

**LOCATION PLAN  
NO SCALE**

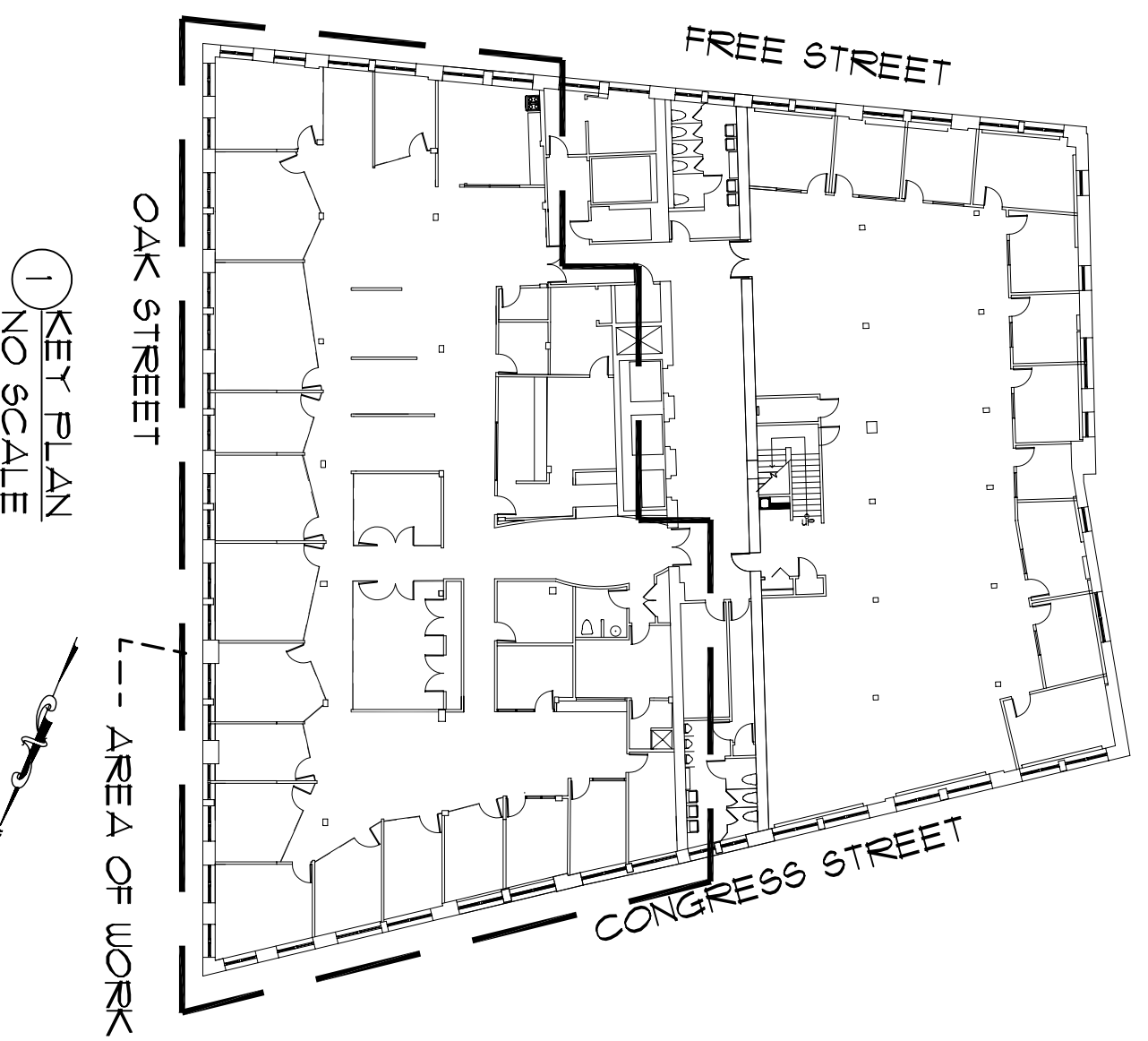
**INDEX OF DRAWINGS**

- Cover Sheet
- LP-1 Life Safety Plan
- D-1 Details

**TENANT**  
 Spinnaker Trust  
 123 Free Street  
 Portland, Maine

**Construction Manager**  
 Thaxter Company  
 55 Bell Street  
 Portland, Maine

**INTERIOR DESIGNER**  
 MDesigns  
 Falmouth, Maine



# SPINNAKER TRUST INTERIOR OFFICE FIT-UP 123 FREE STREET PORTLAND, MAINE

**PROJECT DESCRIPTION**

NOTE: THE BUILDING FRONTS FREE STREET, OAK STREET AND CONGRESS STREET. IT HAS ENTRANCES AT 123 FREE STREET AND 562 CONGRESS STREET.

THE PROJECT CONSISTS OF THE INTERIOR OFFICE FIT-UP OF AN EXISTING SPRINKLED OFFICE SPACE ON THE THIRD FLOOR OF AN EXISTING (6) STORY BUILDING. THE OFFICE SPACE WILL BE OCCUPIED BY A SINGLE TENANT.

THE WORK INCLUDES THE FOLLOWING:

- DEMOLITION OF EXISTING PARTITION WALLS, HUNG ACOUSTICAL CEILING, EXISTING CARPET.
- CONSTRUCTION OF NEW PARTITION WALLS.
- INSTALLATION OF NEW ACOUSTICAL HUNG CEILING.
- INSTALLATION OF NEW CARPETING.
- CONSTRUCTION OF (1) ADA COMPLIANT SHOWER ROOM.
- CONSTRUCTION OF (1) ADA COMPLIANT TOILET ROOM.
- CONSTRUCTION OF ONE BREAKROOM WITH KITCHETTE.
- RELOCATION / ADDITION OF SPRINKLER AND FIRE ALARM DEVICES PER THE NEW OFFICE LAYOUT.
- RELOCATION / ADDITION OF HVAC SYSTEM PER NEW OFFICE LAYOUT. THE EXISTING HVAC SYSTEM UTILIZES A PLENUM RETURN - ALL DEVICES, WIRING ETC. INSTALLED WITHIN THE PLENUM SHALL BE "PLENUM RATED".
- RELOCATION/ ADDITION OF ELECTRICAL LIGHTING & POWER PER NEW OFFICE LAYOUT.

THE WORK INCLUDES NO STRUCTURAL WORK. EXISTING STRUCTURAL COLUMNS ARE GYPSUM BOARD WRAPPED - THE WORK WILL NOT REMOVE OR DISTURB EXISTING COLUMN WRAPPING.

THE WORK INCLUDES NO EXTERIOR WORK - EXISTING EXTERIOR WALLS AND WINDOWS ARE TO REMAIN.

**CODE ANALYSIS - NEPA 2009**

SECTION 39 - EXISTING BUSINESS OCCUPANCY

MEANS OF EGRESS - TWO EGRESS STAIRS.

DEAD-END CORRIDORS - SHALL NOT EXCEED 50'

COMMON PATH OF TRAVEL - SHALL NOTE EXCEED 100' IN A SPRINKLED SBUILDING.

TRAVEL DISTANCE TO EXTIS - SHALL NOT EXCEED 200'.

EMERGENCY LIGHTING - REQUIRED.

EXIT SIGNS - REQUIRED.

AUTOMATIC SPRINKLER SYSTEM -THE BUILDING IS SPRINKLED.

FIRE ALARM SYSTEM -THE BUILDING HAS A FIRE ALARM SYSTEM.

**ZONING - CITY OF PORTLAND**

B3c ZONE - DOWNTOWN BUSINESS ZONE. CHART 37 / BLOCK G / LOT 14.

CODE ANALYSIS - IBC 2009, IBC EXISTING BUILDING CODE 2009.

USE & OCCUPANCEY - EXISTING BUSINESS, GROUP B

**ACCESSIBILITY**

AS A COMMERCIAL FACILITY THE PROJECT IS SUBJECT TO TITLE III OF THE ADA. IN PARTICULAR THE NEW BATHROOM & SHOWER HAVE BEEN DESIGNED IN ACCORDANCE WITH ADA.

Issue Date:  
**08/17/11**