----------------------------	---------------------------------	------------------------

<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <input type="checkbox"/> Denied Date: <i>8/12/08</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
			

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.


  X   Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

  X   Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.  
NOTE: There is a \$75.00 fee per inspection at this point, which includes health license inspection

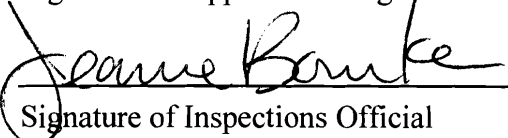
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

  
\_\_\_\_\_  
Signature of Applicant/Designee

10/3/08  
Date

  
\_\_\_\_\_  
Signature of Inspections Official

10/3/08  
Date

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0954	Date Applied For: 08/01/2008	CBL: 037 H013001
-----------------------	---------------------------------	---------------------

<b>Location of Construction:</b> 504 CONGRESS ST	<b>Owner Name:</b> KAPLAN 504 LLC	<b>Owner Address:</b> 49 OCEAN AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> TBD	<b>Contractor Address:</b>	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

<b>Proposed Use:</b> Commercial - Night Club / Concert Hall - Interior renovations to portion of Stadium to create separate Night Club / Concert Hall	<b>Proposed Project Description:</b> Interior renovations to portion of Stadium to create separate Night Club / Concert Hall
--	---

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 08/12/2008

**Note:****Ok to Issue:** 

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) This property is located within the Pedestrian Activities District (PAD) which requires the first floor use to be geared toward pedestrian interest and use. All existing windows display areas along the street shall be maintained and kept unblocked with displays of interest concerning the PAD use. No more than 50% of each window shall be blocked or closed in.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:**

**Note:** occupant load minus the mezzanine = 661**Ok to Issue:** 

- 1) THE MEZZANINE IS NOT APPROVED UNDER THIS PERMIT, SEPARATE REVIEW AND APPROVALS ARE REQUIRED
- 2) Approval of license is subject to health inspections per the Food Code.
- 3) New restaurant, lounge or bar must meet the requirements of the City and State Food Codes
- 4) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 5) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 6) Application approval based upon information provided by applicant, with revisions dated Oct. 3, 2008 Any deviation from approved plans requires separate review and approval prior to work.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Greg Cass      **Approval Date:** 08/14/2008

**Note:** occupant load = 660 + 18 employees + 37 office  
Total = 715**Ok to Issue:** 

- 1) All rooms shall have the occupant load posted
- 2) All construction shall comply with NFPA 101
- 3) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 4) A single source supplier should be used for all through penetrations.
- 5) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 6) Emergency lights and exit signs are required
- 7) Emergency lights are required to be tested at the electrical panel.
- 8) Walls in structure are to be labeled according to fire resistance rating.  
IE;      1 hr. / 2 hr. / smokeproof.

<b>Location of Construction:</b> 504 CONGRESS ST	<b>Owner Name:</b> KAPLAN 504 LLC	<b>Owner Address:</b> 49 OCEAN AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> TBD	<b>Contractor Address:</b>	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

- 9) Fire extinguishers required. Installation per NFPA 10
- 10 Application requires State Fire Marshal approval.
- 11 Fire alarm system requires a Masterbox connection per city ordinance.
- 12 All means of egress to remain accessible at all times

**Comments:**

9/5/2008-jmb: Left voicemail with Mark S. Architect for more details and spoke with Robert E. About the same. Need structural details on Mezz construction, area calcs of mezz with headroom section, fse equipment and layout design. He will submit next week. I agreed to allow minor clean up and preparation of space for work Robert said the only asbestos he knows of is the 2nd floor office floor, which will be encapsulated.

9/5/2008-jmb: Mark S. Came in and will resubmit details. Structural engineer is working on plans

9/22/2008-jmb: Mark S. Came in to say the plans have changed, the budget will not allow the mezzanine at this time, he will revise the plans

9/25/2008-jmb: Mark S. Submitted the revised plans

10/2/2008-jmb: Spoke to Mark S. For details on new opening at the rated hallway to the raised seating platform. Confirmed the bar # 1 platform is for performance, no guards required. Need to add a handwash at bar 1 due to distance. Need floor drain at beer cooler, ice machine and at all bars. Since the basement bathroom is having just cosmetic and fixture work, so no need to add floor drain unless floor is opened up. Mark is looking to reclassify the construction type as it has been 2C noncombustible in past permits, but upon his investigation it shows wood framing has been introduced. We will meet 10/3

10/3/2008-jmb: Mark S. Submitted revised plans and we determined that per Table 503 the building can be reclassified as 3B type construction to allow for wood framing. Ok to issue permit



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <b>504 CONGRESS ST</b>		
Total Square Footage of Proposed Structure/Area <b>8,712 / 5265 FIRST FL</b>		Square Footage of Lot <b>14,834</b>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  <b>037 H01 3001</b>	Applicant *must be owner, Lessee or Buyer* Name <b>SHADE TREE GROUP ROBERT EVON</b> Address <b>11 LEWIS ST</b> City, State & Zip <b>PORTLAND ME 04102</b>	Telephone: <b>207-252-8594</b>
Lessee/DBA (If Applicable) <b>ROBERT EVON dba PORT CITY MUSIC HALL</b>	Owner (if different from Applicant) Name <b>KAPLAN 504 LLC</b> Address <b>49 OCEAN AVE</b> City, State & Zip <b>PORTLAND ME 04103</b>	Cost Of Work: \$ <b>200,000.00</b> C of O Fee: \$ <del>200.00</del> Total Fee: \$ <b>2020.00</b>
Current legal use (i.e. single family) <b>NIGHTCLUB / Stadium</b> If vacant, what was the previous use? <b>NIGHTCLUB</b> Proposed Specific use: <b>NIGHTCLUB</b> Is property part of a subdivision? <b>NO</b> If yes, please name _____ Project description: <b>NIGHTCLUB RENOVATION</b> <b>Portion of Stadium - Renovate to concert hall / night club -</b>	<b>Owes 75 C of O</b>	
Contractor's name: <b>TBA</b>		
Address: _____		
City, State & Zip: _____ Telephone: _____		
Who should we contact when the permit is ready: <b>ROBERT EVON</b> Telephone: <b>207-252-8594</b>		
Mailing address: <b>11 LEWIS STREET PORTLAND ME 04102</b>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: *Robert Evon* Date: 7/30/08 AUG 1 2008

This is not a permit; you may not commence ANY work until the permit is issued



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 504 Congress St

CBL 037 H013001

Issued to Kaplan 504 Llc/n/a SELF

Date of Issue 10/16/2002

**This is to certify** that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 02-0980, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

1st floor left side and basement left side

APPROVED OCCUPANCY

Commercial- Dance Hall

**Limiting Conditions:**

None

This certificate supersedes  
certificate issued

Approved:

10/16/02  
(Date)

James M. Mackley  
Inspector

10/16/02  
Inspector of Buildings

10/16/02  
HENNY

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



# Certificate of Design Application

Designer: ALPHA architects  
 Date: August 4, 2008  
 Name: PORT CITY MUSIC HALL  
 Address of Construction: 504 CONGRESS ST PORTLAND ME 04101

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 IBC Use Group Classification (s) 3B NS 10/3/08  
~~BA~~ 2,0,0

Kind of Construction RENOVATION OF EXISTING NIGHTCLUB

Do the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES

Is Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) YES

Does Structure have a fire alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO

### Structural Design Calculations

\_\_\_\_\_ Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

\_\_\_\_\_ Uniformly distributed floor live loads (7603.11, 1807)

\_\_\_\_\_ Floor Area Use

\_\_\_\_\_ Loads Shown

Floor Area Use	Loads Shown

### Design Loads (1603.1.4, 1609)

\_\_\_\_\_ Design option utilized (1609.1.1, 1609.6)

\_\_\_\_\_ Basic wind speed (1809.3)

\_\_\_\_\_ Building category and wind importance Factor,  $I_w$   
table 1604.5, 1609.5)

\_\_\_\_\_ Wind exposure category (1609.4)

\_\_\_\_\_ Internal pressure coefficient (ASCE 7)

\_\_\_\_\_ Component and cladding pressures (1609.1.1, 1609.6.2.2)

\_\_\_\_\_ Main force wind pressures (7603.1.1, 1609.6.2.1)

### Seismic design data (1603.1.5, 1614-1623)

\_\_\_\_\_ Design option utilized (1614.1)

\_\_\_\_\_ Seismic use group ("Category")

\_\_\_\_\_ Spectral response coefficients,  $S_D$  &  $S_I$  (1615.1)

\_\_\_\_\_ Site class (1615.1.5)

\_\_\_\_\_ Live load reduction

\_\_\_\_\_ Roof live loads (1603.1.2, 1607.11)

\_\_\_\_\_ Roof snow loads (1603.7.3, 1608)

\_\_\_\_\_ Ground snow load,  $P_g$  (1608.2)

\_\_\_\_\_ If  $P_g > 10$  psf, flat-roof snow load  $P_f$

\_\_\_\_\_ If  $P_g > 10$  psf, snow exposure factor,  $C_e$

\_\_\_\_\_ If  $P_g > 10$  psf, snow load importance factor,  $I_s$

\_\_\_\_\_ Roof thermal factor,  $C_t$  (1608.4)

\_\_\_\_\_ Sloped roof snowload,  $P_s$  (1608.4)

\_\_\_\_\_ Seismic design category (1616.3)

\_\_\_\_\_ Basic seismic force resisting system (1617.6.2)

\_\_\_\_\_ Response modification coefficient,  $R$ , and  
deflection amplification factor  $C_d$  (1617.6.2)

\_\_\_\_\_ Analysis procedure (1616.6, 1617.5)

\_\_\_\_\_ Design base shear (1617.4, 1617.5.1)

### Flood loads (1803.1.6, 1612)

\_\_\_\_\_ Flood Hazard area (1612.3)

\_\_\_\_\_ Elevation of structure

### Other loads

\_\_\_\_\_ Concentrated loads (1607.4)

\_\_\_\_\_ Partition loads (1607.5)

\_\_\_\_\_ Misc. loads (Table 1607.8, 1607.6.1, 1607.7,  
1607.12, 1607.13, 1610, 1611, 2404)

OCT 3 2008





# Certificate of Design Application

Designer: ALPHA architects  
 Date: August 4, 2008  
 Name: PORT CITY MUSIC HALL  
 Address of Construction: 504 CONGRESS ST PORTLAND ME 04101

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 IBC Use Group Classification (s) A-2  
 Type of Construction RENOVATION OF EXISTING NIGHTCLUB 3A  
 Does the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES  
 Is Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) YES  
 Does the Structure have a fire alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO

### Structural Design Calculations

NA Submitted for all structural members (106.1 - 106.11)

#### Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Room Area Use	Loads Shown

#### Wind loads (1603.1.4, 1609)

Design option utilized (1609.1.1, 1609.6)  
 Basic wind speed (1809.3)  
 Building category and wind importance Factor,  $I_w$  (table 1604.5, 1609.5)  
 Wind exposure category (1609.4)  
 Internal pressure coefficient (ASCE 7)  
 Component and cladding pressures (1609.1.1, 1609.6.2.2)  
 Main force wind pressures (7603.1.1, 1609.6.2.1)

#### Seismic design data (1603.1.5, 1614-1623)

Design option utilized (1614.1)  
 Seismic use group ("Category")  
 Spectral response coefficients,  $S_D$  &  $S_{D1}$  (1615.1)  
 Site class (1615.1.5)

NA Live load reduction  
 Roof live loads (1603.1.2, 1607.11)  
 Roof snow loads (1603.7.3, 1608)  
 Ground snow load,  $P_g$  (1608.2)  
 If  $P_g > 10$  psf, flat-roof snow load  $P_f$   
 If  $P_g > 10$  psf, snow exposure factor,  $C_E$   
 If  $P_g > 10$  psf, snow load importance factor,  $I_s$   
 Roof thermal factor,  $C_T$  (1608.4)  
 Sloped roof snowload,  $P_s$  (1608.4)  
 Seismic design category (1616.3)  
 Basic seismic force resisting system (1617.6.2)  
 Response modification coefficient,  $R$ , and  
 deflection amplification factor,  $C_d$  (1617.6.2)  
 Analysis procedure (1616.6, 1617.5)  
 Design base shear (1617.4, 1617.5.1)  
**Flood loads (1803.1.6, 1612)**  
 Flood Hazard area (1612.3)  
 Elevation of structure  
**Other loads**  
 Concentrated loads (1607.4)  
 Partition loads (1607.5)  
 Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



## Certificate of Design

Date: August 4, 2008

From: ALPHA architects

These plans and / or specifications covering construction work on:

Nightclub to Night club renovation

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



(SEAL)

Signature: Mark Geigelmann

Title: Principal

Firm: ALPHA architects

Address: 17 Chestnut St

Suite 201 Portland 04101

Phone: 207 761-9500

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



## Accessibility Building Code Certificate

Designer: ALPHA architects

Address of Project: 504 CONGRESS ST

Nature of Project: Nightclub → Nightclub renovation

\_\_\_\_\_

\_\_\_\_\_

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



(SEAL)

Signature: Mark Gengel

Title: Principal

Firm: ALPHA architects

Address: 17 Chestnut St  
Portland ME 04101

Phone: 207-761-9500

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



## Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

### One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules **ON PLANS**
- Complete electrical and plumbing layout. **NOT REQ'D**
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review **NOT REQ'D**
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003 **NOT REQ'D**
- Proof of ownership is required if it is inconsistent with the assessors records. **NOT REQ'D**
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Page 1

**Fire Department requirements.**

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure. **SPRINKLERED**
- Separate plans shall be submitted for
  - a) Suppression system
  - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
  - a) Fire resistance ratings of all means of egress
  - b) Travel distance from most remote point to exit discharge
  - c) Location of any required fire extinguishers
  - d) Location of emergency lighting
  - e) Location of exit signs
  - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher. **NOT REQ'D**

ALPHA architects  
17 Chestnut St  
Portland ME 04101  
(on drawings)  
761-9500

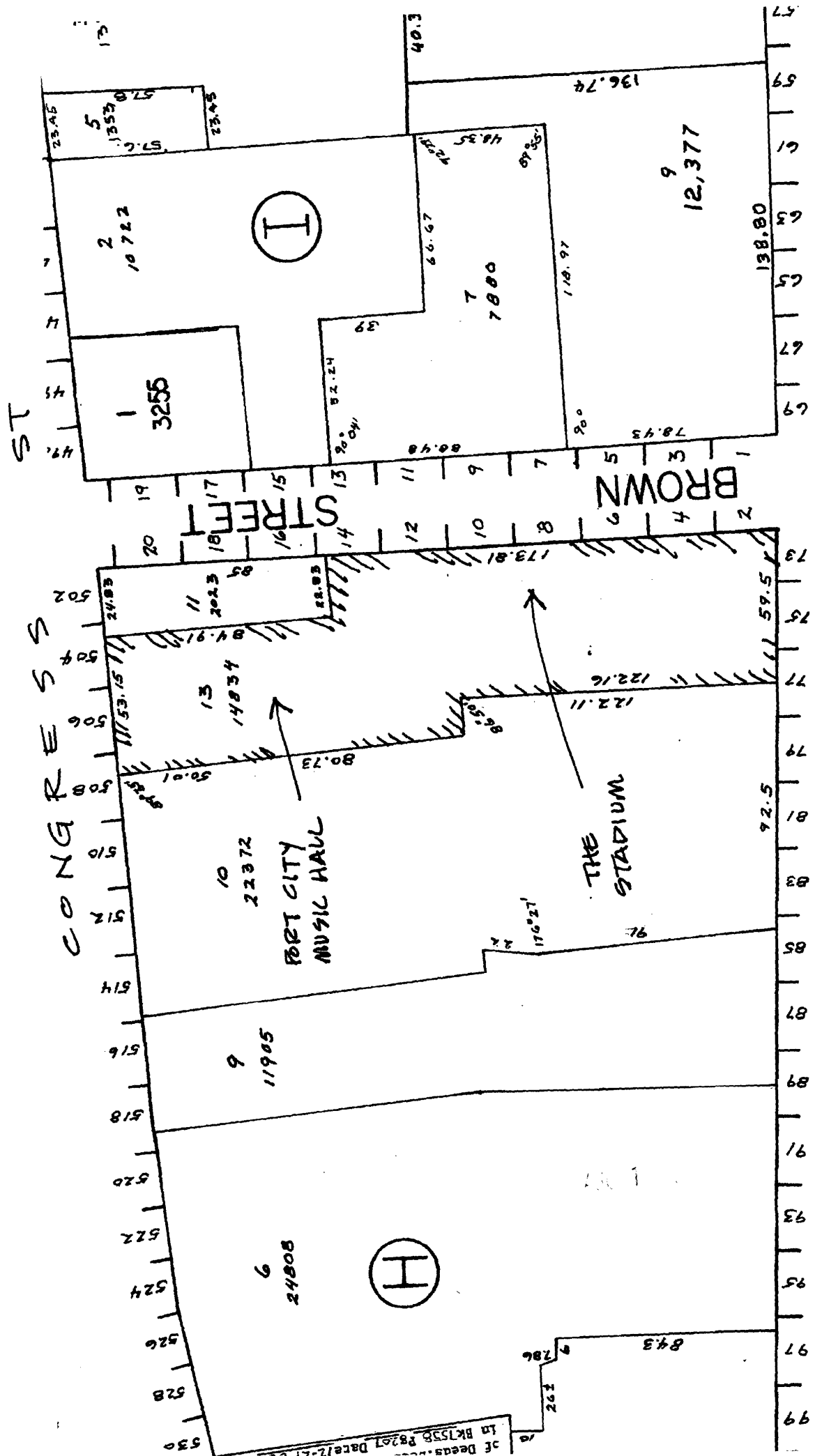
**For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.**

**Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

**Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost**

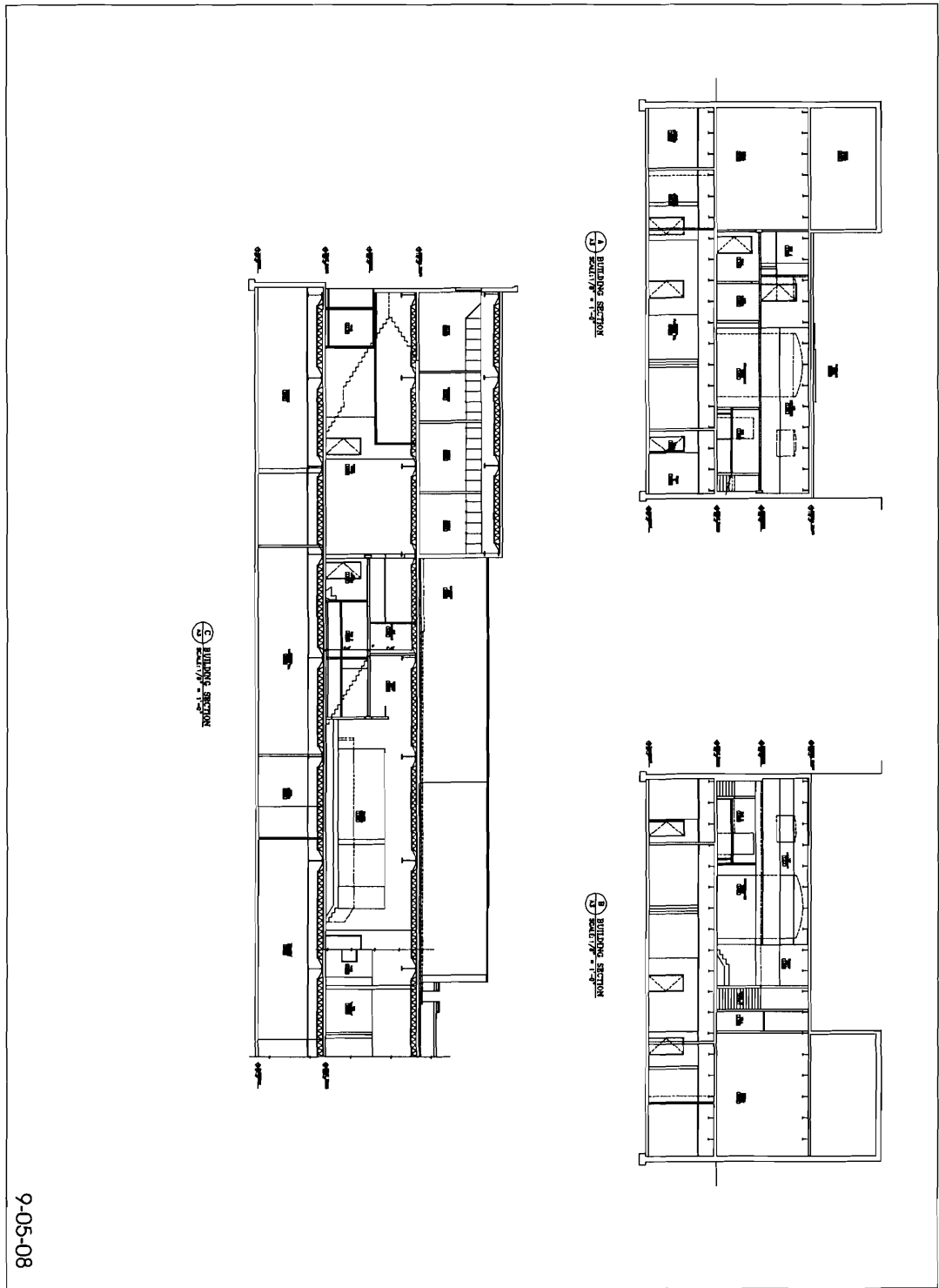
**This is not a Permit; you may not commence any work until the Permit is issued.**



FRIE ST

TAX MAP  
NO SCALE

of Deeds...  
In BK755B Project Date/2-6-12



9-05-08

**A-3**  
BUILDING SECTION

DATE	DESCRIPTION
08-10-04	ISSUED FOR PERMITS
08-10-04	ISSUED FOR PERMITS
08-10-04	ISSUED FOR PERMITS
08-10-04	ISSUED FOR PERMITS
08-10-04	ISSUED FOR PERMITS

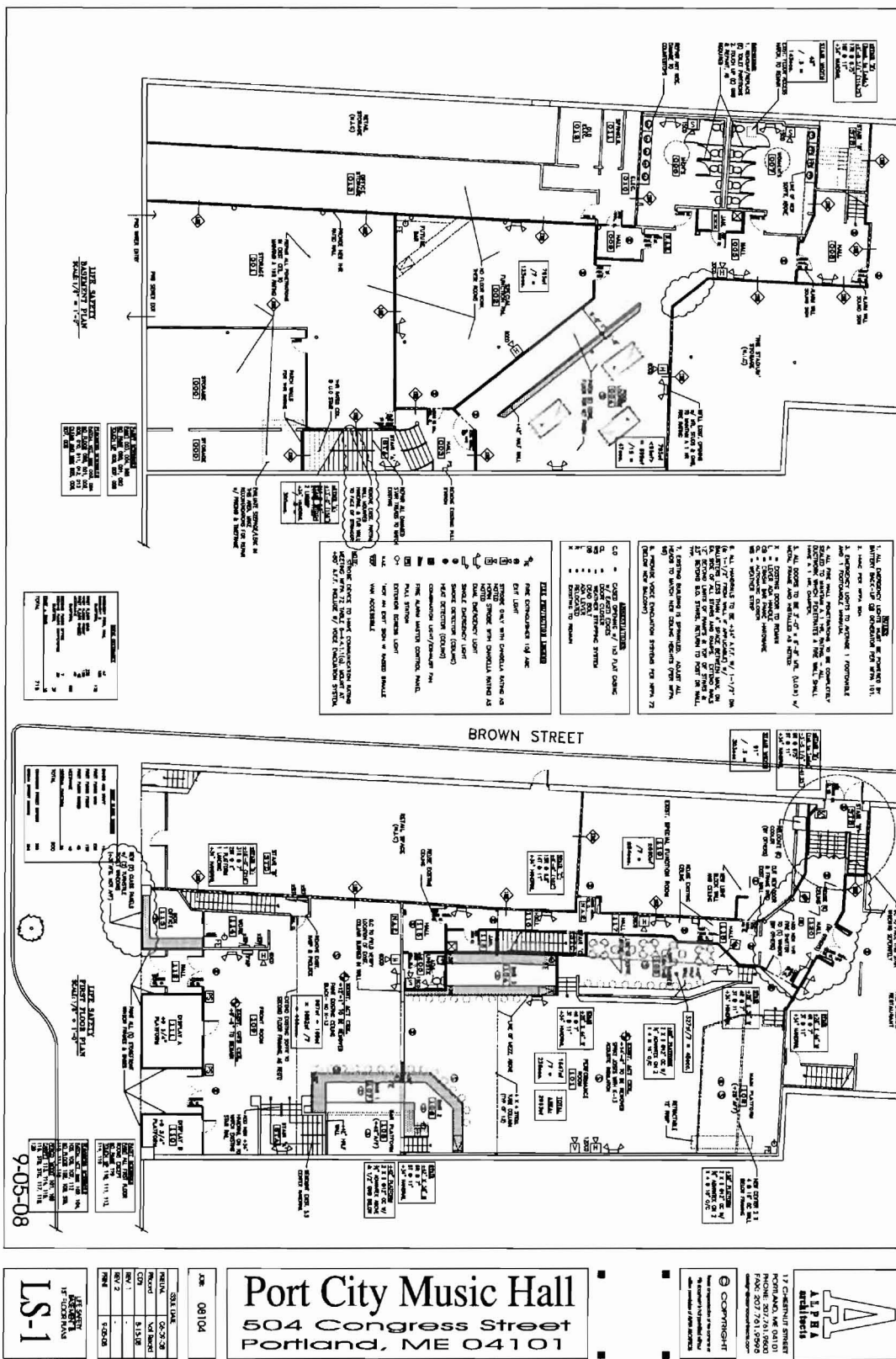
DATE: 08/10/04

**Port City Music Hall**  
504 Congress Street  
Portland, ME 04101

**ALPHA**  
architects

17 CHESTNUT STREET  
PORTLAND, ME 04101  
PHONE: 207/761-0000  
FAX: 207/761-0001  
WWW.ALPHAARCHITECTS.COM

**ALPHA**  
architects



**GENERAL NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES OF MAINE AND THE CITY OF PORTLAND.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
3. ALL MATERIALS SHALL BE APPROVED BY THE CITY ENGINEER BEFORE INSTALLATION.
4. ALL THE FULL REQUIREMENTS OF THE CITY OF PORTLAND SHALL BE MET.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
6. ALL MATERIALS SHALL BE APPROVED BY THE CITY ENGINEER BEFORE INSTALLATION.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.

**FINISH SCHEDULE**

FINISH	LOCATION	DATE
PAINT	ALL INTERIORS	10/15/04
CEILING	ALL INTERIORS	10/15/04
FLOOR	ALL INTERIORS	10/15/04
WALL	ALL INTERIORS	10/15/04
DOOR	ALL INTERIORS	10/15/04
WINDOW	ALL INTERIORS	10/15/04
MECHANICAL	ALL INTERIORS	10/15/04
ELECTRICAL	ALL INTERIORS	10/15/04
PLUMBING	ALL INTERIORS	10/15/04
TELEPHONE	ALL INTERIORS	10/15/04
TV	ALL INTERIORS	10/15/04
COMPUTER	ALL INTERIORS	10/15/04
DATA	ALL INTERIORS	10/15/04

**CONSTRUCTION DETAILS**

1. ALL INTERIORS TO BE 2" X 4" STUDS @ 16" O.C.
2. ALL INTERIORS TO BE 2" X 6" JOISTS @ 24" O.C.
3. ALL INTERIORS TO BE 1/2" GYPSUM BOARD.
4. ALL INTERIORS TO BE 1/2" GYPSUM BOARD.
5. ALL INTERIORS TO BE 1/2" GYPSUM BOARD.
6. ALL INTERIORS TO BE 1/2" GYPSUM BOARD.
7. ALL INTERIORS TO BE 1/2" GYPSUM BOARD.
8. ALL INTERIORS TO BE 1/2" GYPSUM BOARD.
9. ALL INTERIORS TO BE 1/2" GYPSUM BOARD.
10. ALL INTERIORS TO BE 1/2" GYPSUM BOARD.

**CONSTRUCTION DETAILS**

1. ALL INTERIORS TO BE 2" X 4" STUDS @ 16" O.C.
2. ALL INTERIORS TO BE 2" X 6" JOISTS @ 24" O.C.
3. ALL INTERIORS TO BE 1/2" GYPSUM BOARD.
4. ALL INTERIORS TO BE 1/2" GYPSUM BOARD.
5. ALL INTERIORS TO BE 1/2" GYPSUM BOARD.
6. ALL INTERIORS TO BE 1/2" GYPSUM BOARD.
7. ALL INTERIORS TO BE 1/2" GYPSUM BOARD.
8. ALL INTERIORS TO BE 1/2" GYPSUM BOARD.
9. ALL INTERIORS TO BE 1/2" GYPSUM BOARD.
10. ALL INTERIORS TO BE 1/2" GYPSUM BOARD.

**REVISIONS**

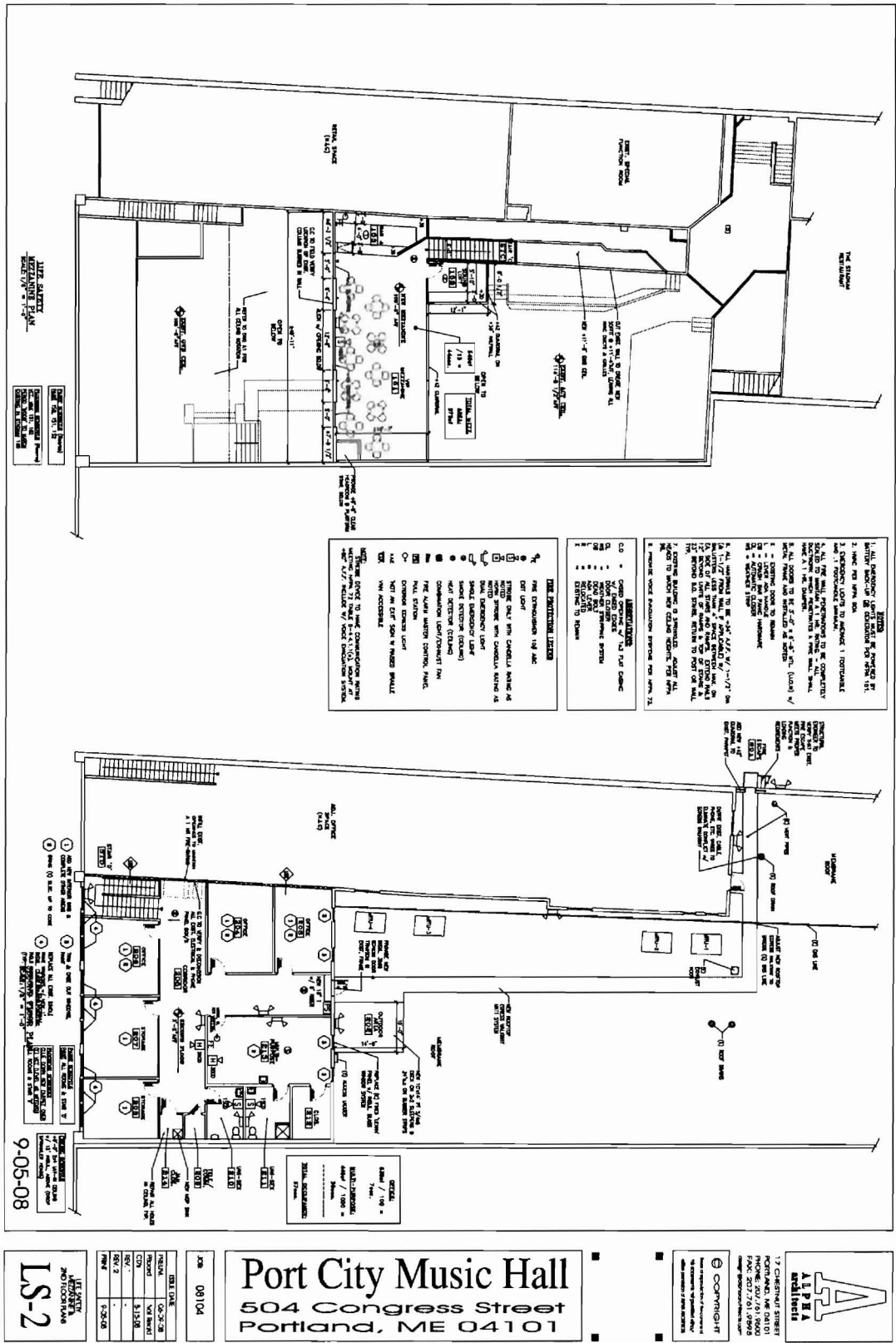
NO.	DATE	DESCRIPTION
1	08-10-04	ISSUED FOR PERMIT
2	08-10-04	ISSUED FOR PERMIT
3	08-10-04	ISSUED FOR PERMIT
4	08-10-04	ISSUED FOR PERMIT

**Port City Music Hall**  
 504 Congress Street  
 Portland, ME 04101

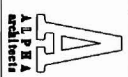
**ALPHA Architects**  
 177 CHESTNUT STREET  
 PORTLAND, ME 04101  
 PHONE: 207.761.0900  
 FAX: 207.761.0900  
 WWW: WWW.ALPHAARCHITECTS.COM

**LS-1**  
 9-05-08





**Port City Music Hall**  
 504 Congress Street  
 Portland, ME 04101

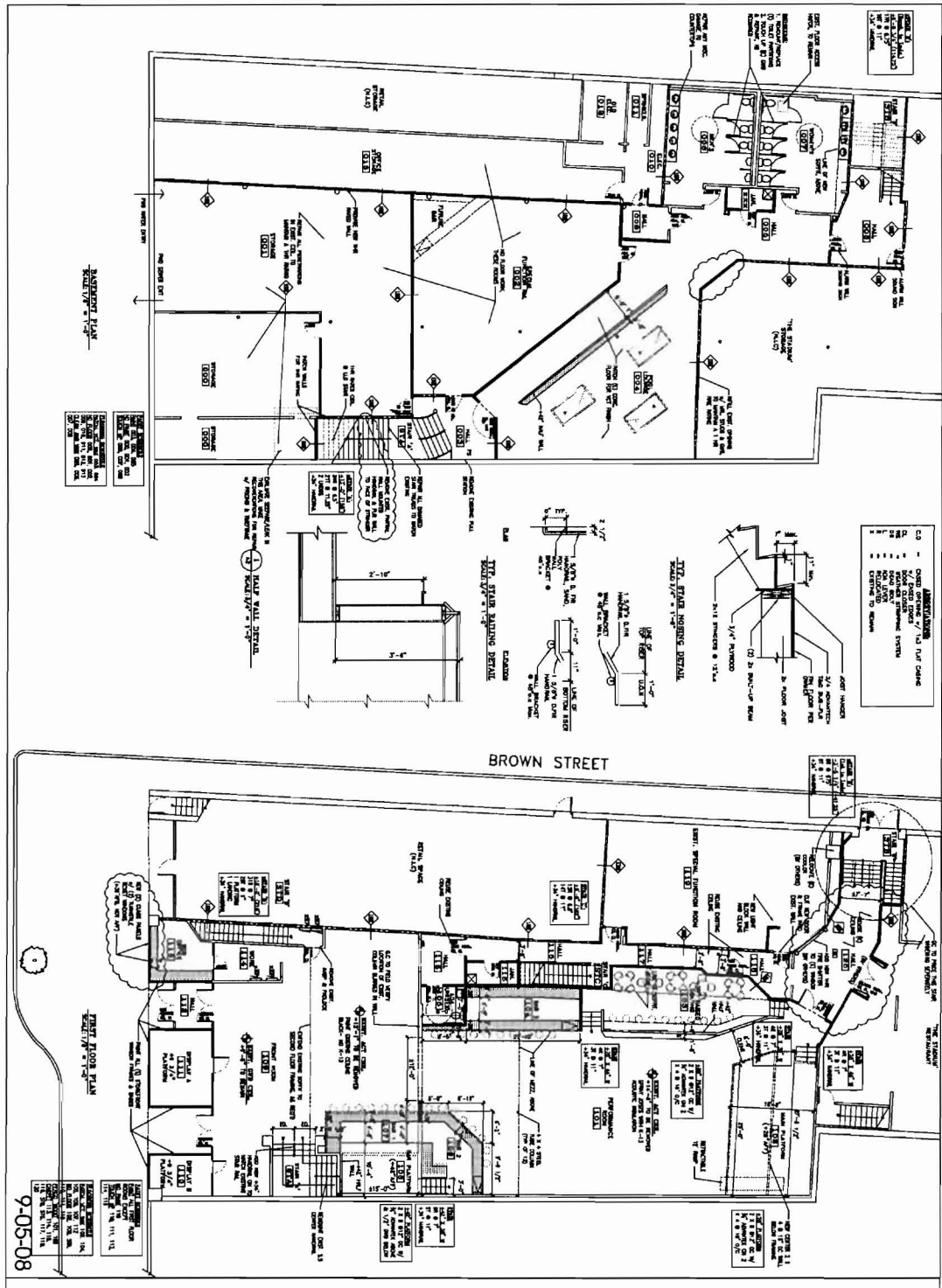


A.P.R.A. Architects  
 177 CONVENT STREET  
 PORTLAND, ME 04101  
 PHONE: 207/761-5600  
 FAX: 207/761-5999  
 WWW: APRAA.COM

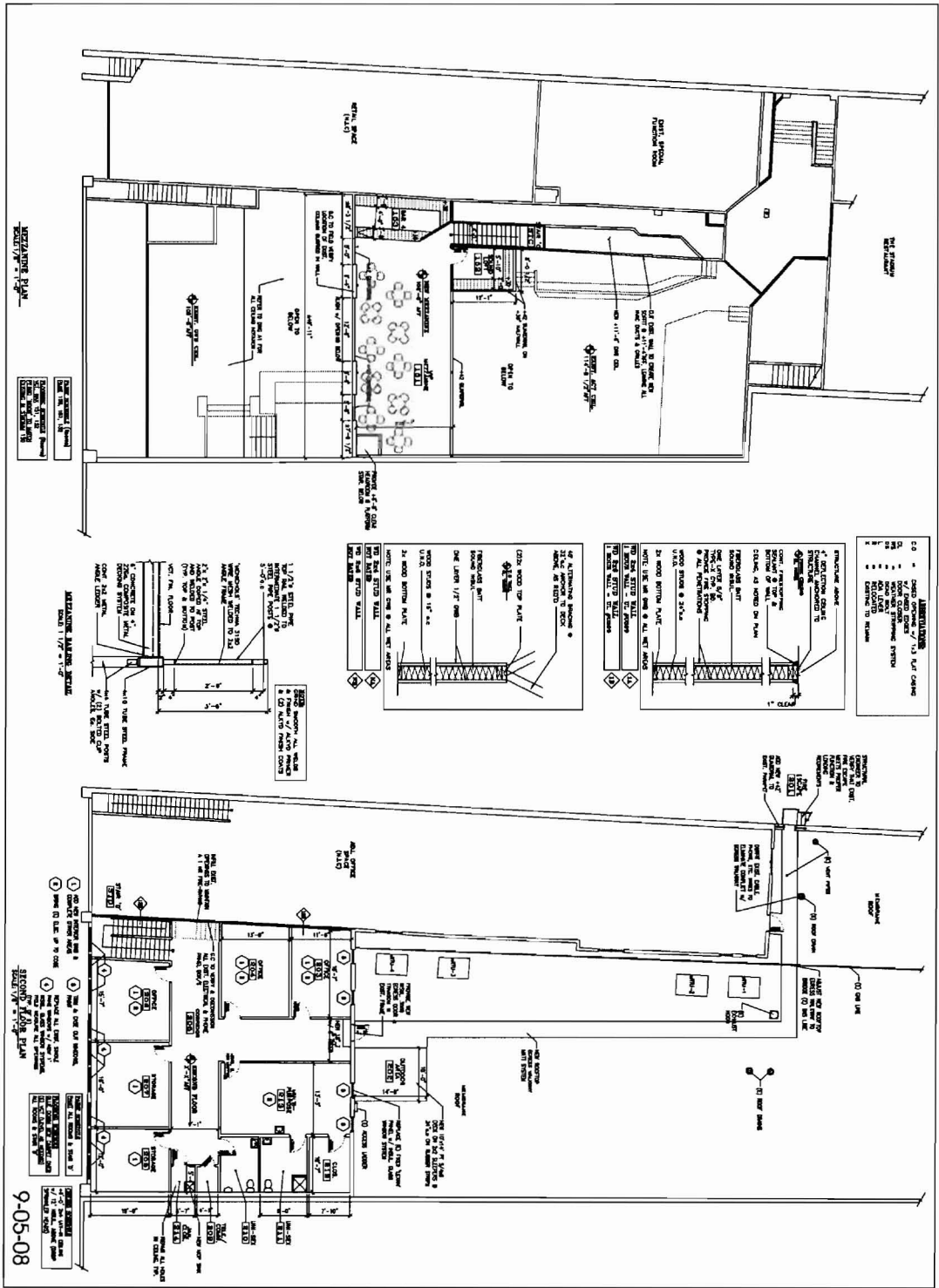
**© COPYRIGHT**  
 All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect.

JOB	08104
DATE	08-25-08
DESIGNER	JAN BOURKE
DATE	5-15-08
REV. 2	
DATE	5-26-08

JEANIE BOURKE  
 ARCHITECT  
 260 TUCKERMAN  
 PORTLAND, ME 04101  
 9-05-08



<b>A-1</b> MAINTENANCE PLAN 9-05-08	JOB NO. 08104	<b>Port City Music Hall</b> 504 Congress Street Portland, ME 04101	© COPYRIGHT 17 CHRISTOPHER SMITH PORTLAND, ME 04101 PHONE: 207.741.1500 FAX: 207.741.1500 WWW: WWW.CSMITH.COM 17 CHRISTOPHER SMITH ARCHITECTS 17 CHRISTOPHER SMITH ARCHITECTS 17 CHRISTOPHER SMITH ARCHITECTS
	DATE: 09-29-08		
	DRAWN BY: J. BURKE		
	CHECKED BY: J. BURKE		



**PORT CITY MUSIC HALL**  
504 Congress Street  
Portland, ME 04101

**ALPHA**  
architects

17 CHESTNUT STREET  
PORTLAND, ME 04101  
PHONE: 207/751-1000  
FAX: 207/751-1001  
WWW.ALPHAARCHITECTS.COM

**COMRIGHT**  
This is a reproduction of the original as prepared by the architect. It is not to be used for any other purpose without the written consent of the architect.

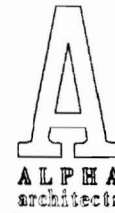
DATE	08/10/04
ISSUE	08/25/04
REVISED	09/29/04
DATE	10/01/04
REVISED	11/15/04
DATE	11/15/04
REVISED	11/15/04
DATE	11/15/04
REVISED	11/15/04
DATE	11/15/04
REVISED	11/15/04

ALPHA ARCHITECTS  
17 CHESTNUT STREET  
PORTLAND, ME 04101  
PHONE: 207/751-1000  
FAX: 207/751-1001  
WWW.ALPHAARCHITECTS.COM

A-2

# Port City Music Hall

504 Congress Street  
Portland, ME. 04101



17 CHESTNUT STREET  
PORTLAND, ME 04101  
PHONE: 207.761.9500  
FAX: 207.761.9595  
design@alpharchitects.com

COPYRIGHT

Issue or reproduction of the contents of  
this document is prohibited without the  
written permission of the architect.



Port City Music Hall  
504 Congress Street  
Portland, ME 04101

## GENERAL NOTES:

- ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL, AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
- ALL WORK SHALL BE COMPLETED TO INDUSTRY STANDARDS IN A PROFESSIONAL WORKMAN LIKE MANNER.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT.
- AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
- THE TENANT SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING MUST BE APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL DISPOSE OF AND/OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE OF MAINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DISPOSED OF IN A STATE APPROVED LANDFILL.
- ALL DOOR HARDWARE TO HAVE ADA LEVER HANDLES UNLESS OTHERWISE NOTED.
- MAINTAIN A SAFE CLEAR PATH FREE FROM DUST AND DEBRIS BETWEEN OCCUPIED AREAS AND THE MEANS OF EGRESS. PROVIDE DUST PARTITIONS AS SPECIFIED, OR IF NOT SPECIFIED, AS DIRECTED BY THE ARCHITECT TO PROVIDE THIS ACCESS. REVIEW LOCATION AND SEQUENCING OF DUST PARTITIONS WITH THE ARCHITECT PRIOR TO INSTALLATION. EXISTING WALLS MAY BE SEALED TO UNDERSIDE OF SLAB ABOVE IN LIEU OF CONSTRUCTING NEW DUST PARTITIONS WHERE APPLICABLE.
- FIELD VERIFY ALL FLOOR LEVEL HEIGHTS PRIOR TO THE START OF CONSTRUCTION IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- GUARANTEE ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
- PROVIDE MEANS FURNISH AND INSTALL.
- PROVIDE 1/4" DIA. PIPE GRAB HORIZONTAL GRIND SMOOTH ALL WELDS AND PAINT W/ RUST PROOF ALKYL PRIMER AND 2 COATS ALKYL PAINT.
- THE ARCHITECT RESERVES THE RIGHT TO CONDUCT DISCOVERY/ DEMOLITION TO PROPERLY DETERMINE THE EXISTING MATERIALS/ SUBSTRATES/ FIRE RATINGS AND/ OR HAZARDOUS MATERIALS AND TO MODIFY THE DRAWINGS ACCORDINGLY TO MEET STATE AND LOCAL CODES.
- REUSE EXIT SIGNS IF ILLUMINATED. IF NOT PROVIDE NEW.
- DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND THEIR CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FOR ALL COST.
- CONSTRUCTION SAFETY: THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- ALL SIGNAGE TO CONFORM WITH ADA INCLUDING RAISED BRAILLE CHARACTERS IN ALL PUBLIC AREAS.

## RENOVATION GENERAL NOTES:

- REMOVE WALLS AS NOTED ON PLANS. VERIFY THAT WALLS TO BE REMOVED ARE NON-LOAD BEARING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PENETRATING JOISTS, BEAMS, OR OTHER STRUCTURAL MEMBERS. CONSULT WITH THE ARCHITECT FOR APPROVAL.
- UNLESS OTHERWISE NOTED, REMOVE DOORS, BASE, TRIM, ELECTRICAL ITEMS, SURFACE MOUNTED ITEMS AND INTERIOR WINDOWS WITHIN WALLS TO BE REMOVED. UNLESS NOTED OTHERWISE, REMOVE WALLS TO THEIR FULL HEIGHT WHERE THEY ARE INDICATED FOR REMOVAL.
- CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (i.e. EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC.) TO MATCH EXISTING ADJACENT SURFACE. PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADOW LINES.
- WHERE NEW WALLS OR INFILLS ABUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTIGUOUS.
- IF SUSPECT MATERIALS ARE UNCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR TESTING AND/OR REMOVAL. ASBESTOS REMOVAL NECESSARY FOR THE SAFE IMPLEMENTATION OF THIS PROJECT SHALL BE CONTRACTED DIRECTLY WITH THE TOWN OF AUBINTON CONCURRENTLY WITH THIS PROJECT. THE CONTRACTOR SHALL CO-ORDINATE WITH THESE EFFORTS IF ENCOUNTERED.
- PROVIDE CODE COMPLIANT, PAINTABLE (WHERE EXPOSED), FIRE SEALANT AT ALL RATED WALL PERIMETERS AND WALL/ FLOOR PENETRATIONS.
- FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.

## ABBREVIATIONS:

&	AND	HORIZ	HORIZONTAL
∠	ANGLE	HR	HOUR
o	AT	INSUL	INSULATION
AF	ABOVE FINISH FLOOR	LAM	LAMINATED
CL	CENTER LINE	MFG	MANUFACTURE
CAB	CABINET	MTL	METAL
CLG	CEILING	N	NORTH
CLR	CLEAR	NAT	NATURAL
CMU	CONC. MASONRY UNIT	NIC	NOT IN CONTRACT
CNTR	COUNTER	/ or NO	NUMBER
COL	COLUMN	OC	ON CENTER
CONC	CONCRETE	PERP	PERPENDICULAR
CONT	CONTINUOUS	PLAS	PLASTER
COR	CORNER	PT	PRESSURE TREATED
CPT	CARPET	PTD	PAINTED
DIA	DIAMETER	R	RISER
DR	DOOR	RO	ROUGH OPENING
E	EAST	SAT	SUSPENDED ACOUSTICAL TILE
ELEC	ELECTRIC	SIM	SIMILAR
ELEV	ELEVATION OR ELEVATOR	SS	STAINLESS STEEL
EQ	EQUAL	STD	STANDARD
E, EXIST, EXT'D	EXISTING	STL	STEEL
FLR	FLOOR	TEL	TELEPHONE
GA	GAUGE	TYR	TYPICAL
GALV	GALVANIZED	UNO	UNLESS NOTED OTHERWISE
GL	GLASS	VF	VERIFY IN FIELD
OWB / DYP. BO.	GYPSUM BOARD	WD	WOOD
H	HIGH	WC	WATER COOLER
HM	HOLLOW METAL	W/	WITH

## 2006 NFPA CODE REVIEW

Project Description Nightclub to be upgraded.

Occupancy	Nightclub - Assembly Class II
Supervised Auto Sprinkler System	Yes
Height	2 story
Size	5,265 SF First Fl, 761 SF Mezzanine, 1,098 Second Floor, 1590 SF Basement
Total Occupant Load	660 + 18 Employees + 17 Admin = 715 Total
First Floor Occupant Load	600 Total * Includes The Station Space/ Function Room
Basement Occupant Load	172 Total
First Floor Egress Width	660 x 2' / occ = 132/2 Corridor & doors 660 x 3' / occ = 198/2 Stairs & Ramps
Basement Egress Width	172 x 2' / occ = 34/2 Corridor & doors 172 x 3' / occ = 52/2 Stairs & Ramps
Construction Type	3A 2,0,0
Dead End Corridors	20'
Max Travel Distance	250' w/ sprinkler
Common Path of Travel	75'

## TOILET CALCS FOR 716 OCCUPANTS

Maine Internal Plumbing Code	MEN	WOMEN	OTHER
TOTAL OCCUPANTS (716)	358	358	-
TOILETS	3	5	-
URINALS	2	-	-
SINKS	5	5	-
DRINKING FOUNTAIN	-	-	1
SERVICE SINK	-	-	1

\* NOT REQUIRED WHERE FOOD & DRINK ARE SERVED.

## FIRE SAFETY NOTES:

- INTERIOR FINISH MATERIAL SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF ASTM CLASS II.
- FIRE EXTINGUISHERS, PER 2006 N.F.P.A. 101-7.7-7.1.
- INSULATING MATERIALS SHALL HAVE A FLAME SPREAD RATING OF 75 MAX OR LESS AND A SMOKE DEVELOPED RATING OF 450 OR LESS WHEN TESTED IN ACCORDANCE WITH ASTM E-84 & NFPA 255.

## LIST OF DRAWINGS:

T1	TITLE SHEET
D1	BASEMENT & FIRST FLOOR DEMOLITION PLAN
A1	BASEMENT & FIRST FLOOR PLANS
A2	MEZZANINE & SECOND FLOOR PLANS & MISC. DETAILS
LS1	BASEMENT & FIRST FLOOR LIFE SAFETY PLANS
LS2	MEZZANINE & SECOND FLOOR LIFE SAFETY PLANS

07-31-08

JOB: 08104

### ISSUE DATE

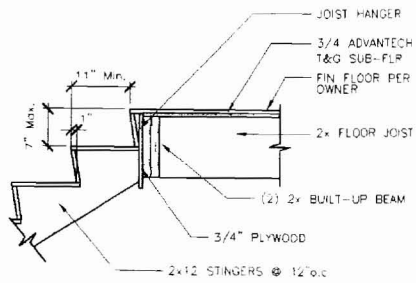
PRELIM.	06-09-08
PBoard	-
CD's	-
REV. 1	-
REV. 2	-
PRINT	07-31-08

COVER SHEET

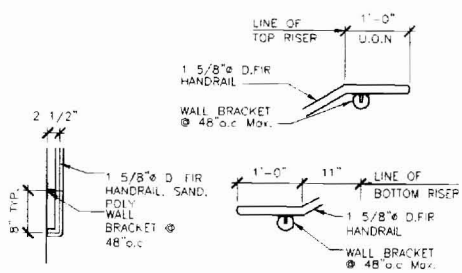
T-1

**ABBREVIATIONS:**

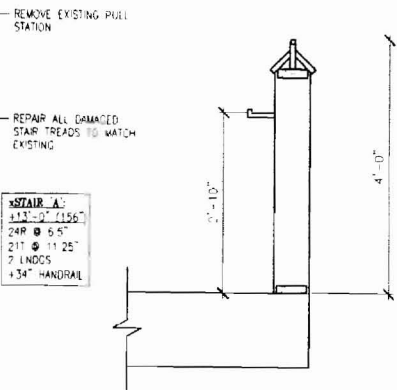
CL	= CASED OPENING w/ 1-3 FLAT CASING w/ EASED EDGES
CP	= COVER PLASTER
WS	= WEATHER STRIPPING SYSTEM
DB	= DEAD BOLT
L	= ADA LEVER
R	= RELOCATED
X	= EXISTING TO REMAIN



TYP. STAIR NOSING DETAIL  
SCALE: 3/4" = 1'-0"

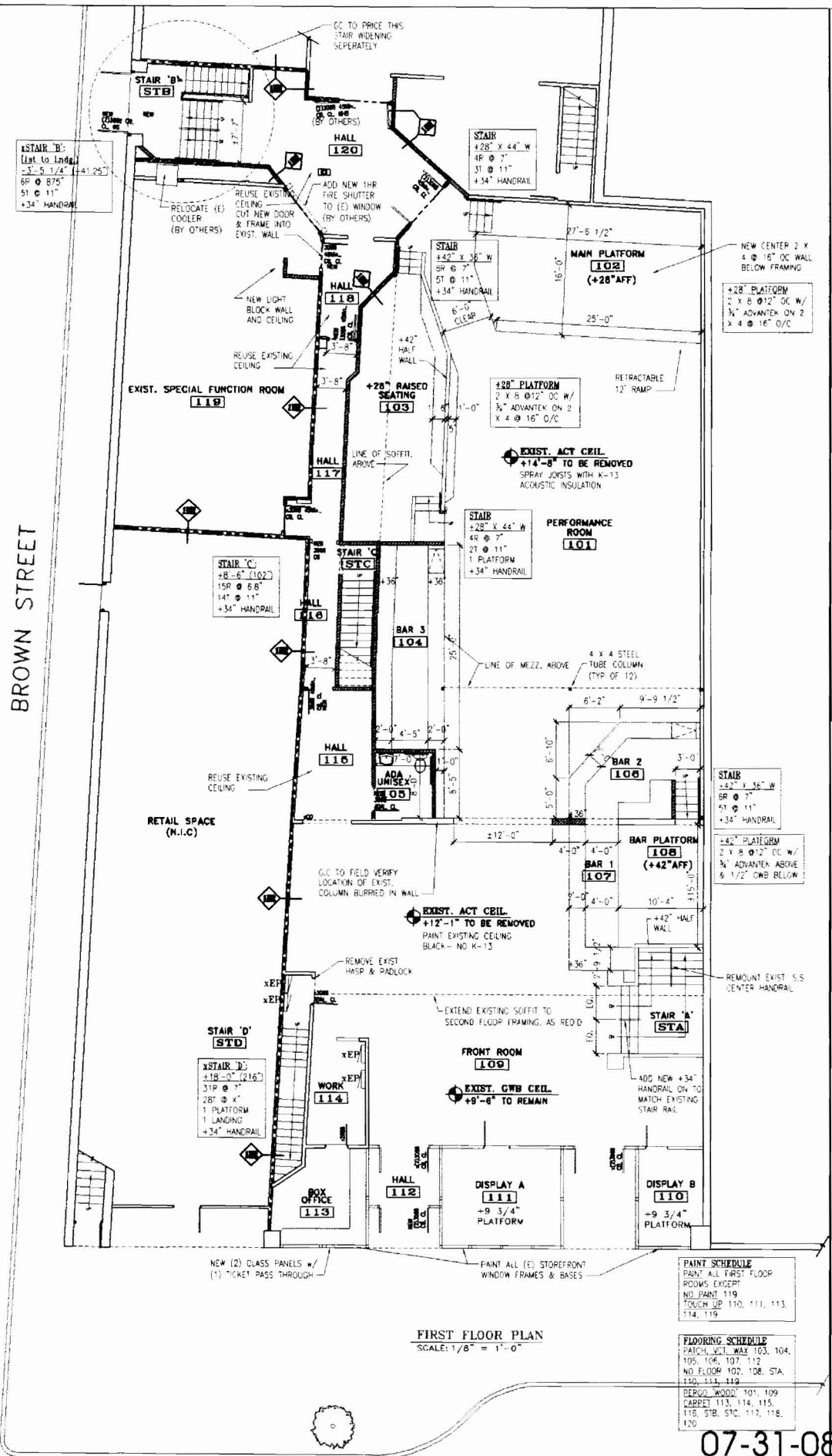


TYP. STAIR RAILING DETAIL  
SCALE: 3/4" = 1'-0"



EVALUATE SEEPAGE/LEAK IN THIS AREA, MAKE RECOMMENDATIONS FOR REPAIR w/ PRICING & TIMEFRAME

1 HALF WALL DETAIL  
SCALE: 3/4" = 1'-0"



FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

**PAINT SCHEDULE**  
PAINT ALL FIRST FLOOR ROOMS EXCEPT NO. PAINT 119. TOUCH UP 110, 111, 113, 114, 119.

**FLOORING SCHEDULE**  
PATCH VCT MAX 103, 104, 105, 106, 107, 112. NO. FLOOR 102, 108, STA, 110, 114, 119.  
BERBER WOOD 101, 109. CARPET 113, 114, 115, 118, STB, STC, 112, 118, 120.



17 CHESTNUT STREET  
PORTLAND, ME 04101  
PHONE: 207.761.9600  
FAX: 207.761.9698  
design@alpharchitects.com

**COPYRIGHT**

Issue or reproduction of the contents of this document is prohibited without the written permission of ALPHA ARCHITECTS



**Port City Music Hall**  
504 Congress Street  
Portland, ME 04101

JOB: 08104

ISSUE DATE

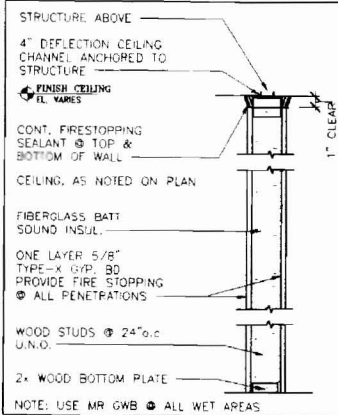
PRELIM.	06-09-08
PBoard	-
CDs	-
REV. 1	-
REV. 2	-
PRINT	07-31-08

BASEMENT & FIRST FLOOR PLANS

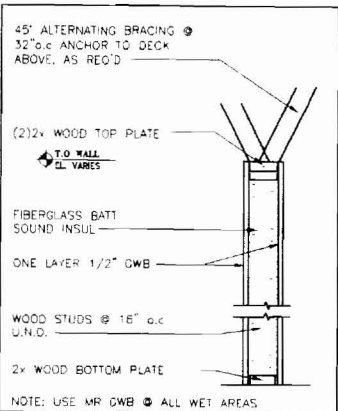
**A-1**

07-31-08

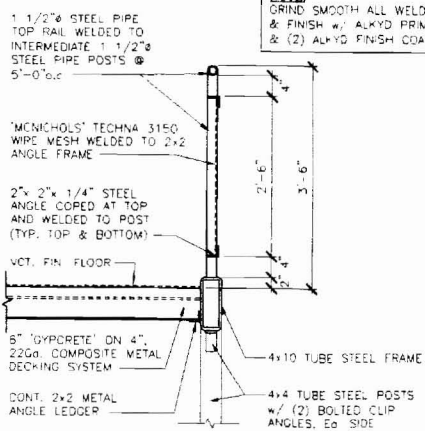
ABBREVIATIONS:	
C.O.	= CASED OPENING w/ 1-3 FLAT CASING w/ EASED EDGES
CL	= CLIP CLOSER
WS	= WEATHER STRIPPING SYSTEM
DB	= DEAD BOLT
L	= ADA LEVER
R	= RELOCATED
X	= EXISTING TO REMAIN



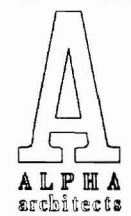
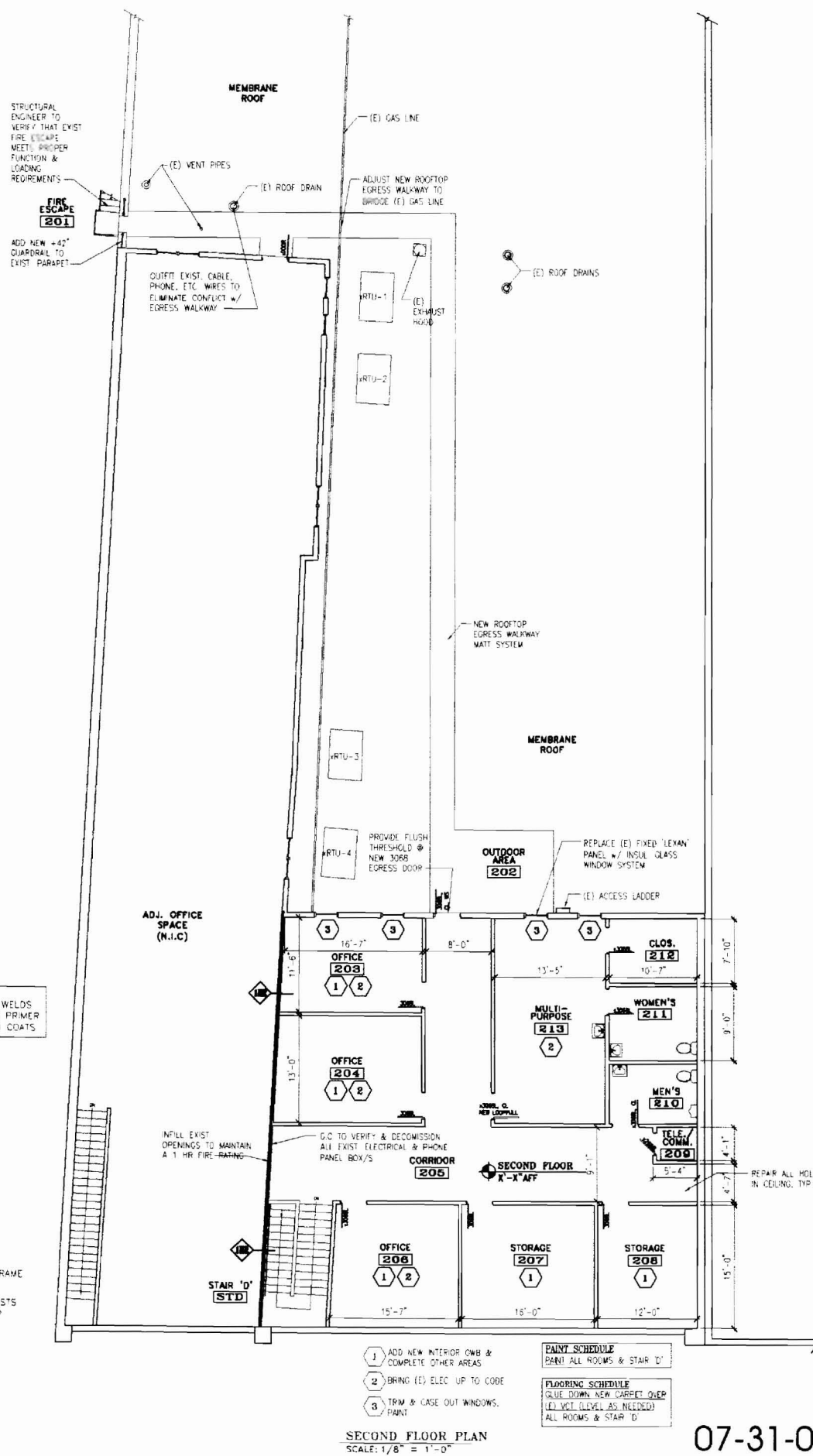
WD 2x4 STUD WALL	1 HOUR WALL - UL #U309	1A
WD 2x6 STUD WALL	1 HOUR WALL - UL #U309	1B



WD 2x4 STUD WALL	NOT RATED	NA
WD 2x6 STUD WALL	NOT RATED	NB



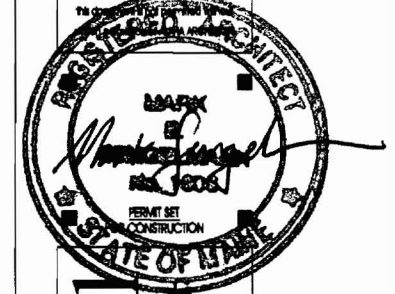
MEZZANINE RAILING DETAIL  
SCALE: 1/2" = 1'-0"



17 CHESTNUT STREET  
PORTLAND, ME 04101  
PHONE: 207.761.9500  
FAX: 207.761.9895  
design@alphaarchitects.com

© COPYRIGHT

Re-use or reproduction of the contents of  
this document is prohibited without the  
written permission of Alpha Architects.



Port City Music Hall  
504 Congress Street  
Portland, ME 04101

JOB: 08104

ISSUE DATE	
PRELIM.	06-09-08
PBoard	-
CDs	-
REV. 1	-
REV. 2	-
PRINT	07-31-08

MEZZANINE &  
SECOND FLOOR  
PLANS

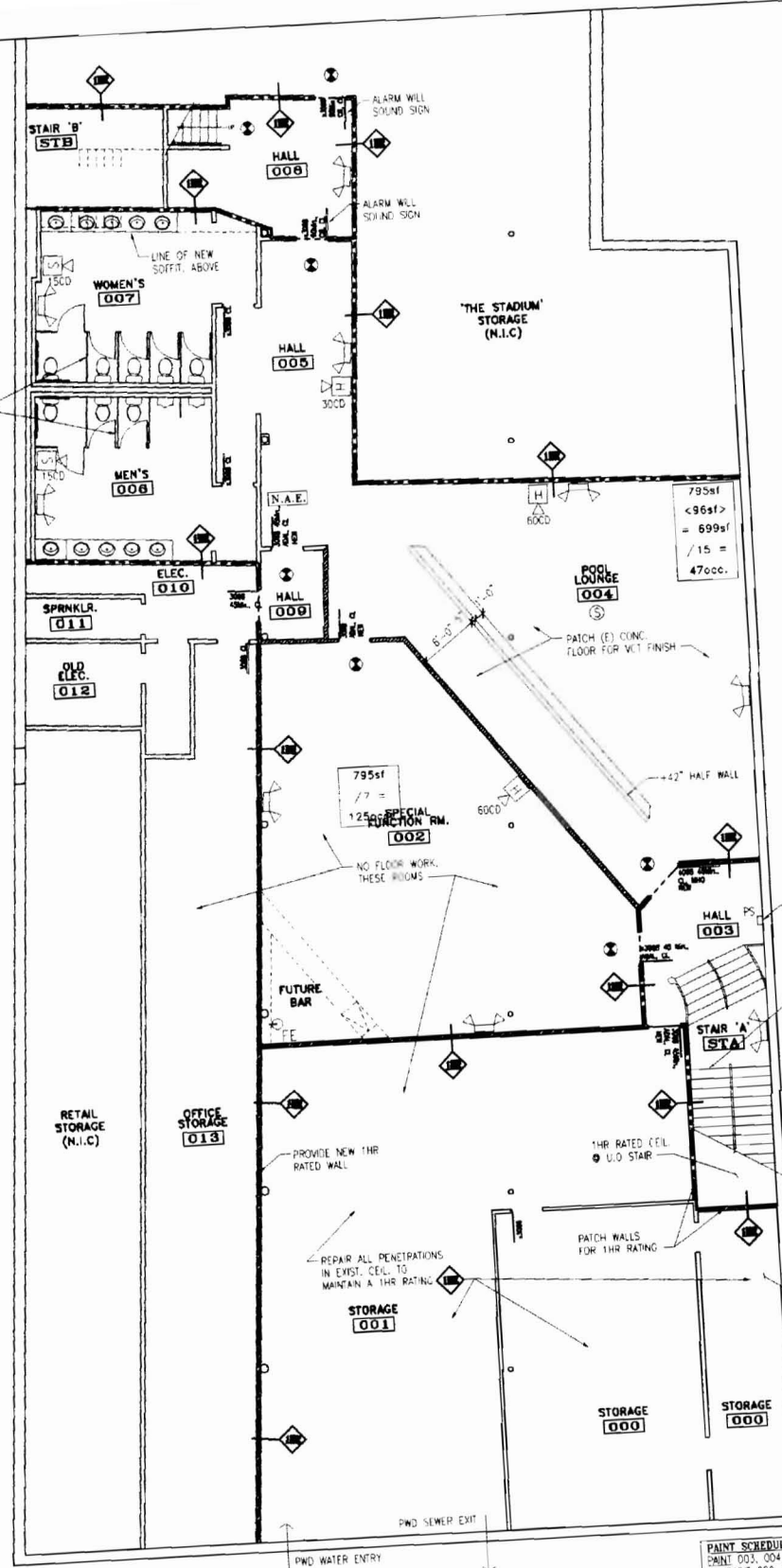
A-2

07-31-08

STAIR 'E'  
(Basal to Landg.)  
±3'-6 1/4" (113.75)  
179' 0" 8.75'  
181' 0" 11'  
+34" HANDRAIL

STAIR WIDTH  
43"  
/ 3 =  
143occ.

BATHROOMS:  
1. REMOUNT/REPLACE  
(E) TOILET PARTITIONS  
2. TOUCH UP (E) DWB  
& REPAINT, AS  
REQUIRED



**NOTES:**

1. ALL EMERGENCY LIGHTS MUST BE POWERED BY BATTERY BACK-UP OR GENERATOR PER NFPA 101.
2. HVAC PER NFPA 90A
3. EMERGENCY LIGHTS TO AVERAGE 1 FOOTCANDLE AND .1 FOOTCANDLE MINIMUM.
4. ALL FIRE WALL PENETRATIONS TO BE COMPLETELY SEALED TO MAINTAIN A 1 HR. RATING - ALL DUCTWORK WHICH PENETRATES A FIRE WALL SHALL HAVE A 1 HR DAMPER
5. ALL DOORS TO BE 3'-0" x 6'-8" MTL. (U.O.N.) W/ METAL FRAME AND INSTALLED AS NOTED:  
Y = EXISTING DOOR TO REMAIN  
L = LEVER ADA HANDLE  
CB = CRASH BAR PANIC HARDWARE  
CL = AUTOMATIC CLOSER  
WS = WEATHER STRIP
6. ALL HANDRAILS TO BE +34" A.F.F. W/ 1-1/2" DIA (& 1-1/2" FROM WALL IF APPLICABLE) W/ BALUSTERS LESS THAN 4" SPACE BETWEEN MAX. ON EA. SIDE OF ALL STAIRS AND RAMPS. EXTEND RAILS 12" BEYOND LIMITS OF RAMPS & TOP OF STAIRS & 23" BEYOND B.O. STAIRS. RETURN TO POST OR WALL TYP.
7. EXISTING BUILDING IS SPRINKLED. ADJUST ALL HEADS TO MATCH NEW CEILING HEIGHTS.

B PROVIDE VOICE EVACUATION SYSTEMS PER NFPA 72.

**ABBREVIATIONS:**

C/O = CASED OPENING W/ 1-1/2" FLAT CASING W/ EASED EDGES  
CL = DOOR CLOSER  
WS = WEATHER STRIPPING SYSTEM  
DB = DEAD BOLT  
L = ADA LEVER  
R = RELOCATED  
X = EXISTING TO REMAIN

**FIRE PROTECTION LEGEND**

- FE FIRE EXTINGUISHER 10# ABC
- EXIT LIGHT
- STROBE ONLY WITH CANDELLA RATING AS NOTED
- HORN STROBE WITH CANDELLA RATING AS NOTED
- DUAL EMERGENCY LIGHT
- SINGLE EMERGENCY LIGHT
- SMOKE DETECTOR (CEILING)
- HEAT DETECTOR (CEILING)
- COMBINATION LIGHT/EXHAUST FAN
- FIRE ALARM MASTER CONTROL PANEL
- PULL STATION
- EXTERIOR EGRESS LIGHT
- NAE 'NOT AN EXIT' SIGN W/ RAISED BRAILLE
- VAP VAN ACCESSIBLE

**NOTE:**  
STROBE DEVICE TO HAVE COMMUNICATION RATING MEETING NFPA 72 TABLE 6-4.1.1(a). MOUNT AT +80" A.F.F. INCLUDE W/ VOICE EVACUATION SYSTEM.

STAIR WIDTH  
REPAIR ALL DAMAGED STAIR HEADS TO MATCH EXISTING  
300occ.

STAIR 'A'  
±12'-0" (126)  
248' 0" 8.5'  
211' 0" 11.25'  
2 LANDCS  
+34" HANDRAIL

**PAINT SCHEDULE**  
PAINT 003, 004, 005  
NO PAINT 000, 001, 002  
TOUCH UP 006, 007, 008

**FLOORING SCHEDULE**  
PATCH VCL MAX 003, 004  
NO FLOOR 000, 001, 002,  
009, 010, 011, 012, 013  
CLEAN AND WAX 005, 006,  
007, 008

**LIFE SAFETY BASEMENT PLAN**  
SCALE: 1/8" = 1'-0"

**TOTAL OCCUPANCY**

BASEMENT POOL HALL	47
BASEMENT 2	172
SUBTOTAL	
FIRST FLOOR MAIN	236
FIRST FLOOR FRONT	156
FIRST FLOOR RAISED	48
MEZZANINE	48
SUBTOTAL	488
SECOND FLOOR OFFICE	7
SECOND FLOOR CONFERENCE	30
SUBTOTAL	37
STAFF - BANK	19
TOTAL	715

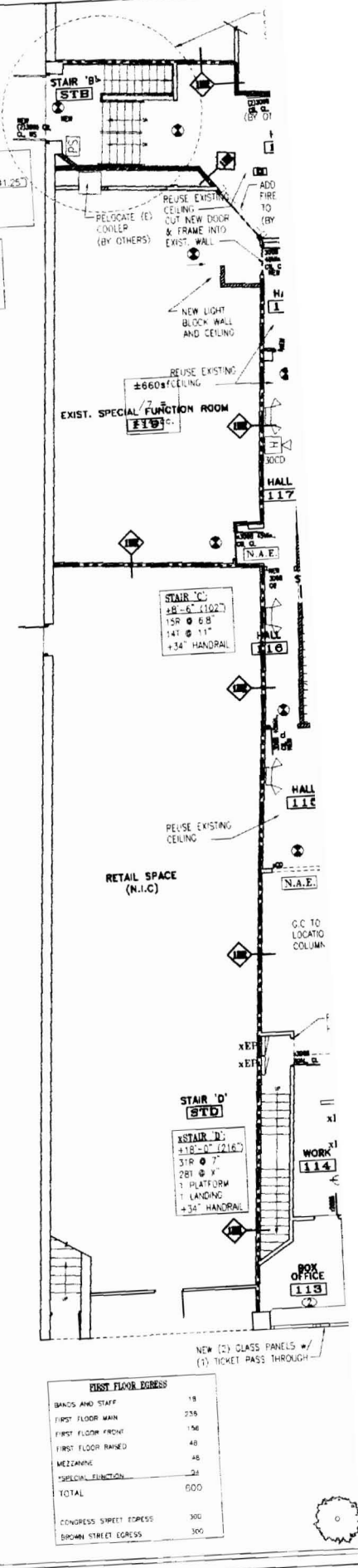
**FIRST FLOOR EGRESS**

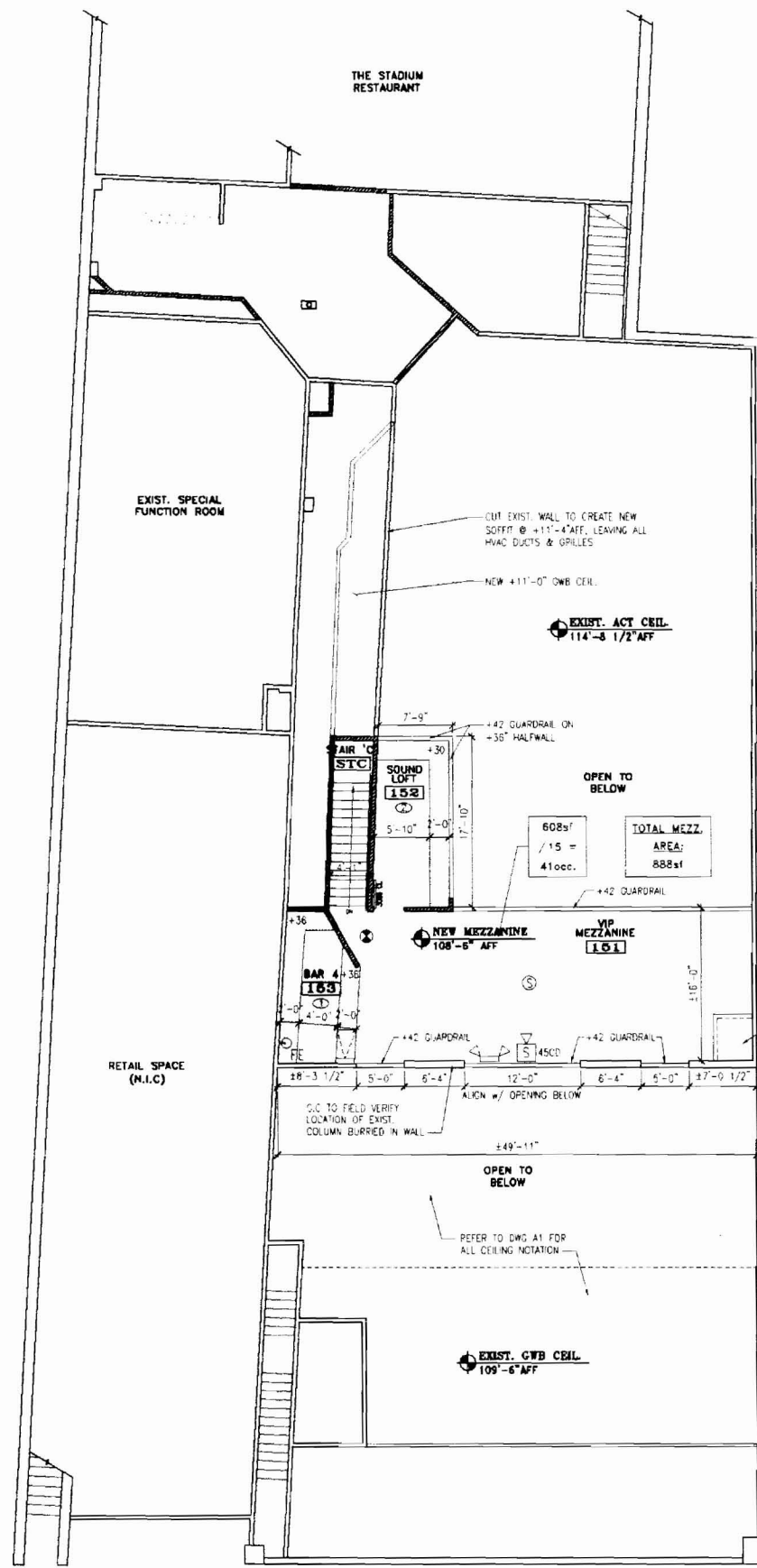
BANKS AND STAFF	18
FIRST FLOOR MAIN	236
FIRST FLOOR FRONT	156
FIRST FLOOR RAISED	48
MEZZANINE	48
SPECIAL FUNCTION	24
TOTAL	600
CONGRESS STREET EGRESS	300
BROWN STREET EGRESS	300

STAIR 'B'  
(Basal to Landg.)  
±3'-5 1/4" (112.25)  
181' 0" 8.75'  
181' 0" 11'  
+34" HANDRAIL

STAIR WIDTH  
91"  
/ 3 =  
305occ.

BROWN STREET

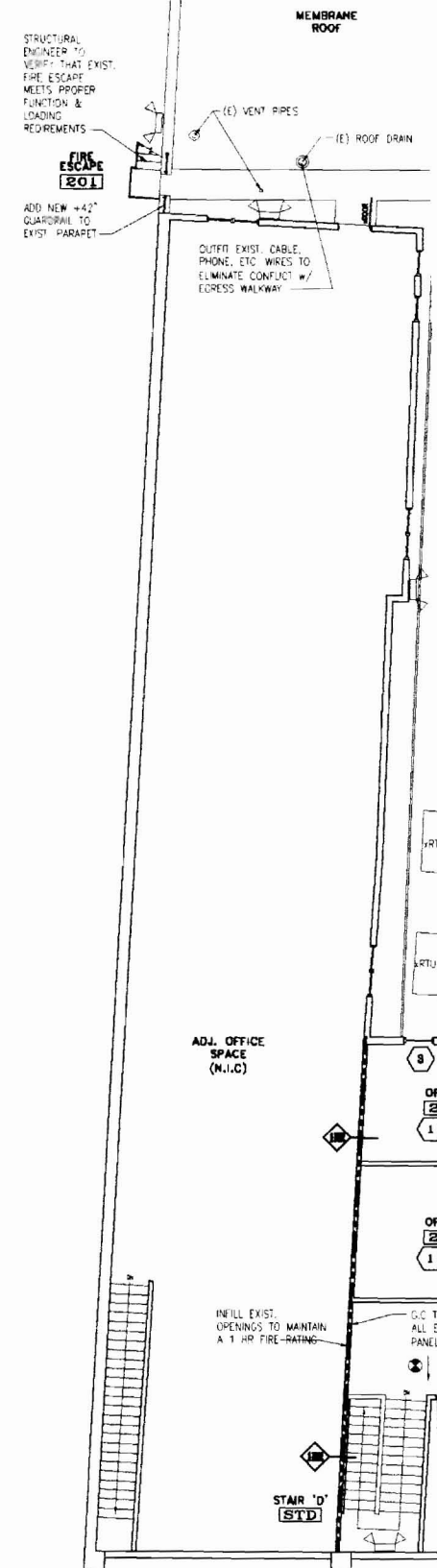




- NOTES:**
1. ALL EMERGENCY LIGHTS MUST BE POWERED BY BATTERY BACK-UP OR GENERATOR PER NFPA 101
  2. HVAC PER NFPA 90A
  3. EMERGENCY LIGHTS TO AVERAGE 1 FOOTCANDLE AND 1 FOOTCANDLE MINIMUM.
  4. ALL FIRE WALL PENETRATIONS TO BE COMPLETELY SEALED TO MAINTAIN A 1 HR. RATING - ALL DUCTWORK WHICH PENETRATES A FIRE WALL SHALL HAVE A 1 HR. DAMPER
  5. ALL DOORS TO BE 3'-0" x 6'-8" MTL (U.D.N) w/ METAL FRAME AND INSTALLED AS NOTED
    - X = EXISTING DOOR TO REMAIN
    - L = LEVER ADA HANDLE
    - CB = CRASH BAR PANIC HARDWARE
    - CL = AUTOMATIC CLOSER
    - WS = WEATHER STRIP
  6. ALL HANDRAILS TO BE +34" A.F.F. W/ 1-1/2" DIA (& 1-1/2" FROM WALL IF APPLICABLE) W/ BALUSTERS LESS THAN 4" SPACE BETWEEN MAX. ON EA. SIDE OF ALL STAIRS AND RAMPS. EXTEND RAILS 12" BEYOND LIMITS OF RAMPS & TOP OF STAIRS & 23" BEYOND B.O. STAIRS. RETURN TO POST OR WALL. TYP.
  7. EXISTING BUILDING IS SPRINKLED. ADJUST ALL HEADS TO MATCH NEW CEILING HEIGHTS.
  8. PROVIDE VOICE EVACUATION SYSTEMS PER NFPA 72

- ABBREVIATIONS:**
- C.O. = CASING OPENING w/ 1x3 FLAT CASING w/ BASED EDGES  
 CL = DOOR CLOSER  
 WS = WEATHER STRIPPING SYSTEM  
 DB = DEAD BOLT  
 L = ADA LEVER  
 R = RELOCATED  
 X = EXISTING TO REMAIN

- FIRE PROTECTION LEGEND**
- FIRE EXTINGUISHER 10# ABC
  - EXIT LIGHT
  - STROBE ONLY WITH CANDELLA RATING AS NOTED
  - HORN STROBE WITH CANDELLA RATING AS NOTED
  - DUAL EMERGENCY LIGHT
  - SINGLE EMERGENCY LIGHT
  - SMOKE DETECTOR (CEILING)
  - HEAT DETECTOR (CEILING)
  - COMBINATION LIGHT/EXHAUST FAN
  - FIRE ALARM MASTER CONTROL PANEL
  - PULL STATION
  - EXTERIOR EGRESS LIGHT
  - "NOT AN EXIT" SIGN W/ RAISED BRAILLE
  - VAN ACCESSIBLE
- NOTE:**  
 STROBE DEVICE TO HAVE COMMUNICATION RATING MEETING NFPA 72 TABLE 6-4.4.1.(1)(c). MOUNT AT +80" A.F.F. INCLUDE W/ VOICE EVACUATION SYSTEM.



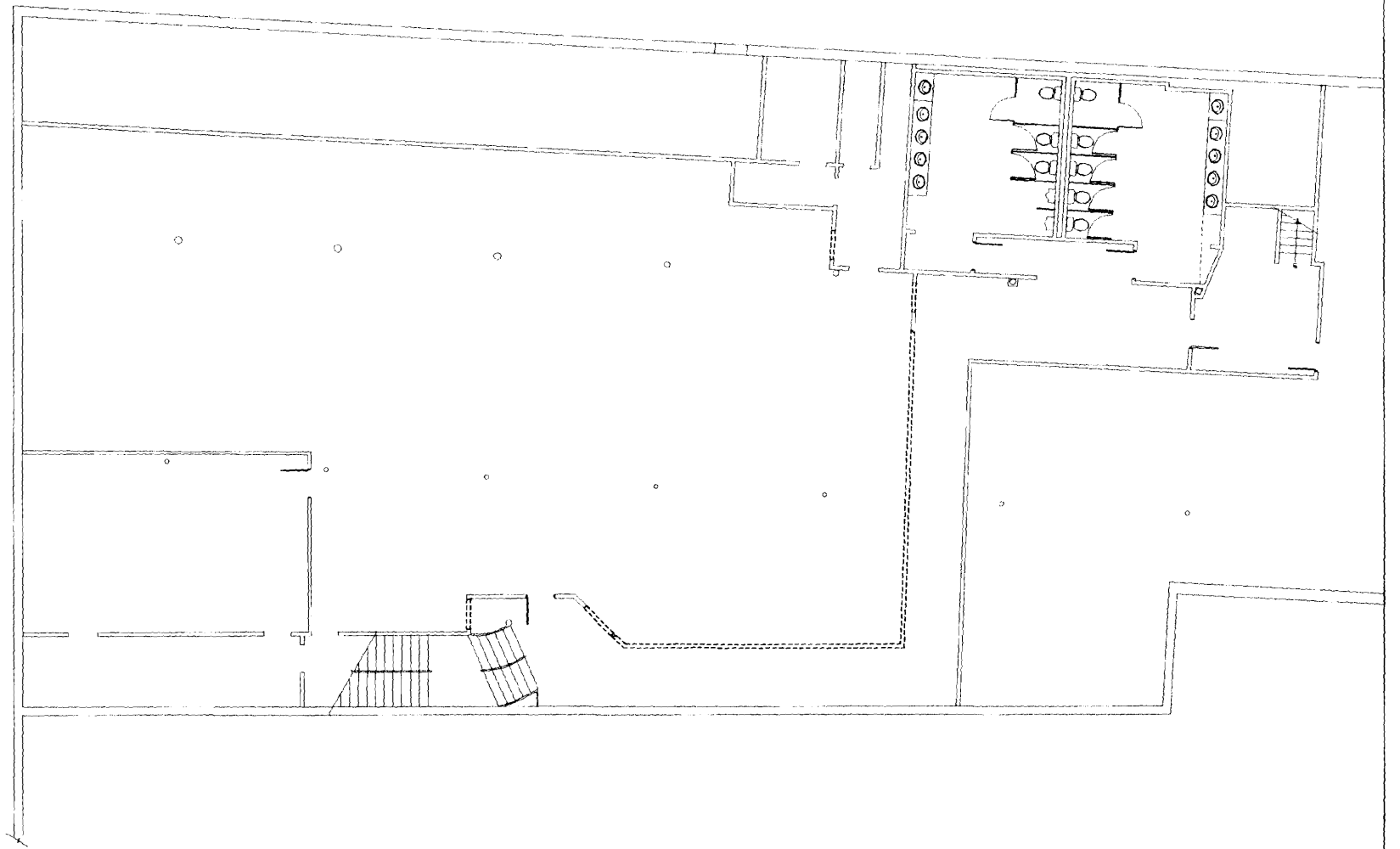
**LIFE SAFETY  
 MEZZANINE PLAN**  
 SCALE: 1/8" = 1'-0"

**PAINT SCHEDULE (Rooms)**  
 PAINT 150, 151, 152

**FLOORING SCHEDULE (Rooms)**  
 VLL, MAX 151, 152  
 PERGO WOOD TO MATCH  
 EXISTING IN STADIUM 150



BASEMENT PLAN  
SCALE 1/8" = 1'-0"



BROWN STREET

