

Location of Construction: 542 Congress St		Owner: October Corporation		Phone:		Permit No: 960822	
Owner Address:		Leasee/Buyer's Name: L.L. Bean		Phone:		BusinessName:	
Contractor Name: Fulcrum Assoc. Inc.		Address: 547 Amherst St Nashua, NH		Phone: 03063 603-595-4840		Permit Issued: AUG 21 1996	
Past Use: Vacant Space		Proposed Use: Retail		COST OF WORK: \$ 437,000.00		PERMIT FEE: \$ 2,205.00	
Proposed Project Description: Make Interior Renovations - Change Use		FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:		Zone: CBL: 037-H-002	
		Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>		Zoning Approval: <i>[Signature]</i> Permit Needed for	
		PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.)		Action: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Special Zone or Reviews: <input type="checkbox"/> Shoreland Signage <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: Mary Gresik		Date Applied For: 12 August 1996		Signature: <i>[Signature]</i>		Date: <i>8/16/96</i>	

PERMIT ISSUED
AUG 21 1996
CITY OF PORTLAND

- This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

8 - 30 YC

422-429 30-3086/30-3092

*Larry
603-599-0581
Beep when ready*

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT *[Signature]* Matthew Ladd ADDRESS: DATE: 13 ~~12~~ August 1996 PHONE: *603/595-4840*

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE *Fulcrum Associates Inc* PHONE:

- Zoning Appeal**
- Variance
 - Miscellaneous
 - Conditional Use
 - Interpretation
 - Approved
 - Denied

- Historic Preservation**
- Not in District or Landmark
 - Does Not Require Review
 - Requires Review

- Action:**
- Approved
 - Approved with Conditions
 - Denied

Date: *8/16/96*

[Signature]

CEO DISTRICT **2**
T. Munson



Certificate of Occupancy

LOCATION 542 Congress St (037-H-002)

Issued to October Corporation

Date of Issue 15 October 1996

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 960822, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Retail

Limiting Conditions:

This certificate supersedes certificate issued

Approved:

10/15/96

(Date)

[Signature]
Inspector

[Signature]
Inspector of Buildings

COMMENTS

8/22/96 - Framing Inspection - All non-bearing walls - possible areas of concern w/ dead end travel.

10/15/96 CJO. A. Howe

	Type	Inspection Record	Date
Foundation:		_____	_____
Framing:	O.K.	_____	8/22/96
Plumbing:		_____	_____
Final:		_____	_____
Other:		_____	_____

BUILDING PERMIT REPORT

DATE: 7/14/97 ADDRESS: 542 Congress St
REASON FOR PERMIT: renovation
BUILDING OWNER: E Noyes
CONTRACTOR: Scott Simons
PERMIT APPLICANT: _____ APPROVAL: X/ *17*18*19*20*24 ~~DENIED~~
1 A25 X25

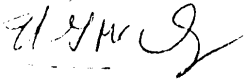
CONDITION(S) OF APPROVAL

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
 2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
 3. Precaution must be taken to protect concrete from freezing.
 4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
 5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
 6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993) U.L. 103.
 7. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" , except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
 8. Headroom in habitable space is a minimum of 7'6".
 9. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread. 7" maximum rise.
 10. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
 11. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
 12. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
 13. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
 14. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
 15. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

16. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
17. The Fire Alarm System shall be maintained to NFPA #72 Standard.
18. The Sprinkler System shall maintained to NFPA #13 Standard.
19. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
20. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
23. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
24. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
25. All electrical and plumbing permits must be obtained by a Master Licensed holders of their trade.
26. State Fire Marshall approval required for this Project
27. _____
28. _____


P. Samuel Hoffman, Chief of Code Enforcement

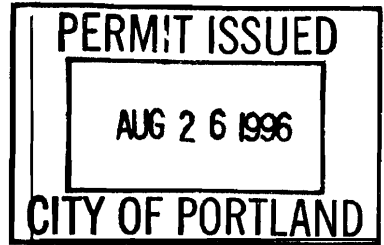
cc: Lt. McDougall, PFD
Marge Schmuckal



960829



APPLICATION FOR AMENDMENT TO PERMIT



Amendment No. _____

Portland, Maine, _____

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

21 August 1996

The undersigned hereby applies for amendment to Permit No. 960822 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 542 Congress St Within Fire Limits? _____ Dist. No. _____
Owner's name and address October Corp Telephone _____
Lessee's name and address L.L. Bean Telephone _____
Contractor's name and address Fulcrum Assoc. Telephone _____
Architect Retail Plans filed _____ No. of sheets _____
Proposed use of building Office w/ext reno/storefront No. families _____
Last use office retail No. families _____
Increased cost of work -0- Additional fee 25.00

Description of Proposed Work

Make Exterior Renovations to storefront - work paid for under original permit no plans submitted at time.

Handwritten signatures and notes including 'De P.A.D. review', 'signature review', '8/22/96', and 'not H.P.' with a circular stamp.

Larry 603-599-0581/Beep when ready

Details of New Work

Narry Chouramanis

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Framing lumber - Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor and flat roof span over 8 feet.
Joints and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

Approved: [Signature] 8/23/96

Signature of Owner _____

Approved: _____

INSPECTION COPY - WHITE
APPLICANT'S COPY - YELLOW

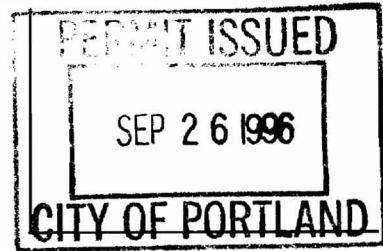
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ASSESSOR'S COPY - GOLDEN

Inspector of Buildings



960951

APPLICATION FOR AMENDMENT TO PERMIT



Amendment No. _____

Portland, Maine, _____

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE 19 September 1996

The undersigned hereby applies for amendment to Permit No. 960822 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 540-542 Congress St Within Fire Limits? _____ Dist. No. _____

Owner's name and address October Corp Telephone _____

Lessee's name and address L.L. Bean Telephone _____

Contractor's name and address Fulcrum Assoc. Telephone _____

Architect _____ Plans filed _____ No. of sheets _____

Proposed use of building Retail w/fire alarm system No. families _____

Last use Same No. families _____

Increased cost of work Included in original permit. Additional fee 25.00

Description of Proposed Work

Install Fire Alarm System

Page Larry 603-599-0581

Signature of Larry Chouramanis

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Framing lumber — Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor and flat roof span over 8 feet.

Joints and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

Approved: [Signature] 9/23/96

Signature of Owner _____

Approved: [Signature]

Approved: _____

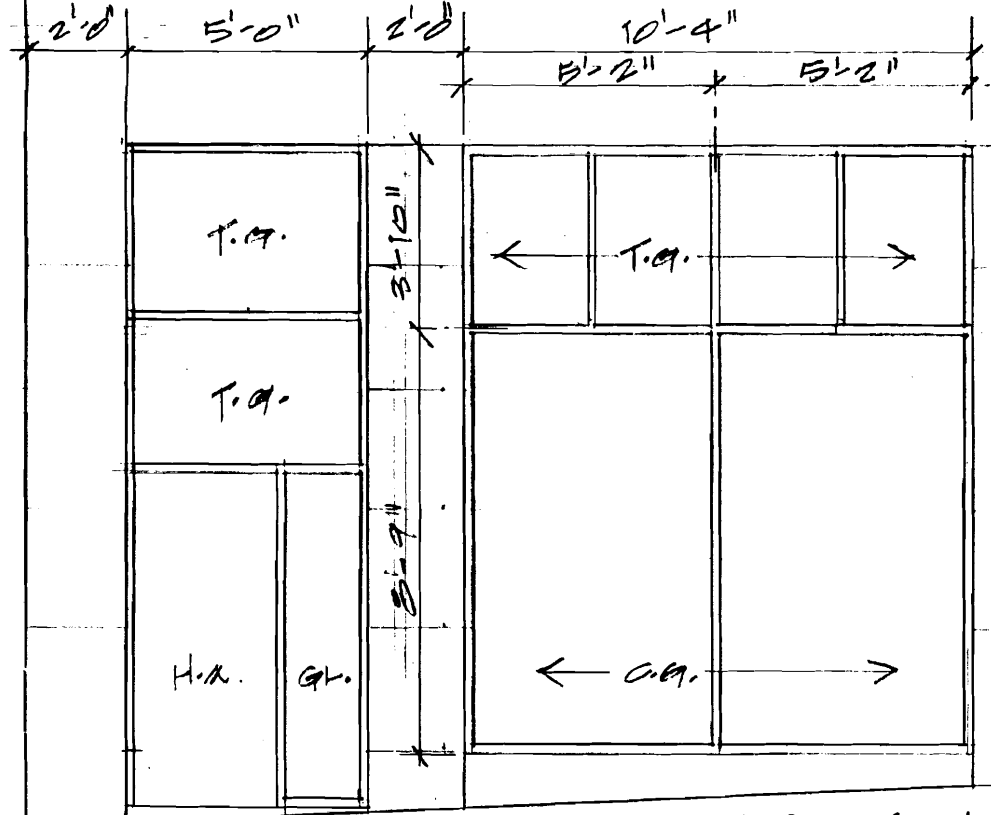
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FILE COPY — PINK ASSESSOR'S COPY — GOLDEN

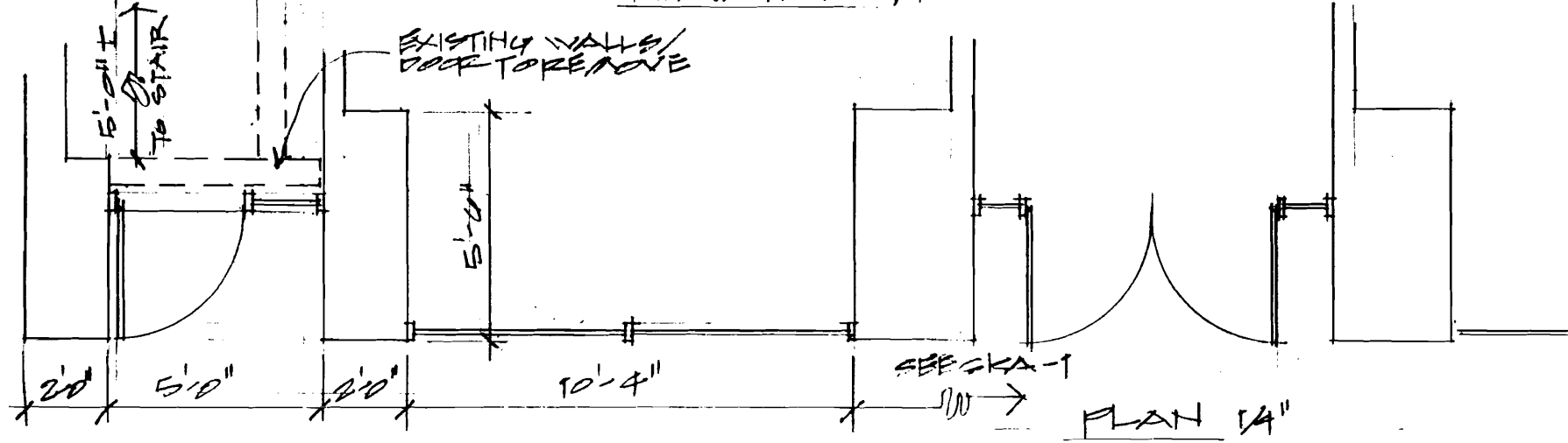
Inspector of Buildings

9/24/96

577087



ELEVATION 1A"



PLAN 1A"

SEE SKA-1

SCALE

1/4"

TITLE

L.L. BEAN - FACTORY STAIRS - PORTLAND
ELEVATION @ CONGRESS ST.

JOB NO.

90-040

DATE

8.19.90

REFERENCE NO.

SKA-2

PORTLAND DESIGN TEAM

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

August 20, 1996

Matthew Ladd
Fulcrum Associates, Incorporated
547 Amherst Street
Nashua, New Hampshire 03063

RE: 542 Congress Street
Portland, Maine

Dear Matthew,

Your application to make interior renovations has been reviewed and a permit is herewith issued subject to the requirements listed below. This permit does not excuse the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy will be issued until all requirements of this letter are met.

1. Separate permits are required for signage.
2. Any exterior alterations are subject to a separate permit and review.
3. The sprinkler system shall be maintained to NFPA 13 Standards
4. Emergency lighting shall be provided
5. A fire alarm system shall be installed
6. Portable fire extinguishers shall be provided in accordance with NFPA 10 Standards
7. Means of egress shall have signs with back-up lighting.
8. All required fire alarm systems shall have the capability of "Zone Disconnect" via switches or key pad program provided the method is approved by the Fire Prevention Bureau.
9. All remote annunciators shall have a visible "trouble" indicator along with the Fire Alarm "Zone" indicators.
10. A fire alarm acceptance report shall be submitted to the Portland Fire Department.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,

Marge Schmuckal
Asst. Chief, Inspection Services Division
cc: Lt. McDougall, PFD