

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION PERMIT

Permit Number: 080608

Please Read
Application And
Notes, If Any,
Attached

This is to certify that TERBAX REALTY INC / T Signery
has permission to New Signage for "Four Wall Line Art Gallery" JUL 17 2008
AT 562 CONGRESS ST L 037 G014001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Verification of inspection must be given and written permission procured before this building or part thereof is opened or service closed-in. 4
YOUR NOTICE IS REQUIRED

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Thomas H. Malley 7/2/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0608	Issue Date:	CBL: 037 G014001
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Location of Construction: 562 CONGRESS ST (564)	Owner Name: TERBAX REALTY INC	Owner Address: 5 MILK ST	Phone:
Business Name: Four Walls	Contractor Name: The Signery	Contractor Address: 7 Lincoln Dr Scarborough	Phone 2078797700
Lessee/Buyer's Name	Phone:	Permit Type: Signs - Permanent	Zone: B-3

Past Use: Commercial - Art Gallery (Change of use 07-0618)	Proposed Use: Commercial - New Signage for "Four Walls Fine Art Gallery"	Permit Fee: \$77.00	Cost of Work: \$77.00	CEO District: 1
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Commercial Type: Sign IBC 2003	

Proposed Project Description: New Signage for "Four Walls Fine Art Gallery" - 24"x36"	Signature:	Signature: <i>[Signature]</i> 7/2/08
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: <i>[Signature]</i>	Date: 6/25/08	

Permit Taken By: Idobson	Date Applied For: 05/30/2008	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p align="center">Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK</i> Date: 6/10/08 <i>ABM</i>	<p align="center">Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<p align="center">Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>
	<p align="center">JUL 1 11 11</p>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

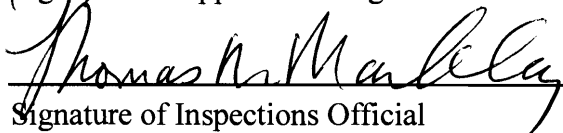
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

 7/10/08
Date



Signature of Inspections Official

 7/2/08
Date



Signage/Awning Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>564 Congress St., Portland, ME</u>		
Tax Assessor's Chart, Block & Lot Chart# <u>37</u> Block# <u>6</u> Lot# <u>14</u>	Owner: <u>Terbax Realty, Inc.</u>	Telephone: <u>772.6404</u>
Lessee/Buyer's Name (If Applicable) <u>Julie Kuceris / Four Walls Gallery</u>	Contractor name, address & telephone: <u>The Signery 7 Lincoln Ave., Scarborough, ME 04074 (207.879.7700)</u>	Total s.f. of signage x \$2.00 Per s.f. plus \$30.00/\$65.00 For H.D. signage= Total Fee: \$ <u>42.00</u> Awning Fee= cost of work <u>0</u> Total Fee: \$ <u>42.00</u>
Who should we contact when the permit is ready: <u>Julie Kuceris</u> phone: <u>917.574.5051</u> <u>77</u>		
Tenant/allocated building space frontage (feet): Length: <u>~15'10"</u> Height _____ Lot Frontage (feet) _____ Single Tenant or Multi Tenant Lot <u>mult-tenant</u>		
Current Specific use: <u>Gallery</u> If vacant, what was prior use: <u>n/a</u> Proposed Use: <u>n/a</u>		
Information on proposed sign(s): Freestanding (e.g., pole) sign? Yes ___ No <input checked="" type="checkbox"/> Dimensions proposed: <u>n/a</u> Height from grade: <u>n/a</u> Bldg. wall sign? (attached to bldg) Yes <input checked="" type="checkbox"/> No ___ Dimensions proposed: <u>24" x 36"</u>		
Proposed awning? Yes ___ No <input checked="" type="checkbox"/> Is awning backlit? Yes ___ No <input checked="" type="checkbox"/> <u>(n/a)</u> Height of awning: <u>n/a</u> Length of awning: <u>n/a</u> Depth: <u>n/a</u> Is there any communication, message, trademark or symbol on it? Yes <u>n/a</u> No <u>n/a</u> If yes, total s.f. of panels w/communications, message, trademark or symbol: <u>n/a</u> s.f.		
Information on existing and previously permitted sign(s): Freestanding (e.g., pole) sign? Yes ___ No <input checked="" type="checkbox"/> Dimensions: <u>n/a</u> Bldg. wall sign? (attached to bldg) Yes ___ No <input checked="" type="checkbox"/> Dimensions: <u>n/a</u> Awning? Yes ___ No <input checked="" type="checkbox"/> Sq. ft. area of awning w/communication: <u>n/a</u>		
A site sketch and building sketch showing exactly where existing and new signage is located must be provided. Sketches and/or pictures of proposed signage and existing building are also required.		

2 x 6 x 6 S

5/30/08

Please submit all of the information outlined in the Sign/Awning Application Checklist. Failure to do so may result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Julie Kuceris Date: 5/30/08

B-3 mult-tenant

This is not a permit; you may not commence ANY work until the permit is issued.

9' x 15.83' = 31.664

ok 2 x 3 = 6 sq ft

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

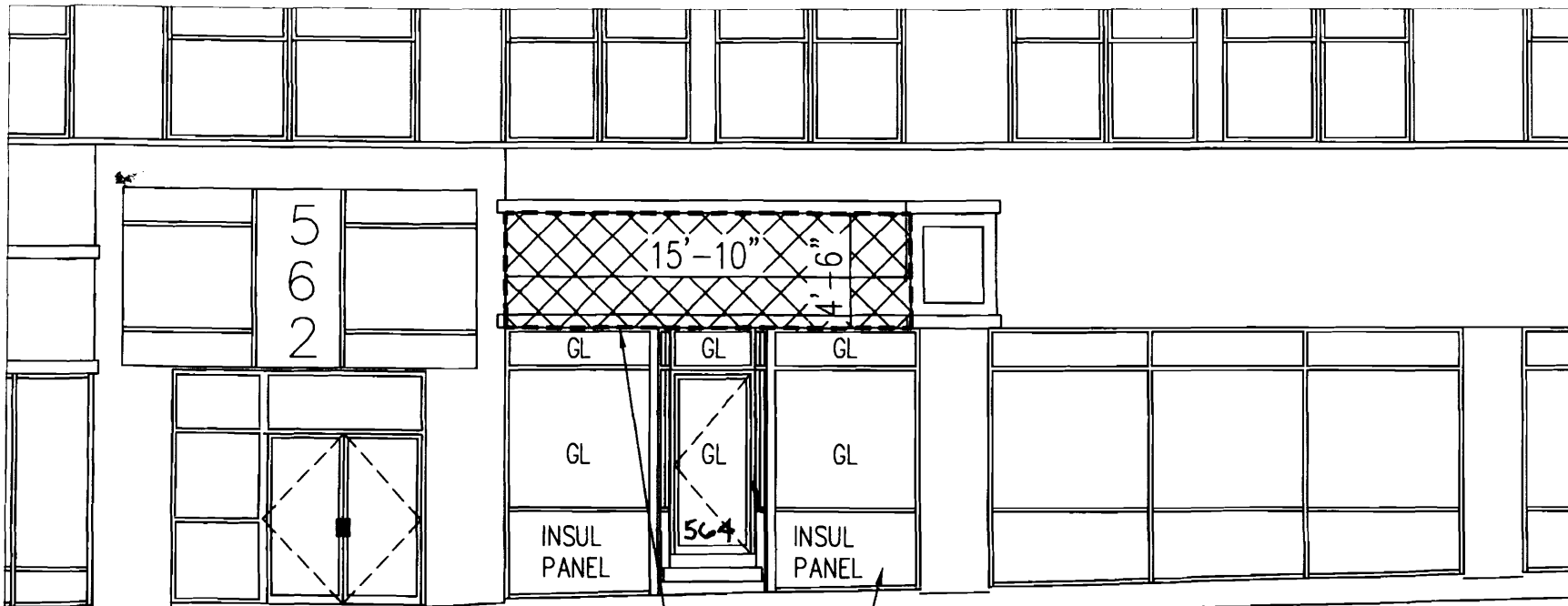
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Lessee/Buyer's Name	Phone:	Permit Type: Signs - Permanent	

Proposed Use: Commercial - New Signage for "Four Walls Fine Art Gallery" - (24" x 36")	Proposed Project Description: New Signage for "Four Walls Fine Art Gallery" - 24" x 36"
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Dept: PAD	Status: Approved with Conditions	Reviewer: Deborah Andrews	Approval Date: 06/25/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) * Location of sign bracket to be consistent with placement of other brackets on this multi-storefront block. (Sign proposal shows bracket being installed in EIFS wall area above the storefront; the bracket should be lowered consistent with the placement of other brackets/signs on the building.)			
Dept: Zoning	Status: Approved	Reviewer: Ann Machado	Approval Date: 06/10/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Approved with Conditions	Reviewer: Tom Markley	Approval Date: 07/02/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Signage Installation to comply with Chapter 31 of the IBC 2003 building code.			
2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			

Comments: 6/10/2008-amachado: Gave to Deb for review under PAD.



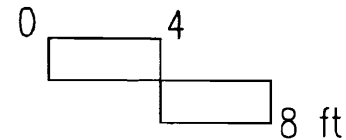
Space avail for signage and or awning

Proposed storefront entry

Note: Subject to code approval and prior lease. Field verify.

Proposed 564 Congress St Elevation

5/3/07



THE SIGNERY

Client: Four Walls
Job Number: 08-Est
Client Rep: Dave Berrang Designer: Jessica Moore
Folder: 2008> Four Walls
>08-Four Walls Exterior Sign

This proof may reflect color shifts due to the color conversions from ink to paint and or vinyl. Also, PMS colors will be approximated to the best of our ability. If we are supplied with files (if applicable) they will be used as is and the Signery will not be responsible for any faults in the design (300 dpi required). Please check the following for accuracy: spelling, quantity, graphics and logos, size, fonts/typeface, single or double sided colors and legibility.

Please SIGN this form, if approved, and fax to (207) 510.0043 to continue the job progress.

**By signing below, you are confirming that you have checked and approved of all details of this project, as represented on this proof.*



Did you Check:

(1) 3/4" MDO
Primed & painted Black
24" x 36"
HP White Vinyl
Double Sided
(1) Standard Arm Bracket
Large Letters= 5" High
Smaller Letters- 2" tall

- Spelling
- Sizes
- Quantity
- Color
- Graphics/Logos
- Single/Double Sided
- Material

Approved By: 

Date: 5/30/08

Production Due Date: _____ Install Date: _____

Digital Vinyl Fabrication Install Sewing Painting

Notes:

ACORD™ CERTIFICATE OF LIABILITY INSURANCE DATE (MM/DD/YYYY)
05/30/2008

PRODUCER MacDonald & Pangione Insurance Agency, Inc. P.O. Box 428 104 Main Street North Andover, MA 01845	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.												
INSURED Four Walls Gallery, LLC 564 Congress Street Portland, ME 04101	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 80%;">INSURERS AFFORDING COVERAGE</td> <td style="width: 20%;">NAIC #</td> </tr> <tr> <td>INSURER A: HARTFORD CASUALTY INS CO</td> <td>29424</td> </tr> <tr> <td>INSURER B:</td> <td></td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> </table>	INSURERS AFFORDING COVERAGE	NAIC #	INSURER A: HARTFORD CASUALTY INS CO	29424	INSURER B:		INSURER C:		INSURER D:		INSURER E:	
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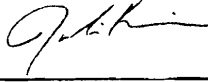

COVERAGES

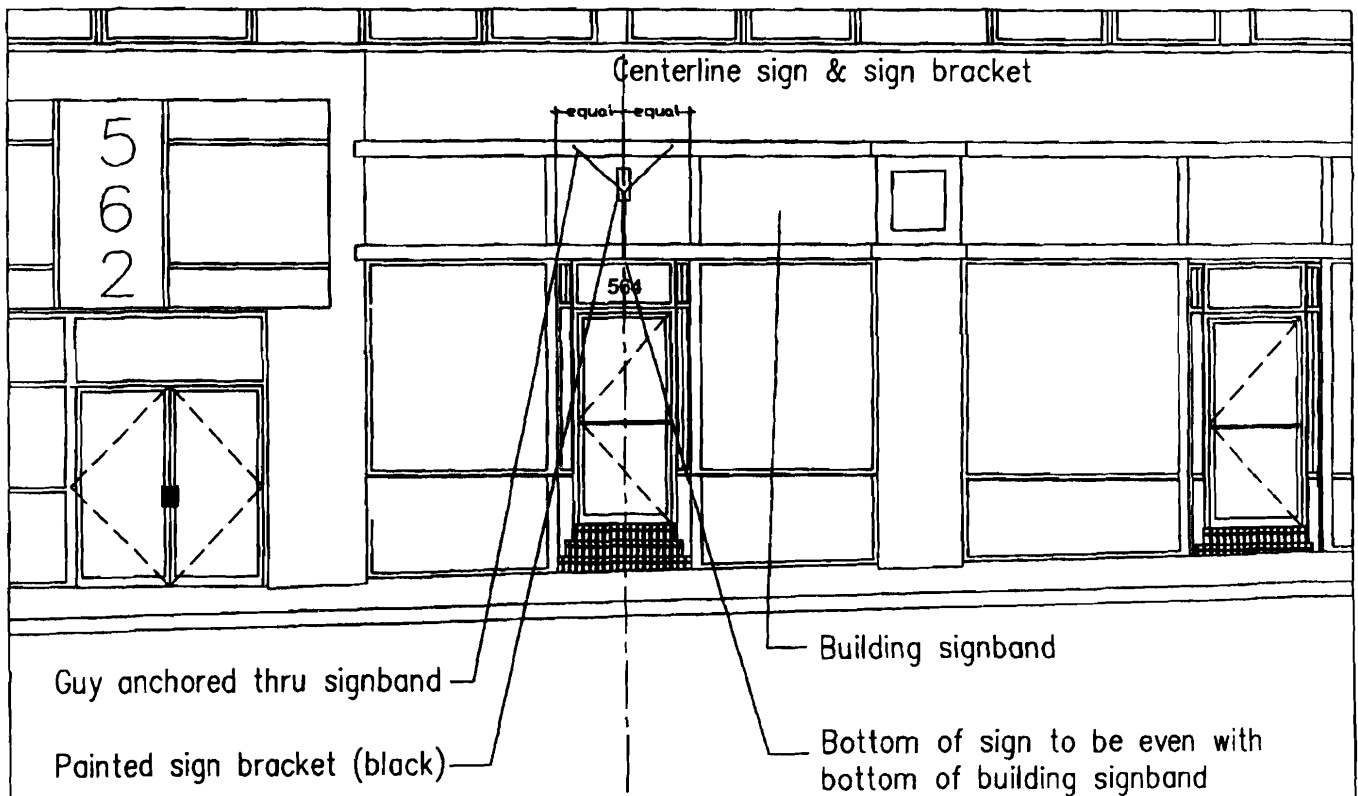
THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	ADD'L INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS								
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	08SBA110047	08/01/07	08/01/08	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000								
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$								
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$								
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$								
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 70%;"><input type="checkbox"/> WC STATUTORY LIMITS</td> <td style="width: 30%;"><input type="checkbox"/> OTH-ER</td> </tr> <tr> <td>E.L. EACH ACCIDENT</td> <td>\$</td> </tr> <tr> <td>E.L. DISEASE - EA EMPLOYEE</td> <td>\$</td> </tr> <tr> <td>E.L. DISEASE - POLICY LIMIT</td> <td>\$</td> </tr> </table>	<input type="checkbox"/> WC STATUTORY LIMITS	<input type="checkbox"/> OTH-ER	E.L. EACH ACCIDENT	\$	E.L. DISEASE - EA EMPLOYEE	\$	E.L. DISEASE - POLICY LIMIT	\$
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E.L. EACH ACCIDENT	\$													
E.L. DISEASE - EA EMPLOYEE	\$													
E.L. DISEASE - POLICY LIMIT	\$													
		OTHER												

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS
 Certificate holder is included as additional insured, as contractually required

CERTIFICATE HOLDER City of Portland Building Inspection Office 389 Congress Street Portland, ME 01401	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE
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SIGNAGE APPROVAL APPLICATION		DATE:
APPLICANT: Julie Kuceris	LOCATION: 564 Congress St	ATTACHED DRAWINGS: 564 Congress St Sign - Congress St Elevation - 5/22/08, and 564 " " " " EAST Elevation / Signage Sign Elevation 5/27/08
CONDITIONS TO THE SIGNAGE APPROVAL: <ol style="list-style-type: none"> 1. Only non-corrosive/non-galvanic acting anchors may be used. On masonry buildings, the anchors must be set into mortar joints, not into masonry faces. The Applicant must verify the structural adequacy of sign, brackets, anchors, and structure to which anchors are attached. 2. The sign must be designed to comply with all of the sign standards which apply to the signage location, e.g.: City/Town requirements, P.A.D. special conditions, Interstate Regulations, and BOCA or IBC. 3. This sign is the personal property of the Applicant and its installation and maintenance are the responsibility of the Applicant. The Applicant should speak to its insurance agent about adding coverage for the sign. 4. Landlord reserves the right to have Applicant remove the sign at the end of the tenancy or earlier, in Landlord's reasonable discretion. If requested to remove the sign, Applicant must remove the sign and any brackets or anchors; patch any holes, touch up paint (in the signage areas), and cap any electrical connections per the applicable code. 5. If requested to remove a free standing sign panel, Applicant should reinstall the panel which was removed during the original installation, or, with the Landlord's written approval, remove (carefully) the vinyl graphics from the plexi-glass panel and reinstall / leave the blank panel. 6. All provisions of Applicant/Tenant's lease (including Tenant's indemnity and insurance provisions) apply to the sign. 		
SIGNATURE OF APPLICANT: 		
APPROVAL OF OWNER/ASSOCIATION: 		



Notes:

Refer to "Sign Approval Application", Signery sign elevation and East Elevation for additional notes.

Applicant responsible for verifying the structural adequacy of all anchors, hangers, brackets, mountings, guys, sign, etc.

All anchors and guys to be non-corroding and non-galvanic acting.

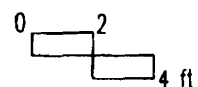
Tenant will remove the sign, bracket, guys, and all anchors, and patch and paint all penertations or damaged areas caused by the sign at the end of the tenant's tenancy if requested to do so by the landlord.

All costs to manufacture, permit, install, maintain, insure, remove and patch are the sole responsibility of the tenant.

This application has not been review by the landlord for code compliance.

564 Congress St Sign – Congress St. Elevation

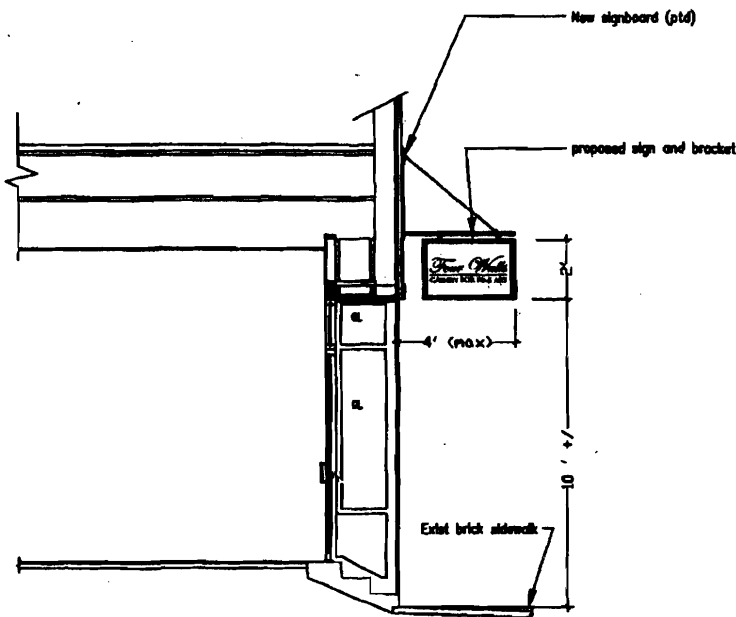
5/22/08





- (1) 3/4" MDO
- Primed & painted Black
- 24" x 36"
- HP White Vinyl
- Double Sided
- (1) Standard Arm Bracket
- Large Letters= 5" High
- Smaller Letters- 2" tall

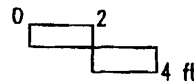
SIGNERY SIGN ELEVATION - NTS



Refer notes on Congress St Elevation

564 Congress St Sign - East Elevation

5/22/08



OWNERS CONSENT AND AGREEMENT

I, TERBAX REALTY, INC., being the owner of the premises located at
(print property owners name)

56A CONGRESS ST in Portland, Maine, hereby give consent to the
(print property address)

erection of a certain sign/~~awning/banner~~ owned by JULIE KUCERIS
(print lessee's name)

over the sidewalk or on building from said premises as described in
application to the Division of Inspection Services.

And in consideration of the issuance of said permit, owner of said premises,
in event said sign shall cease to serve the purpose for which it was erected
or shall become dangerous and in event the owner of said sign shall fail to
remove said sign or make it permanently safe in case the sign still serves
the purpose for which it was erected, hereby agrees for himself or itself,
for his heirs, its successors, and his or its assigns, to completely remove
said sign.


Signature of Property Owner
u.p.

5-27-08
Date


Signature of Lessee

5/29/08
Date