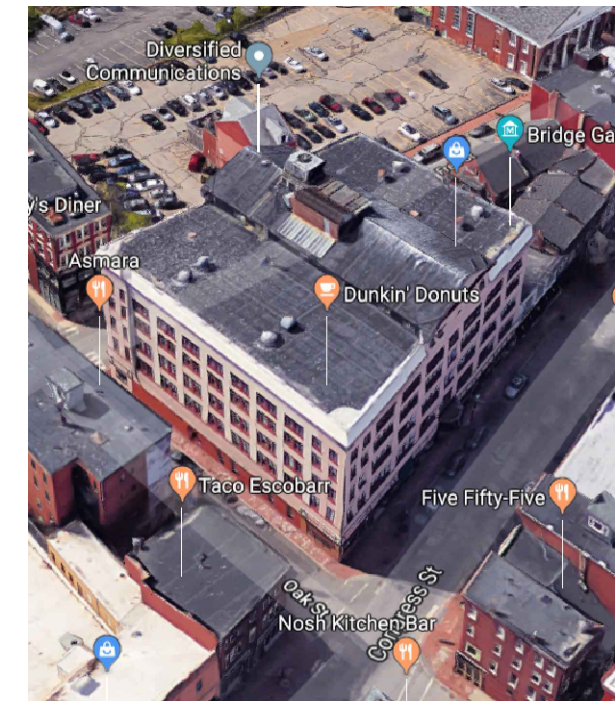
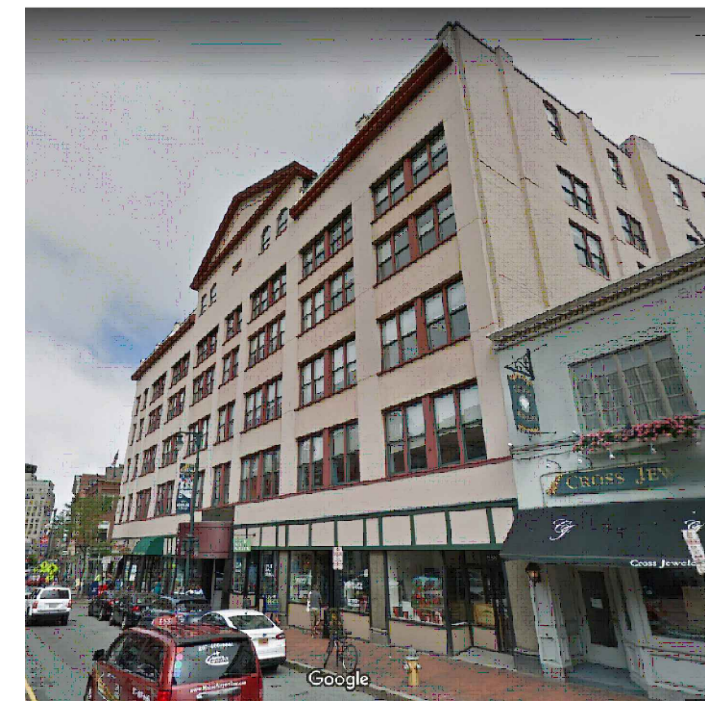




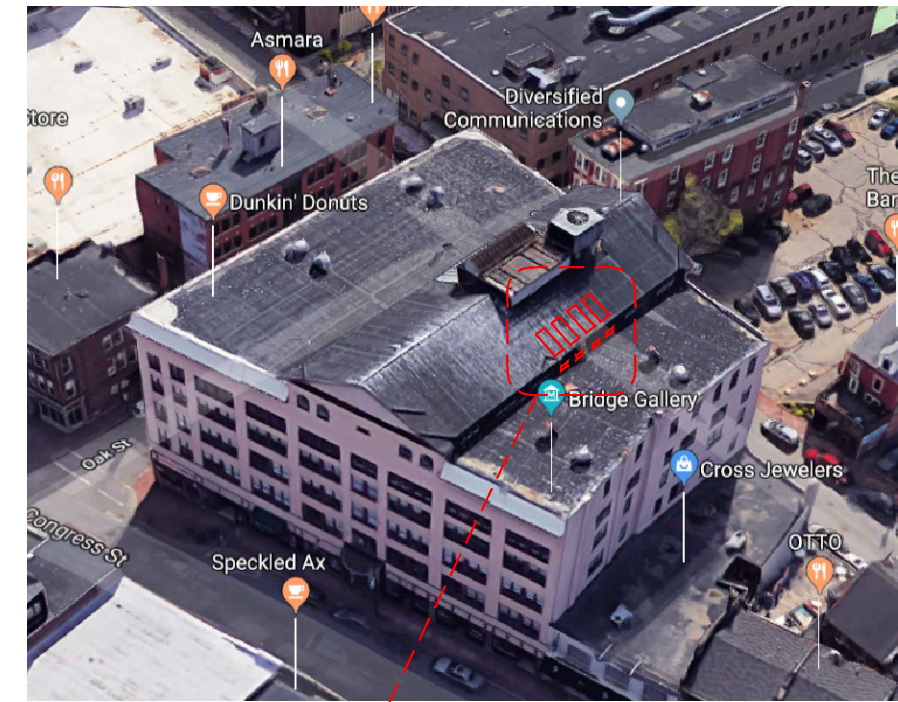
Corner of Congress and Oak



Ariel View



View from Congress Square



Ariel View

new skylights and transom windows
not included in phase 1 demolition

Views of Existing Building
no scale

General Conditions

- Design for Mechanical, Electrical, Plumbing, Sprinkler, and Alarm systems shall be design/build, shall include demolition of existing systems, and shall be by separate permit. Design/build documents for permitting and are subject to review and approval by the owner

Demolition General Notes

Submittals

- Provide tenant and building owner with demolition schedule for review and approval. The schedule shall minimize disturbances and interruptions to the tenant's onsite operations. The schedule shall indicate interruptions of utility services, and path of waste removal from building and site.

Quality

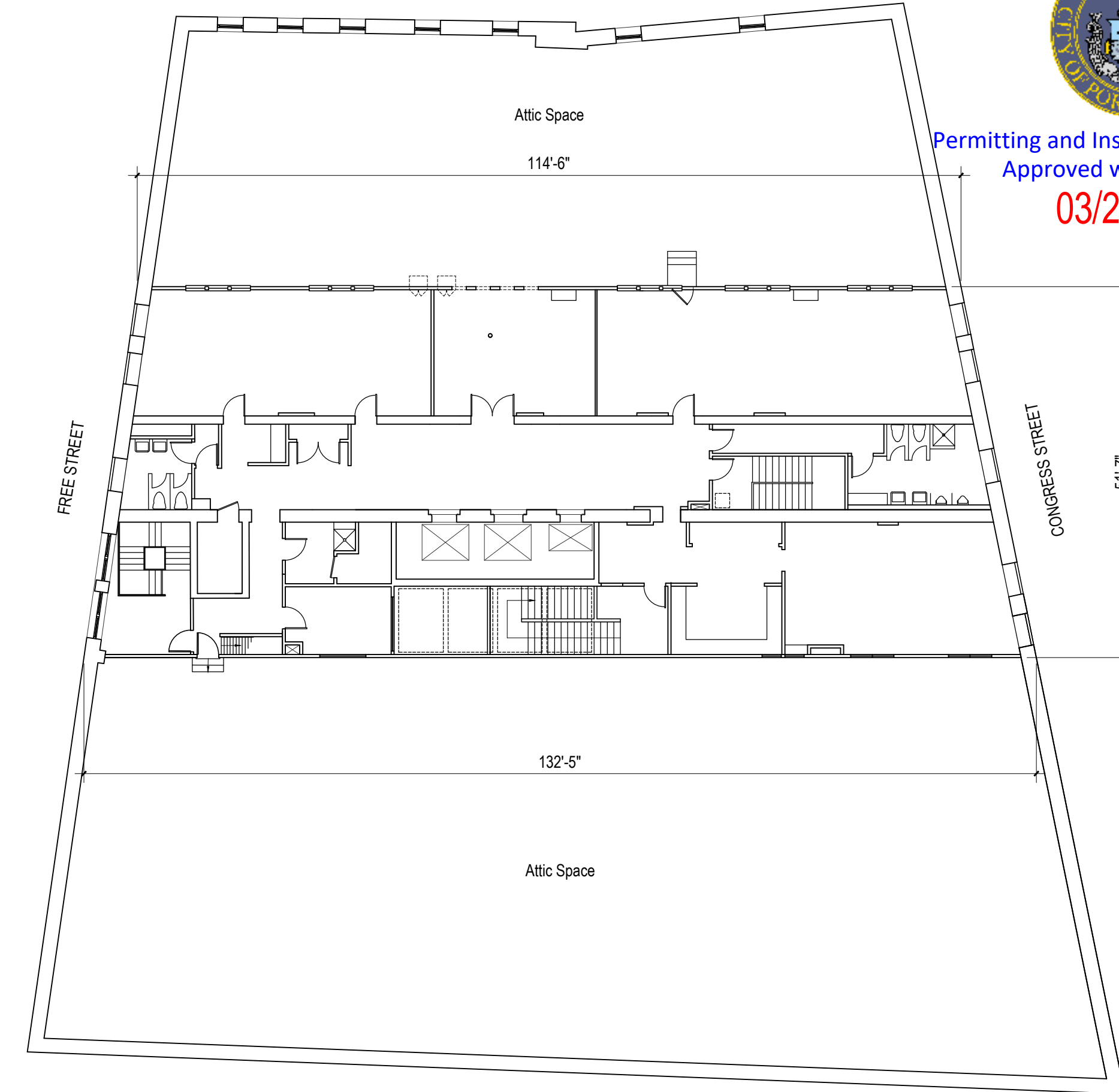
- Comply with applicable EPA notification regulation before starting selective demolition. Comply with ANSI A10.6 Safety Requirements for Demolition Operations, and NFPA 241: Standard for Safeguarding Construction, Alteration, and Demolition Operations.

Project Conditions and Requirements

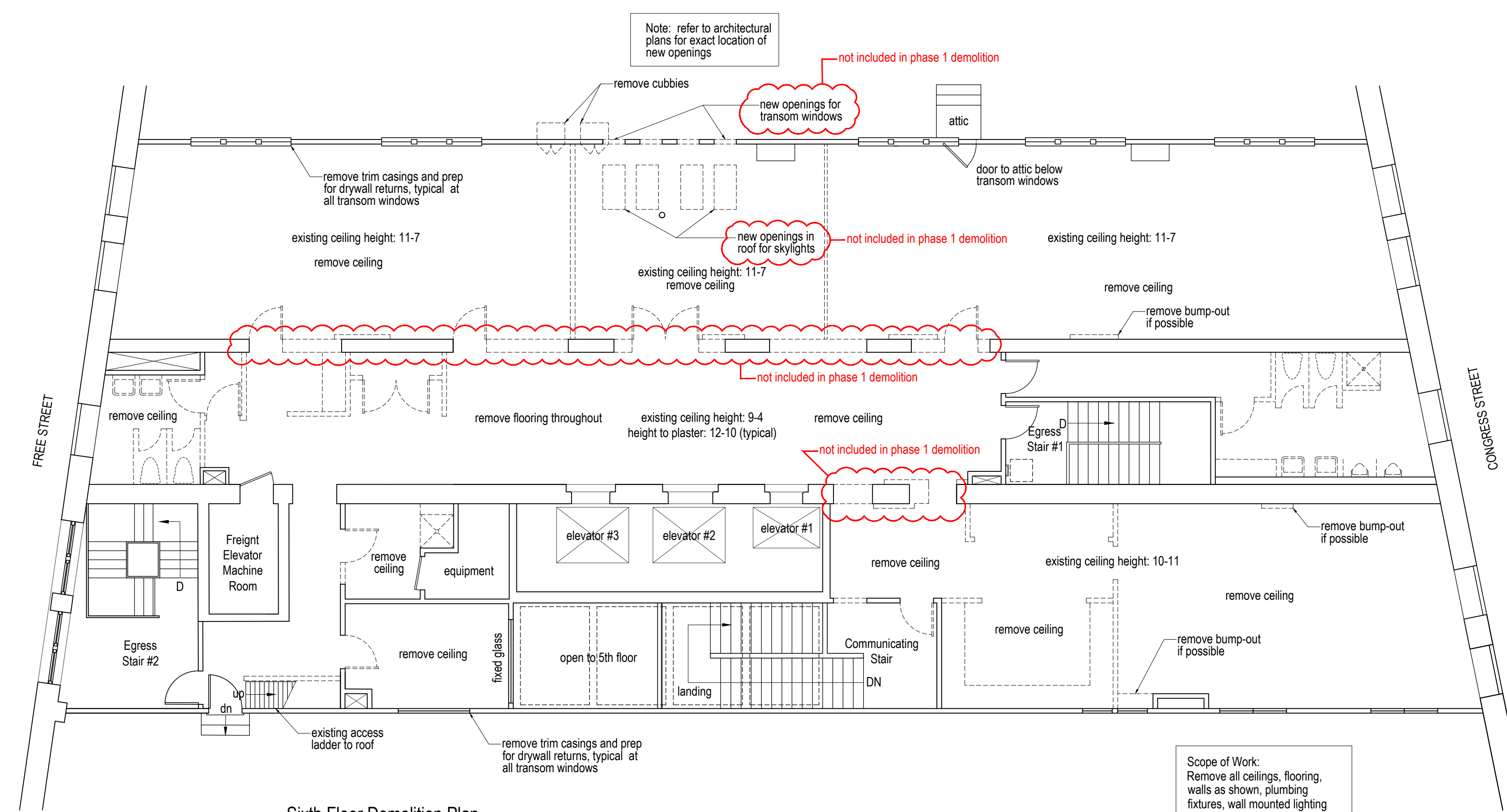
- Commencement of Demolition shall be subject to approval and permit by the City of Portland and approval by the building's owner
- Protect smoke detectors from dust or damage. Do not demolish or disable elevator recall or fire alarm equipment or devices without prior landlord and Fire Department approvals.
- The demolition plan is intended to be a schematic guide for removing existing assemblies, structures and materials as required for the new work to be installed. It is not intended to be exhaustive in detail. The contractor shall be familiar with the work of the project and remove all items as required by the work.
- Notify Owner before torches are used for cutting or welding.
- Remove all construction assemblies, materials, finishes, mechanical and electrical items necessary for the completion of the work as depicted on the drawings, specifications, and supplementary instructions. Refer to mechanical and electrical drawings for additional information on demolition of those items.
- The removal, disposal, and associated fees of all demolished items shall be the responsibility of the General Contractor.
- The contractor shall meet with the owner and tenant prior to the commencement of work to determine which removed items, such as doors, light fixtures, etc., shall be retained by the owner or tenant.
- All removed items not identified in note 6 above, including, debris and salvage shall be the property of the General contractor unless noted otherwise in the drawings
- Demolition (not shown) may be required in the ceiling of the floor below the area of work
- Demolition may uncover existing conditions, structures or assemblies that were not foreseen by the Architect or tenant. The contractor shall bring to the attention of the Architect any existing conditions that are discovered that will affect the scope or design of the project.
- Plumbing cold or hot water shutdowns may require multiple floor to be shut down. Coordinate all plumbing shutdowns with owner.
- The Contractor shall restore any fire rated assemblies damaged by the demolition process to their required rating.
- All HVAC duct work, AHU, fans, etc. will be protected from dust. Attic AHU and Rooftop fans serve lower floors and are required to remain active. Coordinate any shutdowns, cutting or capping duct work with building owner before altering and HVAC equipment or wiring.
- The Contractor shall protect finishes, assemblies and structures not required to be demolished or that are outside the area of work.
- All passenger and freight elevators, elevator machine rooms and machine room equipment, hoist ways and hoist way doors to be protected from dust. Access to Freight elevator to be coordinated with building owner.
- The contractor shall control dust, noise and vibration, to protect the adjacent areas.
- The contractor shall provide shoring and temporary support of existing structural members that the work requires. Where necessary, the contractor shall hire an engineer registered in Maine to design a shoring scheme
- Materials to be removed and reused or retained by the building's Owner, such as light fixtures and other electrical equipment, doors, and plumbing fixtures, shall be stored and protected from damage by ongoing construction activities.
- Except in case of emergency, house (non-tenant) electrical will not be shut off or disabled without first receiving owner's permission. Contractor shall be responsible for clearly labeling common panels. Do not trust panel labels as they may be incorrect or mislabeled. Verify outlet and or equipment served is not critical before shutting down electrical or HVAC.
- The General Contractor shall maintain and ensure safe passage of building occupants around and through areas of demolition.
- The 6th floor is the floor that can be used to cross over to the other stairway in case of fire. A clear lighted path needs to be maintained between stairwells at all times. Tenant needs to be notified if electrical power to the magnetic hold close is disabled.
- Nonbearing partition walls shown to be demolished shall be demolished in their entirety, for their full height.
- There is no work within Egress Stair A, Egress Stair B, and the Freight Elevator machine room
- All plaster ceilings shall remain and be repaired if damaged
- This project includes no work in Egress Stair #1, Egress Stair #2 and the Freight Elevator Machine Room.

Hazardous Materials

- The building contains asbestos managed in place. It is therefore essential that the following procedures be adhered to:
 - Before any work proceeds, Tenant schedules a meeting on site with a representative of Landlord, the general contractor and all sub-contractors.
 - No cables, anchors, ties will be attached to any mechanical pipes, conduits, or ductwork.
 - No cabling will be installed above any wrapped pipe.
 - No new anchors will be drilled into any flooring, floor decking—from above or below.
 - No pipe wrapping will be disturbed.
 - Landlord will be notified immediately if any potential asbestos containing material is disturbed, including but not limited to if any wrapped pipe.
 - Before removing any existing cables, contractor will verify that the cables are free of all ties, tape, anchors etc. holding or supporting the cables and that no cables, tools, equipment, ceiling tiles, etc. will be dragged across any pipes, conduits, pipe wraps, or through any wall, ceiling, or floor openings.
- If the Contractor suspects that hazardous materials such as asbestos containing materials (ACM), lead based paint, polychlorinated biphenyl, (PCB) and petroleum products are present he shall not disturb the material and notify the Tenant's representative and the Owner's representative. The contractor shall work with the Owner's representative to establish methods and procedures for removal of hazardous materials that are found.
- Fluorescent lights shall be handled and disposed of properly to prevent the release of mercury vapor

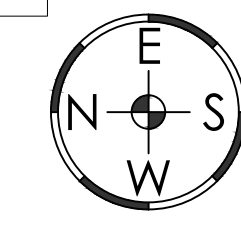


Sixth Floor Existing Plan
1/16"= 1'-0"
Conditioned Area excluding attics: 6638 SF (gross)

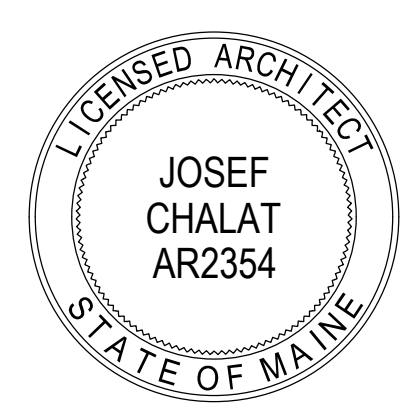


Sixth Floor Demolition Plan
1/8"= 1'-0"
graphic scale

Scope of Work:
Remove all ceilings, flooring, walls as shown, plumbing fixtures, wall mounted lighting



Permitting and Inspections Department
Approved with Conditions
03/21/2019



wtf
workplace
transformation
facilitation

workplace transformation facilitation
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asampson@beckerstructural.com

Life Safety Design
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Will@bennettengineering.net

General Contractor:
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Contact Marc Bourgeois: (207) 773-3625
mbourgeois@wright-ryan.com

Tenant:
Diversified Communications
121 Free Street
Portland Maine, 04101
Contact: Michelle Roberts: (207) 842 5570
mroberts@divcom.com

Owner: Terbax Realty Inc.
5 Mik Street
Portland, Maine, 04101
Contact: Bruce Kistler: (207) 772 6404
bkistler@forevercompany.com

Project Address:
562 Congress Street
Portland Maine, 04101

Diversified Communications
6th Floor Conference Center
and Boardroom
Phase 1 Demolition Plan

City of Portland Information:
Parcel ID 037 C014001
Lot Size 19,633 sf
Zoning: B3, Historic District

Date and Purpose
02-20-2019 Construction Permit

6th Floor Demolition Plan
Phase 1

Sheet Title and Number

a0.1