

CONSULTANTS

# DIVERSIFIED COMMUNICATIONS INTERIOR RENOVATIONS & FIT-UP OF 3rd FLOOR (PARTIAL)

121 FREE STREET  
PORTLAND, MAINE 04101



## OWNER

FORE RIVER MANAGEMENT  
5 MILK STREET  
PORTLAND, MAINE 04101  
PH: 207-879-1671

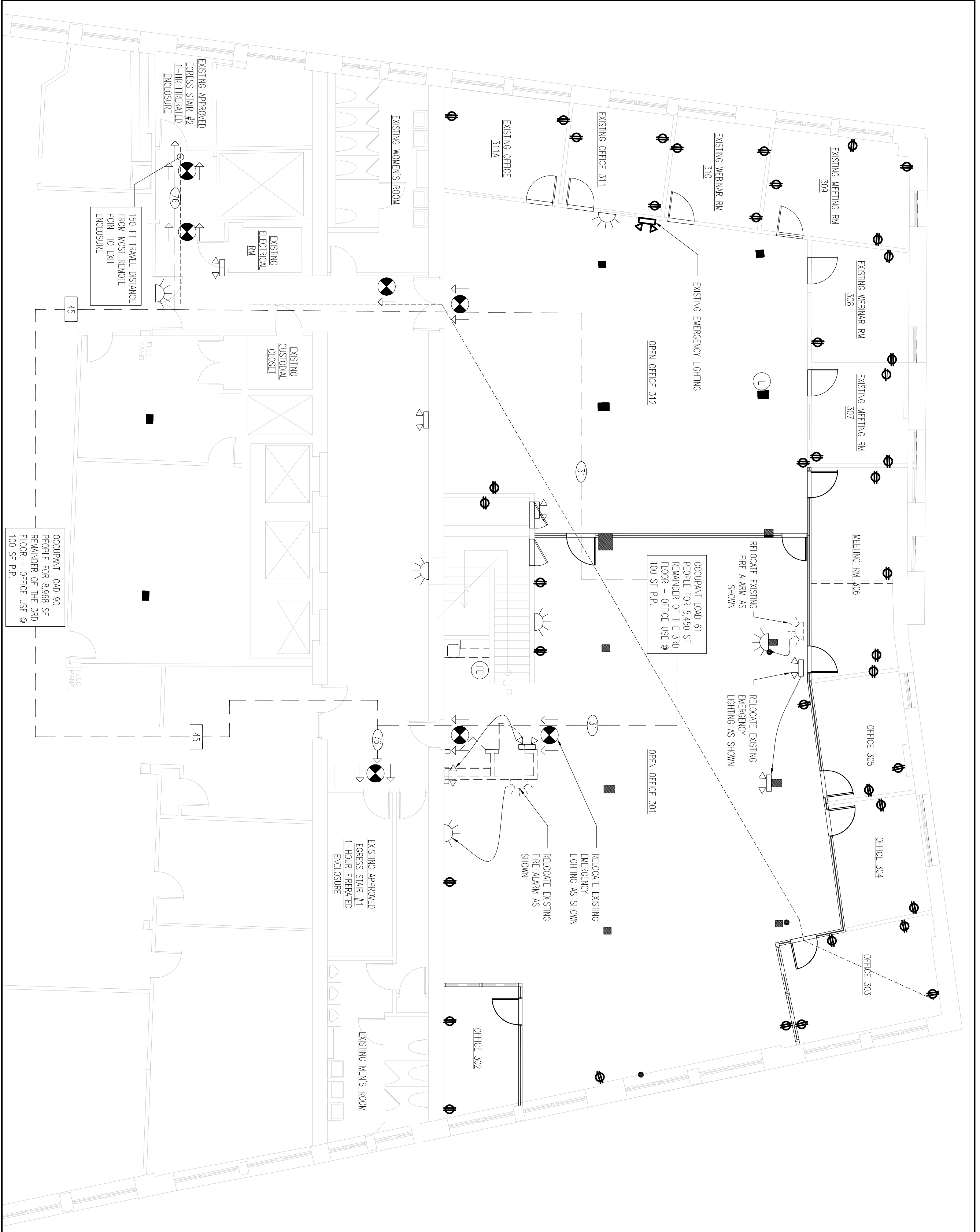
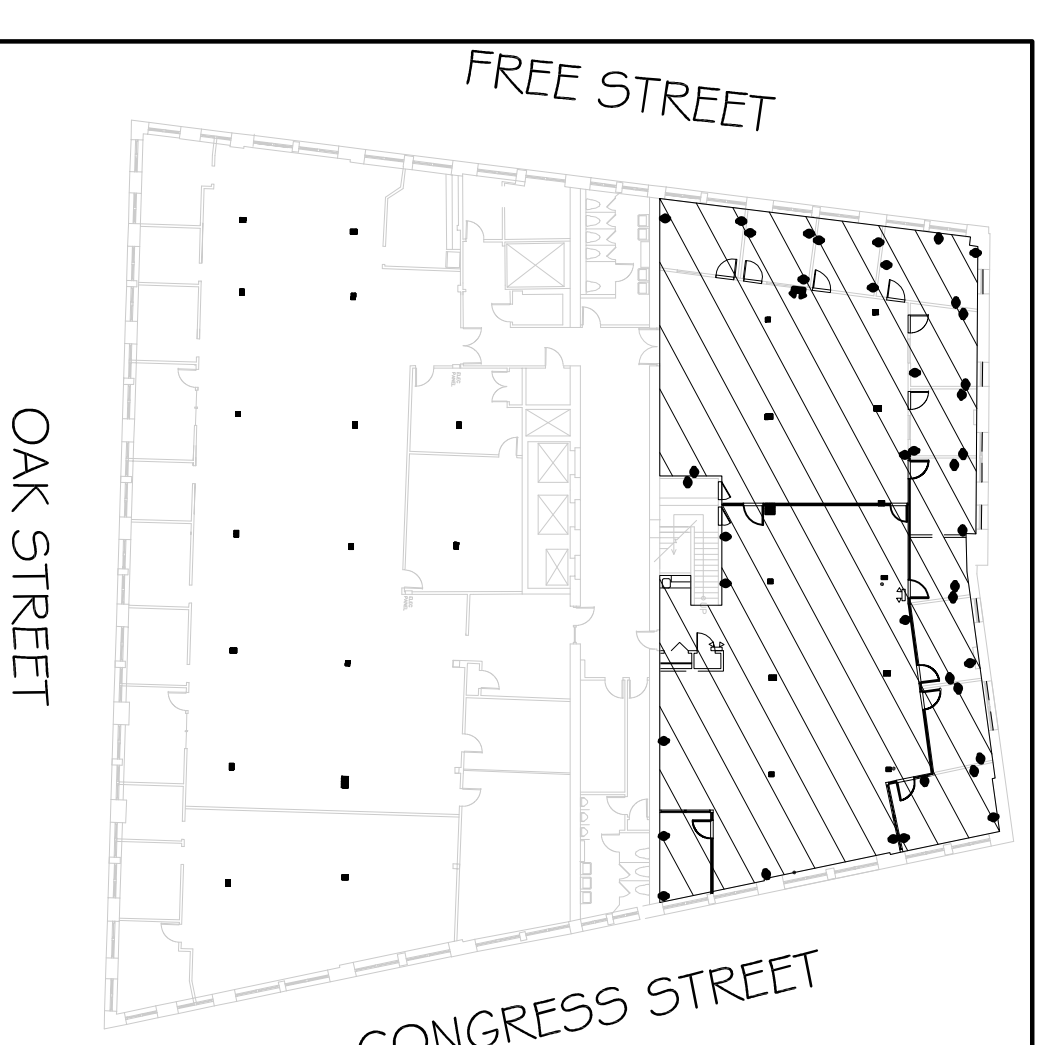
## DESIGN PROFESSIONAL

WHITED PLANNING + DESIGN  
45 HEATHER ROAD  
PORTLAND, ME 04103  
PH: 207-329-2189

## SCOPE OF WORK

WORK CONSISTS OF RENOVATIONS & FIT-OUT OF A PORTION OF THE THIRD FLOOR AT 121 FORE ST. FOR USE BY AN EXISTING TENANT. SEE KEY PLAN. WORK INCLUDES, BUT IS NOT LIMITED TO: MISC. DEMOLITION; NEW NON-LOAD-BEARING GYPSUM BOARD WALL SYSTEM; NEW GLAZED PARTITION ASSEMBLY; BOTH GLASS & METAL DOORS; CARPETING; PAINTING; UPDATED KITCHENETTE WITH ADA ACCOMMODATIONS; UPDATED SPRINKLER HEAD(S); RELOCATED FIRE ALARM FIXTURES; ELECTRICAL HEATING & VENTILATION REVISIONS – COMPLETE AND READY TO USE.

## KEY PLAN



LIFE SAFETY PLAN  
1/26-14-09

### LIFE SAFETY KEY

(FE)	FIRE EXTINGUISHER
(EL)	EMERGENCY LIGHTING & BATTERY PACK
(FA)	FIRE ALARM
(EUB)	EXIT LIGHT AND OUTLET BOX, SIGN, DIRECTIONAL ARROWS AS INDICATED

### LIFE SAFETY CODE SUMMARY

<p>NFPA 101 (2009) NOTES BUILDING OCCUPANCY: EXISTING BUSINESS (IFRA), GROUP B (IBC) ORDINARY HAZARD CONSTRUCTION TYPE: III (211) BUILDING IS PROTECTED WITH AN AUTOMATIC SPRINKLER SYSTEM TOTAL SQUARE FOOTAGE OF PROJECT: 5,450 SF</p> <p>EXISTING STAIR 1 / EXISTING STAIR 2 PER NFPA 101, CHAPTER 39 EXISTING BUSINESS OCCUPANCIES: PER 302.2.2 THE MINIMUM DISTANCE IS LESS THAN 300 FT FROM TERMINATION OF EXH. ENCLOSURE PER NFPA 101, 2007, OCCUPIED SPACE IS SERVED BY 2 CLASS A FIRE EXTINGUISHERS; MAX. TRAVEL DISTANCE TO EXTINGUISHERS IS 75'</p>	<p>PROPOSED TOTAL OCCUPANT LOAD</p> <p>OPEN OFFICE 301: 2299 SF @ 100 P.P. = 23 PEOPLE OFFICE 302: 120 SF @ 100 P.P. = 2 PEOPLE OFFICE 303: 195 SF @ 100 P.P. = 2 PEOPLE OFFICE 304: 139 SF @ 100 P.P. = 2 PEOPLE OFFICE 305: 128 SF @ 100 P.P. = 2 PEOPLE MEETING ROOM 306: 241 @ 100 P.P. = 3 PEOPLE EXISTING MEETING ROOM 307: 122 @ 100 P.P. = 2 PEOPLE EXISTING MEETING ROOM 308: 148 SF @ 100 P.P. = 2 PEOPLE EXISTING WEBINAR ROOM 309: 189 SF @ 100 P.P. = 2 PEOPLE EXISTING WEBINAR ROOM 310: 124 SF @ 100 P.P. = 2 PEOPLE EXISTING OFFICE 311A: 157 SF @ 100 P.P. = 2 PEOPLE OPEN OFFICE 312: 1446 SF @ 100 P.P. = 15 PEOPLE</p> <p>TOTAL OCCUPANCY: 61</p>	<table border="1"> <tr> <td>(FE)</td> <td>FIRE EXTINGUISHER</td> </tr> <tr> <td>(EL)</td> <td>EMERGENCY LIGHTING &amp; BATTERY PACK</td> </tr> <tr> <td>(FA)</td> <td>FIRE ALARM</td> </tr> <tr> <td>(EUB)</td> <td>EXIT LIGHT AND OUTLET BOX, SIGN, DIRECTIONAL ARROWS AS INDICATED</td> </tr> </table>	(FE)	FIRE EXTINGUISHER	(EL)	EMERGENCY LIGHTING & BATTERY PACK	(FA)	FIRE ALARM	(EUB)	EXIT LIGHT AND OUTLET BOX, SIGN, DIRECTIONAL ARROWS AS INDICATED
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## GENERAL NOTES:

1. SITE CONDITIONS: ALL CONTRACTORS BY COMMENCING THE WORK ACCEPT THE CONDITIONS OF THE SITE AND THE COMPLETENESS OF THE CONTRACT DOCUMENTS. ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL CONDITIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO BEGINNING THE WORK. NO EXAMS SHALL BE ALLOWED FOR DISCREPANCIES AFTER THE WORK HAS BEGUN.
2. DRAWINGS: CONTRACTORS ARE RESPONSIBLE FOR COMPLETE REVIEW OF THE DRAWINGS. PRIOR ATTEMPTING ANY TRADES AND PLACED INFORMATION OF THE SET OF DRAWINGS, NO TRADES FOR ISSUED FROM IN OTHER SITE OF LOCAL CONDITIONS. IN CASE OF A CONFLICT WITHIN THE ARCHITECTURAL DRAWINGS PRIORITY NOTIFY DESIGNER FOR COORDINATION.
3. THE GENERAL CONTRACTOR SHALL OBTAIN COMPLETE SETS OF DRAWINGS TO ALL SUBCONTRACTORS. DO NOT SEPARATE DRAWINGS BY DISCREPANCY DO NOT SCALE DRAWINGS.
4. CONSULTERS: ANY MATERIAL OR LABOR, NUMBER SHOWN ON THE DRAWINGS, NOT SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK OF A SIMILAR NATURE OR TO COMPLY WITH ALL OR ANY CODES, SHALL BE PROVIDED BY THE CONTRACTOR AS A PART OF THE BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDER OR ADDITIONAL INFORMATION. THE MOST STRINGENT REQUIREMENTS SHALL PREVAIL AND BE PROVIDED BY THE CONTRACTORS AS A PART OF THEIR BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDER OR ADDITIONAL INFORMATION.
5. PERMITS: EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, FEES, LABOR, EQUIPMENT, ETC. AS MAY BE REQUIRED TO COMPLETE THEIR RESPECTIVE WORK CATEGORY. CONTRACTORS SHALL FORWARD TO THE DESIGNER A COPY OF ALL APPROVED PERMITS, DRAWINGS AND CODE COMPLIANCE DOCUMENTS WITHIN 48 HOURS OF RECEIPT OF THE SAID PERMIT AND NO COSTS TO THE DESIGNER. ANY PERMITS NOT OBTAINED PRIOR TO THE START OF THE WORK SHALL BE REMOVED AND RESPECTIVELY FROM DRAWINGS. DISCREPANCIES OR CHANGES TO THE CONTRACT DOCUMENTS SHALL BE RESPONSIBLE FOR PROJECT SECURITY FROM THE START OF THE WORK UNTIL THE OWNER ACCEPTS THE PROJECT AS COMPLETE. ADDITIONAL COORDINATION IF THE CONTRACTOR FAILS TO COMPLY WITH PROVIDED PERMITS OR APPROVED PLANS OR MODIFIED TO THE DESIGNER.
6. INSURANCE: ALL CONTRACTORS SHALL OBTAIN ALL RISK INSURANCE AS SPECIFIED IN THE SPECIFICATIONS, AND ALL CONTRACTOR STRUCTURE INSURANCES, COMMERCIAL GENERAL LIABILITY, ETC. AS INDICATED IN THE PROJECT MANUAL. THE DESIGNER AND THE OWNER SHALL BE WAIVED FROM THE ALL RISK INSURANCE POLICY PROVIDED OTHERWISE OR MODIFIED TO CONTRACTOR WORK.
7. DOCUMENTATION: RECORD DRAWINGS, THE CONTRACTORS SHALL KEEP A RECORD OF ALL REVISIONS FROM THE CONTRACT DOCUMENTS. EACH SHALL BE KEPT IN COLOR PERIOD. ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE NOTED BY THE CONTRACTORS.
8. PROTECTION: ALL CONTRACTORS SHALL BE JOINTLY RESPONSIBLE FOR HAVING ALL STEPS NECESSARY TO PROTECT THE BUILDING FROM INJURY AND ADJACENT PROPERTY FROM DAMAGE. DISCREPANCIES AS REQUIRED BY LOCAL CODES. ALL CONTRACTORS SHALL ALSO BE RESPONSIBLE FOR PROTECTING SECURITY FROM THE START OF THE WORK UNTIL THE DESIGNER ACCEPTS THE PROJECT AS COMPLETE.
9. DRAWINGS INDICATE THE MINIMUM STANDARDS. SHOULD ANY WORK INDICATED BE SUBSTITUTED TO ANY ORGANIZERS, LAWS, CODES, RULES OR REGULATIONS RELATING TO THE WORK, THE CONTRACTOR SHALL SECURE THE WORK IN ACCORDANCE WITH SUCH ORGANIZERS, LAWS, CODES, RULES OR REGULATIONS AS A PART OF HIS BASE CONTRACT WITHOUT INQUIRY IN COST TO OWNER OR DESIGNER.
10. CONTRACTORS SHALL REMOVE ALL CONSTRUCTION DEBRIS RELATED TO THEIR WORK CATEGORY FROM JOB SITE. ALL CONSTRUCTION DEBRIS SHALL BE CONTAINED WITHIN LAINS OF CONVEYANCE.
11. ALL CONTRACTORS ARE JOINTLY RESPONSIBLE TO HAVE ENTER AREA CLEAN AND SPLOTTLESS AT TIME OF TURN OVER.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING WORKSITE SAFETY PER LOCAL JURISDICTION, OSHA REQUIREMENTS AND ANY AND ALL ADDITIONAL GOVERNING AUTHORITIES.

## REMOVAL NOTES:

1. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO ALL AREAS AFFECTED BY THE WORK. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO ANY BUILDING COMPONENTS AS A RESULT OF ALL WORK. ALL EXISTING SURFACES AND EQUIPMENT SCHEDULED TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE BY DEMOLITION.
2. CONTRACTOR SHALL REMOVE ALL OPERATIONS OF REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND IN A MANNER THAT DOES NOT DAMAGE ADJACENT AREAS.
3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROGRESSES. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
4. ANY STRUCTURAL ELEMENTS SHALL BE DEMOLISHED UNLESS PERMITS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS SPECIFIED ON THE DRAWINGS.
5. ALL ADJACENT PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED FROM DAMAGE.
6. BEFORE OR BEFORE ALL WORK, UTILITIES AND REMOVED EQUIPMENT AFFECTED BY REMOVALS, SIGNALS, SPRINGS, PIPES, AND/OR LINES SHALL BE CUT TO A POINT OF CONFORMANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. ALL SUCH WORK SHALL BE APPROVED BY THE DESIGNER AND THE LOCAL AGENCY WITH JURISDICTION OVER THE PROJECT.
7. THE CONTRACTOR SHALL PROVIDE ERECT AND MAINTAIN ALL TEMPORARY BARRIER, GUARDS, AND ALL TEMPORARY SHORING, MEETING STRUCTURAL REQUIREMENTS OF THE IBC 2003. TEMPORARY SHORING SHALL BE PROVIDED FROM ALL SIDES OF MEMBERS ON WHICH FOUNDATION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE ADJACENT AREAS FROM DAMAGE BY DEMOLITION.

## REMOVAL NOTES:

### DRAWING LIST

GENERAL	TITLE SHEET & GENERAL NOTES
0	GD00
0	AI03 3RD FLOOR PLAN
0	AI04 3RD FLOOR REFLECTED CEILING PLAN