

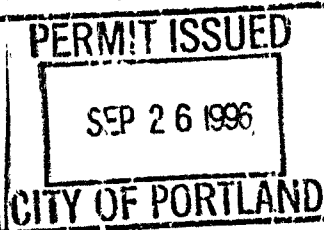
960951



## APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. \_\_\_\_\_

Portland, Maine, \_\_\_\_\_



To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE 19 September 1996

The undersigned hereby applies for amendment to Permit No. 960822 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 340-342 Congress St. Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
 Owner's name and address October Corp. Telephone \_\_\_\_\_  
 Lessee's name and address L.L. Bean Telephone \_\_\_\_\_  
 Contractor's name and address Fulcrum Assoc. Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Plans filed \_\_\_\_\_ No. of sheets \_\_\_\_\_  
 Proposed use of building Retail w/fire alarm system No. families \_\_\_\_\_  
 Last use Same No. families \_\_\_\_\_  
 Increased cost of work Included in original permits Additional fee 25.00

## Description of Proposed Work

Install Fire Alarm System

Page Larry 603-599-0581

## Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
 Framing lumber — Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
 Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16' O.C. Bridging in every floor and flat roof span over 8 feet.  
 Joints and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Approved: [Signature] 9/23/96

Signature of Owner \_\_\_\_\_

INSPECTION COPY — WHITE  
APPLICANT'S COPY — YELLOWFILE COPY — PINK  
ASSESSOR'S COPY — GOLDEN

Approved: \_\_\_\_\_

Inspector of Buildings

96/1/96

BUILDING PERMIT REPORT

Date: 9/24/96

Address: 5240 Congress St

Reason for Permit \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Building Owner: \_\_\_\_\_

Contractor: \_\_\_\_\_

Permit Applicant: \_\_\_\_\_

Approved: \_\_\_\_\_ Denied: \_\_\_\_\_

Conditions of Approval or Denial:

1. All required Fire Alarm systems shall have the capability of "Zone Disconnect" via switches or key pad program provided the method is approved by the Fire Prevention Bureau.
2. All remote annunciators shall have a visible "trouble" indicator along with the Fire Alarm "Zone" indicators.
3. Any Master Box connected to the Municipal Fire Alarm System shall have a supervised Municipal Disconnect Switch.
4. All Master Box locations shall be approved by the Fire Department Director of Communications. A Master Box shall be located so that the center of the box is (5') five feet above finished floor.
5. All Master Box locations are required to have a locked box ( knoxbox )
6. A fire alarm acceptance report shall be submitted to the portland Fire Department

# City of Portland, Maine -- Building or Use Permit Application, 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8711

Location of Construction: 542 Congress St		Owner: October Corporation		Phone:		Permit No: <b>96082</b>	
Owner Address:		Leasee/Buyer's Name: L.L. Bean		Phone:		Business Name:	
Contractor Name: Fulcrum Assoc. Inc.		Address: 547 Amherst St Nashua, NH		Phone: 03063 603-595-4840		Permit Issued: <b>AUG 21 1996</b>	
Past Use: Vacant Space		Proposed Use: Retail		COST OF WORK: \$ 437,000.00		PERMIT FEE: \$ 2,205.00	
Proposed Project Description:  Make Interior Renovations - Change Use		FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:		Zone: CEL: 037-H-002	
		Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>		Special Approval: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: <i>[Signature]</i> Date: <i>8/16/96</i>		<input checked="" type="checkbox"/> Permit Needed for: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Special Use <input type="checkbox"/> Site Plan Major <input type="checkbox"/> minor <input type="checkbox"/> minor			
Permit Taken By: Mary Gresik		Date Applied For: 12 August 1996					

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

8 - 30 YC

422-429 30-3086/30-3092

*Larry*  
*603-599-0581*  
*Beep when ready*

**PERMIT ISSUED WITH REQUIREMENTS**

## CERTIFICATION

I hereby certify that I am the owner of record of the ~~related~~ property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT *Matthew Ladd*

ADDRESS:

13 ~~12~~ August 1996

DATE:

PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE *Fulcrum Associates Inc*

*603/595-4840*

PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-inspector

CEO DISTRICT

**2**

*T. Munson*



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 542 Congress St (037-H-002)

Issued to October Corporation

Date of Issue 15 October 1996

This is to certify that the building, premises, or part thereof, at the above location, built -- altered -- changed as to use under Building Permit No. 960822, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Retail

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

10/15/96

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



# APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. \_\_\_\_\_

Portland, Maine, \_\_\_\_\_

960829

PERMIT ISSUED

AUG 26 1996

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

21 August 1996

The undersigned hereby applies for amendment to Permit No. 960822 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 542 Congress St Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
Owner's name and address October Corp Telephone \_\_\_\_\_  
Lessee's name and address L.L. Bean Telephone \_\_\_\_\_  
Contractor's name and address Fulcrum Assoc. Telephone \_\_\_\_\_  
Architect retail Plans filed \_\_\_\_\_ No. of sheets \_\_\_\_\_  
Proposed use of building Office w/ext reno/storefront No. families \_\_\_\_\_  
Last use office retail No. families \_\_\_\_\_  
Increased cost of work -0- Additional fee 25.00

## Description of Proposed Work

Make Exterior Renovations to storefront - work paid for under original permit  
no plans submitted at time.

Larry 603-599-0541/Beep when ready

## Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Framing lumber - Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor and flat roof span over 8 feet.  
Joints and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Approved: \_\_\_\_\_

Signature of Owner \_\_\_\_\_

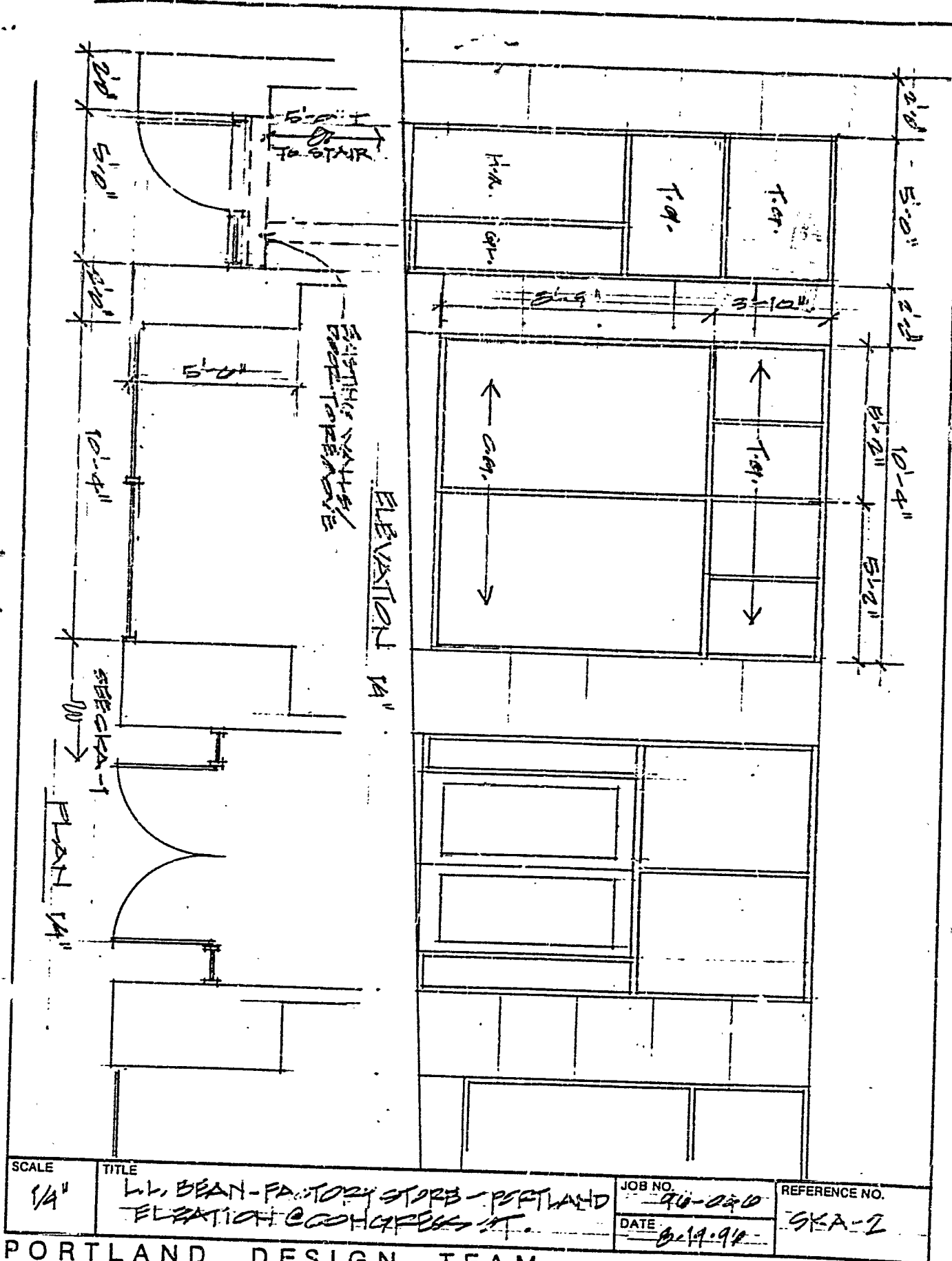
Approved: \_\_\_\_\_

Inspector of Buildings

INSPECTION COPY - WHITE  
APPLICANT'S COPY - YELLOW

FILE COPY - PINK  
ASSESSOR'S COPY - GOLDEN





PORTLAND DESIGN TEAM

Inspection Services  
P. Samuel Hoffser  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

CITY OF PORTLAND

August 20, 1996

Matthew Ladd  
Fulcrum Associates, Incorporated  
547 Amherst Street  
Nashua, New Hampshire 03063

RE: 542 Congress Street  
Portland, Maine

Dear Matthew,

Your application to make interior renovations has been reviewed and a permit is herewith issued subject to the requirements listed below. This permit does not excuse the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy will be issued until all requirements of this letter are met.

1. Separate permits are required for signage.
2. Any exterior alterations are subject to a separate permit and review.
3. The sprinkler system shall be maintained to NFPA 13 Standards
4. Emergency lighting shall be provided
5. A fire alarm system shall be installed
6. Portable fire extinguishers shall be provided in accordance with NFPA 10 Standards
7. Means of egress shall have signs with back-up lighting.
8. All required fire alarm systems shall have the capability of "Zone Disconnect" via switches or key pad program provided the method is approved by the Fire Prevention Bureau.
9. All remote annunciators shall have a visible "trouble" indicator along with the Fire Alarm "Zone" indicators.
10. A fire alarm acceptance report shall be submitted to the Portland Fire Department.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,

A handwritten signature in cursive script, reading "Marge Schmuckal".

Marge Schmuckal  
Asst. Chief, Inspection Services Division  
cc: Lt. McDougall, PFD

# City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 542 Congress St		Owner: October Corporation		Phone:		Permit No: 960822	
Owner Address:		Lease/Buyer's Name: L.L. Esch		Phone:		Business Name:	
Contractor Name: Fulcrum Assoc. Inc.		Address: 347 Ashurst St		Phone: 603-595-4840		Permit Issued: AUG 21 1996	
Past Use: Vacant Space		Proposed Use: Retail		COST OF WORK: \$ 437,000.00		PERMIT FEE: \$ 2,200.00	
Proposed Project Description:  Make Interior Renovations - Change Use		FIRE DEPT. E. Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:		Zone: CBL: 037-B-002	
		Signature: [Signature]		Signature: [Signature]		Zoning Approval: [Signature]	
		PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.) Action: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Signature: [Signature] Date: 8/16/96		Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input checked="" type="checkbox"/> Major <input type="checkbox"/> Minor <input type="checkbox"/> Minor	
Permit Taken By: Mary Gresik		Date Applied For: 12 August 1996					

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

3 - 30 TC

422-429 30-3085/30-3092

## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: [Signature] ADDRESS: DATE: 12 August 1996 PHONE: 603/595-4840  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: Fulcrum Associates Inc.

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

PERMIT ISSUED  
WITH REQUIREMENTS

Historic Preservation  
☒ Not in District or Landmark  
☒ Does Not Require Review  
☐ Requires Review

## Action:

☐ Approved  
☐ Approved with Conditions  
☐ Denied

Date: 8/16/96  
[Signature]

CEO DISTRICT



# COMMENTS

8/22/96 - Framing Inspection - All non-bear. a walls - possible areas of concern w/ dead end travel.

10/15/96 CSJO. A. Rowe

Type	Inspection Record	Date
Foundation:		
Framing:	O.K.	8/22/96
Plumbing:		
Final:		
Other:		

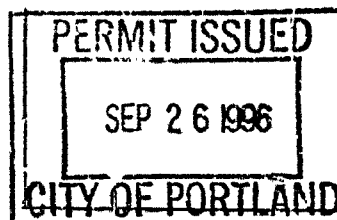


# 960951

## APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. \_\_\_\_\_

Portland, Maine, \_\_\_\_\_



To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE 19 September 1996

The undersigned hereby applies for amendment to Permit No. 960822 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location... 540-542 Congress St Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
Owner's name and address... October Corp Telephone \_\_\_\_\_  
Lessee's name and address... L.L. Bean Telephone \_\_\_\_\_  
Contractor's name and address... Fulcrum Assoc. Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Plans filed \_\_\_\_\_ No. of sheets \_\_\_\_\_  
Proposed use of building... Retail w/fire alarm system No. families \_\_\_\_\_  
Last use... Same No. families \_\_\_\_\_  
Increased cost of work... Included in original permit. Additional fee 25.00

### Description of Proposed Work

Install Fire Alarm System

Page Larry 603-599-0581

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Framing lumber — Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders: \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor and flat roof span over 8 feet.  
Joints and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Approved: \_\_\_\_\_

Signature of Owner \_\_\_\_\_

INSPECTION COPY — WHITE  
APPLICANT'S COPY — YELLOW

FILE COPY — PINK  
ASSESSOR'S COPY — GOLDEN

Approved: \_\_\_\_\_

Inspector of Buildings

9/24/96

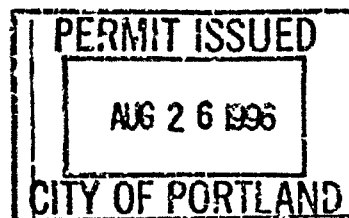
960829



## APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. \_\_\_\_\_

Portland, Maine, \_\_\_\_\_



To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

21 August 1996

The undersigned hereby applies for amendment to Permit No. 960822 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 542 Congress St Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
 Owner's name and address October Corp Telephone \_\_\_\_\_  
 Lessee's name and address L.I. Bean Telephone \_\_\_\_\_  
 Contractor's name and address Fulcrum Assoc. Telephone \_\_\_\_\_  
 Architect retail Plans f. \_\_\_\_\_ No. of sheets \_\_\_\_\_  
 Proposed use of building Office w/ext reno/storefront No. families \_\_\_\_\_  
 Last use office retail No. families \_\_\_\_\_  
 Increased cost of work --0-- Additional fee 0

## Description of Proposed Work

Make Exterior Renovations to storefront - work paid for under original permit  
 no plans submitted at time.

Larry 603-599-0581/Beep when ready

## Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
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 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
 Framing lumber — Kind \_\_\_\_\_ Dried or full size? \_\_\_\_\_  
 Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor and flat roof span over 8 feet.  
 Joints and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Approved: \_\_\_\_\_

Signature of Owner \_\_\_\_\_

Approved: \_\_\_\_\_

Inspector of Buildings

INSPECTION COPY — WHITE  
APPLICANT'S COPY — YELLOWFILE COPY — PINK  
ASSESSOR'S COPY — GOLDEN