

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

960339

Location of Construction: 362 Congress St		Owner: Terbax Realty, Inc.		Phone:	
Owner Address:		Leasee/Buyer's Name:		Phone:	
Contractor Name: Terbax Realty		Address: P.O. Box 7535 Portland, ME 04112		Phone: 772-6404	
Past Use: Office/Retail		Proposed Use: Same		<b>COST OF WORK:</b> \$ <b>PERMIT FEE:</b> \$ 53.60	
Proposed Project Description:  Erect Marquee (Signage) 143 Sq ft		<b>FIRE DEPT.</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied		<b>INSPECTION:</b> Use Group: 3 Type: 3B Signature: [Signature]	
		<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b> Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Signature: _____ Date: _____	
Permit Taken By: Mary Gresik		Date Applied For: 25 April 1996			

**PERMIT ISSUED**  
 Permit Issued:  
**MAY - 3 1996**  
**CITY OF PORTLAND**

Zone: B-3 CBL: 37-6-14  
 Zoning Approval: [Signature] 5/1/96  
**Special Zone or Reviews:**  
 Shoreland  
 Wetland  
 Flood Zone  
 Subdivision  
 Site Plan maj  minor  mm

**Zoning Appeal**  
 Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

**Historic Preservation**  
 Not in District or Landmark  
 Does Not Require Review  
 Requires Review

**Action:**  
 Approved  
 Approved with Conditions  
 Denied  
 Date: \_\_\_\_\_

**PERMIT ISSUED WITH LETTER**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT Steven Dube ADDRESS: \_\_\_\_\_ DATE: 25 April 1996 PHONE: \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ PHONE: \_\_\_\_\_

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT **2**

Inspection Services  
P. Samuel Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

## CITY OF PORTLAND

May 2, 1996

Terbox Realty  
P. O. Box 7525  
Portland, Maine 04112

RE: 562 Congress Street

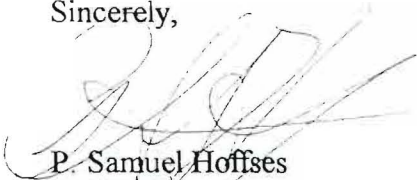
Dear Sir,

Your application to erect a 143 square foot marquee (signage), has been reviewed and a permit is herewith issued subject to the requirements listed below. This permit does not excuse the applicant from meeting applicable State and Federal laws.

**This permit is being issued with the understanding that before work begins, you must submit and get approval on a detailed structural plan. Your application did not include one.**

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,



P. Samuel Hoffses  
Chief, Code Enforcement Division

cc: M. Schmuckal, Asst C, Code Enf Div

**SIGNAGE**

**PLEASE ANSWER ALL QUESTIONS**

ADDRESS: 562 CONGRESS STREET ZONE: B-3

OWNER: TERBAX REALTY INC.

APPLICANT: TERBAX REALTY INC.

ASSESSOR NO.: \_\_\_\_\_

SINGLE TENANT LOT? YES \_\_\_\_\_ NO X

MULTI TENANT LOT? YES X NO \_\_\_\_\_

FREESTANDING SIGN? YES \_\_\_\_\_ NO X DIMENSIONS \_\_\_\_\_  
(ex. pole sign..)

MORE THAN ONE SIGN? YES \_\_\_\_\_ NO \_\_\_\_\_ DIMENSIONS \_\_\_\_\_

BLDG. WALL SIGN? YES X NO \_\_\_\_\_ DIMENSIONS 7' TALL 1/2 CIRCLE  
(attached to bldg) 58.5# 7' RADIUS  
submittal

APPLYING FOR  
MORE THAN ONE SIGN? YES \_\_\_\_\_ NO X DIMENSIONS \_\_\_\_\_

LIST ALL EXISTING SIGNAGE AND THEIR DIMENSIONS: \_\_\_\_\_

TENANT SIGNAGE (CATHOLIC CHARITIES) 2'x40' ±

LOT FRONTAGE (FEET) 147' ± 50% of wall area

BLDG FRONTAGE (FEET) 140' ± OK

MARQUEE X MARQUEE  
AWNING YES \_\_\_\_\_ NO \_\_\_\_\_ IS AWNING BACKLIT? YES X NO \_\_\_\_\_

MARQUEE  
HEIGHT OF AWNING: 7'-0" ±

IS THERE ANY COMMUNICATION, MESSAGE, TRADEMARK OR SYMBOL ON IT? Yes

**A SITE SKETCH AND BUILDING SKETCH SHOWING EXACTLY WHERE EXISTING AND NEW SIGNAGE IS LOCATED MUST BE PROVIDED. SKETCHES AND/OR PICTURES OF THE PROPOSED SIGNS ARE ALSO REQUIRED.**



**ACORD. CERTIFICATE OF INSURANCE** DATE (MM/DD/YY)  
04/25/96

<b>PRODUCER</b> ALLEN AGENCY 34-36 ELM ST P.O. BOX 578 CAMDEN ME 04843	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICES BELOW.
<b>INSURED</b> FORE RIVER COMPANY ETAL & TERBAX REALTY P.O. BOX 7525 PORTLAND ME 04112	<b>COMPANIES AFFORDING COVERAGE</b> COMPANY A PEERLESS COMPANY B COMPANY C COMPANY D

**COVERAGES**  
 THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT	BOP9064959	03/14/96	03/14/97	GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMP/OP AGG \$1,000,000 PERSONAL & ADV INJURY \$1,000,000 EACH OCCURRENCE \$1,000,000 FIRE DAMAGE (Any one fire) \$ 50,000 MED EXP (Any one person) \$ 5,000
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EACH ACCIDENT \$ AGGREGATE \$
	<b>EXCESS LIABILITY</b> <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$ \$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL				STATUTORY LIMITS EACH ACCIDENT \$ DISEASE - POLICY LIMIT \$ DISEASE - EACH EMPLOYEE \$
	<b>OTHER</b>				

**DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS**  
 LIABILITY FOR LOC.6, BLDG.1, BAXTER BUILDING 562 CONGRESS ST. PORTLAND, ME

<b>CERTIFICATE HOLDER</b> CITY OF PORTLAND PORTLAND, MAINE	<b>CANCELLATION</b> SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE <i>Gail C. Thomson, ACSR</i> GAIL C. THOMPSON, ACSR GT A
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OWNERS CONSENT AND AGREEMENT

I, TERBAX REALTY, INC., being the owner of the premises located at  
(print property owner's name)

502 CONGRESS STREET in Portland, Maine, hereby give consent to the  
(print property address)

erection of a certain ~~sign/awning/banner~~ <sup>MARQUEE</sup> owned by TERBAX REALTY INC.  
(print lessee's name)

over the sidewalk or on building from said premises as described in  
application to the Division of Inspection Services.

And in consideration of the issuance of said permit owner of said premises,  
in event said sign shall cease to serve the purpose for which it was erected  
or shall become dangerous and in event the owner of said sign shall fail to  
remove said sign or make it permanently safe in case the sign still serves  
the purpose for which it was erected, hereby agrees for himself or itself,  
for his heirs, its successors, and his or its assigns, to completely remove  
said sign.

  
Signature of Property Owner

\_\_\_\_\_  
Signature of Lessee

4/24/96  
Date

\_\_\_\_\_  
Date

# 96-0339

FORE RIVER COMPANY

5 MILK STREET P.O. BOX 7525 PORTLAND, MAINE 04112 (207) 772-6404

37-6-014

TRANSMITTAL NOTICE		DATE 8-15-90
TO: P. SAMUEL HOFFGESS Code Enforcement Division City of Portland		PROJECT 502 CONGRESS MARQUEE  JOB NUMBER PERMIT # <u>960339</u>
<input type="checkbox"/> FOR CHECKING <input checked="" type="checkbox"/> FOR YOUR APPROVAL <input type="checkbox"/> FOR YOUR COMMENTS <input type="checkbox"/> FOR YOUR USE <input type="checkbox"/> APPROVED AS NOTED		
NO. OF COPIES 1	DRAWING NUMBERS	DESCRIPTION SET OF STRUCTURAL PLANS FOR THE MARQUEE FRAME AS REQUESTED ON LETTER DATED 5-2-90.

REMARKS

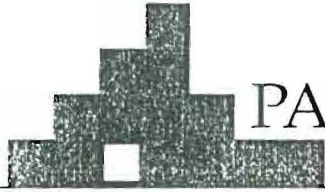
PLEASE CALL IF YOU HAVE ANY QUESTIONS.

THANK YOU,

STEVEN G DUBE

PLEASE CALL ME IF YOU HAVE ANY QUESTIONS/COMMENTS @ 772-6404.





# PARTNER ASSOCIATES

90 Ledgewood Dr. • Falmouth, Maine 04105

OFFICE 207-871-8333

Home/Fax: 207-878-5224

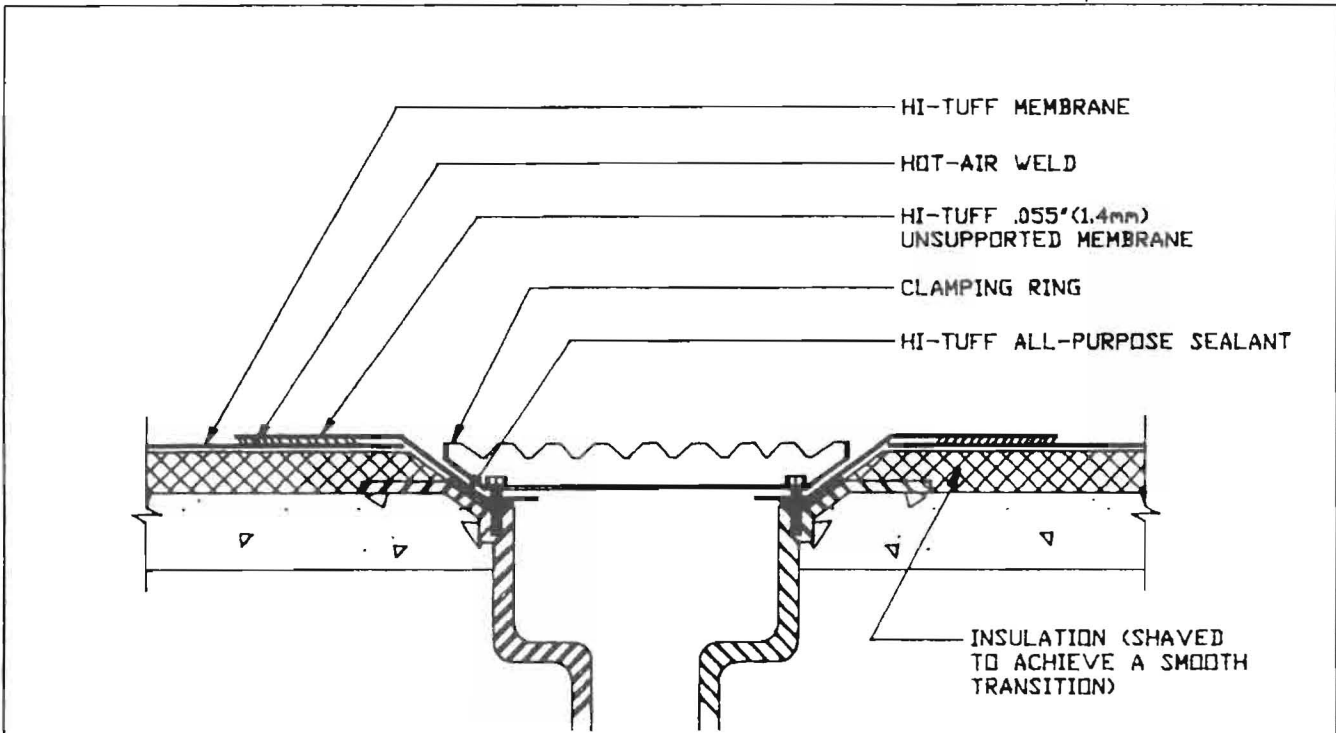
PROJECT: 562 CONGRESS ST.  
MARQUEE DESIGN.

CLIENT: TERBAX REALTY CO.  
PORTLAND MAINE  
772-6404 FAX 772-9078

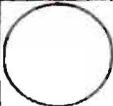
PLANS: PLANS CONSIST OF THE FOLLOWING

- 1 of 7 PLAN AND ELEVATION OF MARQUEE MOUNTING LOCATION
- 2 of 7 SECTION AND MOUNTING DETAILS OF MARQUEE
- 3 & 4 of 7 ROOFING DETAILS
- 5 of 7 FRAME FABRICATION, BOTTOM SECTION
- 6 of 7 FRAME FABRICATION, TOP  $\frac{1}{2}$  ELEVATION
- 7 of 7 FRAME FABRICATION, X-SECTION

REVISED 8-12-96 TO ALLOW FOR 10" CABINET



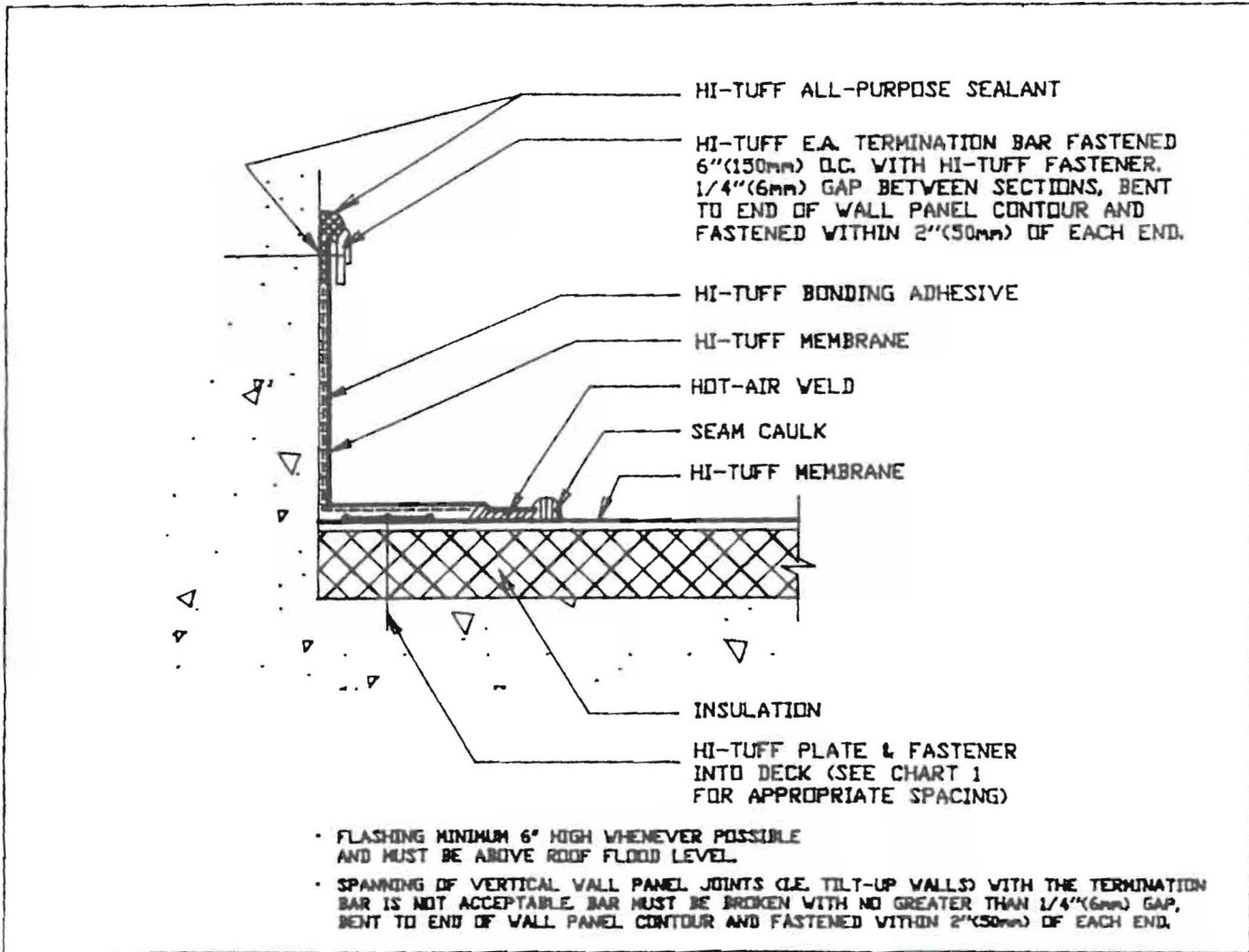
- DRAIN MUST HAVE APPROVED CLAMPING RING.
- EXTEND MEMBRANE 1 1/2" (38mm) BEYOND DRAIN BOLTS.
- THIS DETAIL MUST BE USED WHEN INSULATION TRANSITION IS TOO STEEP FOR REINFORCED MEMBRANE.
- HOLE IN MEMBRANE MUST BE EQUAL IN SIZE TO, OR EXCEED DRAIN PIPE SIZE

 PREFERRED DRAIN SUMP	ISSUE DATE 9/93	DRAWING NO. HT-200
	REVISION NO. 1	STEVENS HI-TUFF ROOFING SYSTEMS



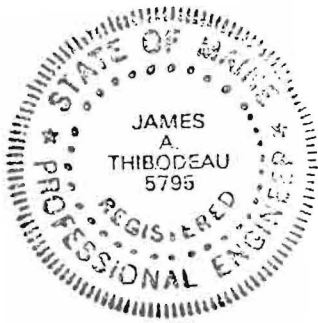
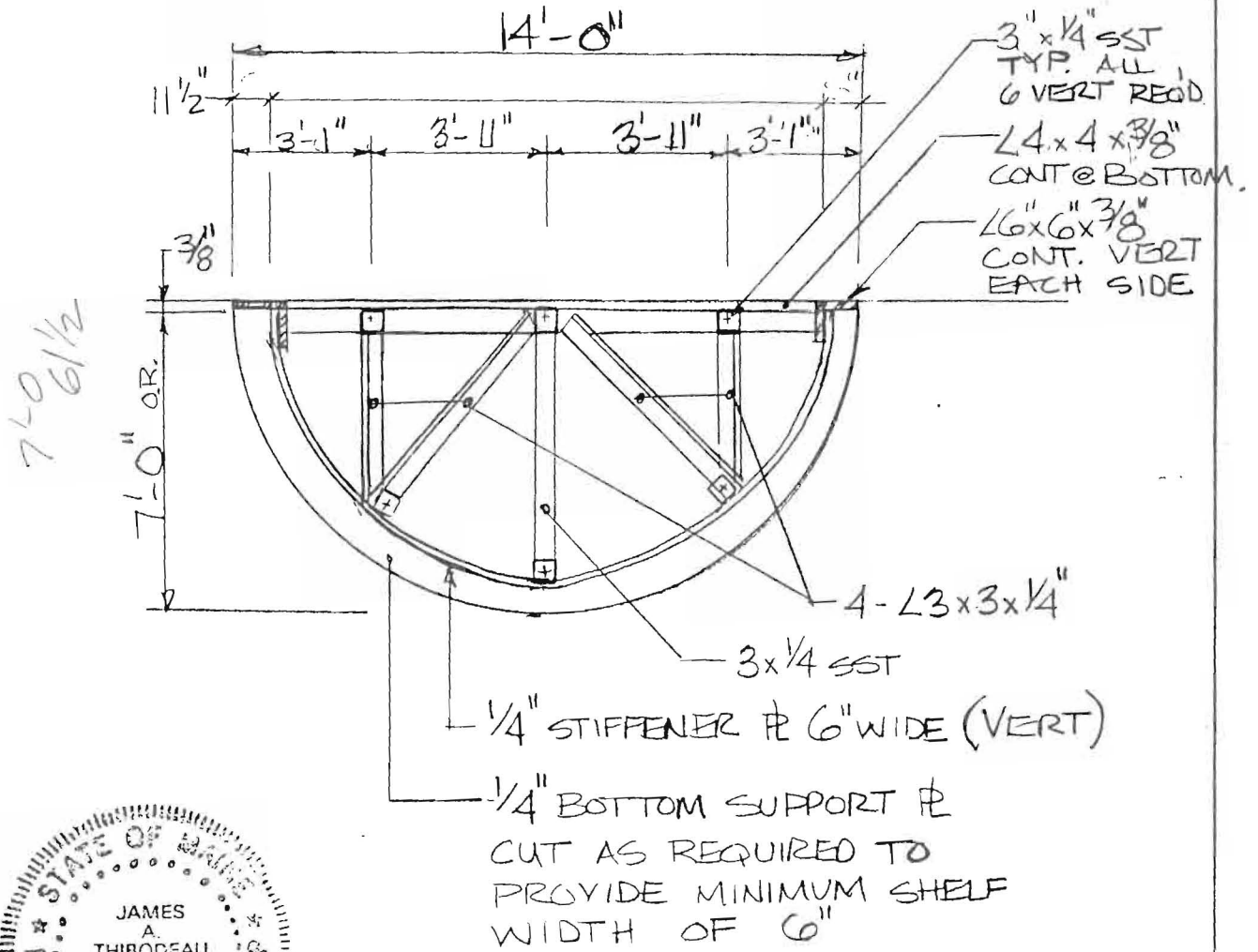
RD-3  
HT-310

2 Flashing  
Detail Drawing



○ STEVENS TERMINATION BAR	ISSUE DATE	8/94	DRAWING NO.	HT-310
	REVISION NO.	5	STEVENS HI-TUFF ROOFING SYSTEMS	

ROOF DETAIL  
N.T.S.



BOTTOM SECTION

1. FULLY WELD ALL CONNECTIONS
2. STEEL TO BE A36 SHOP PRIMED AFTER FABRICATION
3. CUT BOTTOM SUPPORT SHELF INSIDE RADIUS AS CIRCULAR.
4. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. MIN. SCALE OF 1" = 1'-0"
5. SIGN FABRICATOR IS RESPONSIBLE TO REVIEW THESE FABRICATION DRAWINGS AND CONFIRM PROPER FIT & CONNECTION REQUIREMENTS.

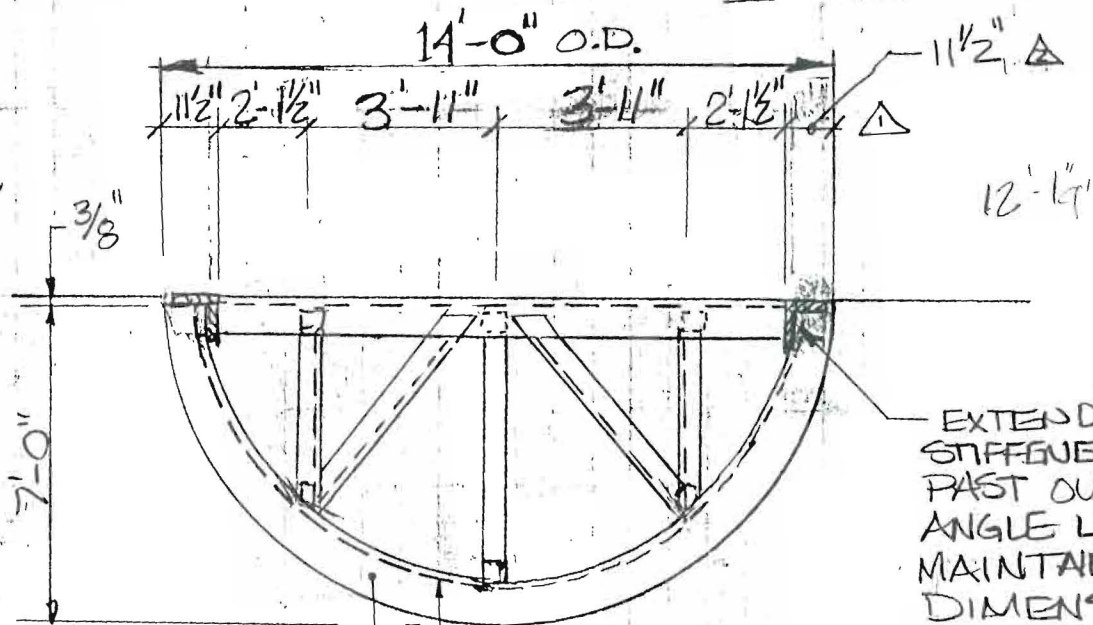
22-141 50 SHEETS  
22-142 100 SHEETS  
22-144 200 SHEETS



W-100



△ DIMENSIONS REVISED 7-23  
△ DIM. REV'D 8-12-96

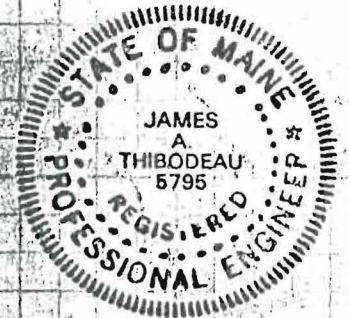


EXTEND VERT STIFFENER PLATE PAST OUTWARD ANGLE LEG. MAINTAIN RADIUS DIMENSION.

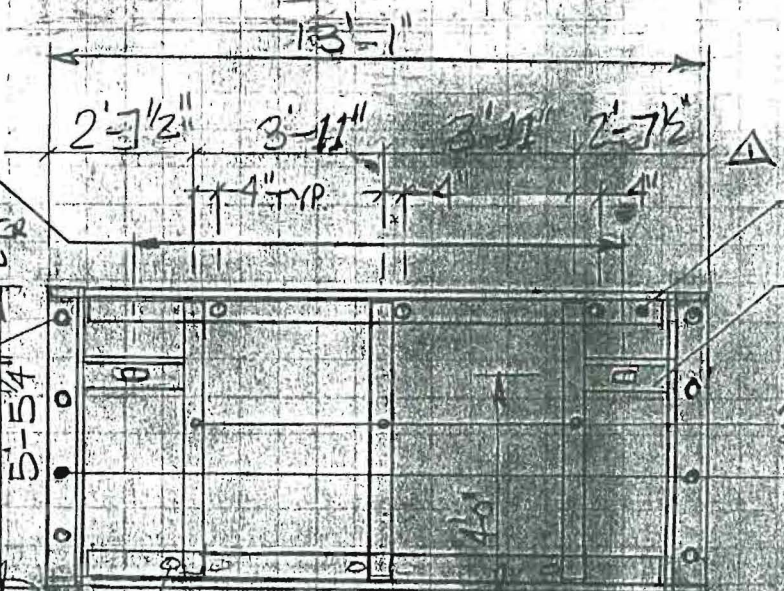
1/4" VERT PL STIFFENER  
6" WIDE CONT. WELD

1/4" TOP SUPPORT PL

TOP SECTION



14-20



COORDINATE WITH PILLASTER DIMENSION ON SHEET 1

4 HOLES FOR 5/8 MACHINE BOLTS EQUAL SPACE TYP EACH SIDE

L4x4x3/8 T&B  
L4x4x3/8 w/slot HOLES FOR 3/4" THREADED ROD.  
3-3x3x1/4 SST  
2-L6'x6'x3/8"

3 HOLES FOR 5/8 BOT 3/4" TOP BOLTS STAGGER SIDES TOP & BOTTOM

ELEVATION AGAINST BLDG

N.T.S.

22-141 50 SHEETS  
22-142 100 SHEETS  
22-144 200 SHEETS

PROVIDE TYPE C CONNECTION WHEN MOUNTING TO BLDG

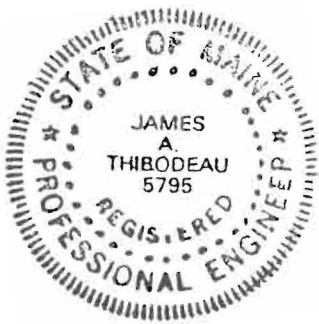
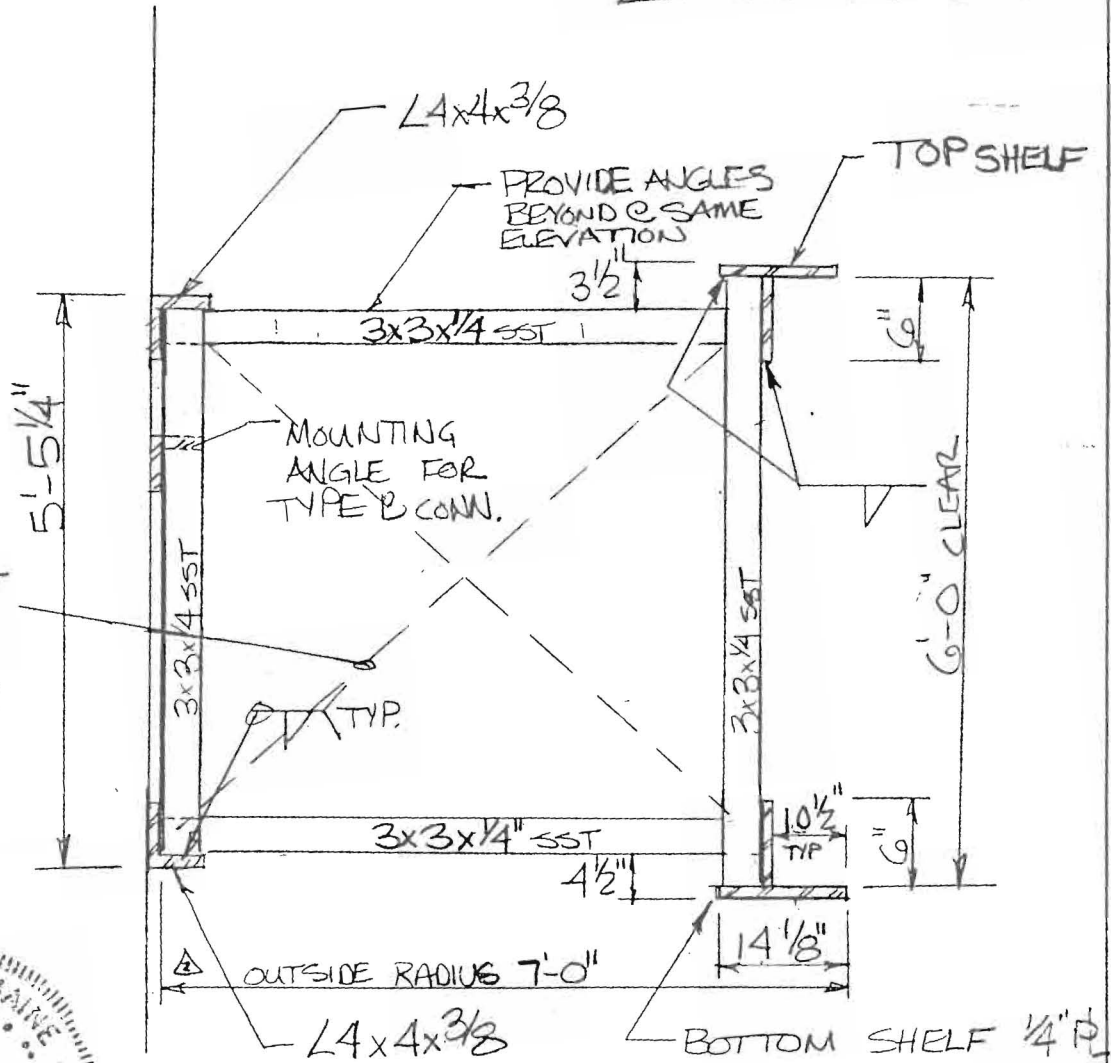


△ DIMENSIONS REVISED 7-23  
 △ DIMENSIONS 8-12-96

22-141 50 SHEETS  
 22-142 100 SHEETS  
 22-144 200 SHEETS



2 1/8" x 1/8" LIGHT BRACING @ CENTER BAY



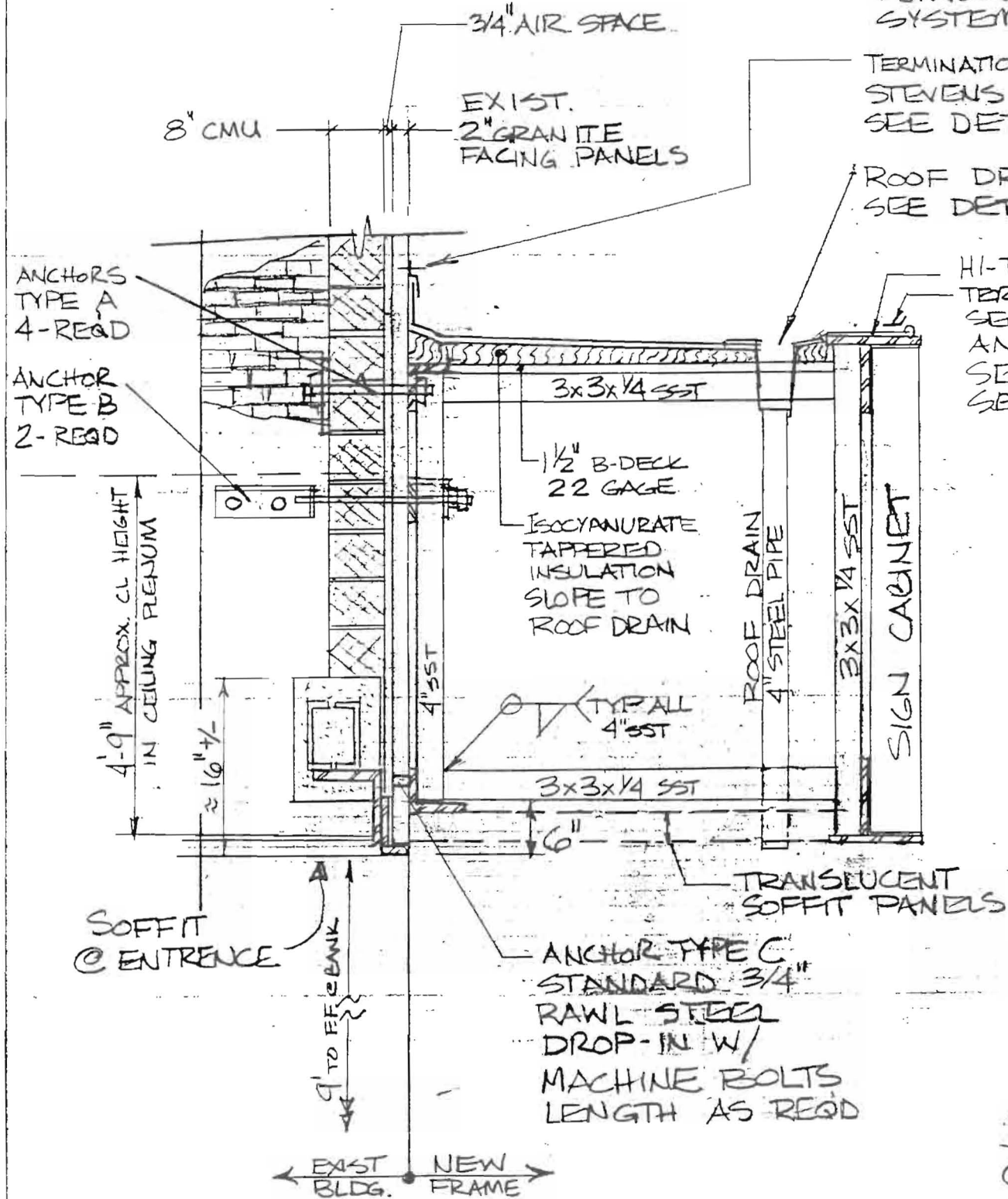
SECTION @ CENTER

1. PROVIDE SHOP PRIME AND TWO-TOP COATS OF ALKYD ENAMEL. SUBMIT PAINT SYSTEM WITH SHOP DRAWINGS
2. SIGN FABRICATOR WILL PROVIDE RUBBER GASKET ON TOP; BOTTT STIFFENER PLATE AND SPACERS BEHIND SIGN CABINETT TO ALLOW FOR FLUSH FIT AT FACE.



NOTE: OUTLET LOCATION FOR ROOF DRAIN AND PIPE ROUTING TO BE DETERMINED BY FORE-RIVER CO.

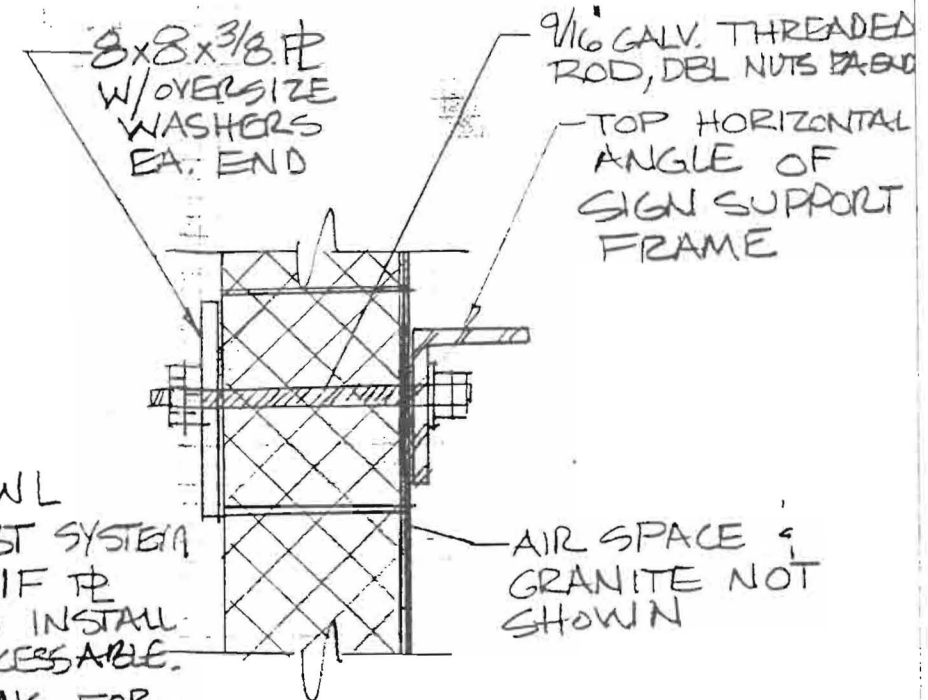
USE: ROOFING SYSTEM EQUAL TO HI-TUFF EP SYSTEM BY STEVENS CONTACT JACK McDIARMID @ 1-800-621-7663. PLACE SYSTEM OVER 1 1/2" RIGID ISOCYANURATE INS. AND 3/4" PT. PLYWOOD DECK, FULLY ADHERE SYSTEM, TO PROVIDE FM190 RATING.



TERMINATION BAR EQUAL TO STEVENS HI-TUFF SEE DETAIL HT-310

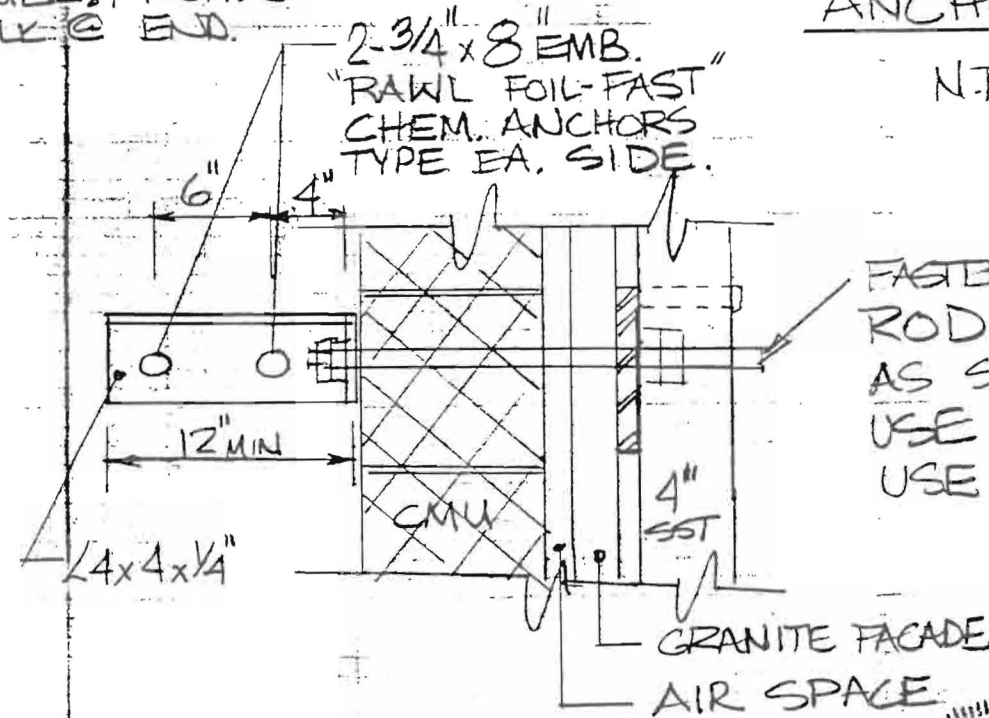
ROOF DRAIN & SUMP SEE DETAIL HT-200

HI-TUFF BONDING ADHESIVE TERMINATION BAR CUT IN SECTIONS TO FIT RADIUS AND SEAL JOINTS WITH SEAM CAULK. PROVIDE SEAM CAULK @ END.



NOTE: USE RAWL FOIL FAST SYSTEM AS ALT. IF THE WASHERS INSTALL IS INACCESSIBLE. (NOTIFY ENG. FOR EPOXY QUANTITIES)

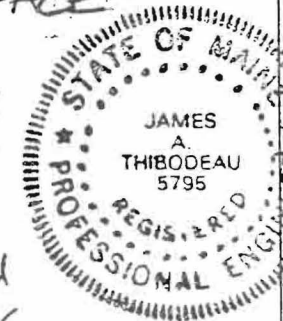
ANCHOR TYPE A  
N.T.S.



FASTEN 3/4\"/>

ANCHOR TYPE B  
N.T.S.

NOTE: NOTIFY ENGINEER JIM THIBODEAU @ 871-8333 TO INSPECT ANCHORING SCHEME PRIOR TO AND DURING CONSTRUCTION.



562 CONGRESS MARQUEE  
TERBAX REALTY Co.  
SECTIONS/DETAILS  
ASSOC. DESIGN PARTNERS  
222 RIVERSIDE Pk. ME.  
871-8333

JAT	96007
7-8-96	SH 2 of 7

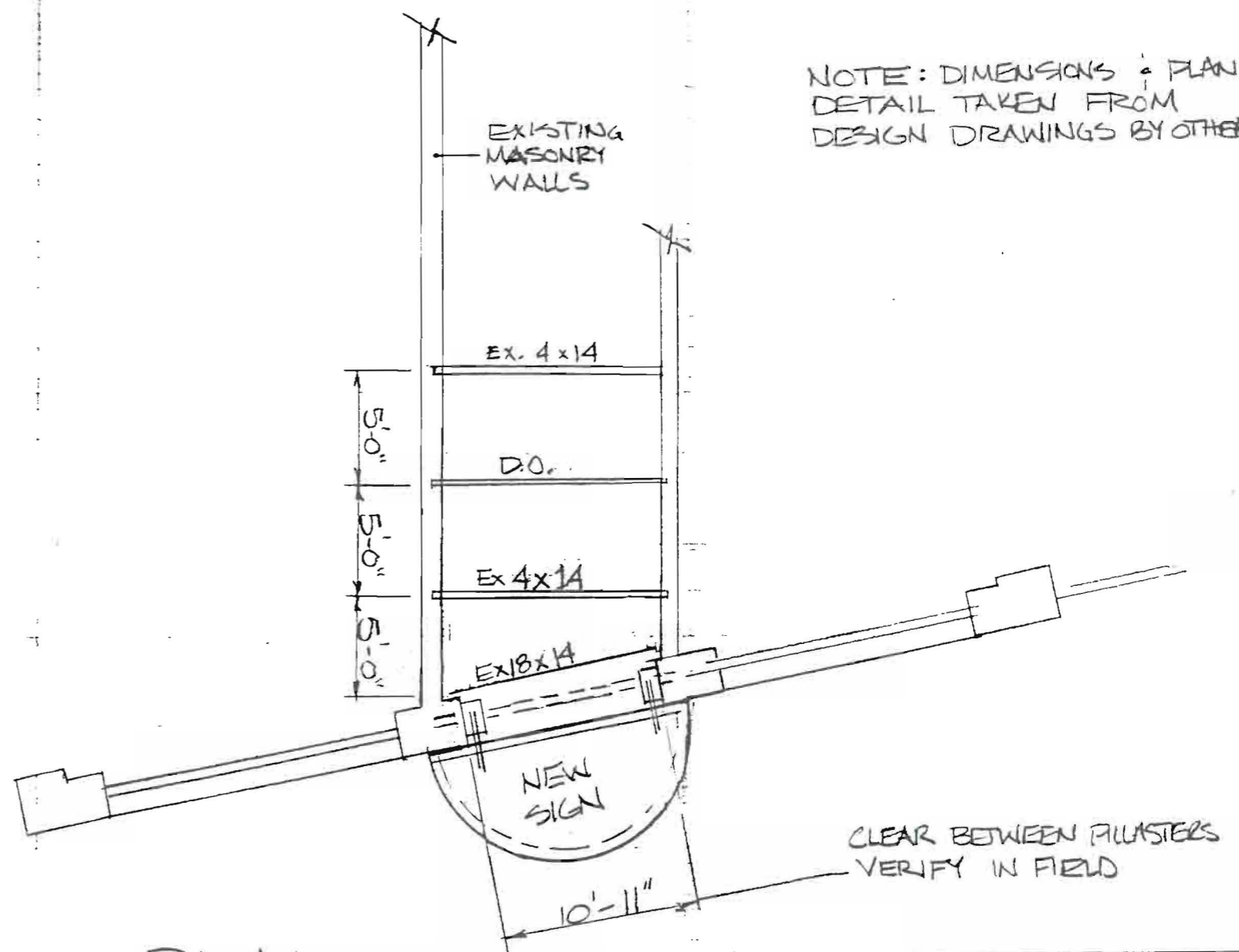




ELEVATION  
NOT TO SCALE

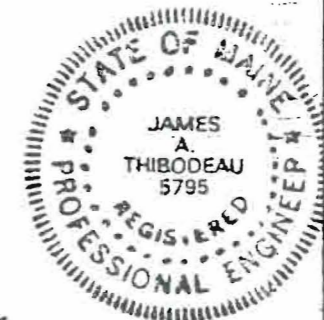
NOTES:

1. SEE FABRICATION DRWGS F1 - F3 FOR MARQUEE FRAME DESIGN.
2. NOTIFY ENGINEER PRIOR TO MOUNTING FRAME TO BUILDING TO REVIEW SCHEME
3. REVIEW AND COORDINATION OF SIGN DIMENSIONS TO FIT WITH FRAME FABRICATION IS THE RESPONSABILITY OF SIGN SOLUTIONS AND TERBAX REALTY CO.



NOTE: DIMENSIONS & PLAN  
DETAIL TAKEN FROM  
DESIGN DRAWINGS BY OTHERS

PLAN  
SCALE 1/8" = 1'-0"



REVISED 8-12-96 DIMENSIONS. $\Delta$	
562 CONGRESS ST. MARQUEE DESIGN FOR TERBAX REALTY CO. PORT. ME	
PLAN / ELEVATION	
ASSOCIATED DESIGN PARTNERS	
DES. BY JAT	JOB NO. 96007
DATE 7-8 96	SHEET 1 OF 7