

Ward 5 Permit No. 33/25
Location 554 Congress St.
Owner J. R. Lilly Co.
Date of permit 1/6/33
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. 1/30/33
Cert. of Occupancy issued None

NOTES

1/11/33 - Rapping out be-
gin. - A. J. S.
1/14/33 - Section of floor
filled in - A. J. S.
1/17/33 - Tearing out
work on balcony
not yet begun - A. J. S.
1/20/33 - Balcony
framed - A. J. S.
1/24/33 - Posts not yet
in - A. J. S.
1/30/33 - Work nearly
completed - A. J. S.



GENERAL BUSINESS ZONE

PERMIT ISSUED
Permit No. 2154

APPLICATION FOR PERMIT TO ERECT SIGN
OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, Dec. 5, 1932

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 554 Congress St. Ward Within Fire Limits? Y Dist. No.

Owner of building to which sign is to be attached Percival F. Dexter

Name and address of owner of sign J. R. Libby Co., 554 Congress Street

Contractor's name and address Kimball System of Portland, 51 Cross St. Telephone F-1514

When does contractor's bond expire? March 1933

Information Concerning Building

No. stories 6 Material of wall to which sign is to be attached Brick

Details of Sign and Connections

Electric? yes Vertical dimension after erection 26' Horizontal

Weight 2,000 lbs., Will there be any hollow spaces? Yes Any rigid frame? Yes

Material of frame 2x2x1/2 angle No. advertising faces 2 material galvanized

No. rigid connections 12 Are they fastened directly to frame of sign? yes

No. through bolts 6 Size 1/2" Location, top or bottom top down 3 each side

No. guys no material Size

Minimum clear height above sidewalk or street 10'

Maximum projection into street 0'

Fee \$

Signature of contractor

The Kimball System of Portland Inc.

INSPECTION COPY

Oliver T. Sanborn

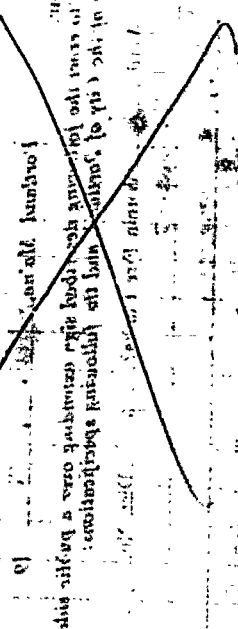
Howard J. Curry Pres

CITY OF PORTLAND

Ward 5 Permit No. 32/2/54
Location 554 Congress St.
Owner J. P. Lilly Co
Date of permit 12/17/32
Sign Contractor
Final Inspn. 12/18/32

12/15/32 - Disapproved.
Noted - 3 sets thru
as shown on
plan.

PERMIT TO ERECT SIGN
ON SIDEWALK OR STREET



Office of City and County Engineer
Department of Engineering

Inspection

Reference of structure

Structure to be erected

Structure to be erected

Structure to be erected



CITY OF PORTLAND, MAINE

Permit No. 2558

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second ClassPortland, Maine, December 21, 19

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, any, submitted herewith and the following specifications:

Location 568 Congress Street Ward 5 Within Fire Limits? Yes Dist. No. 1
Owner's or Lessee's name and address Edward M. Chapman, 241 Middle St., Telephone _____
Contractor's name and address B. Kroot, 108 Congress Street, Telephone P 1074
Architect's name and address _____
Proposed use of building Stores and Offices No. families _____
Other buildings on same lot _____
Plans filed as part of this application? None No. of sheets _____
Estimated cost \$ 50.00 Fee \$.50

Description of Present Building to be Altered

Material Brick No. stories 5 Heat _____ Style of roof Flat Roofing _____
Last use Stores and Offices No. families _____

General Description of New Work

To extend center show window in store entrance to within three feet of sidewalk
To cut front corner off one of side show windows. No structural changes.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored on the proposed building? _____

Miscellaneous

above work require removal or disturbing of any shade tree on a public street? No

here be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are served? Yes

Edward M. Chapman

Signature of owner

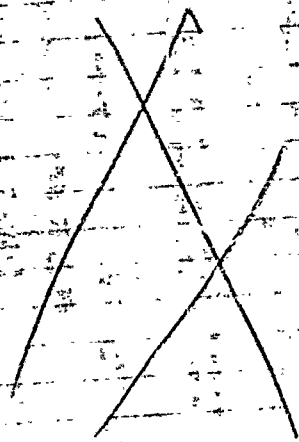
B. Kroot

ON COPY

Ward 5 Permit No. 31/2553
Location 566 Congress St.
Owner Edward M. Chapman
Date of permit 12/21/31.
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. 12/21/31
Cert. of Occupancy issued None

NOTES

12/21/31 - P.I.E. - A.G.S.



CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION
Record of Inquiry

Verbal in person
By telephone

Date

8/31/31

Location

566 Congress St. Pruitan Tea Co.

Made by

D. W. Lewis - Port. Gas Lt. Co. basement

Inquiry-1

Can you see a candy kettle
thru brick wall into chimney to which
2 boilers are connected - (13' x 4') - would
like to go over this with you up there.

3

Answer-1

Will have you call. I am not sure.

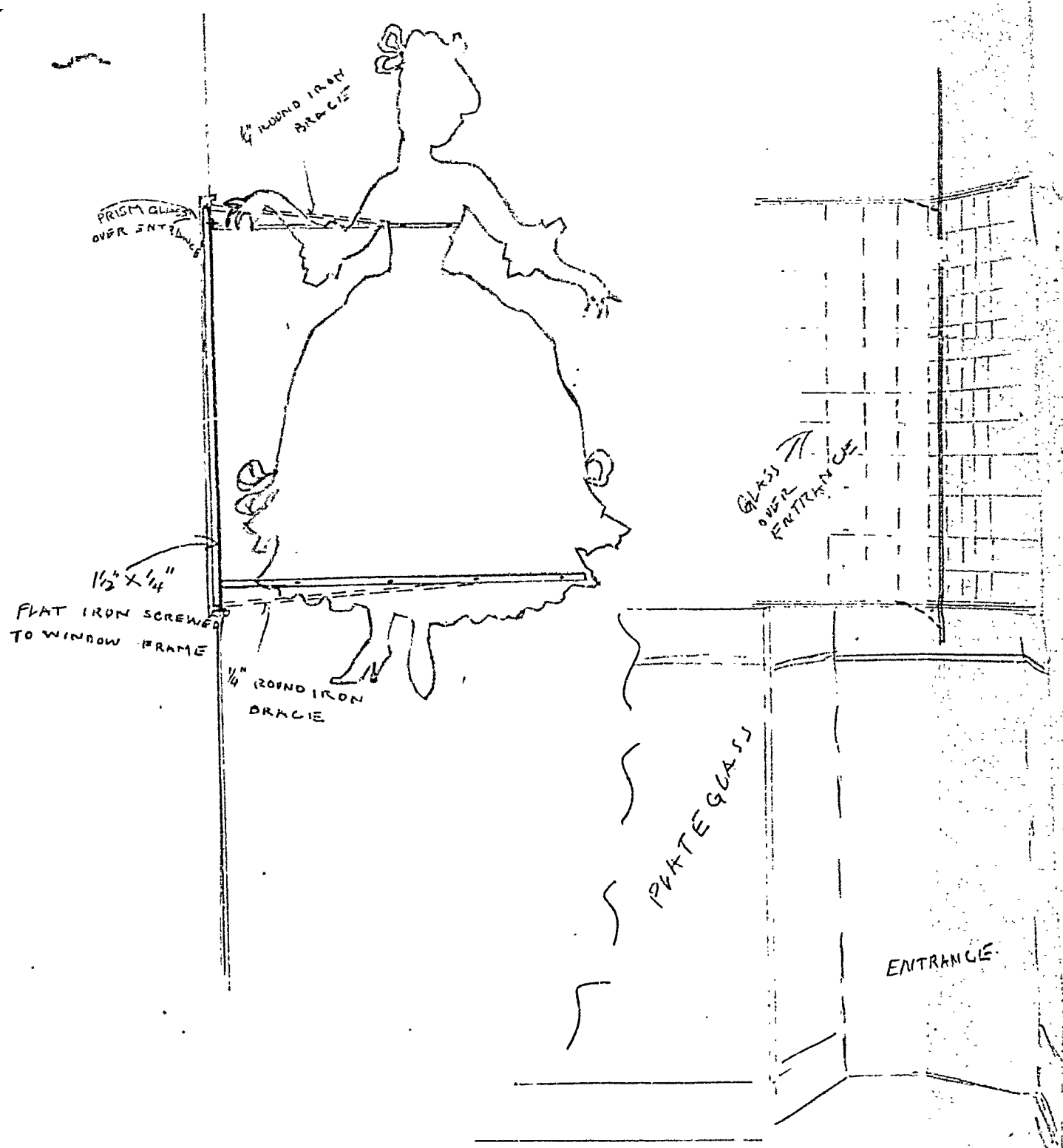
2

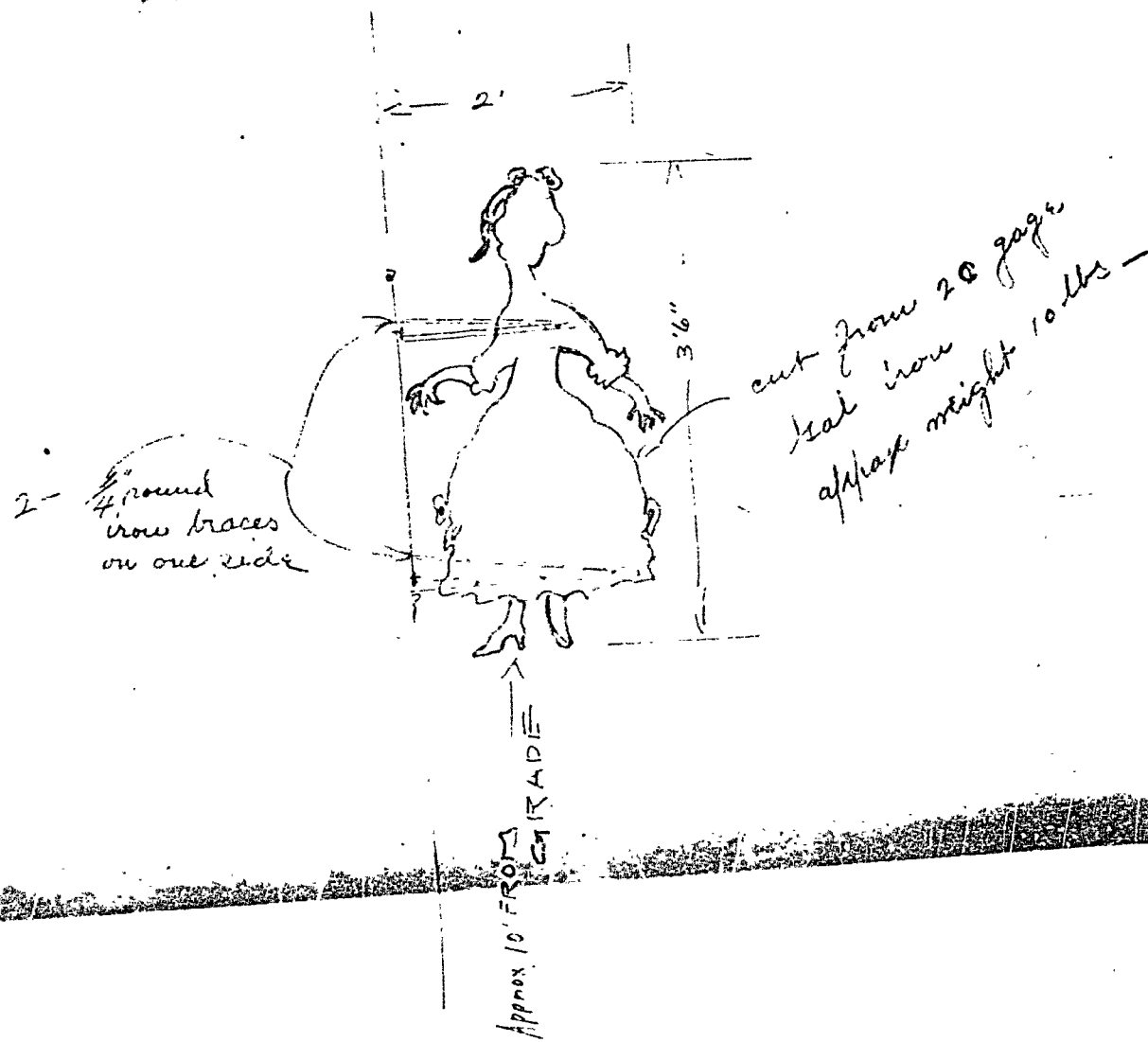
Mr. Lewis says he knows nothing about it. I am going to
see chimney. Will talk with Mr. Borden. See 8/31/31.

3

Reply by

DMW







(G) GENERAL BUSINESS ZONE Permit No. 1301

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, July 17 - 19 29

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 546 Congress St., Ward 5 Within Fire Limits? yes Dist. No. 1

Owner of building to which sign is to be attached Bookwith-Cummings Co., 546 Congress St.,

Name and address of owner of sign Bookwith-Cummings Co., 546 Congress St., Telephone 4246

Contractor's name and address G. J. Tainch Sign Co., 14-16 Free St.,

When does contractor's bond expire? Oct. 3-1929

Information Concerning Building

No. stories 6 Material of wall to which sign is to be attached stone

Details of Sign and Connections

Electric? No Vertical dimension after erection 7 feet Horizontal 2 feet

Weight 10 lbs., Will there be any hollow spaces? no Any rigid frame? angle iron support

Material of frame galv. iron No. advertising faces two, material 20 gauge galv. iron

No. rigid connections two Are they fastened directly to frame of sign? yes

No. through bolts two Size 1/2 inch Location, top or bottom top

No. guys two, material galv. iron Size 1/2 inch

Minimum clear height above sidewalk or street 10 feet

Maximum projection into street 2 feet

Fee \$ 1.00

INSPECTION COPY Chief of Fire Dept.

Signature of contractor

G. J. Tainch Sign Co.,
By G. J. Tainch

Ward 5 Permit No. 29/1401
Location 546 Congress St.
Owner Beckwith-Cummings Co.
Date of permit 7/24/29
Sign Contractor _____
Final Inspn. _____

NOTES

7/31/29 - Sign erected as

CEED PUBLIC SIDEWALK ON STREET

FOR BEHIND TO ERECT SIGN



APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Portland, Maine, May 25, 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 565 Congress St. Ward 5 Within Fire Limits? Yes Dist. No. 1
Owner's or Lessee's name and address Leon's Shoe Store, 565 Congress St. Telephone _____
Contractor's name and address J. J. Maloney Co., 270 Middle St. Telephone F 7785
Architect's name and address _____
Proposed use of building Mercantile No. families _____
Other buildings on same lot _____

Description of Present Building to be Altered

Material brick No. stories 5 Heat _____ Style of roof _____ Roofing _____
Last use mercantile No. families _____

General Description of New Work

To relocate basement stairway, from center of room to side
To extend show window in recessed entrance 3' toward sidewalk
(no structural change)

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED.
NOTIFICATION TO REMOVE LATHING
OR CLOSING IN IS WAIVED.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Distance, heater to chimney _____
If oil burner, name and model _____
Capacity and location of oil tanks _____
Is gas fitting involved? _____ Size of service _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Plans filed as part of this application no No. sheets _____
Estimated cost \$ 400. Fee \$.75
Will there be in charge of the above work a person competent to see that the State and _____ requirements pertaining thereto are observed? Yes

INSPECTION COPY

Signature of owner

Leon's Shoe Store

John J. Maloney

9342

Wa 1 5 Permit No 29728
Location 566 Congress St.
Owner Leon's Shoe Store
Date of permit 5/27/29
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued _____

NOTES





APPLICATION FOR PERMIT TO REPAIR BUILDING

Second Class Building

Portland, Maine, February 14, 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to repair the following described building in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 562 Congress Street Ward 5 Within fire limits? Yes Dist. No. 1
Owner's name and address Perival P. Baxter, 22 Monument Square Telephone F 2843
Contractor's name and address Owner Telephone _____
Use of building Mercantile
No. stories 5 Height _____ ft., Gross area _____ sq. ft., Style of roof _____
Type of present roof covering _____

General Description of New Work

To Repair after Fire to former condition. No alteration

Damage in basement

If Roof Covering is to be Repaired or Renewed

When last repaired? _____ Area then repaired _____ sq. ft.
Are repairs or renewal due to damage by fire? Yes If so, what area damaged? _____ sq. ft.
Area of roof to be repaired now? _____ sq. ft.
Type of roofing to be used _____ No. plies _____
Trade name and grade of roof covering to be used _____
Estimated cost \$ 500. Fee \$.75

P. F. Baxter

Signature of owner By _____

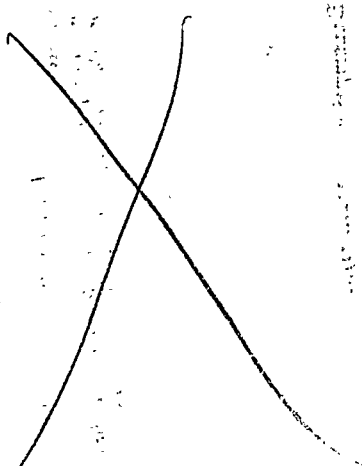
INSPECTION COPY

8543

Ward 5 Permit No. 29/47
Location 562 Congress St.
Owner Perinella P. Baster
Date of permit 2/14/29
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. 2/26/29
Cert. of Occupancy issued _____

NOTES

FOR FILE TO BE KEPT ON FILE





(C) GENERAL BUSINESS

PERMIT ISSUED

Permit No. 1042

JUL 8 1927

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second ClassPortland, Maine, July 7, 1927

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 544 Congress Street Ward 5 Within Fire Limits? Yes Dist. No. 1
~~Owner's~~ Lessee's name and address Bookwith, Cummings Co., 544 Congress St. Telephone _____
Contractor's name and address Cobb & Webster, 169 Clinton St. Telephone 2 1026
Architect's name and address _____
Proposed use of building Mercantile Block - Ladies' Apparel Store No. families _____
Other buildings on same lot none

Description of Present Building to be Altered

Material Brick No. stories 5 Heat _____ Style of roof _____ Roofing _____
Last use _____ No. families _____

General Description of New Work

Remove Office from first to second floor.

Erect new stairway from first to second floor

If permission is given by owner, Lessee will lower floor level at Fire Street
entrance 8" in area about 4' square. (Door opens in with with floor of about 16")

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Distance, heater to chimney _____
If oil burner, name and model _____
Capacity and location of oil tanks _____
Is gas fitting involved? no Size of service _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or cutting of any shade tree on a public street? no
Plans filed as part of this application? no No. sheets _____
Estimated cost \$ 250. Fee \$ 0.75
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

INSPECTION COPY

Signature of owner _____

3991

Ward 5 Permit No. 27/042 H
Location 564 Congress St.
Owner Richard H. Hinnings
Date of permit July 8/87
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. 10/25/87
Cert. of Occupancy issued _____

NOTES



Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

Application for Permit for Alterations, etc.

Portland, Me., March 27, 1926, 19

To the

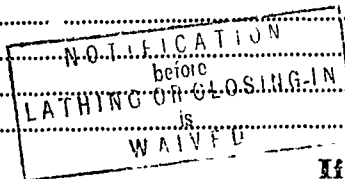
INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Location 554 Congress Street Ward 5 in fire-limits? Yes
Name of ~~Owner~~ Lessee, J. R. Libby Address 554 Congress St.
" " Contractor, The Portland Co " 58 Fore St.
" " Architect, H. W. Rhodes " 574 1/2 Congress St
Description of Present Bldg. Material of Building is Brick Style of Roof, Flat Material of Roofing, _____
Size of Building is _____ feet long; _____ feet wide. No. of Stories, 5
Cellar Wall is constructed of _____ is _____ inches wide on bottom and batters to _____ inches on top.
Underpinning is _____ is _____ inches thick; is _____ feet in height.
Height of Building _____ Wall, if Brick; 1st, _____ 2d, _____ 3d, _____ 4th, _____ 5th, _____
What was Building last used for? Stores and offices No. of Families? _____
What will Building now be used for? Same

Detail of Proposed Work

..... Install elevator and machinery in enclosure supplied by others as per plan
..... submitted, and all in accordance with the building ordinance.



..... Estimated Cost \$ 3400.00

If Extended On Any Side

Size of Extension, No. of feet long? _____; No. of feet wide? _____; No. of feet high above sidewalk? _____
No. of Stories high? _____; Style of Roof? _____; Material of Roofing? _____
Of what material will the Extension be built? _____ Foundation? _____
If of Brick, what will be the thickness of External Walls? _____ inches; and Party Walls _____ inches.
How will the extension be occupied? _____ How connected with Main Building? _____

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? _____ Proposed Foundations? _____
No. of feet high from level of ground to highest part of Roof to be? _____
How many feet will the External Walls be increased in height? _____ Party Walls _____

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? _____ in _____ Story.
Size of the opening? _____ How protected? _____
How will the remaining portion of the wall be supported? _____

Signature of Owner or
Authorized Representative

Address

The Portland Co
Wm Y. Todd Elev Eng.

Fee ~~\$1.75~~
1.00

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

26/74

75# / yft live.

$$\frac{18 \times 18}{4} \times [100 \times (1 + 4 \times 2) + 60 \times 2] = 92,340$$
$$3 \times 1.42 \times 50 \times 1.15 \times 2 = 48,990$$

92,340

45,990

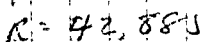
29,440

170,770

$$= 58,900$$

118700

Trial	Control	MCI	AD
1	85	75	65
2	88	78	68
3	90	80	70
4	92	82	72
5	95	85	75



$$\text{mu. } 42,0885 \times 8 \times 12 = 4,116,960.$$

Water Pump
Total working reaction 85,770 = 2.9 tons.

Water Pump
Total working reaction 85,770 = 2.9 tons.

~~Free~~
Under member
of permanent for
gathering R double
fronts

Ergebnis d. 1. Abpr.

$$23 \times 43 = 989$$

$$23 \times 110 = 2530$$

$$16.5$$

$$14.85$$

$$37.0$$

$$47.85$$

$$23$$

$$43$$

$$69$$

$$92$$

$$989$$

$$47.85$$

$$1978$$

$$29725$$

$$27820$$

$$52555$$

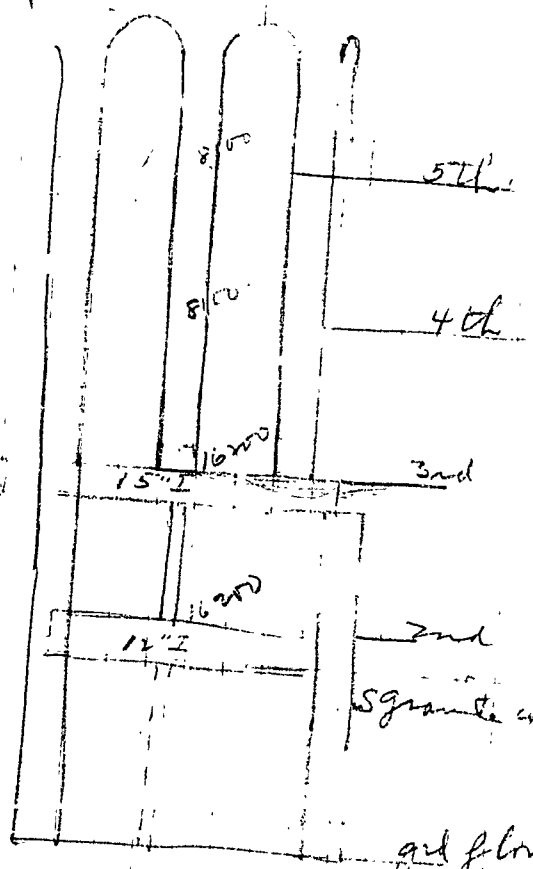
$$253$$

$$110$$

$$27830$$

8/11/70
38,690
42,000

find for 3/1/76



$9 \times 18 \times 100 = 16,200$
 $16 \times 36 \times 36 = 16,740$
 $10 \times 18 \times 9 = 13,765$
 $16,200 + 16,740 + 13,765 = 46,705$
 $R_1 = 38,690$
 $R_2 = 42,510$
 $16,740$
 $13,765$
 $20,250$
 $50,755$

$R = 8,100 + \frac{30,500}{8} + \frac{5,100}{8} = 5,086$
 $m = \frac{16,200 \times 18 \times 12}{8} + 38,690 \times 9 \times 12$
 $= 427,400 + 4,178,520 = 4,605,920$
 $= 384,660 \text{ ft lbs.}$
 $171,880 \text{ for } 2-15'' @ 50'$
 $212,780$

$16,200$
 27
 $113,400$
 324
 $407,400$
 2025
 18
 $16,200$
 2025
 $36,450$
 $383,643$
 $420,093$

4050
 8100
 8100
 8100
 30505
 $10,200$
 $69,555$
 $5,100$
 34527
 $42,627$

$2-12'' @ 48' = 119,540$
 $93,240$
 $1-12'' @ 55' = 117,800$
 $69,000$
 $16,200$
 $16,200 \times 18 + 42,627 \times 9 = 420,093$
 $2-12'' @ 40 = 119,540$
 $310,553$

granite col. must have 85,600 on top.



Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

Application for Permit for Alterations, etc.

Portland, Me., Feb. 25, 1926

To the
INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Location 554-560 Congress St. Ward 5 in fire-limits? Yes.
Name of ~~#####~~ Lessee, J. R. Libby & Co. Address Same
“ “ Contractor, Googins & Clark “ 46 Portland St.
“ “ Architect, H. W. Rhodes “ Chipman Bldg.
Material of Building is Brick Style of Roof, _____ Material of Roofing, _____
Size of Building is _____ feet long; _____ feet wide. No. of Stories, 6
Cellar Wall is constructed of _____ is _____ inches wide on bottom and batters to _____ inches on top.
Underpinning is _____ is _____ inches thick; is _____ feet in height.
Height of Building _____ Wall, if Brick; 1st, _____ 2d, _____ 3d, _____ 4th, _____ 5th, _____
What was Building last used for? Stores & Offices No. of Families? _____
What will Building now be used for? Same

Detail of Proposed Work

Rearrange and reconstruct show windows in first story and
change entrance doors, all new columns, girders etc. needed to be
designed to carry all live and dead loads theoretically upon them.
all entrance and exit doors to open outwards. All work will comply
with the building ordinance. There will be no increase of combustible
exposure. Estimated Cost \$ 5000.00

If Extended On Any Side

Size of Extension, No. of feet long? _____; No. of feet wide? _____; No. of feet high above sidewalk? _____
No. of Stories high? _____; Style of Roof? _____; Material of Roofing? _____
Of what material will the Extension be built? _____ Foundation? _____
If of Brick, what will be the thickness of External Walls? _____ inches; and Party Walls _____ inches.
How will the extension be occupied? _____ How connected with Main Building? _____

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? _____ Proposed Foundations? _____
No. of feet high from level of ground to highest part of Roof to be? _____
How many feet will the External Walls be increased in height? _____ Party Walls _____

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? _____ in _____ Story.
Size of the opening? _____ How protected? _____
How will the remaining portion of the wall be supported? _____

Signature of Owner or
Authorized Representative J. R. Libby & Co.
Address BY Atch Clark

Fee \$1.25

Permit gr

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK



Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

Application for Permit for Alterations, etc.

Portland, Me., ~~February 24, 1918~~

To the
INSPECTOR OF BUILDINGS

The undersigned applies for a permit to alter the following described building:—

Description of
Present
Bldg.

Location ~~104-1050 Congress St.~~ Ward ~~1~~ in fire-limits? ~~yes~~
Name of Owner ~~Libby & Co.~~ Address ~~104-1050 Congress~~
" " Contractor, ~~Geo. J. Sears~~ " ~~22 Cottage~~
" " Architect, ~~H. W. Rhodes~~ " ~~Congress St.~~
Material of Building is ~~brick~~ Style of Roof, _____ Material of Roofing, _____
Size of Building is _____ feet long; _____ feet wide. No. of Stories, ~~6~~
Cellar Wall is constructed of _____ is _____ inches wide on bottom and batters to _____ inches on top.
Underpinning is _____ is _____ inches thick; is _____ feet in height.
Height of Building _____ Wall, if Brick; 1st, _____ 2d, _____ 3d, _____ 4th, _____ 5th, _____
What was Building last used for? ~~Store & Office~~ No. of Families? _____
What will Building now be used for? ~~Garage~~

Detail of Proposed Work

~~Install new elevator well with enclosure and enclose existing~~
~~elevator well; also rearrange stairs, all as per plans submitted and~~
~~all work to be in accordance with the building ordinance.~~
Estimated Cost \$ ~~6000.00~~

If Extended On Any Side

Size of Extension, No. of feet long? _____; No. of feet wide? _____; No. of feet high above sidewalk? _____
No. of Stories high? _____; Style of Roof? _____; Material of Roofing? _____
Of what material will the Extension be built? _____ Foundation? _____
If of Brick, what will be the thickness of External Walls? _____ inches; and Party Walls _____ inches.
How will the extension be occupied? _____ How connected with Main Building? _____

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? _____ Proposed Foundations? _____
No. of feet high from level of ground to highest part of Roof to be? _____
How many feet will the External Walls be increased in height? _____ Party Walls _____

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? _____ in _____ Story.
Size of the opening? _____ How protected? _____
How will the remaining portion of the wall be supported? _____

Signature of Owner or
Authorized Representative

Address

R. Libby & Co.
By Geo. J. Sears

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

Fee \$1.00



Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

Application for Permit for Alterations, etc.

Portland, Me., Dec. 21, 1925. 19

To the
INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Location 562 Congress St. Ward 5 in fire-limits? Yes.
Name of Owner or Lessee Baxter Estate Address Room 604 Press Bldg.
Descrip- " " Contractor, Owner
tion of " " Architect,
Present Material of Building is Brick. Style of Roof. Material of Roofing,
Bldg. Size of Building is feet long; feet wide. No. of Stories,
Cellar Wall is constructed of is inches wide on bottom and batters to inches on top.
Underpinning is is inches thick; is feet in height.
Height of Building Walls, if Brick; 1st, 2d, 3d, 4th, 5th,
What was Building last used for? Stores and Offices. No. of Families?
What will Building now be used for? Same.

Detail of Proposed Work

Build interior partitions and false ceiling on fifth floor.
to provide six additional offices. There will be two stairways
accessible at all times to all tenants and the new rooms as well
as space over false ceiling will be protected by automatic sprinkler
system. There will be no additional toilet rooms. All work will
comply with the building ordinance. Estimated Cost \$2000.00

If Extended On Any Side

Size of Extension, No. of feet long; No. of feet wide; No. of feet high above sidewalk?
No. of Stories high; Style of Roof; Material of Roofing?
Of what material will the Extension be built? Foundation?
If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.
How will the extension be occupied? How connected with Main Building?

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations?
No. of feet high from level of ground to highest part of Roof to be?
How many feet will the External Walls be increased in height? Party Walls

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? in Story.
Size of the opening? How protected?
How will the remaining portion of the wall be supported?

Signature of Owner or
Authorized Representative The Baxter Estate.
Address By

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK



Location, Ownership and detail must be correct, complete and legible.

Separate application required for every building.

Plans must be filed with this application.

Application for Permit for Alterations, etc.

Portland, Me., August 11, 1925.

To the

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Description of Present Bldg. Location 568 Congress St. Ward 5 in fire-limits? Yes.
Name of Owner or Lessee, Chain Silk Store Address 568 Congress St.
" Contractor, Porter, Burdham Co. 157 Kennebec St.
" Architect, H. W. Rhodes 574 1/2 Congress St.
Material of Building is Brick Style of Roof. Material of Roofing.
Size of Building is feet long; feet wide. No. of Stories.
Cellar Wall is constructed of is inches wide on bottom and batters to inches on top.
Underpinning is is inches thick; is feet in height.
Height of Building Wall, if Brick; 1st, 2d, 3d, 4th, 5th.
What was Building last used for? This part for store No. of Families?
What will Building now be used for? Same.

Detail of Proposed Work

Build new store front of glass and tile, 1' to comply with the building ordinance.

Estimated Cost \$ 1800.00

If Extended On Any Side

Size of Extension, No. of feet long?; No. of feet wide?; No. of feet high above sidewalk?
No. of Stories high?; Style of Roof?; Material of Roofing?
Of what material will the Extension be built? Foundation?
If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.
How will the extension be occupied? How connected with Main Building?

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations?
No. of feet high from level of ground to highest part of Roof to be?
How many feet will the External Walls be increased in height? Party Walls

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? in Story.
Size of the opening? How protected?
How will the remaining portion of the wall be supported?

Signature of Owner or
Authorized Representative

Address

Chain Silk Store
Porter Burdham

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK



Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

Application for Permit for Alterations, etc.

To the

Portland, July 23, 192 192

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Location 554 Commercial Street Ward 5 in fire limits yes
Name of Owner or Lessee James J. Ryan Address 554 Commercial Street
Contractor Lane & Company Boston, Mass
Architect _____
Material of Building is brick Style of Roof flat Material of Roofing tar & gravel
Size of Building is 17ft feet long; 12ft feet wide. No. of Stories 4
Cellar Wall is constructed of stone is _____ inches wide on bottom and batters to _____ inches on top.
Underpinning is brick is _____ inches thick: is _____ feet in height.
Height of Building 45ft Wall, if Brick; 1st _____ 2d _____ 3d _____ 4th _____ 5th _____
What was Building last used for? store No. of families? _____
What will Building now be used for? store

Description of Present Bldg.

Detail of Proposed Work

Change door and put in new store front, all new exterior woodwork to be covered with metal
all to comply with the building ordinance

Estimated Cost \$1700.

If Extended On Any Side

Size of Extension, No. of feet long _____ No. of feet wide _____; No. of feet high above sidewalk? _____
No. of Stories high? _____; Style of Roof? _____; Material of Roofing? _____
On what material will the Extension be built? _____ Foundation? _____
If of Brick, what will be the thickness of External Walls? _____ inches; and Party Walls? _____ inches.
How will the extension be occupied? _____ How connected with Main Building? _____

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? _____ Proposed Foundations _____
No. of feet high from level of ground to highest part of Roof to be? _____
How many feet will the External Walls be increased in height? _____ Party Walls _____

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? _____ in _____ Story.
Size of the opening? _____ How protected? _____
How will the remaining portion of the wall be supported? _____

Signature of Owner or Authorized Representative

Address

James J. Ryan
6 Mechanic St. Boston

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

175
2
250

100



Location, Ownership and detail must be correct, complete and legible.

Separate application required for every building.

Plans must be filed with this application.

Application for Permit for Alterations, etc.

To the

Portland, February 19, 1923 192

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building.—

Location 565 Congress Ward, 5 in fire-limits? yes
Name of Owner or Lessee, J P Baxter Estate Address Press Bldg
" " Contractor, F A Rumery Co " 21 Portland Street
" " Architect, " "

Description of Present Bldg.

Material of Building is brick Style of Roof, falt Material of Roofing, t r & gravel
Size of Building is 112ft feet long; 100ft feet wide. No. of Stories, 5
Cellar Wall is constructed of stone is inches wide on bottom and batters to inches on top.
Underpinning is brick is inches thick; is feet in height.
Height of Building, 75ft Wall, if Brick; 1st, 2d, 3d, 4th, 5th,
What was Building last used for? store No. of Families?
What will Building now be used for? same

DETAIL OF PROPOSED WORK

Put in new store front, all new exterior woodwork to be covered
with metal
all to comply with the building ordinance

Estimated Cost \$ 3,000

IF EXTENDED ON ANY SIDE

Size of Extension, No. of feet long? ; No. of feet wide? ; No. of feet high above sidewalk? ;
No. of Stories high? ; Style of Roof? ; Material of Roofing? ;
Of what material will the Extension be built? ; Foundation? ;
If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.
How will the extension be occupied? How connected with Main Building?

WHEN MOVED, RAISED OR BUILT UPON

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations.
No. of feet high from level of ground to highest part of Roof to be? Party Walls
How many feet will the External Walls be increased in height?

IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED

Will an opening be made in the Party or External Walls? in. Story.
Size of the opening? How protected?
How will the remaining portion of the wall be supported?

Signature of Owner or
Authorized Representative

Address

F A Rumery Co
F A Rumery

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK



Location, Ownership and detail must be correct, complete and legible.

Separate application required for every building.

Plans must be filed with this application.

Application for Permit for Alterations, etc.

To the

Portland November 27, 1922 192

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Location **Corner Congress & O. K. (See 3rd 34th Ward, 5th in fire-limits? Yes)**

Name of Owner or ~~lessor~~ **James P. Baxter Estate**

Address **Press Building**

" " Contractor, **J. B. Aldrich**

" " **Cumberland Center**

" " Architect

" " **R. F. D. 1**

Description of Present Bldg.

Material of Building is **brick** Style of Roof, **flat** Material of Roofing, **t. r. & gravel**

Size of Building is feet long; feet wide. No. of Stories,

Cellar Wall is constructed of is inches wide on bottom and batters to inches on top.

Underpinning is is inches thick; is feet in height.

Height of Building **74ft** Wall, if Brick; 1st, 2d, 3d, 4th, 5th, ---

What was Building first used for? No. of Families? ---

What will Building now be used for?

DETAIL OF PROPOSED WORK

**demolish tower of building down to roof
all to comply with the building ordinance**

Estimated Cost **\$200.**

IF EXTENDED ON ANY SIDE

Size of Extension, No. of feet long? ; No. of feet wide? ; No. of feet high above sidewalk?

No. of Stories high? ; Style of Roof? ; Material of Roofing?

Of what material will the Extension be built? Foundation?

If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.

How will the extension be occupied? How connected with Main Building?

WHEN MOVED, RAISED OR BUILT UPON

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations

No. of feet high from level of ground to highest part of Roof to be?

How many feet will the External Walls be increased in height? Party Walls

IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED

Will an opening be made in the Party or External Walls? in Story.

Size of the opening? How protected?

How will the remaining portion of the wall be supported?

Signature of Owner or
Authorized Representative

Address

J. B. Aldrich

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE Feb., 23, 1983.

PERMIT ISSUED

MAR 29 1983

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

CITY of PORTLAND

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 560 Congress Street, Portland, Maine 04101 Fire District #1 ☐ #2 ☐
1. Owner's name and address Telephone 774-8221
2. Lessee's name and address Telephone 774-8221
3. Contractor's name and address Telephone

Proposed use of building No. of sheets
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$1,000.00

FIELD INSPECTOR—Mr.
@ 775-5451
Appeal Fees \$
Base Fee 33.00
Late Fee
TOTAL 33.00 total

To construct enclosure to be used for automatic banking system, 6' x 6', using aluminum tubing and tempered glass. 1/4" tempered glass, 2x4 tubing. Robertson Construction Co.
Stamp of Special Conditions

also to attach 2 signs to wall to be used in connection (SEND PERMIT TO #1) with machines - sign is 3 x 5
C/O DICK CARTER - PURCHASING - Casco Bank - 1 Monument Square
TARDIFF

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work? ..yes.....
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of wall? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street? ..no..
ZONING:
BUILDING CODE: Will there be in charge of the above work a person competent
Fire Dept.: to see that the State and City requirements pertaining thereto
Health Dept.: are observed? ..yes...
Others:

Signature of Applicant *Frank Breggia* Phone #

Type Name of above Frank Breggia, for Casco Bank 1 ☐ 2 ☐ 3 ☐ 4 ☐
Other
and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

Bms Schmackal

Permit : o. 83/ 0211
Location 560 Longview St.
Owner Chris Macario
Date of permit 2 - 23- 83
Approved 3 - 29- 83
Dwelling Enclosure for banking system
Garage
Alteration

NOTES

3-19-83 Work started
3-8-83 completed



The Bridgton News ran a very nice article about the "Anytime Money" opening. We are reprinting it for your information.



COMING OF THE GREEN — John Grolley, manager of the Bridgton Branch of the Casco Bank & Trust Co., with the new Anytime Money machine which will be going into service next Wednesday, March 23. (Moriarty Photo)

Anytime Money Comes To Town

The timing was perfect.

The big new green machine which will automatically provide banking services *anytime* at Casco Bank & Trust Co.'s Bridgton Branch will be opening next Wednesday, March 23.

That meant the advance announcement had to be in this week's issue of *The Bridgton News*. And what's the date of this week's issue? Why, March 17 — St. Patrick's Day — the greenest day of the whole year!

There's something else, too. "Anytime Money," the automatic teller system which is coming to Casco, has its own green theme. The sign on the machine is green; and the signs in the bank right now, saying "Anytime Money Is Coming," are green.

And the plastic card itself, the one to use operate the money machine, that plastic card is — well, you've already guessed. It's green. Not just green trim. Not just green lettering. Solid green.

What more could anyone ask for St. Patrick's Day?

The new "Anytime Money" machine is located on the front of Casco's Bridgton Branch, on the right-hand side of the long porch. It's inside a glass door, easily visible from the street.

John Grolley, manager of the Bridgton Branch, showed how the machine works in a brief demonstration last week.

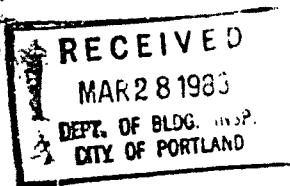
It has a TV screen for messages, as with many computers, and a keyboard for customers to punch answers. You push in your "Anytime Money" card, and the machine then asks your choice of banking activities: deposits, withdrawals, loan payments, fund transfers.

If you're withdrawing money, you just punch in how much you want, and out it comes, the bills flipping briskly into the front bin. (Of course, your account has to have a balance to cover.)

For the demonstration, the machine was filled with play money. Darn.

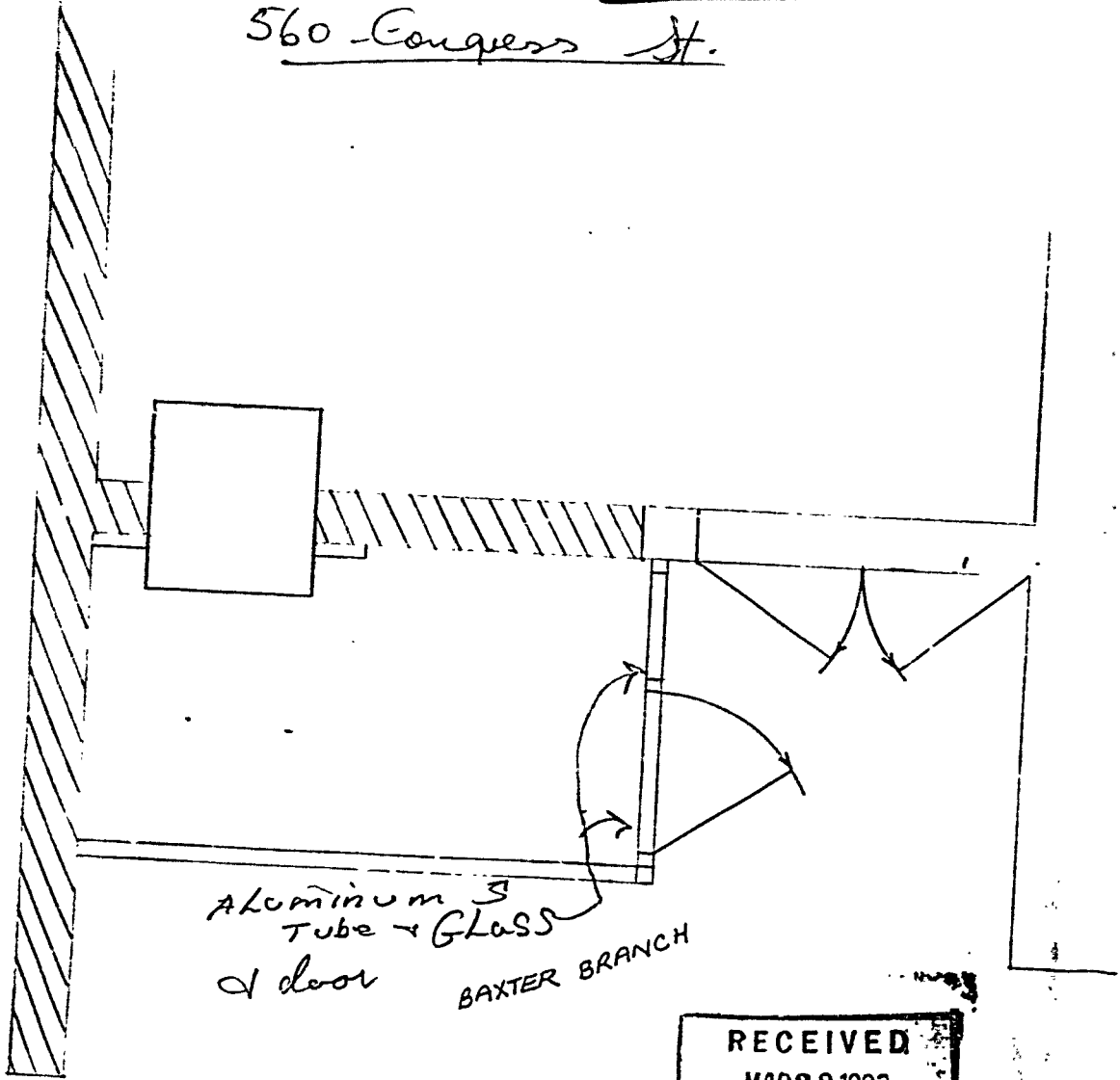
The machine will be available 24 hours a day. What's more, "Anytime Money" is part of a national automatic teller system with machines throughout the country. Great for traveling.

The fact that Bridgton will be the first Casco Bank site to have the new machine in operation is news. The fact that all this news about green money and green machines comes on St. Patrick's Day is just plain fun.



RECEIVED
FEB 23 1983
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

560 Congress St.



Aluminum Tube & Glass
of door
BAXTER BRANCH

RECEIVED
MAR 28 1983
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

... of
...
...ender

55

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION

PORTLAND, MAINE

PERMIT ISSUED

MAR 29 1983

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION

1. Owner's name and address

2. Lessee's name and address

3. Contractor's name and address

Proposed use of building

Last use

Material No. stories

Other buildings on same lot

Estimated contractual cost \$

FIELD INSPECTOR—Mr.

@ 775-5451

CITY OF PORTLAND

Fire District #1

Telephone 774-5541

Telephone 774-6221

Telephone 04101

Telephone

No. of sheets

No. families

No. families

Roofing

Roofing

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Roofing

To construct enclosure to be used for automatic banking system, 6' x 6', using aluminum tubing and tempered glass. 1/2" tempered glass, 2x4 tubing. Intentional construction.

also to attach signs to wall to be used in connection (SEE PERMIT TO #1) with machines - sign is 3 x 5

C/O DICK ENTER - PURCHASING - Casco Bank - 1 Monument Square

TARDIFF

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work? **yes**
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Side, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

BUILDING INSPECTION—PLAN EXAMINER

ZONING:

BUILDING CODE:

Fire Dept.:

Health Dept.:

Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street? **no**

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? **yes**

Signature of Applicant

Type Name of above

Frank Braccia for Casco Bank

Phone #

1 ☐ 2 ☐ 3 ☐ 4 ☐

Other

and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

3



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date May 11, 19 83
Receipt and Permit number 896679
809907

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance the National Electrical Code and the following specifications:

LOCATION OF WORK: 560 Congress Street - Casco Bank & Trust
OWNER'S NAME: Baxter Building ADDRESS: same

OUTLETS: 8 2 FIXTURES IN ALL NIGHT BANKING AREA.
WORK IS AT REAR FRONT OF BUILDING, 1 OUTLET, 1 WIRE MOLD STRIP, 3 FT.
Receptacles 2 Switches Plugmold ft TOTAL 1-20 3.00
FIXTURES: (number of) 3.00
Incandescent Fluorescent 2 (not strip) TOTAL 1-10
Strip Fluorescent ft

SERVICES: Overhead Underground Temporary TOTAL amperes

METERS: (number of)

MOTORS: (number of)
Fractional
1 HP or over

RESIDENTIAL HEATING: Oil or Gas (number of units)
Electric (number of rooms)

COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by a main boiler)
Oil or Gas (by separate units)
Electric Under 20 kws Over 20 kws

APPLIANCES: (number of)
Ranges Water Heaters
Cook Tops Disposals
Wall Ovens Dishwashers
Dryers Compactors
Fans Others (denote)

TOTAL
MISCELLANEOUS: (number of)
Branch Panels
Transformers
Air Conditioners Central Unit
Separate Units (windows)
Signs 20 sq. ft. and under
Over 20 sq. ft.
Swimming Pools Above Ground
In Ground
Fire/Burglar Alarms Residential
Commercial
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under
over 30 amps
Circus, Fairs, etc.
Alterations to wires
Rep ir: after fire
Emergency Lights, battery
Emergency Generators

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE:
FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE:
TOTAL AMOUNT DUE: 6.00

INSPECTION: Will be ready on ready, 19 83; or Will Call
CONTRACTOR'S NAME: John McKinney
ADDRESS: 76 Ocean House Rd., Cape Elizabeth
TEL.: 799-5218 SIGNATURE OF CONTRACTOR: John McKinney
MASTER LICENSE NO.: 03910
LIMITED LICENSE NO.:

INSPECTOR'S COPY — WHITE
OFFICE COPY — CANARY
CONTRACTOR'S COPY — GREEN

ELECTRICAL INSTALLATIONS —

Permit Number 09907
 Location 560 Congress St.
 Owner Casco Bank
 Date of Permit 5-11-83
 Final Inspection 7-19-83
 By Inspector Libby

Permit Application Register Page No 146

INSPECTIONS: Service _____ by _____
 Service called in _____
 Closing-in _____ by _____
 PROGRESS INSPECTIONS: 5-11-83 /
7-19-83 /
 /
 /
 /
 /
 /
 /

CODE
 COMPLIANCE
 COMPLETED
 DATE 7-19-83
 DATE: _____

REMARKS:

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION

PORTLAND, MAINE

June 30, 1983

PERMIT ISSUED

JUN 30 1983

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith, and the following specifications:

LOCATION ... 561 Congress Street

1. Owner's name and address ... Venture Investments - 562 Congress St.

2. Lessee's name and address ... Japan Steak House - 561 Congress St.

3. Contractor's name and address ... Coyne Sign Co. - 84 Cove St.

Proposed use of building ... restaurant with sign on front of same

Estimated contractual cost \$

FIELD INSPECTOR: Mr.

@ 775-5451

To erect sign on front of restaurant, 2'6" x 24' as per plans, 1 sheet of plans,

Approval Fees \$

Base Fee

Late Fee

TOTAL

\$

27.00

\$

27.00

Stamp of Special Conditions

send permit to

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals

DETAILS OF NEW WORK

Is any plumbing involved in this work? ☒ No Is any electrical work involved in this work? ☒ No
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber Kind Dressed or full size? Corner posts Sills
Size Girders Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafter: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION-PLAN EXAMINER

ZONING

BUILDING CODE:

Fire Dept.:

Health Dept.:

Others:

Will work require disturbing of any tree on a public street?

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant

Phone #

same

Type Name of above

Tsan Chau for Japan Steak House

1 ☒ 2 ☐ 3 ☐ 4 ☐

Other

and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 56.1 Congress Street

Issued to Tsan Chau

Date of Issue February 8, 1983

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No 82-0399 has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Limiting Conditions:
Entire - 1st Floor

Japanese Steak House

This certificate supersedes
certificate issued

Approved:

2-8-83

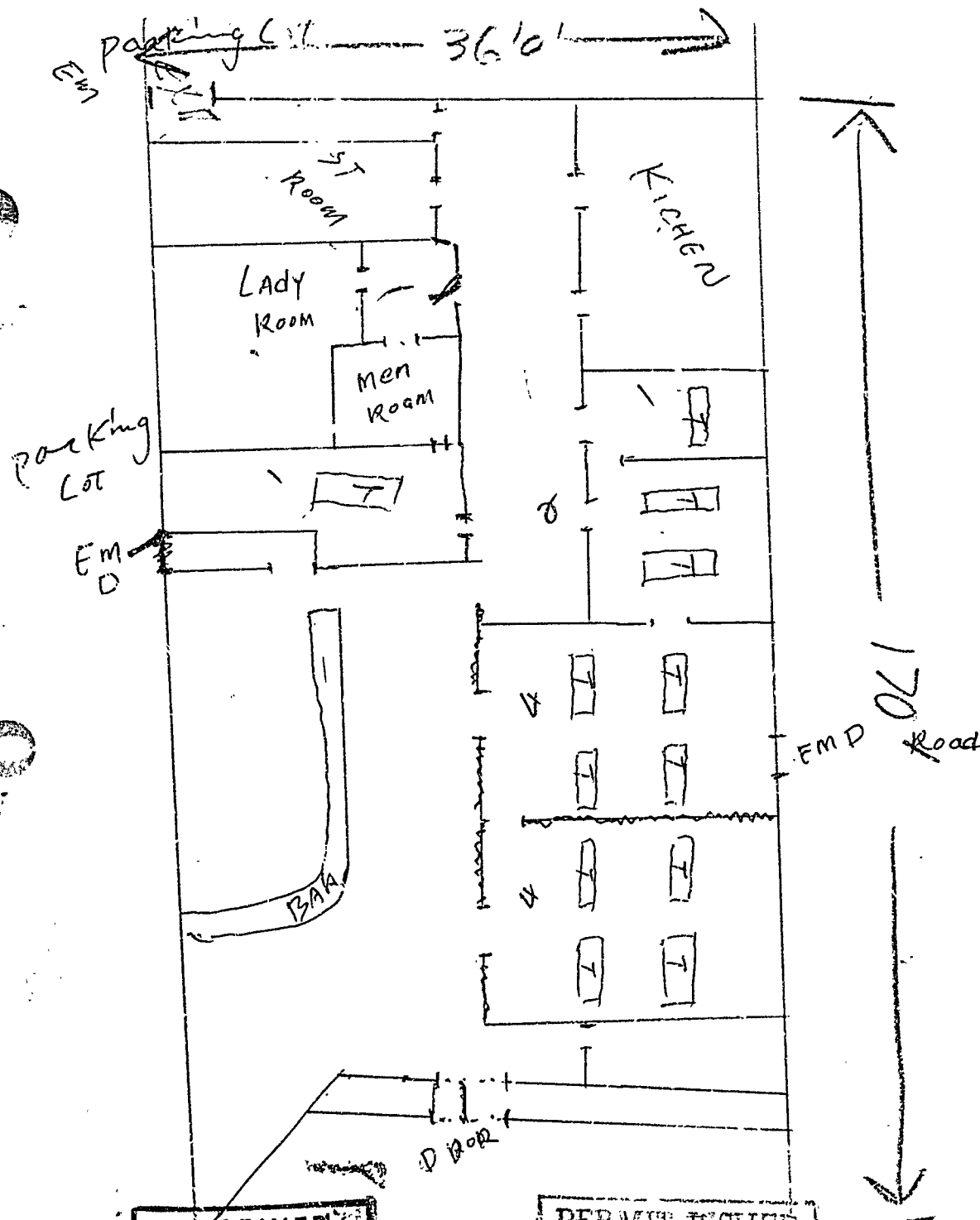
(Date)

Inspector

Max Schmiedel

James P. Clark
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



RECEIVED
NOV-11 1982
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

561

PERMIT ISSUED
W. W. J. LITTON



CITY OF PORTLAND

DEPARTMENT OF URBAN DEVELOPMENT
BUILDING INSPECTION DIVISION

November 5, 1982

Mr. Chris Pachios
561 Congress Street
Portland, Maine

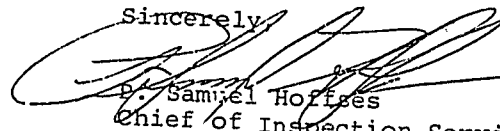
Dear Sir:

Your application for a building permit to change 561 Congress Street from a bank to a Japanese Steak House is being issued with the following requirements:

1. No work is to be started on this project until the City Manager's Office gives written approval for the new gas line which is to serve this proposed project. The reason for this requirement is that 561 Congress Street is within the boundaries of the Maine Way Project.
2. Internally lit exit signs and emergency lighting shall be provided for all exits and paths to reach same.
3. All doors involved in the means of egress shall be equipped with latch sets which shall open from the inside without the use of keys special knowledge, or ability, but by merely turning the usual knob or by pressure on a plate or lever.
4. All vertical openings (stairways) shall be enclosed with construction having a fire rating of at least one hour including fire doors with self-closers.
5. The kitchen area shall be separated from all other areas with construction having a fire rating of at least one hour, including fire doors with self-closers.
6. All storage areas shall be enclosed with construction having a fire rating of at least one hour including fire doors with self closers.
7. An approved automatic fire and smoke alarm system shall be installed covering all areas. This system shall be approved through this office and a seperate permit is required.

If you have any questions on these requirements, please don't hesitate to call my office.

Sincerely,


P. Samuel Hoffes
Chief of Inspection Services

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

09999

NOV 8 1982

ZONING LOCATION ... B-3 ... PORTLAND, MAINE ... Nov. 1, 1982

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 561 Congress Street ... ~~Japanese Steak House~~ Fire District #1 ☐, #2 ☐
1. Owner's name and address ... Chris Pachios - Cape Elizabeth Telephone ...
2. Lessee's name and address ... Tisan Chau - same Telephone ... 623-2503
3. Contractor's name and address ... Lessee Telephone ...

Proposed use of building ... Japan steak house ... No. of sheets ...
Last use ... bank ... No. families ...
Material ... No. stories ... Heat ... Style of roof ... Roofing ...
Other buildings on same lot ...
Estimated contractual cost \$... 12,000

FIELD INSPECTOR—Mr. ...
@ 775-5451

Appeal Fees \$... 15.00
Base Fee ... 25.00
Late Fee ...
TOTAL \$... 40.00

Change of use from bank to Japanese steak house as per plans. 1 sheet of plans.
minor alterations, no structural changes.

Stamp of Special Conditions

send permit to # 1

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT ISSUED
WITH LETTER

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... Is any electrical work involved in this work? ...
Is connection to be made to public sewer? ... If not, what is proposed for sewage? ...
Has septic tank notice been sent? ... Form notice sent? ...
Height average grade to top of plate ... Height average grade to highest point of roof ...
Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ...
Material of foundation ... Thickness, top ... bottom ... cellar ...
Kind of roof ... Rise per foot ... Roof covering ...
No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel ...
Framing Lumber—Kind ... Dressed or full size? ... Corner posts ... Sills ...
Size Girder ... Columns under girders ... Size ... Max. on centers ...
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor ... 2nd ... 3rd ... roof ...
On centers: 1st floor ... 2nd ... 3rd ... roof ...
Maximum span: 1st floor ... 2nd ... 3rd ... roof ...
If one story building with masonry walls, thickness of walls? ... height? ...

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ...

APPROVALS BY:

BUILDING INSPECTION—PLAN EXAMINER

ZONING: 0.4 ... M.A.D. ... 11/6/82

BUILDING CODE:

Fire Dept. ...

Health Dept. ...

Others: ...

MISCELLANEOUS

Will work require disturbing of any tree on a public street? ...

Will there be in charge of the above work a person competent

to see that the State and City requirements pertaining thereto

are observed? ...

Signature of Applicant

Type Name of above Tisan Chau for

Japan Steak House

and Address

Phone # ... same

1 ☐ 2 ☒ 3 ☐ 4 ☐PERMIT ISSUED
WITH LETTER

APPLICANT'S COPY

OFFICE FILE COPY

Permit No. 82/999
 Location 561 Congress St.
 Owner Chris Pacheco
 Date of permit 11-1-82
 Approved 11-8-82
 Dwelling
 Garage
 Alteration Change to stake house

NOTES

12-10-82, no calls get - Am not
 no one working - it's been done -
 1-28-83 Finally Able to get in -
 (only works in p.m.) - Went over there
 with the permit with the owner -
 Needs some more exit signs & Emergency
 lights - Needs fire doors in kitchen -
 Will have REAR EXIT WAY - The
 venting goes out to an AREA WITH
 some boarded up windows where
 the bldg isn't in use - I told
 the owner that if in the future any
 one occupied that area & used
 the windows the owner must
 likely would have to change -
 Also discussed fire & smoke
 alarm Reg. per letter - he
 said he would install -
 1-4-83 Still working -
 has more exit signs -
 says it calls SAIR NO DOTS
 in kitchen or will check -
 1-8-83 Exit signs & smoke
 lights are up - Lt. Collins
 did work on the kitchen -
 will have a fire extinguisher
 in kitchen - I'm eddy
 on a C.O. -

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 00648

ZONING LOCATION B-3 PORTLAND, MAINE June 30, 1983

JUN 30 1983

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 561 Congress Street
 1. Owner's name and address Venture Investments - 562 Congress St. Fire District #1 ☐ #2 ☐
 2. Lessee's name and address Japan Steak House - 561 Congress St. Telephone
 3. Contractor's name and address Coyne Sign Co. - 84 Cove St. Telephone 774-0666
 Proposed use of building restaurant with sign on front of same No. of sheets
 Last use No. families
 Material No. stories Heat Style of roof Roofing
 Other buildings on same lot
 Estimated contractual cost \$
 FIELD INSPECTOR—Mr.
 @ 775-5451
 To erect sign on front of restaurant, 2'6" x 24'
 as per plans. 1 sheet of plans.
 Appeal Fees \$
 Base Fee 27.00
 Late Fee
 TOTAL \$ 27.00

Stamp of Special Conditions

send permit to

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? no Is any electrical work involved in this work? no
 Is connection to be made to public sewer? If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing Lumber—Kind Dressed or full size? Corner posts Sills
 Size Girder Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2nd 3rd roof
 On centers: 1st floor 2nd 3rd roof
 Maximum span: 1st floor 2nd 3rd roof
 If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?
 ZONING: OK M.D. 6/30/83
 BUILDING CODE: Will there be in charge of the above work a person competent
 Fire Dept.: to see that the State and City requirements pertaining thereto
 Health Dept.: are observed?
 Others: APPROVED by DON K. 1983
 Signature of Applicant Tran Chau for Japan Steak House Phone # same

Type Name of above Tran Chau for Japan Steak House 1 ☒ 2 ☐ 3 ☐ 4 ☐
 Other
 and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

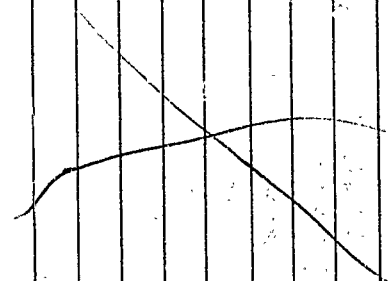
OFFICE FILE COPY

3 Ms Schinackel

Permit No. 83/648
Location 561 Congress St.
Owner Venture West
Date of permit 6-30-83
Approved 6-30-83
Dwelling _____
Garage _____
Alteration Sign on restaurant

NOTES

8-3-83 Sign is up





APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date Jan. 28, 1983
Receipt and Permit number A92579

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of

Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 561 Congress St. Japan Steak House

OWNER'S NAME: Tasn Chau ADDRESS: same

OUTLETS: Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL _____ FEES _____

FIXTURES: (number of) Incandescent _____ Fluorescent _____ (not strip) TOTAL _____
Strip Fluorescent _____ ft. _____

SERVICES: Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____

METERS: (number of) _____

MOTORS: (number of) Fractional _____
1 HP or over _____

RESIDENTIAL HEATING: Oil or Gas (number of units) _____
Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by a main boiler) _____
Oil or Gas (by separate units) _____

Electric Under 20 kws _____ Over 20 kws _____

APPLIANCES: (number of) Ranges _____ Water Heaters _____
Cook Tops _____ Disposals _____
Wall Ovens _____ Dishwashers _____
Dryers _____ Compactors _____
Fans _____ Others (denote) _____

TOTAL _____ walk in refrigerator _____

MISCELLANEOUS: (number of) Branch Panels _____ 6.00

Transformers _____

Air Conditioners Central Unit _____
Separate Units (windows) _____

Signs 20 sq. ft. and under _____
Over 20 sq. ft. _____

Swimming Pools Above Ground _____
In Ground _____

Fire/Burglar Alarms Residential _____
Commercial _____

Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____
over 30 amps _____

Circus, Fairs, etc. _____

Alterations to wires _____

Repairs after fire _____

Emergency Lights, battery _____

Emergency Generators _____

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE:
FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE:

TOTAL AMOUNT DUE: 6.00

INSPECTION: Will be ready on today between 1 and 3 or Monday, 19 xx; or Will Call xx

CONTRACTOR'S NAME: William Gagnon

ADDRESS: 58 Victor Road

TEL.: _____

MASTER LICENSE NO.: 3014 SIGNATURE OF CONTRACTOR: [Signature]

LIMITED LICENSE NO.: _____

INSPECTOR'S COPY — WHITE
OFFICE COPY — CANARY
CONTRACTOR'S COPY — GREEN

ELECTRICAL INSTALLATIONS —

Permit Number 92579

Location 561 Congress St.

Owner Tam Chan

Date of Permit 1-28-83

Final Inspection 1-31-83

By Inspector Gibby

Permit Application Register Page No. 138

INSPECTIONS: Service

Service called in

Closing-in

PROGRESS INSPECTIONS:

ES

ET

CODE

COMPLIANCE

COMPLETED

DATE 3-1-83

DATE:

REMARKS:



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

October 11, 1983

E.C. Jordan Company
562 Congress Street
Portland, ME 04101

Gentlemen:

Your application for parking lots at 216-222 Cumberland Avenue, 1-33 Wilmot Street, and 339-345 Congress Street has been reviewed, and a permit is herewith issued subject to the following requirements.

Site Plan Review Requirements

Building Division
Fire Department
Public Works Department
Planning Division

Approved 10/9/83 M. Ward
Approved 10/6/83 Lt. Collins
Approved 11/4/83 R. Roy
Approved 10/4/83 B. Barhydt - with
the following:

1. Subject to Traffic Engineer's (Bill Bray) approval.
2. Landscaping subject to Anne Grimes' approval (City Arborist). All planting material shall meet City Arborist's specifications. Applicant shall contact Ms. Grimes prior to any landscaping being planted so that material may be inspected.
3. Wood timber guardrails shall be erected along Cumberland Avenue, Congress Street and the first six (6) spaces along the Franklin Street Arterial in place of proposed metal guardrails.
4. Approval is based upon an unpaved parking lot.

If you have any questions regarding these requirements, please call this office.

Sincerely,

P. Samuel Hoffses
Chief of Inspection Services

PSH/kat
cc: Alex Jaegerman, Chief Planner
Robert Roy, Project Engineer
Lt. James Collins, Fire Prevention

216-222 Cumberland Avenue
1-33 Wilmot Street
339-345 Congress Street

Portland, Maine Oct. 4, 1983

Location _____ Zone B-2

To the INSPECTOR OF BUILDINGS, Portland, Maine

The undersigned hereby applies for a certificate of occupancy to allow the use of the above named premises for Parking Lot

as set forth on the attached site plan (made by E. C. Jordan Company whose address is 562 Congress St., Portland) to show compliance with the Zoning Ordinance according to the intended use and the zone in which the property is located; and in accordance with the following pertinent information:-

Owner (name, address and phone number) Lincoln Towers Dev.

Lessee (name, address and phone number) Maine National Bank

Is proposed use to be accessory to a building or other use on this lot? no
If so, what is use of building or other use _____

If on-street parking is sought, what is proposed maximum number of vehicles to be parked—passenger cars? 104, commercial vehicles? _____

Have you secured on the site plan the written approval of existing and proposed entrances to and exits from the premises for vehicles over public sidewalks by the Traffic Engineer (Dept. of Public Works)? _____
And, if access to the premises is available from more than one street, have you secured similar approval by the Planning Board? yes

Have you shown on the site plan the true location of all trees on the public street along the frontage of the premises (both streets if a corner lot)? yes

Do you propose to remove or disturb any tree on a public street? no
If so, have you secured on the site plan the written approval of the Director of Parks and Recreation? _____

Signature of Owner Lincoln Towers Dev.

By [Signature]
(duly authorized thereto)

***** Site Plan Review \$300.00

THIS IS NOT A CERTIFICATE OF OCCUPANCY

35.00
\$335.00

To:

COMMENCING the above proposed use of the premises would be IN VIOLATION of the Zoning Ordinance unless a Certificate of Occupancy is first procured from the Department of Building Inspection.

However, improvement of the premises according to the site plan and the above application may now proceed without further authorization, but subject to the conditions indicated below—notice of readiness for final inspection to be given to this department when the premises have been placed in compliance with the requirements:-

(Date) Oct. 11, 1983

[Signature]
Inspector of Buildings

PERMIT ISSUED

PERMIT ISSUED
WITH LETTER

OCT 11 1983

CITY of PORTLAND



CITY OF PORTLAND

JOSEPH E. GRAY, JR.
DIRECTOR OF PLANNING
AND URBAN DEVELOPMENT

September 20, 1983

Mr. Willie Verge
Box 642
Old Orchard Beach, Me. 04064

Dear Sir:

Your application to change the use of 565 Congress Street from vacant space to an office on 2nd and 3rd floors as per plans, have been reviewed and a building permit is herewith issued subject to the following requirements:

1. Internally lit exit signs and emergency lighting shall be provided for all exits and paths to reach same.
2. All doors involved in the means of egress shall be equipped with latch sets which shall open from the inside without the use of keys, special knowledge, or ability, but by merely turning the usual knob or by pressure on a plate or lever.
3. All vertical openings (stairways) shall be enclosed with construction having a fire rating of at least one hour including fire doors with self closers.
4. Electrical and Plumbing permits must be obtained by masters of their trade.
5. A completed set of plans drawn to scale must be submitted to this office within 5 working days for the completion of this application. These plans will show all electrical and plumbing layouts. If these plans are not received within the time limit, the building permit will become void.

If you have any questions on these requirements, please call this office.

Sincerely,

P. Samuel Hoffses
Chief of Inspection Services

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

00963

SEP 21 1983

ZONING LOCATION

PORTLAND, MAINE

Sept. 14, 1983

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 565 Congress Street

1. Owner's name and address Commercial Industrial Properties - Chris Pacheco

2. Lessee's name and address 562 Congress St. Telephone 774-5451

3. Contractor's name and address Willie Verge - Box, 642 Old Orchard Beach Telephone 934-4531

Proposed use of building offices No. of sheets

Last use unknown No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$ 30,000

FIELD INSPECTOR--Mr.

@ 775-5451

Appeal Fees \$

Base Fee 160.00

Late Fee 25.00

TOTAL \$ 135.00

Change of use from unknown to offices on 2nd and 3rd floors of existing building as per plans.
2 sheets of plans, alterations, no structural changes

Stamp of Special Conditions

send permit to # 3 04064

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
Is connection to be made to public sewer? yes If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber--Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION--PLAN EXAMINER

Will work require disturbing of any tree on a public street? no

ZONING:

BUILDING CODE:

Fire Dept.:

Health Dept.:

Others:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining hereto are observed? yes

Signature of Applicant

Willie Verge for Commercial

Phone #

934- 5479

same

Type Name of above

Industrial Properties

1 2 3 4

Other

and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 565 Congress Street

Issued to Commercial Industrial Properties

Date of Issue July 27, 1984

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 88- 963, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

2nd & 3rd Floors

Offices

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND

JOSEPH E. GRAY, JR.
DIRECTOR OF PLANNING
AND URBAN DEVELOPMENT

September 20, 1983

Mr. Willie Verge
Box 642
Old Orchard Beach, Me. 04064

Dear Sir:

Your application to change the use of 565 Congress Street from vacant space to an office on 2nd and 3rd floors as per plans, have been reviewed and a building permit is herewith issued subject to the following requirements:

1. Internally lit exit signs and emergency lighting shall be provided for all exits and paths to reach same.
2. All doors involved in the means of egress shall be equipped with latch sets which shall open from the inside without the use of keys, special knowledge, or ability, but by merely turning the usual knob or by pressure on a plate or lever.
3. All vertical openings (stairways) shall be enclosed with construction having a fire rating of at least one hour including fire doors with self closers.
4. Electrical and Plumbing permits must be obtained by masters of their trade.
5. A completed set of plans drawn to scale must be submitted to this office within 5 working days for the completion of this application. These plans will show all electrical and plumbing layouts. If these plans are not received within the time limit, the building permit will become void.

3-16-84
New
Revised
Caled

If you have any questions on these requirements, please call this office.

Sincerely,

P. Samuel Hoffses
Chief of Inspection Services

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 00963

SEP 21 1983

ZONING LOCATION PORTLAND, MAINE Sept. 14, 1983

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 565 Congress Street Fire District #1 ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 ☐ 6 ☐ 7 ☐ 8 ☐ 9 ☐ 10 ☐ 11 ☐ 12 ☐ 13 ☐ 14 ☐ 15 ☐ 16 ☐ 17 ☐ 18 ☐ 19 ☐ 20 ☐ 21 ☐ 22 ☐ 23 ☐ 24 ☐ 25 ☐ 26 ☐ 27 ☐ 28 ☐ 29 ☐ 30 ☐ 31 ☐ 32 ☐ 33 ☐ 34 ☐ 35 ☐ 36 ☐ 37 ☐ 38 ☐ 39 ☐ 40 ☐ 41 ☐ 42 ☐ 43 ☐ 44 ☐ 45 ☐ 46 ☐ 47 ☐ 48 ☐ 49 ☐ 50 ☐ 51 ☐ 52 ☐ 53 ☐ 54 ☐ 55 ☐ 56 ☐ 57 ☐ 58 ☐ 59 ☐ 60 ☐ 61 ☐ 62 ☐ 63 ☐ 64 ☐ 65 ☐ 66 ☐ 67 ☐ 68 ☐ 69 ☐ 70 ☐ 71 ☐ 72 ☐ 73 ☐ 74 ☐ 75 ☐ 76 ☐ 77 ☐ 78 ☐ 79 ☐ 80 ☐ 81 ☐ 82 ☐ 83 ☐ 84 ☐ 85 ☐ 86 ☐ 87 ☐ 88 ☐ 89 ☐ 90 ☐ 91 ☐ 92 ☐ 93 ☐ 94 ☐ 95 ☐ 96 ☐ 97 ☐ 98 ☐ 99 ☐ 100

1. Owner's name and address Commercial Industrial Properties - Chris Pachios Telephone 774-5451

2. Lessee's name and address 562 Congress St. Telephone

3. Contractor's name and address Willie Verga - Box 642 Old Orchard Beach Telephone 934-4531

..... No. of sheets

Proposed use of building offices No. families

Last use unknown No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$ 30,000

FIELD INSPECTOR—Mr.

@ 775-5451

Appeal Fees \$

Base Fee 150.00

Late fee of use 25.00

TOTAL \$ 185.00

Change of use from unknown to offices on 2nd and 3rd floors of existing building as per plans.
2 sheets of plans, alterations, no structural changes

Stamp of Special Conditions

send permit to # 3 04064

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT ISSUED
WITH LETTER

DETAILS OF NEW WORK

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes

Is connection to be made to public sewer? YES If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber—Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER: Will work require disturbing of any tree on a public street? NO

ZONING: BUILDING CODE:

Fire Dept.: Will there be in charge of the above work a person competent

Health Dept.: to see that the State and City requirements pertaining thereto

Others: are observed? YES

Signature of Applicant

Willie Verga for Commercial Industrial Properties

Phone # 934-5479

same

PERMIT ISSUED
WITH LETTEROther 1 ☐ 2 ☐ 3 ☐ 4 ☐ and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

[3] Ms Schmuckal