

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 522 Congress St		Owner: Maine College of Art		Phone:		Permit No: 950053	
Owner Address:		Leasee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: F.W. Cunningham P.O. Box 1140		Address: Portland, ME 04101 Attn: Clarence Blanchard		Phone: 772-4299		Permit Issued: JAN 25 1995	
Past Use: Mix Use		Proposed Use: Same		COST OF WORK: \$ 3,540,000.		PERMIT FEE: \$ 17,720.00	
Proposed Project Description: Make renovations as per plans		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: [handwritten] Type: [handwritten]		Zone: CBL: 037-H-006	
				Signature: [handwritten]		Signature: [handwritten]	
Permit Taken By: Mary Gresik		Date Applied For: 6 January 95		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
				Signature: _____ Date: _____		Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH LETTER

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

6 Jan 95

SIGNATURE OF APPLICANT	Clarence Blanchard	ADDRESS:	DATE:	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE				PHONE:

PERMIT ISSUED

JAN 25 1995

CITY OF PORTLAND

Zone: CBL: 037-H-006

Zoning Approval:

Special Zone or Reviews:

Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan maj minor mm

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: 1/12/95

[Handwritten Signature]

CEO DISTRICT 2

[Handwritten Signature]

COMMENTS

Page:

Section 01400-1
(1.7 + 1.8) Refers to
as built plans

Section 05120-2 Refers to
(1.4 B 1+2) Structural steel

Section 07270-3 Refers
(1.4 B 2A+2B) to Fire stop + smoke seals

Section

01400 - 1.7 + 1.8

As built plans ^{Page} 01400-1

Section 05120-2 (Page)

Test Reports on section
Structural Steel ^{L4 B}
₁₊₂

Section 07270-3 (Page)

Test report Fire Stop

Section 1.4 B 2A+2B

} All areas discussed
w/ contractor - Test
reports need to be
submitted. -

See project notes for inspections - kept in binder X

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering
(207) 289-3826

PROPERTY ADDRESS

Town Or Plantation	PORTLAND	
Street Subdivision Lot #	522 CONGRESS STREET	
PROPERTY OWNERS NAME		
MAINE COLLEGE OF THE ARTS		
Last:	First:	
Applicant Name:	JAMES J KELLEY ASSOC., INC.	
Mailing Address of Owner/Applicant (If Different):	P.O. BOX 1310 WESTBROOK, ME 04098	

PORTLAND 5327 TOWN COPY

Date Permit Issued: 2 17 95 \$ 334 If Double Fee Charged

L.P.I. # 0124

Local Plumbing Inspector Signature _____

037-4-020

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

James J. Kelley 02-15-95
Signature of Owner/Applicant Date

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Tammy Munson 9-96
Local Plumbing Inspector Signature Date Approved

PERMIT INFORMATION

This Application is for 1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	Type Of Structure To Be Served: 1. <input type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input checked="" type="checkbox"/> OTHER - SPECIFY <u>COLLEGE</u>	Plumbing To Be Installed By: 1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <u>0090009024</u>
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Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.		Hosebibb / Sillcock		Bathtub (and Shower)
	9	Floor Drain		Shower (Separate)
OR	6	Urinal	27	Sink
	2	Drinking Fountain	10	Wash Basin
1 HOOK-UP: to an existing subsurface wastewater disposal system.	2	Indirect Waste	20	Water Closet (Toilet)
PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Water Treatment Softener, Filter, etc.		Clothes Washer
		Grease/Oil Separator		Dish Washer
		Dental Cuspidor		Garbage Disposal
Number of Hook-Ups & Relocations		Bidet	3	Laundry Tub
		Other: _____	3	Water Heater
\$ 6 Hook-Up & Relocation Fee	19	Fixtures (Subtotal) Column 2	63	Fixtures (Subtotal) Column 1
			19	Fixtures (Subtotal) Column 2
			82	Total Fixtures
			\$ 328	Fixture Fee
			\$ 6	Hook-Up & Relocation Fee
			\$ 334	Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

Structural Design Consultants, Inc.
145 Newbury Street, Portland, Maine 04101-4215
207 775-4354 • (FAX) 207 775-4383

January 9, 1996

Mr. Sam Hoffses
Chief of Code Enforcement Division
City of Portland Department of Planning and Urban Development
Inspection Room 315
389 Congress Street
Portland, ME 04101

Subject: Maine College of Art
Structural Design Criteria

Dear Mr Hoffses:

This is to notify you as the Structural Engineer of Record for the above project that the 1993 edition of the BOCA National Building Code with the City of Portland Amendments was used as the design criteria for all aspects of the project's structural design.

Requirements of the following chapters were observed by Structural Design Consultants, Inc. for specific structural design criteria:

Chapter 16 - Structural Loads
Chapter 19 - Concrete
Chapter 21 - Masonry
Chapter 22 - Steel
Chapter 23 - Wood
Chapter 34 - Existing Structures

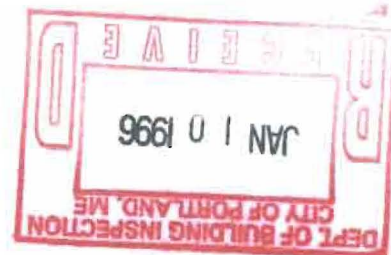
Sincerely,

STRUCTURAL DESIGN CONSULTANTS, INC.

David J. Tetreault

David J. Tetreault, P.E.
Principal

cc: Van Dam & Renner Architects





F.W. CUNNINGHAM and SONS

85 West Commercial St., P.O. Box 1140
Portland, ME 04104
Telephone (207) 773-0246
Fax (207) 773-1776

TRANSMITTAL

TO TAMIE MURSON Building Envoys Portland, ME	DATE 1/10/96	PROJECT NO. 9445
	PROJECT MECA	

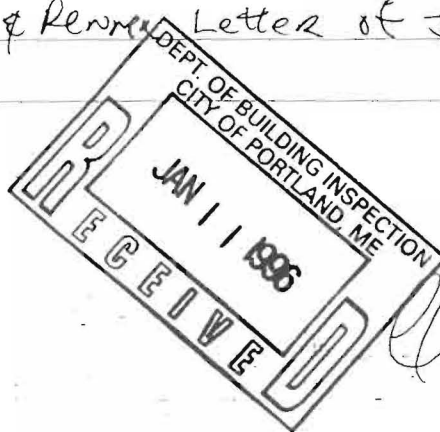
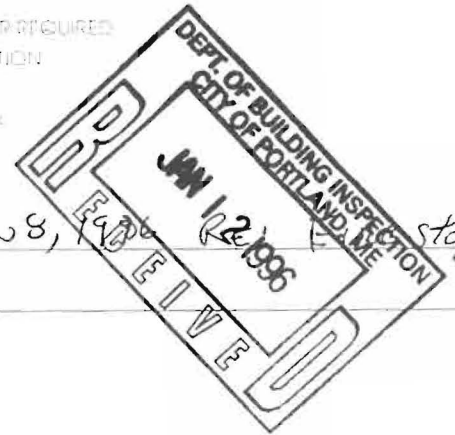
WE ENCLOSE THE FOLLOWING _____ UNDER SEPARATE COVER WE ARE SENDING THE FOLLOWING _____

COPIES	NUMBER	DESCRIPTION	CODE
1		Letter From AJ REMODELING (Fire proofing sub contractor For 522 Congress St.) Dated 1/10/96 STATING COMPLIANCE WITH REQUIREMENTS.	I/N

CODE:

✓ PERMITS APPROVED
✓ PERMITS APPROVED
✓ PERMITS APPROVED
✓ PERMITS APPROVED
✓ PERMITS APPROVED
✓ PERMITS APPROVED
✓ PERMITS APPROVED
✓ PERMITS APPROVED

✓ FOR APPROVAL
✓ AS REQUESTED OR FIGURED
✓ FOR USE IN INSPECTION
✓ LETTER FOLLOWS
✓ FOR FIELD CHECK
✓ FOR YOUR USE



Follow up to VAN DON & Rennie Letter of Jan 8, 1996 stops
Smoke Seals.

REMARKS

[Handwritten signature]

AJ

REMODELING
104 norfolk street
dorchester,ma 02124
(617) 287-8786

FW Cunningham
522 Congress Street
Portland,Me

1/10/96

Attn:Clarence Blanchard

Re:Maine College of Art

Dear Clarence;

This letter is pursuant to iter #4 of your memorandum dated 1/8/96,pertaining to fireproofing and smoke seals.

With acceptance that exact UL reports on existing construction are impossible,it is stated here that all work was not only performed in the agreed upon manner but in all cases the installation technique was in strict accordance with all the manufacturers recommendations.

Feel free to call if you need any further assistance.

AJ Remodeling
Arnellinodes Perre

RECEIVED
JAN 12 1996
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

Inspection Services
Samuel P. Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

January 24, 1995

F.W. Cunningham
P.O. Box 1140
Portland, ME 04101

Re: Maine College of Art; 522 Congress Street

Dear Sir:

Your application to make interior renovations as per plans has been reviewed and a permit is herewith issued subject to the following requirement(s): This permit doesn't preclude the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy can be issued until all requirements of this letter are met.

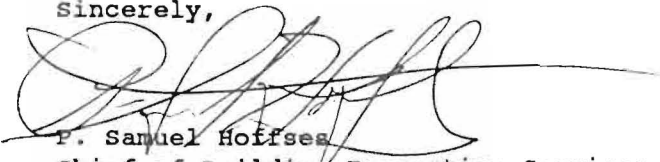
Any section stated in the following requirements are from the BOCA National Building Code/1993.

1. Any new stairs must meet the requirement of Section 1014.6.
2. The design for structural loads shall comply with Section 1617.0. The design for seismic loads shall comply with Sections 1612.1.1 and 1612.1.2 except as exempt in accordance with Section 1612.1.
3. Re-roofing shall comply with Section 1512.0.
4. Accessibility (State of Maine requirements).
5. An alteration to any structure shall conform to the code requirements for a new structure and shall not result in an increase in hazard to the occupants. Portions of the structure not altered and not affected by the alteration are not required to comply with the code requirements for a new structure.
6. The means of egress shall comply with Section 1001.2.
7. Structural loads shall comply with sections 1617.4 and 1617.5.
8. The fire-resistive floor or the floor/ceiling construction shall extend to and be tight against the exterior wall so that the fire-resistive integrity between stories is maintained. Penetrations or other installations which will impair the fire resistive integrity of the floor or floor/ceiling assembly shall not be permitted.

25. All means of egress doorways serving as a component or element of a means of egress, except as provided for in Sections 1014.8, 1014.12, 2, 1015.1, 1015.5.2 and 1015.6.1. shall comply with Section 1017.0.
26. Where required by the provisions of Sections 406.5, 408.3.2, 1005.5, 1014.7, 1016.5 and 1825.5, guards shall be designed and constructed in accordance with the requirements of Section 1021.1 and 1615.8.
27. Where required by the provisions of Sections 1012.5, 1013.0, 1014.6.6.1, 1014.7 and 1016.5, handrails shall be designed and constructed in accordance with Section 1022.0.
28. In all buildings, rooms or spaces required to have more than one exit or exit access, all required means of egress shall be indicated with approved signs reading EXIT, and shall be done in accordance with Section 1023.0.
29. All means of egress shall be equipped with artificial lighting facilities to provide the intensity of illumination herein prescribed continuously during time that conditions of occupancy of the building requires that the exits be available. Egress lighting shall meet the requirements of Section 1024.0.
30. Means of access to roof shall be provided as per Section 1027.0.
31. Accessibility shall be as per Maine law.
32. Structural systems shall meet the requirements of Chapter 16, 17 and 18 of the Building Code.
33. Owner's special inspected program - as per Section 1705.0.
34. Structural steel design/construction shall meet the requirements of Chapter 22.
35. Safety glazing shall mean the requirements of Chapter 24.
36. All gypsum board shall be installed as per Chapter 25.
37. A separate permit is required for the fire alarm system.
38. Area of refuge must comply with Section 5-2.12 of the Life Safety Code.
39. A certification of the sprinkler system test shall be submitted to the Portland Fire Department.
40. Doors on Sheet A1.5 of the plans (403) shall swing in the direction of exit travel.
41. All areas marked undeveloped on plans shall have full fire suppression and alarm.
42. The areas marked undeveloped on plans shall be clearly marked before building gains occupancy.

If you have any questions regarding these requirement(s), please do not hesitate to contact this office.

Sincerely,

A handwritten signature in black ink, appearing to read 'P. Samuel Hoiffes', written over a horizontal line.

P. Samuel Hoiffes
Chief of Building Inspection Services

cc: Lt. Gaylen MacDougal, Fire Prevention

APR 18 1995

Transmittal to: Mr. Samuel Hoppers

4/13/95

MEANS CONTROL OF AET

FAX: 814-0116

Item	Description	Quantity	Unit
1	LETTER RE: FIRE RESISTANCE RATINGS	1	LETTER
2	FLOOR PLANS	2	PLANS

Item	Description	Quantity	Unit
1	LETTER RE: FIRE RESISTANCE RATINGS	1	LETTER
2	FLOOR PLANS	2	PLANS

Purpose: To provide information regarding fire resistance ratings for the means control of AET.

Remarks: SAME

PLEASE REVIEW THIS LETTER TO FIRE RESISTANCE RATINGS AT THE MEANS CONTROL OF AET. THERE ARE SOME AREAS THAT I DIDN'T ADDRESS WITH YOU YESTERDAY BUT HAVE DELETED WITH THE LETTER OF THE PLANS. I WILL CALL YOU TOWARD THE END OF THE DAY TO DISCUSS ANY COMMENTS YOU MAY HAVE.

Project Name: _____
Client: _____

DRAFT

General

The work is to be completed within a period of _____ weeks. The construction period shall be _____ weeks. The work shall be completed by _____.

Lower Level:

In this area the existing structure is to be demolished and replaced with a new structure. The work shall include the removal of the existing structure and the construction of the new structure. The new structure shall be constructed in accordance with the plans and specifications. The work shall be completed by _____.

In the area of the existing structure, the work shall include the removal of the existing structure and the construction of the new structure. The new structure shall be constructed in accordance with the plans and specifications. The work shall be completed by _____.

In the area of the existing structure, the work shall include the removal of the existing structure and the construction of the new structure. The new structure shall be constructed in accordance with the plans and specifications. The work shall be completed by _____.

and we do not need to...
 the...
 the...
 the...



the...
 the...
 the...
 the...
 the...



the area...
 the...
 the...



the...
 the...
 the...
 the...
 the...



there is a...
 the...
 the...
 the...
 the...



First Floor.

the...
 the...
 the...
 the...
 the...



the...
 the...
 the...
 the...
 the...



the...
 the...
 the...
 the...
 the...



in the



... ..



Second Floor:

the

... ..



... ..



... ..



The

from grid line to the same as above

Please see the section on the general floor plan

Third & Fourth Floor:

The 3rd and 4th floors are similar in design to the 1st and 2nd floors. The 3rd floor has a large open area with a central staircase and a small office area. The 4th floor is similar but has a different layout for the office area.

Please see the section on the general floor plan

Fifth Floor:

The 5th floor is a large open area with a central staircase and a small office area. It is similar in design to the other floors but has a different layout for the office area.

The 5th floor is a large open area with a central staircase and a small office area. It is similar in design to the other floors but has a different layout for the office area.

Monumental Stair:

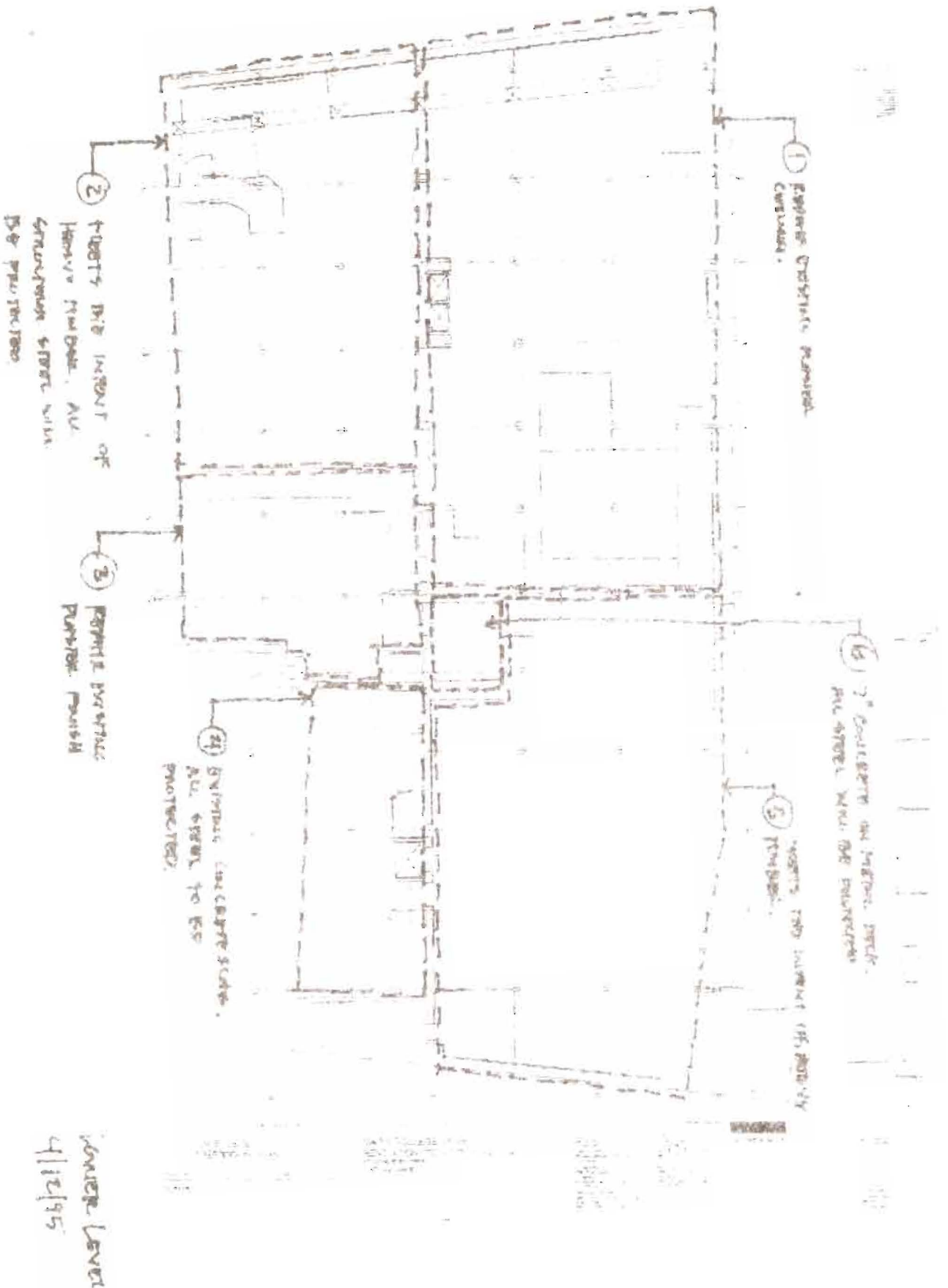
The monumental stair is a large open area with a central staircase and a small office area. It is similar in design to the other floors but has a different layout for the office area.

The state shall have the right to acquire any real property which it may determine to be necessary for the public use, and the title to such property shall vest in the state upon the taking of possession thereof by any officer authorized in that behalf by the state. The state shall have the right to acquire any real property which it may determine to be necessary for the public use, and the title to such property shall vest in the state upon the taking of possession thereof by any officer authorized in that behalf by the state. The state shall have the right to acquire any real property which it may determine to be necessary for the public use, and the title to such property shall vest in the state upon the taking of possession thereof by any officer authorized in that behalf by the state.

SECTION 1045.01
 STATE ACQUISITION OF REAL PROPERTY

encl:

1. The state shall have the right to acquire any real property which it may determine to be necessary for the public use, and the title to such property shall vest in the state upon the taking of possession thereof by any officer authorized in that behalf by the state.



1 Repairer Crickets removed.
Completed.

2 TRUETS BITE INSIDE OF
HEAVY FIBERGLASS. ALL
STRUCTURES STRENGTH WITH
150 POUNDS PER SQ FT.

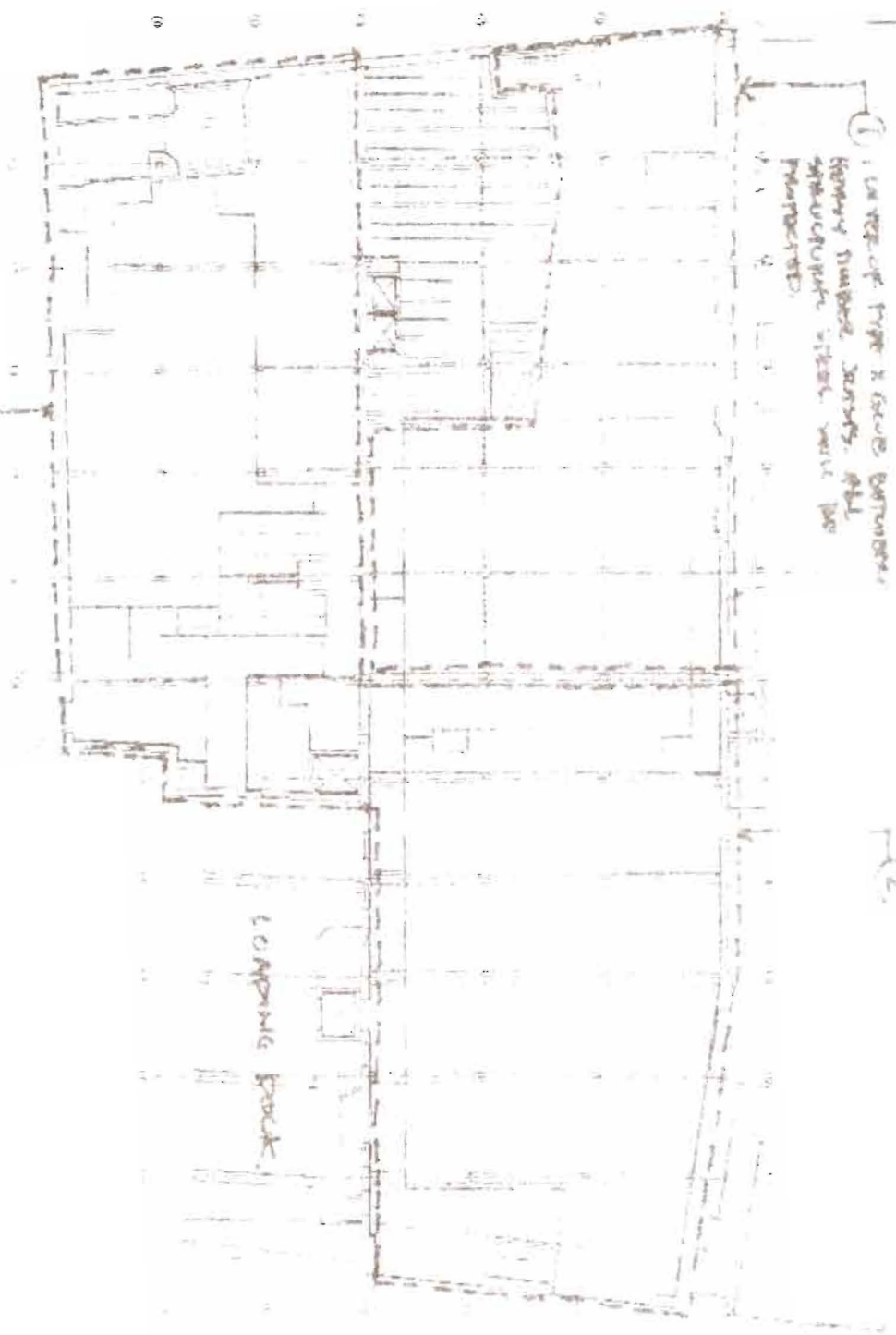
3 Repairer surface
painted. finish

4 Structural (concrete) studs.
All heavy to R/S
protected.

5 ROOFING TRUSS INSIDE OF 150 POUNDS PER
SQ FT.

6 2" CONCRETE ON INSIDE SURFACE.
ALL STEEL WITH 150 POUNDS PER
SQ FT.

Lower Level
4/12/95

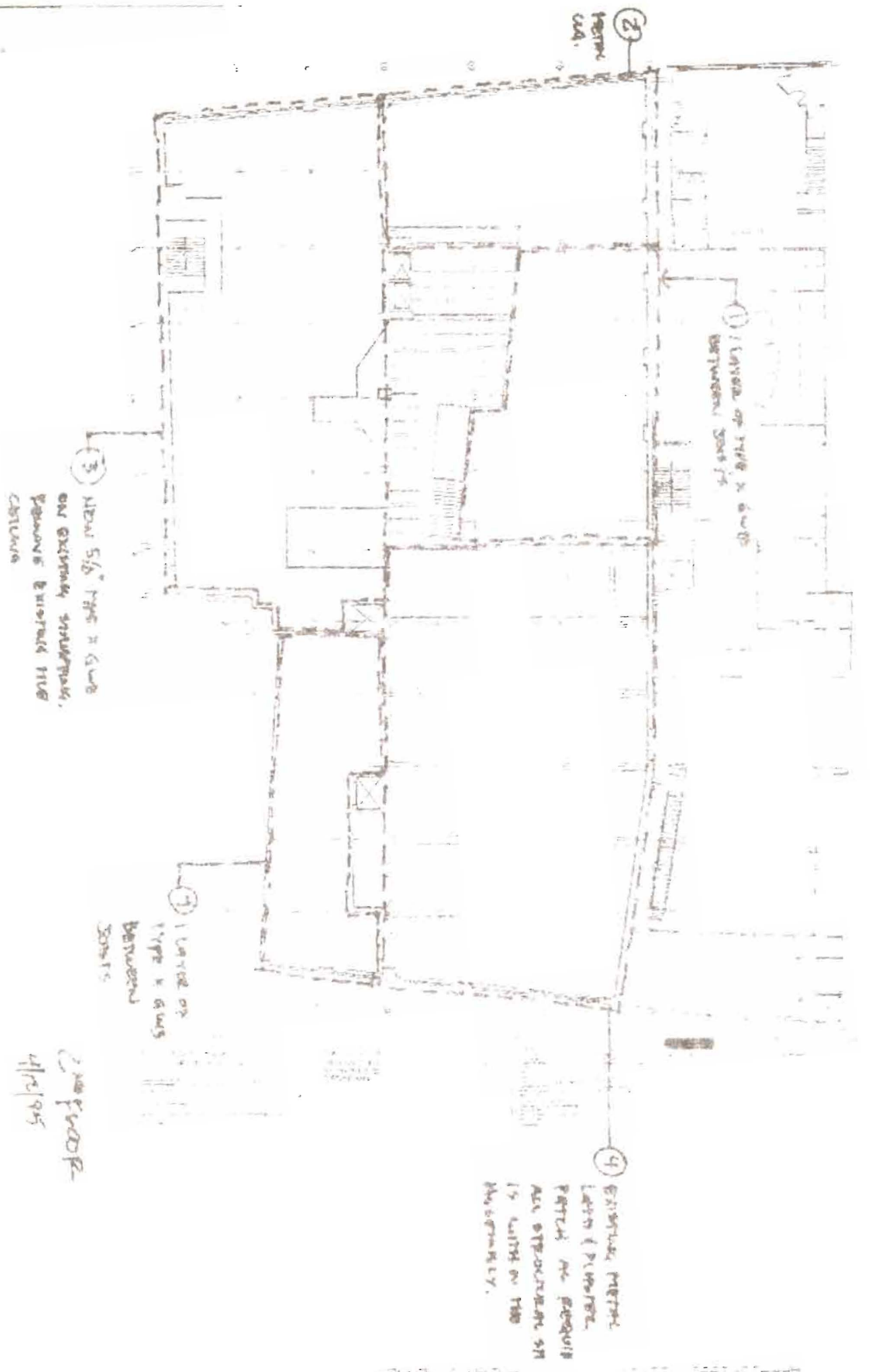


(1) Use ref-up type & secure bathroom
 Heavy timber doors, all
 structural steel work
 protected

(2) Existing left of present plan
 No further protection required
 provide all interpretations

COMPOSITE BRACK

1st floor
 9/12/47



① 1 layer of type x studs
between joists

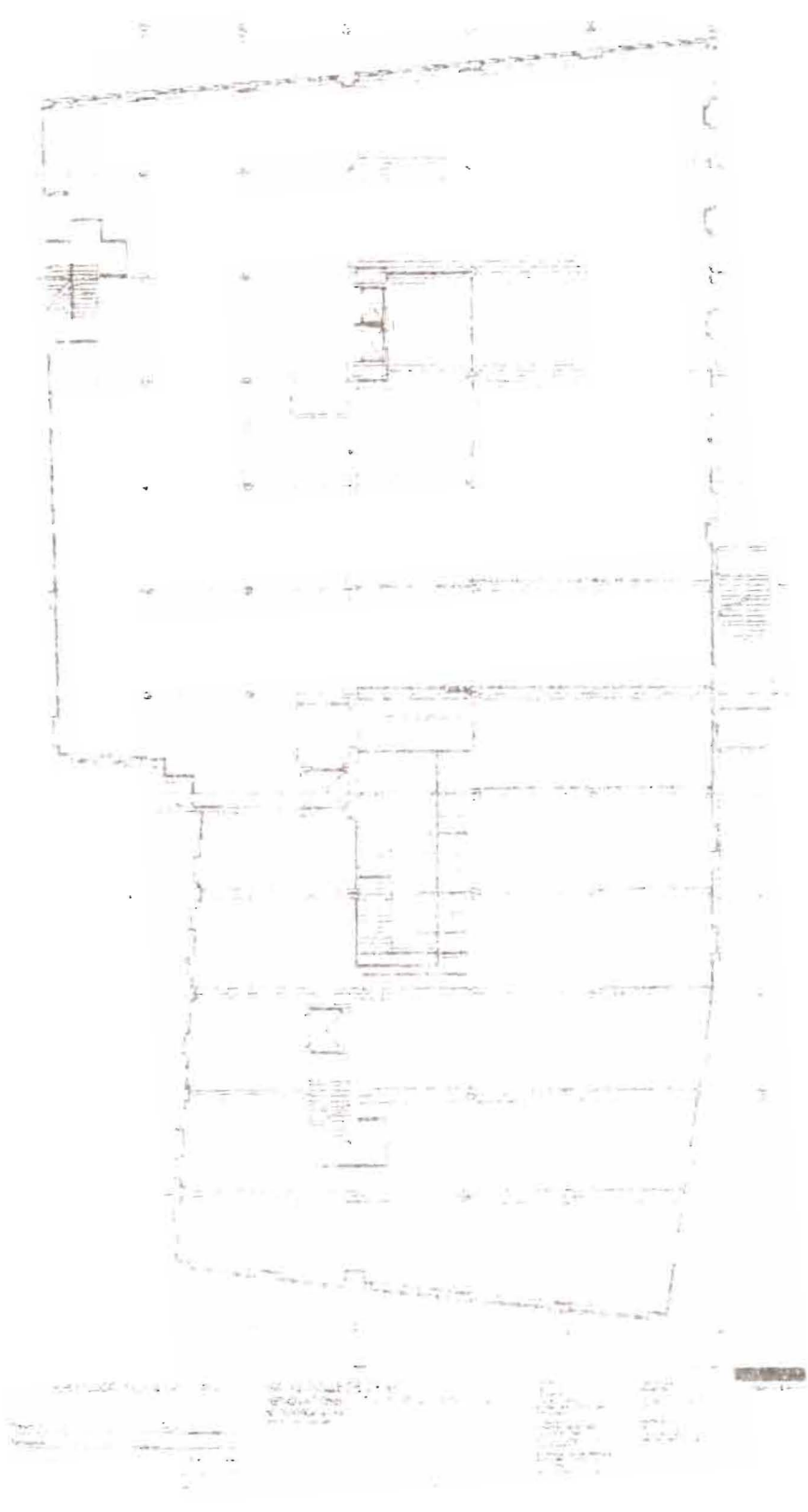
② between
wall

③ About 5/8" type x studs
on exterior structure,
REMOVE BRICKED TUB
CHIMNEY

④ 1 layer of
type x studs
between
joists

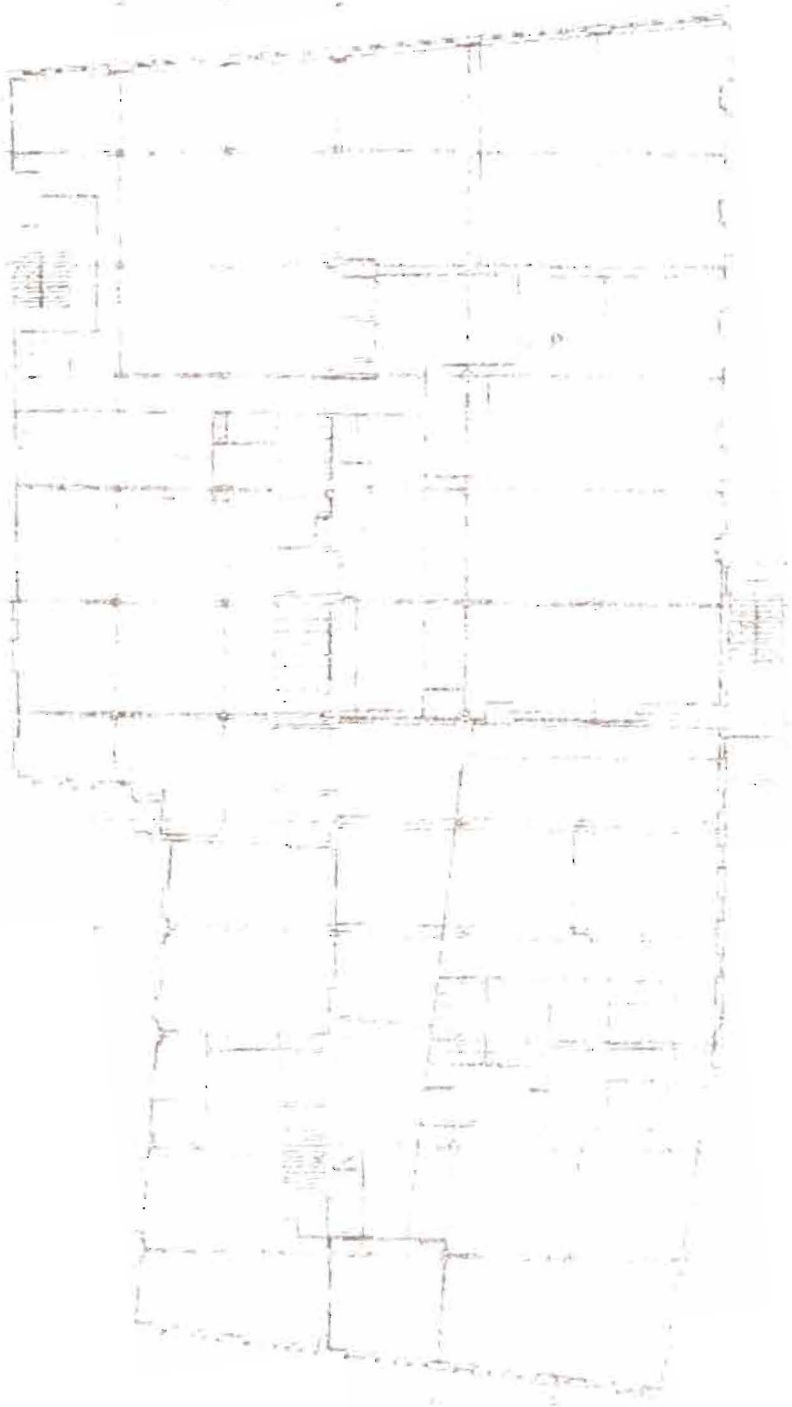
④ Existing interior
LATH & PLASTER
PARTIAL ON PERIMETER
ALL STRUCTURE IN
IS WITH IN THE
PERIMETER.

2nd floor
4/12/95



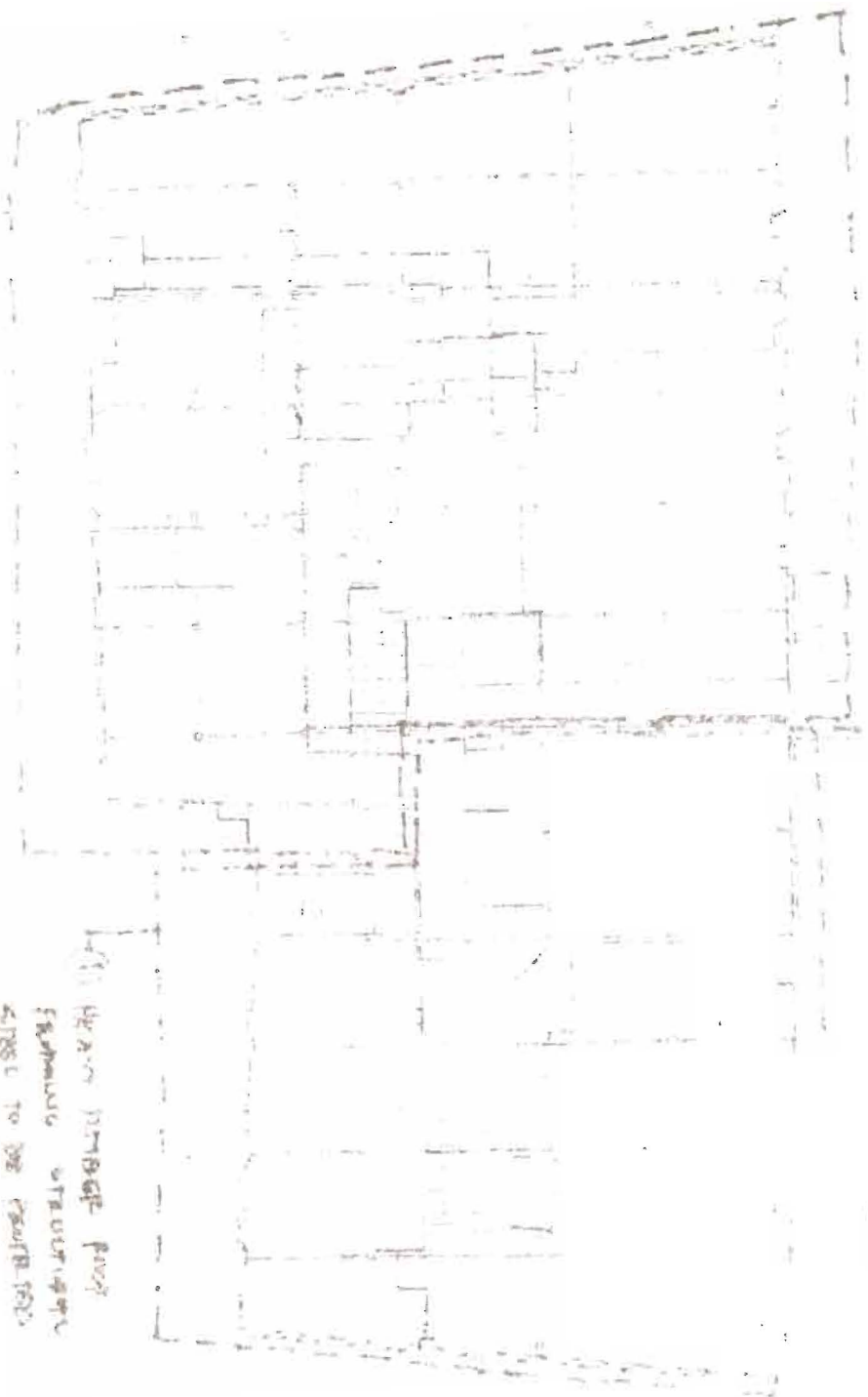
THIS ASSEMBLY PRESENTS THE LATEST
 OF HEAVY TIMBER. ALL STRUCTURAL
 STEEL WILL BE PROTECTED.

3rd Floor
 9/14/95



This assembly meets the intent
 of every measure. All structural
 steel will be painted.

4th Floor
 4/19/95



② Particles of operations room
 will be protected. Floor
 plate is heavy timber

③ Heavy timber floor
 remains structure
 also to be protected

5th floor
 6/12/45

6/12/45



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 522 Congress St

Issued to Maine College of Art

Date of Issue 1/18/96

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 95/0053, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

entire third floor
entire fourth floor
entire fifth floor

APPROVED OCCUPANCY

storage
business
business

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.