



Portland, Maine



Yes. Life's good here.

Permitting and Inspections Department  
Michael A. Russell, MS, Director

Permitting and Inspections Department  
Approved with Conditions

03/21/2019

**FAST TRACK ELIGIBLE PROJECTS  
SCHEDULE B**

(Please note: The appropriate Submission Checklist and General Building Permit Application must be submitted with any Fast Track application.)

**Type of Work:**

- One/two family renovations within existing shell, including interior demolition and windows.
- One/two family HVAC, including boiler, furnace, heating appliance, pellet or wood stove.
- One/two family exterior propane tank.
- Commercial HVAC for boiler, furnace, and heating appliance.
- Commercial HVAC system with structural and mechanical stamped plans.
- Commercial interior demolition – no load bearing demolition.
- Temporary outdoor tents and stages less than 750 square feet.
- Temporary construction trailer.

Zone: \_\_\_\_\_

- |                         |                                      |                                     |
|-------------------------|--------------------------------------|-------------------------------------|
| Shoreland zone?         | <input type="radio"/> Yes            | <input checked="" type="radio"/> No |
| Stream protection zone? | <input type="radio"/> Yes            | <input checked="" type="radio"/> No |
| Historic district?      | <input checked="" type="radio"/> Yes | <input type="radio"/> No            |
| Flood zone (if known)?  | <input type="radio"/> Yes            | <input checked="" type="radio"/> No |

This information may be found on the city's  
online map portal at:  
<http://click.portlandmaine.gov/gisportal/>

**I certify that** (all of the following must be initialed for this application to be accepted):

- I am not expanding the building, including footprint, floor area, or dormer.
- I am the owner or authorized owner's agent of the property listed below.
- I am aware that this application will not be reviewed for determination of the zoning legal use and the use may not be in compliance with City records.
- I assume responsibility for compliance with all applicable codes, bylaws, rules and regulations.
- I assume responsibility for scheduling inspections of the work as required, and agree that the inspector may require modifications to the work completed if it does not meet applicable codes.

Initials  
 \_\_\_\_\_  
 JC  
 \_\_\_\_\_  
 JC  
 \_\_\_\_\_  
 JC  
 \_\_\_\_\_  
 JC  
 \_\_\_\_\_  
 JC

Project Address: 562 CONGRESS STREET - 04101 0376014001

Print Name: JOSEF CHALAT, ARCHITECT Date: 2.8.2019

*This is a legal document and your electronic initials are considered a legal signature per Maine state law.*



03/21/2019

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### Fast Track Eligible Projects

Below is a list of projects that qualify for Fast Track. You will have the option to apply for Fast Track when applying for your building permit via the Citizen Self Service portal. All appropriate Fast Track form fields must be filled out in order for your application to be processed via the Fast Track program.

v	Type of Project	Schedule
	One/two family swimming pool, spa, or hot tub.	A
	One/two family first floor deck, stairs, or porch.	A
	One/two family detached, one-story accessory structure less than 600 sq. ft. without habitable space.	A
	Fences over 6 feet in height (residential or commercial).	A
v		
	One/two family renovations within existing shell, including interior demolition and windows.	B
	One/two family HVAC, including boiler, furnace, heating appliance, or pellet/wood stove.	B
	One/two family exterior propane tank.	B
	Commercial HVAC for boiler, furnace, and heating appliance.	B
	Commercial HVAC system with structural/mechanical stamped plans.	B
✓	Commercial interior demolition with no load-bearing demolition.	B
	Temporary outdoor tent or stage less than 750 sq. ft.	B
	Temporary construction trailer.	B
v		
	One/two family attached garage, addition, or dormer with plans stamped by a licensed architect or engineer.	C
	Home occupations other than daycares.	C
	Commercial signs or awnings.	C
	Commercial exterior propane tanks.	C
	Retaining walls over 4' in height with plans stamped by a structural engineer.	C
	Site work only (with approved site plan or does not trigger site plan review).	C

### Staff Review by Schedule

Schedule	Permit Tech	Zoning	Building/Life Safety	Planning	Historic
A*	X				X
B*	X				X
C		X		X**	X

\*If project is within the shoreland zone, stream protection zone or Special Flood Hazard Area, zoning review will be required.

\*\*Commercial structural expansions, including concrete or other impervious pads. Residential or commercial retaining walls or site work located in the shoreland zone.

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**Terbax Realty, Inc.**

5 Milk Street

P.O. Box 7525

Portland, ME 04112

(207) 772-6404

March 6, 2019

City of Portland  
389 Congress Street  
Portland, ME 04101



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To whom it may concern:

**03/21/2019**

1. Terbax Realty, Inc is the owner of a property at 562 Congress Street in Portland and is "Landlord" of certain tenants at the property, including Diversified Communications. A copy of Terbax's deed to the property is attached.
2. As Landlord, Terbax has consented to Diversified Communications applying to the City of Portland for a building permit to make alterations to portions of their leased space at 562 Congress Street. Therefore, Terbax Realty, Inc. respectfully requests that a building permit be issued to Diversified Communications for work at Landlord's building.

Sincerely,

Peter W Quesada  
vp  
Terbax Realty, Inc.

BK11915PG289



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03/21/2019

20203

**Quitclaim Deed**

562 Corp., a Maine corporation with a mailing address P.O. Box 4211, Station A, Portland, Maine 04101, for consideration paid, GRANTS to TERBAX REALTY, INC., a Maine corporation with a mailing address in care of Fore River Company, P.O. Box 7525, Portland, Maine 04112, with QUITCLAIM COVENANT, the land, with any and all buildings and improvements thereon and easements appurtenant thereto, situated at 562 Congress Street in the City of Portland, County of Cumberland and State of Maine, all as more particularly described in Schedule A attached hereto and incorporated herein by this reference.

IN WITNESS WHEREOF, 562 CORP. has caused this instrument to be sealed and signed by Nicholas Kampf, its Vice President, hereunto duly authorized, this 10th day of May, 1995.

WITNESS:

562 CORP., a Maine corporation

MAINE REAL ESTATE TAX PAID

By:

Nicholas Kampf  
Its Vice President

STATE OF MAINE  
COUNTY OF CUMBERLAND, ss.

May 10, 1995

Personally appeared the above-named Nicholas Kampf, and acknowledged the foregoing to be the free act and deed in his said capacity and the free act and deed of said 562 Corp.

Before me,

  
Notary Public/Attorney at Law

Timothy S. Keiter  
Print Name



03/21/2019

SCHEDULE A

A certain lot or parcel of land situated in the City of Portland, Cumberland County, Maine, bounded and described as follows, viz: beginning at a point on the northerly side of Free Street situated a distance of 144.21' on a course of S 52° 55' 46" W from the intersection of said Free Street with the westerly sideline of Oak Street and at the common wall between the property herein conveyed and property now or formerly of Eugene S. Martin (the "common wall"); thence on a course of N 42° 22' 23" W a distance of 1.13' by said common wall; thence on a course of S 38° 11' 28" W a distance of .31' by said common wall; thence on a course of N 43° 43' 17" W a distance of 55.29' by said common wall to an angle; thence on a course of N 63° 21' 28" E a distance of 2.37' by said common wall to an angle; thence on a course of N 52° 03' 55" W a distance of 47.04' by said common wall to the southerly boundary line of Congress Street; thence on a course of N 34° 09' 06" E a distance of 154.83' by said Congress Street to the westerly side of Oak Street; thence on a course of S 42° 28' 14" E a distance of 151.49', more or less, to the said northerly sideline of Free Street; thence by said Free Street a distance of 144.21', more or less, to the point of beginning.

The above premises are shown on a survey entitled "Plan of Property, Baxter Building, Congress, Free and Oak Streets, Portland, Maine, made for Great Bay Company" by R. P. Titcomb Associates, Inc., dated October 23, 1986.

The above premises are hereby declared subject to such Party Wall rights as may exist on the westerly boundary of the premises and as recited in a deed from James P. Baxter to Fraternity Company dated October 6, 1919, and recorded in Cumberland County Registry of Deeds in Book 1022, Page 302.

Being the same premises conveyed by Ronald M. Griffith, Trustee of the Baxter Building Realty Trust, to 562 Corp., by deed dated September 27, 1991, recorded in the Cumberland County Registry of Deeds in Book 9735, Page 274; the Baxter Building Condominium having been terminated by instrument dated October 11, 1993, and recorded in said Registry of Deeds in Book 11028, Page 32.

RECEIVED  
RECORDED REGISTRY OF DEEDS

55 MAY 12 11:46

CUMBERLAND COUNTY

John B. O'Brien