Control of the Control of the State of the S 960951



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. ______

P	ERMIT ISSUEL	ز
	SEP 2 6 1996	
ci	TY OF PORTLA	ND

Portland, Maine, __ To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE 19 September 1996 The undersigned hereby applies $f_{\mathcal{M}}$ amendment to Permit No. 96082? pertaining to the building or structure comprised in the original application in acomismic with the Laws of the State of Maine, the Building Code and Zoming Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications: BAN-BAZICOTE STITES ____ Within Fire Limits? _ Owner's name and address October Corp Lessee's name and address L.L. Bean _____Telephone _ Contractor's name and address ____ Fulcrum Agnoc. _Telephone _ _____Plans filed ___ __ No. of sheeta____ Proposed use of building Retail W/fire almin system _____No. families_ Last use Same _ No. families_ Increased cost of work Included inoriginal permits Additional fee 25.00 Description of Proposed Work Install Fire Alarm System age Lavry 603-599-0581 **Details of New Work** Is any plumbing involved in this work? ____ ___ Is any electrical work involved in this work? Height average grade to top of plate ______ Height average grade to highest point of roof__ Size, front ____ ____ depth ______ No. stories _____ solid or filled land? ____ __earth or rock?____ Material of foundation ______ Thickness, top ______bottom _____ cellar_ Material of underpinning____ ————Height__ _____Thickness __ Rise per foot Roof covering Kind of roof___ No. of chimneys _____ Material of chimneys ____ Framing lumber — Kind ___ _____ Dressed or full size? _____ Corner posts _____ Sills ____ Girt or ledger board? _____ Size _ _____ Columns under girders______ Size _____ Max. on centers ___ ____ Size ___ Studs (outside walls and carrying pertitions) 2x4-16' O.C. Bridging in every floor and flat roof span over 8 feet. Joints and rafters: 1st floor ______, 2nd ______, 3rd______, roof _ On centers: 1st floor ______, 2nd _____, 3rd_____ Maximum span: 1st floor _, 2nd ___ _____, 3rd______, roof _ Approved: Signature of Owner _

INSPECTION COPY - WHITE APPLICANT'S COPY - YELLOW

FILE COPY - PINK

ASSESSOR'S COPY — GOLDEN

Inspector of Buildings

BUILDING PERMIT REPORT

Date: 9/24/96	
Address: 52/0 Community	
Reason for Permit	
	-
Building Owner:	
Contractors	
Permit Applicant:	
Approved: Denied:	
Conditions of Approval or Denied:	

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- All required Fire Alarm systems shall have the capability of "Zone." Disconnect" via switches or key pad program provided the method is approved by the Fire Prevention Bureau.
- All remote annunciators shall have a visible "trouble" indicator flong with the Fire Alarm "Zone" indicators.
- Any Master Box connected to the Municipal Fire Alarm System shall have
- All Master Box locations shall be approved by the Fire Department Director of Communications. A Master Box shall be located so that the center of the box is (5°) five feet above finished floor.
- All Master Box locations are required to have a locked box (knoxbox)
- A fire alarm acceptance report shall be submitted to the portland Fire

542 Congress St	Owner.	•	Phone:	,1. (207)	874-8703, FAX: 874-87
Owner Address:	Octol	ber Corporation			Permit No: 96082
	Leasee/Buyer's Name: L.L. Bean	Pnone:	Business	Name:	DEDMIT LOCITED
Contractor Name;	Address:		Phone:		PERMIT ISSUED
Past Use:	547 Amherst	St Nashua, NH	03063 6	03-595-4840	¥ }
,	Proposed Use:	COST OF V	VORK:	PERMIT FEE:	- AUG 2 1 1996
Vacant Space	n		700.00	\$ 2,205.00	
	Retail	FIRE DEPT		INSPECTION:	CITY OF PORTLAN
				Use Group: Type:	
roposed Project Description:		Signature:	100/00	Signature: 196 S	Zoee: CEL: 037-H-00:
		PEDESTRIA	ACTIVITY SE	DISTRICT (P.U.D.)	Total Approvai: Serans
Maka Tutandan n	d	Action:	Approved	·	Special Zone or Review
Make Interior Renovat:	10ns - Change Use	I am L	Approved wi	th Conditions:	□ Shoreland Canalo
		ACC EXC	w netwate	in which to say	Wattand al. 9/01
ermi: Taken By:		Signature:	F	P Date: 8/16/96	D Si in ision
Mary Gresik	Date Applied For:	12 August 1996		7	Site an maj minor mr
This permit application to	la tha A . W			1 6	
This permit application doesn't preclude	e the Applicant(s) from meeting appl	icable State and Fedural ru	les.	1	∠ Ling Appeal □ Vallance
barding permits do not include plumbi	ing, septic or electrical work.			Willen)	☐ Misceli aneous
Building permits are void if work is not tion may invalidate a building permit a	started within six (6) months of the da	ate of issuance. False infor	ma-	•	☐ Conditi. 」 Use
tion may invalidate a building permit a					☐ Interpretation☐ Approved
		V (20)	1,0		☐ Denied
8 - 30 YC	≪	M VOV	W Nr		Historic Preservation
422-429 30-3086/30-3	Willet in District or Landman				
422-429 30-3086/30-3	Does Not Require Review				
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		102,266-028	WITH REC	JIREMENTS	☐ Requires Fleview Action:
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CITY OF PORTLAND, MAINE

Department of Building "aspection

Certificate of Occupancy

LOCATION 542 Congress St (037-H-002)

Issued to October Corporation

Date of Issue 15 October 1996

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 960822, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Retail

Limiting Conditions:

This certificate supersedes certificate issued

Approved:

Inspector

Inspector of Building

Notice: This centificate Mentifies toward use us outlying or premises, and ought to be transferred from

APPLICATION FOR AMENDMENT TO PERMIT

Amendment No.

Portland, Maine, .

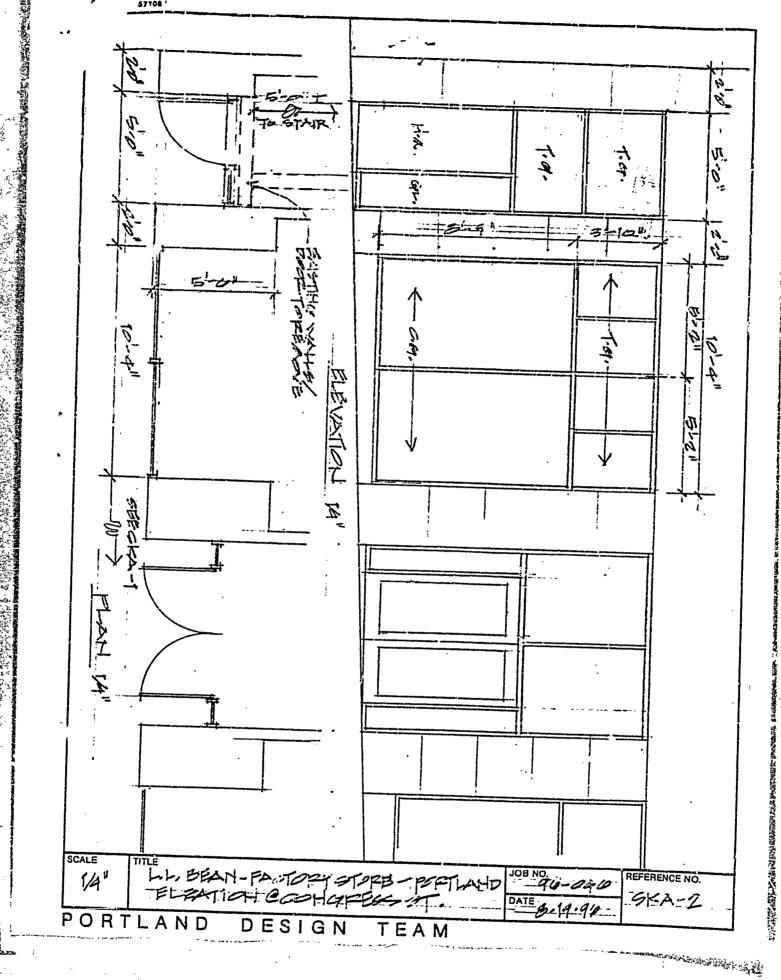
AUG 2 6 1996

CITY OF PORTLAND

PERMIT ISSUED



To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE	21 August 1996	
The undersigned hereby applies for amendment to Permit No. in the original application in accordance with the Laws of the St. Portland, pluns and specifications, if any, submitted herewith,	ate of M. ine, the Burkking Code (and the following specifications	ina zoning Grainance of the City of i:
Location 542 Congress St	Within Fire Limits	? Dist. No,
Owner's name and address October Corp		Telephone
		Telephone
Contractor's name and address Fulcrum Assoc.		Telephone
Architect	Plans	s filedNo, of sheets
Proposed use of building Office v/ext reno/s	torefront	No. families
Last useoffice- Nota J		No. families
Increased cost of work		Additional fee 25.00
	f Proposed Work	ican solution 190
Make Exterior Renovations to s	torefront - work paid	for upder criginal permit
no plans submitted at time.	ANA MAN	WY NOW
	of New Work	Harry Chouramanis
Is any plumbing involved in this work?	Is any electrical work invo	olved in this work?
Height average grade to top of plateF	leight average grade to highe	st point of roof
Size, frontdepth No. stories	solid or filled land?	earth or rock?
Material of foundation Thickness	s, top bottom	cellar
Material of underpinning	Height	Thickness
Kind of roof Pise per root	Roof covering	
No. of chimneys Material of chimneys		of lining
Framing lumber — Kind	Dressed or full size?	
Corner posts Sills Girt or ledge		
GirdersSizeColumns under girders	dersSize	Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O.		
		, roof
		, roof
•••	nd, 3rd	
Approved: 25 01 8/23/96		
to to J' Stag	Signature of Owner	g de de v
INSPECTION COPY — WHITE FILE COPY — P	INK	Inspector of Buildings
APPLICANT'S COPY — YELLOW ASSESSOR'S CO	DPY — GOLDEN	4,00



Inspection Services P. Samuel Hoffses Chief



Planning and Urban Development Joseph E. Gray Jr. Director

CITY OF PORTLAND

August 20, 1996

Marthew Ladd Fulcrum Associates, Incorporated 547 Amherst Street Nashua, New Hampshire 03063

> RE: 542 Congress Street Portland, Maine

Dear Matthew,

Your application to make interior renovations has been reviewed and a permit is herewith issued subject to the requirements listed below. This permit does not excuse the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy will be issued until all requirements of this letter are met.

- 1. Separate permits are required for signage.
- 2. Any exterior alterations are subject to a separate permit and review.
- 3. The sprinkler system shall be maintained to NFFA 13 Standards
- 4. Emergency lighting shall be provided
- 3. A fire alarm system shall be installed
- 6. Portable fire extinguishers shall be provided in accordance with NFPA 10 Standards
- 7. Means of egress shall have signs with back-up lighting.
- 8. All required fire alarm systems shall have the capability of "Zone Disconnect" via switches or key pad program provided the method is approved by the Fire Prevention Bureau.
- 9. All remote annunciators shall have a visible "trouble" indicator along with the Fire Alarm "Zone" indicators.
- 10. A fire alarm acceptance report shall be submitted to the Portland Fire Department.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely

Marge Schmuckal

Asst. Chief, Inspection Services Division

cc: Lt. McDougall, PFD

Jal Goderans St	Owner: Cetober	Comporation	Phote:	Permit No: 96082
Iwner Address:	Leasee/Buyer's Name:	Phone:	Business Nam 2:	Formit legied:
Constactor Name: Fulcase Aspoz. Like.	Address: 34/ Asherst S	E Jest W. RZ C3	4163 603-595-4840	AUG 2 1 1996
Past Use:	imposed lise:	\$ 437.0%	.00 5 2,203 3	CITY OF PORTLAND
Vacout Spend	班典化县集2	FIRE DEPT. C	Approved INSPECTION: Denied Use Group: Type	
N.,		Signature: 1	Signature: 16 5	2 03,-a-002
Proposed Project Description:		PEDESTRIAN Action:	ACTIVITIES DISTRICT (P.U.) Approved	Special Zone or Reviews:
Hika Interior Serovatio	wa - Change Exe	Action.	Approved with Conditions: Denied	C. Shoreland
		Signature:	Date: 7/1.	
Permit Taken By: Kary Cresik	Date Applied For:)2 August 1996	· ·	Zoning Appeal
Padding permits are void if work is not s tion may invalidate a building permit an	d stop all work	45	, J	☐ /Approved ☐ Denied
0 - 30 TC 422-429 30-3086/39-30)92 LJ	103, Och Bril	PEFINT ISSUED	
I hereby certify that I am the owner of record authorized by the owner to make this application of the cord in the cord of the	CERTIFICATE of the samed property, or that the pro- ation as his authorized agent and I ag	posed work is authorized by ree to conform to all ap, lic ficial's authorized represen	y the owner of record and that I have able laws of this jurisdiction. In actuative shall have the authority to e	Historic Preservation Not in District or Landmar Does Not Require Review Requires Review Action: Approved Approved Approved with Conditions Idition, Denied
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960951. APPLICATION FOR AMENDMENT TO PERMIT



Amendment No. Portland, Maine,

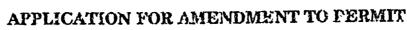
PERMIT ISSUED SEP 2 6 1996 CITY OF PORTLAND

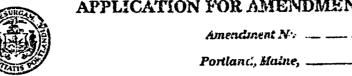
To the INSPECTOR OF L'UIL	DINGS, portland, m	AINE 19 Septes	ber 1996	
Portland, pla s and specificati	ccordance with the f loss, if any, submitte	o Permit No. <u>960822</u> aws of the Stale of Main ed herewith. and the fo	pertaining ne, the Building Co llowing spaificati	to the building or structure compris d 2 and Zoning Ordinance of the City ions:
Location. <u>540542 Co</u>	ongress St	***	_ Within Fire Lin	nits? Dist. No
Owner's name and address_	October Corp	<u> </u>		Telephone
Lessee's name and address_	L.L. Bean			Telephone
Contractor's name and addr	ess <u>Fulcrum</u>	Assoc.		Telephone
Architect			Pl	ans filed No. of theets
Proposed use of building	Retail w/fi	re alarm system		No. families
Last use	Same			No. families
Increased cost of work In	cluded inorigi	nal permit.		Additional fee 25.00
	Desc	ription of Propos	ed Work	
		-	Λ	
Install Fire Al	arm System			$, \Omega$
	-		∞	~
ia Larry	603-£	199-058	3/ 1/1/	Jay llour
]	Details of New W	ork /	farry Chouramanis
Is any plumbing involved in t			· i /	volved in this work?
Height average grade to top o	of plate	———Height aver	age grade to high	nest point of roof
				earth or rock?
				cellar
Material of underpinning				Thickness
No. of chimneys	Material of chimn	evs	· · · · · · · · · · · · · · · · · · ·	of lining
Framing lumber Kind		Dressed (or full size?	or minig
				Size
Girder:Size	Columns	ınder girders	Size	Max. on centers
Studs (outside walls and carr				
Joints and rafters:				, roof
On centers:				, roof
Maximum span:				, roof
Approved:	, 9/23/	9/2		,1001
He Sully 15-	illan o	11 L/3 Am	roved.	

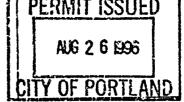
INSPECTION COPY — WHITE APPLICANT'S COPY — YELLOW

FILE COPY - PINK ASSESSOR'S COPY -

Inspector of Buildings







Tans of	Portland, Maine,		CITY OF PURILAND
To the INSPECTOR OF BUAL	LDINGS, PORTLAND, MAINE	21 August 1996	
in the original application in (olies for 1m. adment to Permit No accordance with the Laws of the St tions, if any, submitted herewith,	tate of Maine, the Building Code	the building or structure comprised and Zoning Ordinance of the City of E:
			s? Dist. No
Owner's name and address.	October Corp		Tele_inone
			Telephone
Contractor's name and add	lress <u>Fulcrum Assoc</u> .		Telephone
Architect	Petail	Plar	is f:No. of sheetc
Pomosed use of building	Office w/ext reno/s	storefront	No. families
Last use <u>off</u>	ee retail _		No. families
Increased cost of work	-0-	→ •••••••	Additional fee0
	Description o	of Proposed Work	for under original permit
Make Ex	terior Removations to	storefront - work paid	for under original permit
	ns submitted at time.	Dr. M. M.	The state of the s
•	Details o	of New Work	/ / Harry Chour burning
Is any plumbing involved in	n this work?	Is any electrical work inv	olved in this work?
Height average grade to to	p of plate H	Height average grade to high	est point of roof.
Size, front depth	No. stories	solid or filled lanu?	earth or rock?
			cellar
Kind of roof	Rise per foot	Roof covering	
No. of chimneys	Material of chimneys		of lining
Framing lumber — Kind _		?r ed or full size?	
			Size
			Max. on centers
Studs (outside walls and c	arrying partitions) 2x4-16" O.		
Joints and rafters:			, roof
On centers:			, roof
Maximum span:	1/ lst floor, 2	2nd, 3rd	, roof
Approved:	6i 8/2/2/	Signature of Owner _	
	1/2 (0./0./		

INSPECTION COPY — WHITE APPLICANT'S COPY — YELLOW

FILE COPY — PINK
ASSESSOR'S COPY — GOLDEN

Approved:.

Inspector of Buildings