

Ward 5 Permit No. 33/25
Location 554 Congress St.
Owner J. R. Kelly Co.
Date of permit 1/6/33
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. 1/30/33
Cert. of Occupancy issued None

NOTES

- 1/11/33 - Ripping out be.
gin. - A. J. S.
- 1/14/33 - Section of floor
filled in - A. J. S.
- 1/17/33 - Scaffolding out.
work on balcony
not yet begun - A. J. S.
- 1/20/33 - Balcony
framed - A. J. S.
- 1/24/33 - Posts not yet
in - A. J. S.
- 1/30/33 - Work nearly
completed - A. J. S.



GENERAL BUSINESS ZONE PERMIT ISSUED
Permit No. 2154

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, Dec. 5, 1932

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 554 Congress St. Ward _____ Within Fire Limits? Dist. No. _____

Owner of building to which sign is to be attached Percival F. Dexter

Name and address of owner of sign J. R. Libby Co., 554 Congress Street

Contractor's name and address Kimball System of Portland, 51 Cross St. Telephone F-1514

When does contractor's bond expire? March 1933

Information Concerning Building

No. stories 6 Material of wall to which sign is to be attached Brick

Details of Sign and Connections

Electric? yes Vertical dimension after erection 26' Horizontal _____

Weight 2,000 lbs., Will there be any hollow spaces? Yes Any rigid frame? Yes

Material of frame 2x2x1/2 angle No. advertising faces 2 material galvanized

No. rigid connections 12 Are they fastened directly to frame of sign? yes

No. through bolts 6 Size 1/2" Location, top or bottom top down 3 each side

No. guys no material _____ Size _____

Minimum clear height above sidewalk or street 10'

Maximum projection into street 0'

Fee \$ _____

Signature of contractor The Kimball System of Portland Inc.

INSPECTION COPY Oliver T. Sanborn Howard J. Curry Pres

CITY OF PORTLAND

NOTIFICATION BEFORE EX-
OR CLOSING-IN IS WAIVED.
CERTIFICATE OF LIABILITY
INSURANCE IS WAIVED.



CITY OF PORTLAND, MAINE

Permit No. 2558

APPLICATION FOR PERMIT

Class of Building or Type of Structure Secord Class

Portland, Maine, December 21, 1921

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, any, submitted herewith and the following specifications:

Location 568 Congress Street Ward 5 Within Fire Limits? Yes Dist. No. 1
 Owner's name and address Edward M. Chapman, 241 Middle St., Telephone _____
 Contractor's name and address B. Kroot, 108 Congress Street, Telephone P 1074
 Architect's name and address _____
 Proposed use of building Stores and Offices No. families _____
 Other buildings on same lot _____
 Plans filed as part of this application? None No. of sheets _____
 Estimated cost \$ 50.00 Fee \$.50

Description of Present Building to be Altered

Material Brick No. stories 5 Heat _____ Style of roof Flat Roofing _____
 Last use Stores and Offices No. families _____

General Description of New Work

To extend center show window in store entrance to within three feet of sidewalk
 To cut front corner off one of side show windows. No structural change.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate _____
 Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored on the proposed building? _____

Miscellaneous

above work require removal or disturbing of any shade tree on a public street? No

There be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes
Edward M. Chapman

Signature of owner

B. Kroot

ON COPY

CERTIFICATE OF OCCUPANCY
 REQUIREMENT IS WAIVED
 NOTIFICATION BEFORE LATHING
 OR CEILING IS WAIVED

11-1A

Ward 5 Permit No. 31/2553
Location 566 Congress St.
Owner Edward M. Chapman
Date of permit 12/21/31.
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. 12/21/31
Cert. of Occupancy issued None

NOTES

12/21/31 - P.I.E. - A.J.S.



CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Record of Inquiry

Verbal in person
By telephone

Date 8/31/31

Location 566 Congress St. Punitan Tea Co.

Made by D. W. Lewis - Port. Gas St. Co. basement

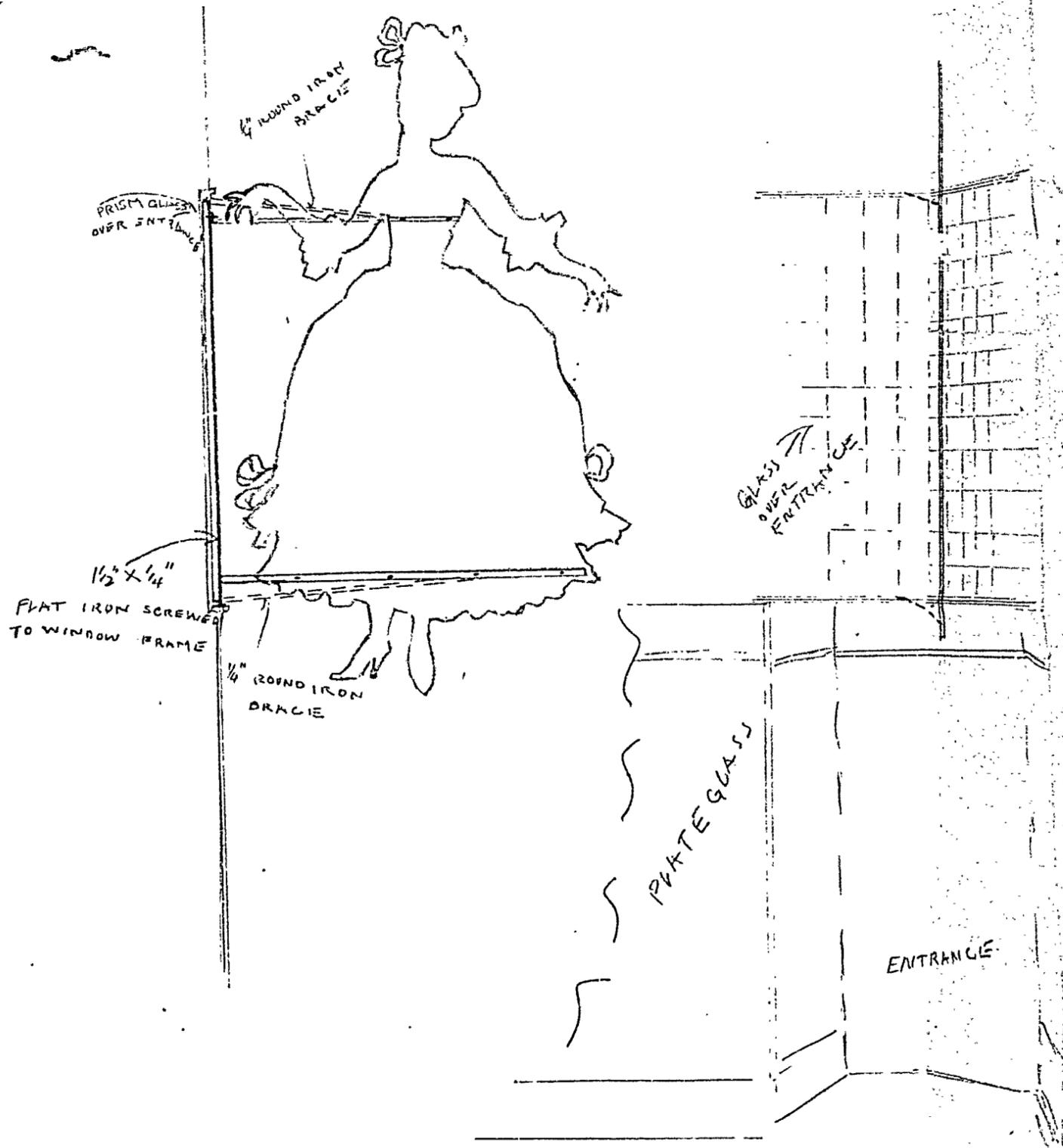
Inquiry-1 Can wood over candy kettle be
thru brick wall into chimney to which
2 boilers are connected - (13' x 4') - would
like to go over this with you up there.

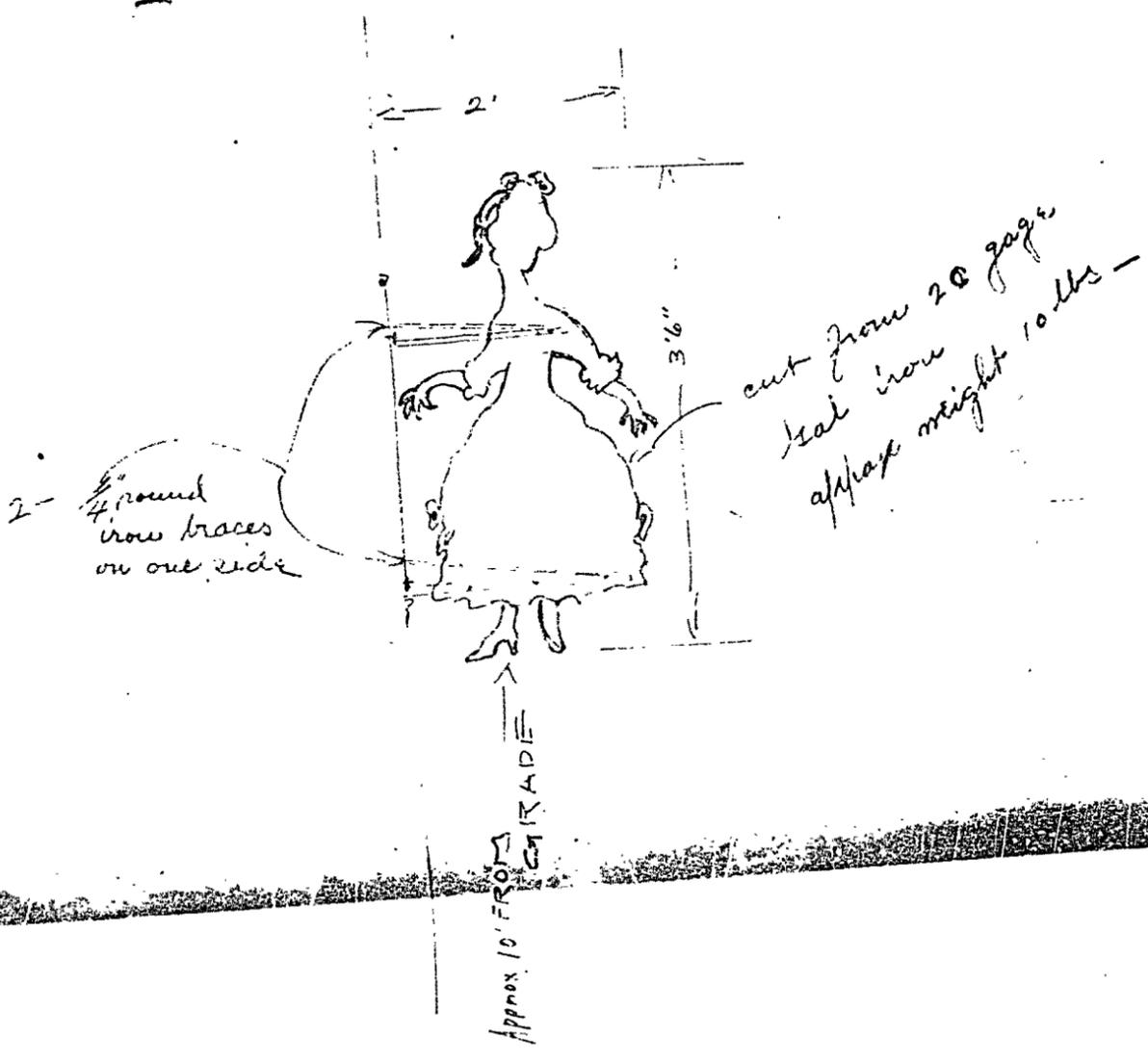
3

Answer-1 Will have you call

2 no that says he knows nothing about chimney
3

Reply by *DW*







(G) GENERAL BUSINESS ZONE Permit No. 1301

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, July 17, 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 546 Congress St., Ward 5 Within Fire Limits? yes Dist. No. 1

Owner of building to which sign is to be attached Bookwith-Cummings Co., 546 Congress St.,

Name and address of owner of sign Bookwith-Cummings Co., 546 Congress St.,

Contractor's name and address G. J. Tainch Sign Co., 14-16 Free St., Telephone 4246

When does contractor's bond expire? Oct. 3, 1929

Information Concerning Building

No. stories 6 Material of wall to which sign is to be attached stone

Details of Sign and Connections

Electric? No Vertical dimension after erection 7 feet Horizontal 2 feet

Weight 10 lbs., Will there be any hollow spaces? no Any rigid frame? angle iron support

Material of frame galv. iron No. advertising faces two, material 20 gauge galv. iron

No. rigid connections two Are they fastened directly to frame of sign? yes

No. through bolts _____, Size _____, Location, top or bottom _____

No. guys _____, material _____, Size _____

Minimum clear height above sidewalk or street 10 feet

Maximum projection into street 2 feet

Fee \$ 1.00

INSPECTION COPY Oliver J. Harrison
CHIEF OF FIRE DEPT.

Signature of contractor G. J. Tainch Sign Co.,
By G. J. Tainch

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED
NOTIFICATION BEFORE LATHING
OR CLOSING-IN IS WAIVED.

Ward 5 Permit No. 29/1401
Location 546 Congress St.
Owner Beckwith-Cummings Co.
Date of permit 7/24/29
Sign Contractor _____
Final Inspn. _____

NOTES

7/31/29 - Sign erected off

FOR PUBLIC SIDEWALK ON STREET

FOR PERMIT TO ERECT SIGN

~~FOR PERMIT TO ERECT SIGN~~

FOR PERMIT TO ERECT SIGN

FOR PERMIT TO ERECT SIGN

FOR PERMIT TO ERECT SIGN



Permit No. 1

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Portland, Maine, May 25, 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 565 Congress St. Ward 5 Within Fire Limits? Yes Dist. No. 1
 Owner's or Lessee's name and address Leon's Shoe Store, 565 Congress St Telephone _____
 Contractor's name and address J. J. Maloney Co., 270 Middle St. Telephone F 7785
 Architect's name and address _____
 Proposed use of building Merchandise No. families _____
 Other buildings on same lot _____

Description of Present Building to be Altered

Material brick No. stories 5 Heat _____ Style of roof _____ Roofing _____
 Last use merchandise No. families _____

General Description of New Work

To relocate basement stairway, from center of room to side
 To extend show window in recessed entrance 3' toward sidewalk
 (no structural change)

CERTIFICATE OF OCCUPANCY
 REQUIREMENT IS WAIVED.
 NOTIFICATION BEFORE LATHING
 OR CLOSING IN IS WAIVED.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Distance, heater to chimney _____
 If oil burner, name and model _____
 Capacity and location of oil tanks _____
 Is gas fitting involved? _____ Size of service _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Plans filed as part of this application no No. sheets _____
 Estimated cost \$ 400. Fee \$.75
 Will there be in charge of the above work a person competent to see that the State and _____ requirements pertaining thereto are observed? Yes

INSPECTION COPY

Signature of owner

Leon's Shoe Store

John J. Maloney

9342

Wa 1 5 Permit No 29728

Location 566 Congress St.

Owner Leon's Shoe Store

Date of permit 5/27/29

Notif. closing-in

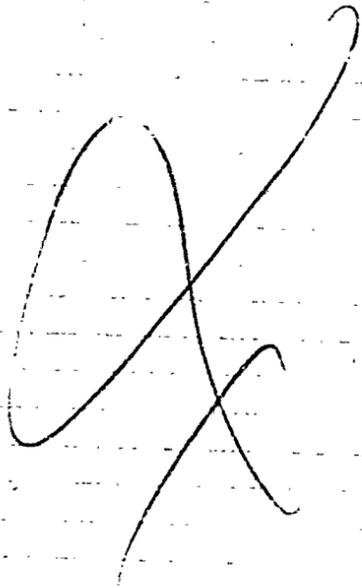
Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES





Permit No. _____

APPLICATION FOR PERMIT TO REPAIR BUILDING

Second Class Building

Portland, Maine, February 14, 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to repair the following described building in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 562 Congress Street Ward 5 Within fire limits? Yes Dist. No. 1

Owner's name and address Perival P. Baxter, 22 Monument Square Telephone F 2843

Contractor's name and address OWNER Telephone _____

Use of building Mercantile

No. stories 5 Height _____ ft., Gross area _____ sq. ft., Style of roof _____

Type of present roof covering _____

General Description of New Work

To Repair after Fire to former condition. No alteration

NOTICE: ALL WORK TO BE DONE BY PERMITTEE. NO CLOSING IS WANTED.

Damage in basement _____

If Roof Covering is to be Repaired or Renewed

When last repaired? _____, Area then repaired _____ sq. ft.

Are repairs or renewal due to damage by fire? Yes If so, what area damaged? _____ sq. ft.

Area of roof to be repaired now? _____ sq. ft.

Type of roofing to be used _____ No. plies _____

Trade name and grade of roof covering to be used _____

Estimated cost \$ 500. Fee \$.75

P. F. Baxter

Signature of owner By _____

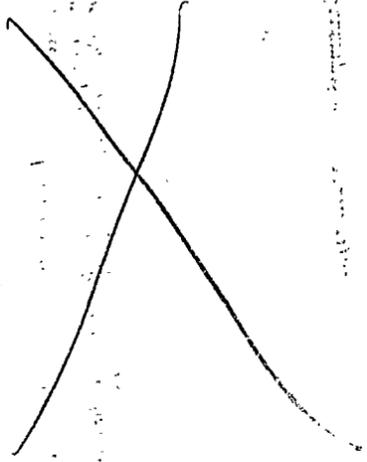
INSPECTION COPY

8543

Ward 5 Permit No. 29/47
Location 562 Congress St.
Owner General P. Baxter
Date of permit 2/14/29
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. 2/26/29
Cert. of Occupancy issued _____

NOTES

FOR FILE TO BE OPENED



RECEIVED

APPROVED



(C) GENERAL BUSINESS CODE

PERMIT ISSUED

Permit No. 1042

JUL 8 1927

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Portland, Maine, July 7, 1927

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 544 Congress Street Ward 5 Within Fire Limits? Yes Dist. No. 1
 Owner or Lessee's name and address Bookwith, Cummings Co., 544 Congress St. Telephone _____
 Contractor's name and address Gobb & Webster, 169 Clinton St. Telephone 7 1086
 Architect's name and address _____
 Proposed use of building Merchandise Block - Ladies' Apparel Store No. families _____
 Other buildings on same lot none

Description of Present Building to be Altered

Material Brick No. stories 5 Heat _____ Style of roof _____ Roofing _____
 Last use _____ No. families _____

General Description of New Work

Remove Office from first to second floor.
 Erect new stairway from first to second floor
 If permission is given by owner, Lessee will lower floor level at Third Street
 entrance 8" in area about 4' square. (Door opens in with with floor of 15 about 16")

NOTIFICATION OF OCCUPANCY
 REQUIREMENT IS WAIVED
 NOTIFICATION OF
 OR CLOSING

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Distance, heater to chimney _____
 If oil burner, name and model _____
 Capacity and location of oil tanks _____
 Is gas fitting involved? no Size of service _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof
 span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Plans filed as part of this application? no No. sheets _____
 Estimated cost \$ 250. Fee \$ 0.75
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

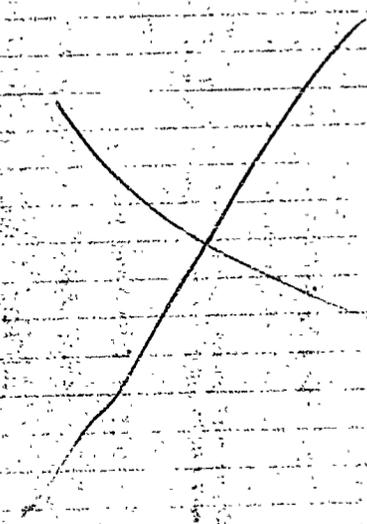
INSPECTION COPY

Signature of owner _____

3991

Ward 5 Permit No. 27/042 H
Location 564 Congress St.
Owner Richard Dinning
Date of permit July 87
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. 10/25/87
Cert. of Occupancy issued _____

NOTES



26/163



Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

Application for Permit for Alterations, etc.

Portland, Me., March 27, 1926, 19

To the
INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Location 554 Congress Street Ward 5 in fire-limits? Yes
 Name of ~~Owner~~ Lessee, J. R. Libby Address 554 Congress St.
 " " Contractor, The Portland Co " 58 Fore St.
 " " Architect, H. W. Rhodes " 574 1/2 Congress St
 Material of Building is Brick Style of Roof, Flat Material of Roofing,
 Size of Building is feet long; feet wide. No. of Stories, 5
 Cellar Wall is constructed of is inches wide on bottom and batters to inches on top.
 Underpinning is is inches thick; is feet in height.
 Height of Building Wall, if Brick; 1st, 2d, 3d, 4th, 5th,
 What was Building last used for? Stores and offices No. of Families?
 What will Building now be used for? Same

Description of Present Bldg.

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

Detail of Proposed Work

..... Install elevator and machinery in enclosure supplied by others as per plan submitted, and all in accordance with the building ordinance.

NO LATHING before CLOSING IN IS WAIVED

Estimated Cost \$ 3400.00

If Extended On Any Side

Size of Extension, No. of feet long?; No. of feet wide?; No. of feet high above sidewalk?
 No. of Stories high?; Style of Roof?; Material of Roofing?
 Of what material will the Extension be built? Foundation?
 If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.
 How will the extension be occupied? How connected with Main Building?

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations?
 No. of feet high from level of ground to highest part of Roof to be?
 How many feet will the External Walls be increased in height? Party Walls

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? in Story.
 Size of the opening? How protected?
 How will the remaining portion of the wall be supported?

Signature of Owner or Authorized Representative

The Portland Co
Wm Y. Todd Elev Eng.

Address

Fee ~~\$1.75~~
1.00

RJ

J.R. Kahl's Store

26/74

Cal. Lt. at Bongus.

From 15" pipe dead.
75# per ft live.

Flows.

$$\frac{18 \times 18}{4} \times [100 \times (1 + 4 \times 2) + 60 \times 2] = 92,340$$

Center Brick Pipe

$$3 \times 1.42 \times 50 \times 1.15 \times 2 = 48,990$$

Upper brick mch. & corner

$$10 \times 1.42 \times 9 \times 2 \times 1.15 = 29,440$$

Total concentrated 85,770 #
equivalent time as much
distributed.

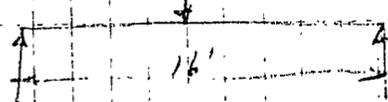
Present 2-12" @ 40.8I on 16' span good for 2 x 29,900 = 59,800
New 18" @ 54.7I " " " " " " = 58,900
85,770

92,340
48,990
29,440

170,770

58,900

118,700



$$R = 42,885$$

$$m = 42,885 \times 8 \times 12 = 4,116,960$$

Corner Pally

Total mch. reaction 85,770 = 42.9 tons.

~~File under number
under permit for
of planning sub. front
of R double~~

Fragaria chiloensis

$$23 \times 43 = 989$$

$$23 \times 110 = 2530$$

$$\frac{16.5}{2}$$

$$\frac{14.85}{2}$$

$$37.0$$

$$\frac{4.785}{1}$$

23

43

253

69

110

92

27830

989

4945

1978

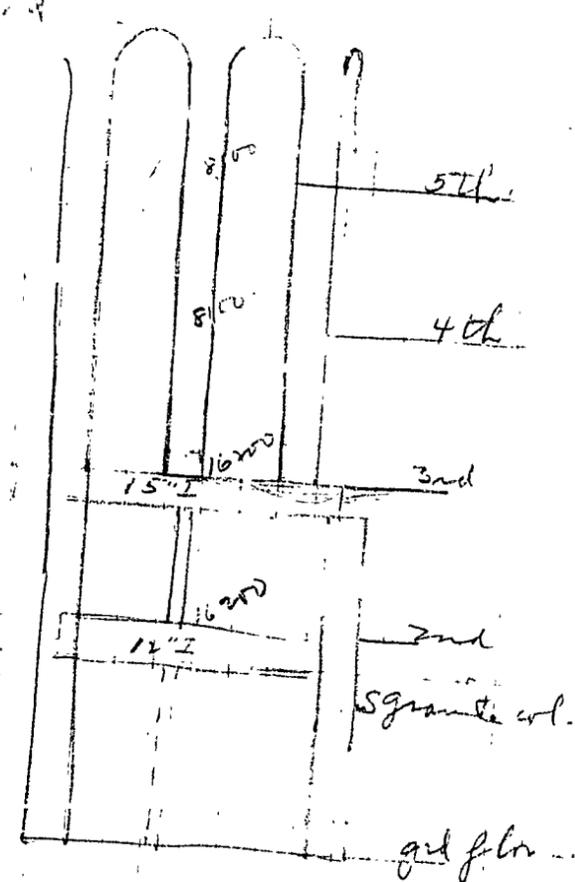
29725

27800

52555

5/11/70
38,690
42,093

find for 3/1/70



$9 \times 18 \times 100 = 16,200$
 $16 \times 36 \times 36 = 20,736$
 $Span 10 \times 18 \times 9 = 16,200$
 $R_1 = 38,690$
 $R_2 = 42,510$
 $16,740$
 $13,765$
 $20,250$
 $50,755$
 $R = 8,100 + \frac{30,000}{8} + \frac{5,000}{25} = 5,086$
 $M = \frac{16,200 \times 18 \times 12}{8} + 38,690 \times 9 \times 12 = 4,274,000 + 4,178,520 = 8,452,520$
 $= 4,615,920 \text{ in lbs.}$
 $= 384,660 \text{ ft lbs.}$
 $171,880 \text{ for } 2-15'' @ 50'$
 $217,780$
 $2-12'' @ 40' = 119,540$
 $93,240$
 $1-12'' @ 5' = 11,728 \text{ to } 0$
 $69,000$

16,200	38,690
27	108
113,400	309,520
324	3869
407,400	4178,520
2025	
18	
16,200	
2025	
36,450	
383,643	
420,093	

4050
8100
8100
30505
10,200
67,535
5,150
34,527
42,627

$\frac{16,200}{8} \times 18 + 42,627 \times 9 = 420,093$
 $2-12'' @ 40 = 119,540$
 $310,553$

granite col. must have 85,600 on top.

26/74 X



Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

Application for Permit for Alterations, etc.

Portland, Me., Feb. 25, 1926

To the
INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Location 554-560 Congress St. Ward 5 in fire-limits? Yes.
 Name of ~~#####~~ Lessee, J. R. Libby & Co. Address Same
 " " Contractor, Googins & Clark " 46 Portland St.
 " " Architect, H. W. Rhodes " Chipman Bldg.
 Material of Building is Brick Style of Roof, _____ Material of Roofing, _____
 Size of Building is _____ feet long; _____ feet wide. No. of Stories, 6
 Cellar Wall is constructed of _____ is _____ inches wide on bottom and batters to _____ inches on top.
 Underpinning is _____ is _____ inches thick; is _____ feet in height.
 Height of Building _____ Wall, if Brick; 1st, _____ 2d, _____ 3d, _____ 4th, _____ 5th, _____
 What was Building last used for? Stores & Offices No. of Families? _____
 What will Building now be used for? Same

Descrip-
tion of
Present
Bldg.

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

Detail of Proposed Work

Rearrange and reconstruct show windows in first story and change entrance doors, all new columns, girders etc. needed to be designed to carry all live and dead loads theoretically upon them. all entrance and exit doors to open outwards. All work will comply with the building ordinance. There will be no increase of combustible exposure. Estimated Cost \$ 5000.00

If Extended On Any Side

Size of Extension, No. of feet long? _____; No. of feet wide? _____; No. of feet high above sidewalk? _____
 No. of Stories high? _____; Style of Roof? _____; Material of Roofing? _____
 Of what material will the Extension be built? _____ Foundation? _____
 If of Brick, what will be the thickness of External Walls? _____ inches; and Party Walls _____ inches.
 How will the extension be occupied? _____ How connected with Main Building? _____

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? _____ Proposed Foundations? _____
 No. of feet high from level of ground to highest part of Roof to be? _____
 How many feet will the External Walls be increased in height? _____ Party Walls _____

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? _____ in _____ Story.
 Size of the opening? _____ How protected? _____
 How will the remaining portion of the wall be supported? _____

Signature of Owner or Authorized Representative J. R. Libby & Co.
 Address BY Atchark

Fee \$1.25

Permit gr



Location, Ownership and detail must be correct, complete and legible.
 Separate application required for every building.
 Plans must be filed with this application.

Application for Permit for Alterations, etc.

Portland, Me., February 24, 1918.

To the
 INSPECTOR OF BUILDINGS.

The undersigned applies for a permit to alter the following described building:—

Description of Present Bldg.

Location 104-105 Congress St. Ward in fire-limits?
 Name of Owner, J. R. Libby & Co. Address 22 Cottage St.
 " " Contractor, Geo. E. Sears "
 " " Architect, H. W. Rhodes "
 Material of Building is brick Style of Roof, Material of Roofing,
 Size of Building is feet long; feet wide. No. of Stories, 6
 Cellar Wall is constructed of is inches wide on bottom and batters to inches on top.
 Underpinning is is inches thick; is feet in height.
 Height of Building Wall, if Brick; 1st, 2d, 3d, 4th, 5th,
 What was Building last used for? Store & Office No. of Families?
 What will Building now be used for? Garage.

Detail of Proposed Work

Install new elevator well with enclosure and enclose existing
 elevator well; also rearrange stairs, all as per plans submitted and
 all work to be in accordance with the building ordinance.
 Estimated Cost \$ 600.00

If Extended On Any Side

Size of Extension, No. of feet long?; No. of feet wide?; No. of feet high above sidewalk?
 No. of Stories high?; Style of Roof?; Material of Roofing?
 Of what material will the Extension be built? Foundation?
 If of Brick, what will be the thickness of External Walls? inches; and Party Walls in. es.
 How will the extension be occupied? How connected with Main Building?

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations?
 No. of feet high from level of ground to highest part of Roof to be?
 How many feet will the External Walls be increased in height? Party Walls

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? in Story.
 Size of the opening? How protected?
 How will the remaining portion of the wall be supported?

Signature of Owner or
 Authorized Representative

Address

J. R. Libby & Co.
By Geo. E. Sears

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK



Location, Ownership and detail must be correct, complete and legible.
 Separate application required for every building.
 Plans must be filed with this application.

Application for Permit for Alterations, etc.

Portland, Me., Dec. 21, 1925.

To the
 INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Description of Present Bldg.

Location ... 562 Congress St. ... Ward ... 5 ... in fire-limits? ... Yes.
 Name of Owner or Lessee ... Baxter Estate ... Address Room 604 Press Bldg.
 " " Contractor, ... Owner ...
 " " Architect, ...
 Material of Building is ... Brick ... Style of Roof, ... Material of Roofing, ...
 Size of Building is ... feet long; ... feet wide. No. of Stories, ...
 Cellar Wall is constructed of ... is ... inches wide on bottom and batters to ... inches on top.
 Underpinning is ... is ... inches thick; is ... feet in height.
 Height of Building ... Wall, if Brick; 1st, ... 2d, ... 3d, ... 4th, ... 5th, ...
 What was Building last used for? ... Stores and Offices ... No. of Families? ...
 What will Building now be used for? ... Same ...

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

Detail of Proposed Work

Build interior partitions and false ceiling on fifth floor to provide six additional offices. There will be two stairways accessible at all times to all tenants and the new rooms as well as space over false ceiling will be protected by automatic sprinkler system. There will be no additional toilet rooms. All work will comply with the building ordinance. Estimated Cost \$2000.00

If Extended On Any Side

Size of Extension, No. of feet long?; No. of feet wide?; No. of feet high above sidewalk?
 No. of Stories high?; Style of Roof?; Material of Roofing?
 Of what material will the Extension be built? Foundation?
 If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.
 How will the extension be occupied? How connected with Main Building?

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations?
 No. of feet high from level of ground to highest part of Roof to be?
 How many feet will the External Walls be increased in height? Party Walls

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? in ... Story.
 Size of the opening? How protected?
 How will the remaining portion of the wall be supported?

Signature of Owner or Authorized Representative ... The Baxter Estate.
 Address ... By *J. E. Shaw*

100
 1



Location, Ownership and detail must be correct, complete and legible.

Separate application required for every building.

Plans must be filed with this application.

Application for Permit for Alterations, etc.

Portland, Me., August 11, 1925.

To the
INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Description of Present Bldg.

Location 568 Congress St. Ward 5 in fire-limits? ... Yes.

Name of Owner or Lessee, ... Chain Silk Store Address 568 Congress St.

“ “ Contractor, ... Porter, Burdman Co. “ 157 Zennebec St.

“ “ Architect, ... H. W. Rhodes “ 574 1/2 Congress St.

Material of Building is .. Brick Style of Roof. Material of Roofing,

Size of Building is feet long; feet wide. No. of Stories,

Cellar Wall is constructed of is inches wide on bottom and batters to inches on top.

Underpinning is is inches thick; is feet in height.

Height of Building Wall, if Brick; 1st, 2d, 3d, 4th, 5th,

What was Building last used for? ... This part for store No. of Families?

What will Building now be used for? Same

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

Detail of Proposed Work

..... Build new store front of glass and tile, a' to comply with the building ordinance.

..... Estimated Cost \$ 1800.00

If Extended On Any Side

Size of Extension, No. of feet long?; No. of feet wide?; No. of feet high above sidewalk?

No. of Stories high?; Style of Roof?; Material of Roofing?

Of what material will the Extension be built? Foundation?

If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.

How will the extension be occupied? How connected with Main Building?

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations?

No. of feet high from level of ground to highest part of Roof to be?

How many feet will the External Walls be increased in height? Party Walls

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? in Story.

Size of the opening? .. How protected?

How will the remaining portion of the wall be supported?

Signature of Owner or Authorized Representative

Chain Silk Store
Porter Burdman Co.

Address

100



Location, Ownership and detail must be correct, complete and legible.
 Separate application required for every building.
 Plans must be filed with this application.

Application for Permit for Alterations, etc.

To the Portland, February 19, 1923 192
 INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building.—

Location 565 Congress Ward, 5 in fire-limits? yes
 Name of Owner or Lessee, J P Baxter Estate Address Press Bldg
 " " Contractor, F A Rumery Co " 21 Portland Street
 " " Architect, _____

Description of Present Bldg.

Material of Building is brick Style of Roof, falt Material of Roofing, t r & gravel
 Size of Building is 112ft feet long; 100ft feet wide. No. of Stories, 5
 Cellar Wall is constructed of stone is _____ inches wide on bottom and batters to _____ inches on top.
 Underpinning is brick is _____ inches thick; is _____ feet in height.
 Height of Building, 75ft Wall, if Brick; 1st, _____ 2d, _____ 3d, _____ 4th, _____ 5th, _____
 What was Building last used for? store No. of Families? _____
 What will Building now be used for? same

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

DETAIL OF PROPOSED WORK

Put in new store front, all new exterior woodwork to be covered
with metal
all to comply with the building ordinance

Estimated Cost \$ 3,000

IF EXTENDED ON ANY SIDE

Size of Extension, No. of feet long? _____ ; No. of feet wide? _____ ; No. of feet high above sidewalk? _____
 No. of Stories high? _____ ; Style of Roof? _____ ; Material of Roofing? _____
 Of what material will the Extension be built? _____ Foundation? _____
 If of Brick, what will be the thickness of External Walls? _____ inches; and Party Walls _____ inches.
 How will the extension be occupied? _____ How connected with Main Building? _____

WHEN MOVED, RAISED OR BUILT UPON

No. of Stories in height when Moved, Raised, or Built upon? _____ Proposed Foundations? _____
 No. of feet high from level of ground to highest part of Roof to be? _____
 How many feet will the External Walls be increased in height? _____ Party Walls _____

IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED

Will an opening be made in the Party or External Walls? _____ in _____ Story.
 Size of the opening? _____ How protected? _____
 How will the remaining portion of the wall be supported? _____

Signature of Owner or
 Authorized Representative

Address

F A Rumery Co
H & W Moore

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 00211
ZONING LOCATION PORTLAND, MAINE Feb., 23., 1983.

PERMIT ISSUED
MAR 29 1983

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

CITY of PORTLAND

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 560 Congress Street, Portland, Maine Fire District #1 [] #2 []

- 1. Owner's name and address Chris Pachios, 557 Congress St., Portland, ME Telephone 774-5541
2. Lessee's name and address Casco Bank & Trust Co., 1 Monument Sq., Portland, ME Telephone 774-8221
3. Contractor's name and address owner Telephone

Proposed use of building No. of sheets
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$1,000.00

FIELD INSPECTOR—Mr. @ 775-5451
Appeal Fees \$
Base Fee \$33.00
Late Fee
TOTAL \$33.00

To construct enclosure to be used for automatic banking system, 6' x 6', using aluminum tubing and tempered glass. 1/4" tempered glass, 2x4 tubing.
Stamp of Special Conditions 33.00 total

also to attach 1 sign to wall to be used in connection (SEND PERMIT TO #1) with machines - sign is 3 x 5
C/O DICK CARTER - PURCHASING - Casco Bank - 1 Monument Square

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of wall? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING:
BUILDING CODE: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?
Fire Dept.:
Health Dept.:
Others:

Signature of Applicant Frank Breggia Phone #
Type Name of above Frank Breggia, for Casco Bank 1 [] 2 [] 3 [] 4 []
Other and Address

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

Ms Schmackal

Permit : o. 83/0211
Location 560 Longview St.
Owner Chris Pacheco
Date of permit 2-23-83
Approved 3-29-83
Dwelling Enclosure for banking system
Garage
Alteration

NOTES

3-19-83 Work started
3-8-83 Work completed

X

The Bridgton News ran a very nice article about the "Anytime Money" opening. We are reprinting it for your information.



COMING OF THE GREEN — John Grolley, manager of the Bridgton Branch of the Casco Bank & Trust Co., with the new Anytime Money machine which will be going into service next Wednesday, March 23. (Moriarty Photo)

Anytime Money Comes To Town

The timing was perfect. The big new green machine which will automatically provide banking services *anytime* at Casco Bank & Trust Co.'s Bridgton Branch will be opening next Wednesday, March 23.

That meant that the advance announcement had to be in this week's issue of *The Bridgton News*. And what's the date of this week's issue? Why, March 17 — St. Patrick's Day — the greenest day of the whole year!

There's something else, too. "Anytime Money," the automatic teller system which is coming to Casco, has its own green theme. The sign on the machine is green; and the signs in the bank right now, saying "Anytime Money Is Coming," are green.

And the plastic card itself, the one to use operate the money machine, that plastic card is — well, you've already guessed. It's green. Not just green trim. Not just green lettering. Solid green.

What more could anyone ask for St. Patrick's Day??

The new "Anytime Money" machine is located on the front porch of Casco's Bridgton Branch, on the righthand side of the long porch. It's inside a glass door, easily visible from the street.

John Grolley, manager of the Bridgton Branch, showed how the machine works in a brief demonstration last week.

It has a TV screen for messages, as with many computers, and a keyboard for customers to punch answers. You push in your "Anytime Money" card, and the machine then asks your choice of banking activities: deposits, withdrawals, loan payments, fund transfers.

If you're withdrawing money, you just punch in how much you want, and out it comes, the bills flipping briskly into the front bin. (Of course, your account has to have a balance to cover.)

For the demonstration, the machine was filled with play money. Darn.

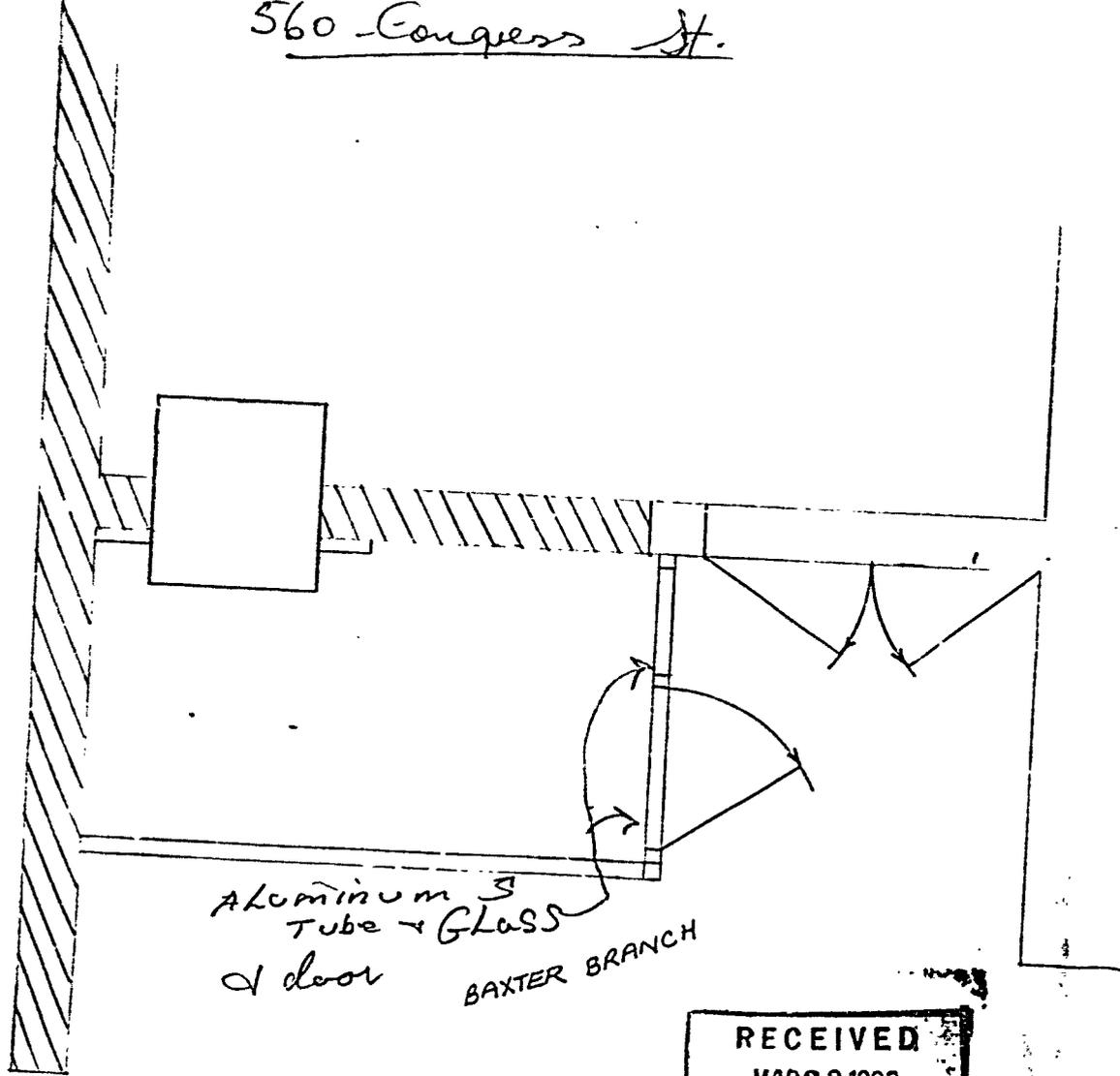
The machine will be available 24 hours a day. What's more, "Anytime Money" is part of a national automatic teller system with machines throughout the country. Great for traveling.

The fact that Bridgton will be the first Casco Bank site to have the new machine in operation is news. The fact that all this news about green money and green machines comes on St. Patrick's Day is just plain fun.

RECEIVED
MAR 28 1983
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

RECEIVED
FEB 23 1983
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

560 Congress St.



Aluminum Tube & Glass
of door
BAXTER BRANCH

RECEIVED
MAR 28 1983
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

... of ...
... ..



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 0.0211

ZONING LOCATION PORTLAND, MAINE Feb. 23, 1983

MAR 29 1983

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

CITY OF PORTLAND

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 569 Congress Street, Casco Bank Trust Co. - 1 Monument Square, Portland, ME 04101
1. Owner's name and address Casco Bank Trust Co. - 1 Monument Square, Portland, ME 04101
2. Lessee's name and address Owner
3. Contractor's name and address

Proposed use of building No. of sheets
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 1,000.00

FIELD INSPECTOR—Mr. ... @ 775-5451
Appeal Fees \$
Base Fee \$ 33.00
Late Fee
TOTAL \$ 33.00 total

To construct enclosure to be used for automatic banking system, 6' x 6', using aluminum tubing and tempered glass. 1/2" tempered glass, 2x4 tubing.
also to attach 2 signs to wall to be used in connection (SEE PERMIT TO #1) with machines - sign is 3 x 5
C/O DICK EVERTS - PURCHASING - Casco Bank - 1 Monument Square
TARDIFF

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work? yes
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street? no
ZONING:
BUILDING CODE:
Fire Dept.: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?
Health Dept.:
Others:

Signature of Applicant [Signature] Phone #
Type Name of above Frank Brezina for Casco Bank

Handwritten circled number 3

Other and Address



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date May 11, 19 83
Receipt and Permit number ~~496679~~
809907

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance the National Electrical Code and the following specifications:

LOCATION OF WORK: 560 Congress Street - Casco Bank & Trust

OWNER'S NAME: Baxter Building ADDRESS: same

OUTLETS: WORK IS AT REAR FRONT OF BUILDING, 1 OUTLET, 1 WIRE MOLD STRIP, 3 FT.

Receptacles	<u>2</u>	Switches	_____	Plugmold	_____	ft TOTAL	<u>120</u>	FEE	<u>3.00</u>
-------------	----------	----------	-------	----------	-------	----------	------------	-----	-------------

FIXTURES: (number of)

Incandescent	_____	Flourescent	<u>2</u>	(not strip) TOTAL	<u>10</u>	FEE	<u>3.00</u>
Strip Flourescent	_____	ft	_____				

SERVICES:

Overhead	_____	Underground	_____	Temporary	_____	TOTAL amperes	_____
----------	-------	-------------	-------	-----------	-------	---------------	-------

METERS: (number of) _____

MOTORS: (number of)

Fractional	_____	1 HP or over	_____
------------	-------	--------------	-------

RESIDENTIAL HEATING:

Oil or Gas (number of units)	_____
Electric (number of rooms)	_____

COMMERCIAL OR INDUSTRIAL HEATING:

Oil or Gas (by a main boiler)	_____
Oil or Gas (by separate units)	_____
Electric Under 20 kws	_____
Over 20 kws	_____

APPLIANCES: (number of)

Ranges	_____	Water Heaters	_____
Cook Tops	_____	Disposals	_____
Wall Ovens	_____	Dishwashers	_____
Dryers	_____	Compactors	_____
Fans	_____	Others (denote)	_____

TOTAL _____

MISCELLANEOUS: (number of)

Branch Panels	_____
Transformers	_____
Air Conditioners Central Unit	_____
Separate Units (windows)	_____
Signs 20 sq. ft. and under	_____
Over 20 sq. ft.	_____
Swimming Pools Above Ground	_____
In Ground	_____
Fire/Burglar Alarms Residential	_____
Commercial	_____
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under	_____
over 30 amps	_____
Circus, Fairs, etc.	_____
Alterations to wires	_____
Rep ir: after fire	_____
Emergency Lights, battery	_____
Emergency Generators	_____

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE: _____
FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE: _____

TOTAL AMOUNT DUE: 6.00

INSPECTION: Will be ready on ready, 1983; or Will Call _____

CONTRACTOR'S NAME: John McKinney

ADDRESS: 76 Ocean House Rd., Cape Elizabeth

TEL.: 799-5218

MASTER LICENSE NO.: 03910

LIMITED LICENSE NO.: _____

SIGNATURE OF CONTRACTOR: [Signature]

INSPECTOR'S COPY — WHITE
OFFICE COPY — CANARY
CONTRACTOR'S COPY — GREEN

3

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 00648

JUN 30 1983

ZONING LOCATION PORTLAND, MAINE June 30, 1983

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The work designed hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith, and the following specifications:

LOCATION ... 561 Congress Street ... Fire District #1 #2

1. Owner's name and address ... Venture Investments - 562 Congress St. ... Telephone

2. Lessee's name and address ... Japan Steak House - 561 Congress St. ... Telephone 774-0366

3. Contractor's name and address ... Coyne Sign Co. - 84 Cove St. ... Telephone 774-4339

Proposed use of building ... restaurant with sign on front of same ... No. of sheets

Use ... No. families

Material ... No. stories ... Heat ... Style of roof ... Roofing

Other buildings on same lot

Estimated contractual cost \$

FIELD INSPECTOR: Mr. ... Approval Fees \$

@ 775-5451

Base Fee ... 27.00

Late Fee

TOTAL \$... 27.00

To erect sign on front of restaurant, 2'6" x 24" as per plans, 1 sheet of plans.

Stamp of Special Conditions

send permit to

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... no ... Is any electrical work involved in this work? ... no ...
Is connection to be made to public sewer? ... If not, what is proposed for sewage? ...
Has septic tank notice been sent? ... Form notice sent? ...
Height average grade to top of plate ... Height average grade to highest point of roof ...
Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ...
Material of foundation ... Thickness, top ... bottom ... cellar ...
Kind of roof ... Rise per foot ... Roof covering ...
No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel ...
Framing Lumber Kind ... Dressed or full size? ... Corner posts ... Sills ...
Size Girders ... Columns under girders ... Size ... Max. on centers ...
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and ratters: 1st floor ... 2nd ... 3rd ... roof ...
On centers: 1st floor ... 2nd ... 3rd ... roof ...
Maximum span: 1st floor ... 2nd ... 3rd ... roof ...
If one story building with masonry walls, thickness of walls? ... height? ...

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ...

APPROVALS BY: DATE
BUILDING INSPECTION-PLAN EXAMINER
ZONING
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant ... Phone # same

Type Name of above ... Tsan Chau for Japan Steak House 1 2 3 4

Other ... and Address

3

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 563 Congress Street

Issued to Tsan Chau

Date of Issue February 8, 1983

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No 82-0599 has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire - 1st Floor

Japanese Steak House

Limiting Conditions:

This certificate supersedes
certificate issued

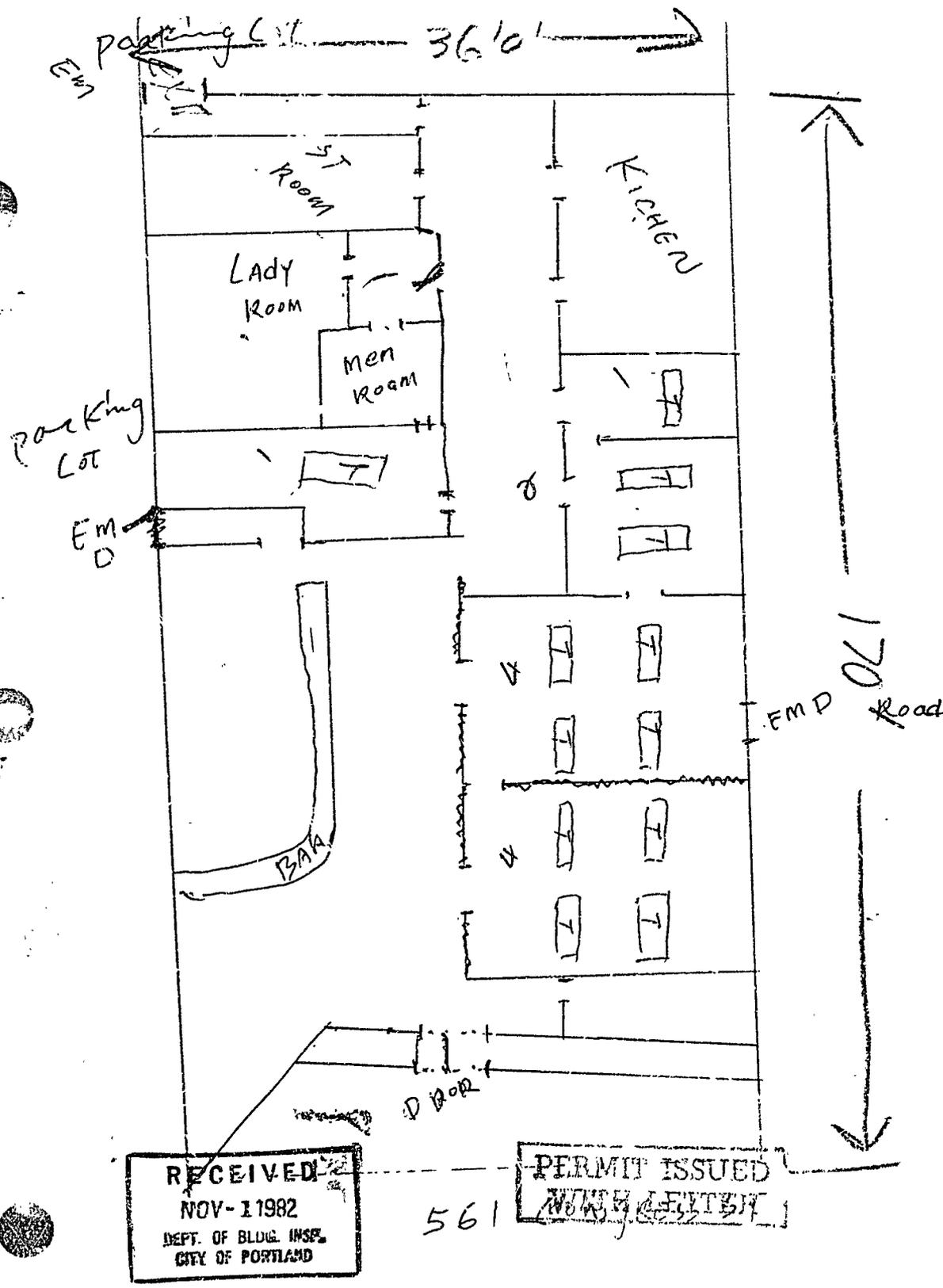
Approved:

2-8-83
(Date)

Max Schmuedel
Inspector

James P. Kelly
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



RECEIVED
 NOV-11-1982
 DEPT. OF BLDG. INSP.
 CITY OF PORTLAND

561

PERMIT ISSUED
 WITH LETTER



CITY OF PORTLAND

DEPARTMENT OF URBAN DEVELOPMENT
BUILDING INSPECTION DIVISION

November 5, 1982

Mr. Chris Pachios
561 Congress Street
Portland, Maine

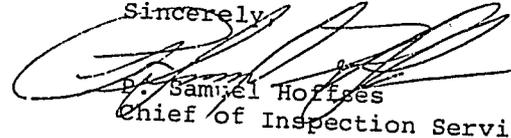
Dear Sir:

Your application for a building permit to change 561 Congress Street from a bank to a Japanese Steak House is being issued with the following requirements:

1. No work is to be started on this project until the City Manager's Office gives written approval for the new gas line which is to serve this proposed project. The reason for this requirement is that 561 Congress Street is within the boundaries of the Maine Way Project.
2. Internally lit exit signs and emergency lighting shall be provided for all exits and paths to reach same.
3. All doors involved in the means of egress shall be equipped with latch sets which shall open from the inside without the use of keys special knowledge, or ability, but by merely turning the usual knob or by pressure on a plate or lever.
4. All vertical openings (stairways) shall be enclosed with construction having a fire rating of at least one hour including fire doors with self-closers.
5. The kitchen area shall be separated from all other areas with construction having a fire rating of at least one hour, including fire doors with self-closers.
6. All storage areas shall be enclosed with construction having a fire rating of at least one hour including fire doors with self closers.
7. An approved automatic fire and smoke alarm system shall be installed covering all areas. This system shall be approved through this office and a separate permit is required.

If you have any questions on these requirements, please don't hesitate to call my office.

Sincerely,



Samuel Hoffses
Chief of Inspection Services

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP 09999

NOV 8 1982

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION ... B-3 ... PORTLAND, MAINE ... Nov. 1, 1982

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 561 Congress Street ... Japanese Steak House ... Fire District #1 [], #2 []
1. Owner's name and address ... Chris Pachios - Cape Elizabeth ... Telephone ...
2. Lessee's name and address ... Tsan Chau - same ... Telephone 623-2503
3. Contractor's name and address ... Lessee ... Telephone ...

Proposed use of building ... Japan steak house ... No. of sheets ...
Last use ... bank ... No. families ...
Material ... No. stories ... Heat ... Style of roof ... Roofing ...
Other buildings on same lot ...
Estimated contractual cost \$ 10,000

FIELD INSPECTOR—Mr. ... @ 775-5451

Appeal Fees \$ 15.00
Base Fee ...
ch of use 25.00
Late Fee ...
TOTAL \$ 40.00

Change of use from bank to Japanese steak house as per plans. 1 sheet of plans. minor alterations, no structural changes.

Stamp of Special Conditions

send permit to # 1

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT ISSUED WITH LETTER

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... Is any electrical work involved in this work? ...
Is connection to be made to public sewer? ... If not, what is proposed for sewage? ...
Has septic tank notice been sent? ... Form notice sent? ...
Height average grade to top of plate ... Height average grade to highest point of roof ...
Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ...
Material of foundation ... Thickness, top ... bottom ... cellar ...
Kind of roof ... Rise per foot ... Roof covering ...
No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel ...
Framing Lumber—Kind ... Dressed or full size? ... Corner posts ... Sills ...
Size Girder ... Columns under girders ... Size ... Max. on centers ...
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor ... 2nd ... 3rd ... roof ...
On centers: 1st floor ... 2nd ... 3rd ... roof ...
Maximum span: 1st floor ... 2nd ... 3rd ... roof ...
If one story building with masonry walls, thickness of walls? ... height? ...

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ...

APPROVALS BY: ... DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER ... Will work require disturbing of any tree on a public street? ...
ZONING: ... M.A.D. ... 11.6.18.8 ... Will there be in charge of the above work a person competent
BUILDING CODE: ... to see that the State and City requirements pertaining thereto
Fire Dept: ... are observed? ...
Health Dept: ...
Others: ...

Signature of Applicant ... Phone # ... same ...
Type Name of above ... Tsan Chau for ... 1 [] 2 [] 3 [] 4 []
Japan Steak House ... and Address ...

PERMIT ISSUED WITH LETTER

APPLICANT'S COPY OFFICE FILE COPY

Permit No. 82/999
 Location 561 Congress St.
 Owner Chris Pacheco
 Date of permit 11-1-82
 Approved 11-8-82
 Dwelling
 Garage
 Alteration Change to steak house

NOTES

12-10-82 no calls get - Am not
 no one working - it's been done. Get
 some work has been done -
 1-28-83 Finally Able to get in -
 (only worker in pm) - Went over there
 with [unclear] with the permit with the owner -
 Needs some more exit signs & Emergency
 lights - Needs fire doors in kitchen -
 Will have REAR EXIT WAY - The
 venting goes out to An AREA NEAR
 some boarded up windows where
 the bldg isn't in use - I told
 the owner that if in the future any
 one occupied that area & used
 the windows the owner most
 likely would have to chime -
 Also discussed fire & smoke
 alarm Reg. per letter - he
 said he would install -
 1-4-83 Still working -
 has more exit signs -
 says Lt Collins said no doors
 in kitchen - will check -
 1-8-83 Exit signs & smoke
 lights are up - Lt Collins
 said no doors on the kitchen -
 will have a fire extinguisher
 in kitchen - I'm edwin
 on a C.O. -

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 00648
ZONING LOCATION B-3 PORTLAND, MAINE June 30, 1983

JUN 30 1983

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 561 Congress Street
1. Owner's name and address Venture Investments - 562 Congress St. Fire District #1 [] #2 [] Telephone
2. Lessee's name and address Japan Steak House - 561 Congress St. Telephone 774-0666
3. Contractor's name and address Coyne Sign Co. - 84 Cove St. Telephone 774-4330
Proposed use of building restaurant with sign on front of same No. of sheets
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$
FIELD INSPECTOR - Mr. @ 775-5451
Appeal Fees \$
Base Fee 27.00
Late Fee
TOTAL \$ 27.00
To erect sign on front of restaurant, 2'6" x 24' as per plans. 1 sheet of plans.

Stamp of Special Conditions

send permit to

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? NO Is any electrical work involved in this work? NO
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber - Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION - PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING: OK M.W. 6/24/83 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others: APPROVED by DON MASON

Signature of Applicant Jean Chau Phone # same

Type Name of above Jean Chau for Japan Steak House 1 [] 2 [] 3 [] 4 []
Other and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

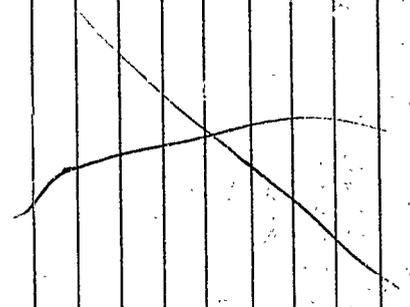
OFFICE FILE COPY

Ms Schinackel

Permit No. 83/648
Location 561 Congress St.
Owner Ventura's Rest.
Date of permit 6-30-83
Approved 6-30-83
Dwelling _____
Garage _____
Alteration Sign on restaurant

NOTES

8-3-83 Sign is up





APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date Jan. 28, 1983
 Receipt and Permit number A92579

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of

Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:
 LOCATION OF WORK: 561 Congress St. Japan Steak House

OWNER'S NAME: Tasn Chau ADDRESS: same

OUTLETS:	Receptacles _____	Switches _____	Plugmold _____	ft. TOTAL _____	FEEES _____
FIXTURES: (number of)	Incaandescent _____	Flourescent _____	(not strip) TOTAL _____		
	Strip Flourescent _____	ft. _____			
SERVICES:	Overhead _____	Underground _____	Temporary _____	TOTAL amperes _____	
METERS: (number of)	_____				
MOTORS: (number of)	_____				
	Fractional _____	_____			
	1 HP or over _____	_____			
RESIDENTIAL HEATING:	Oil or Gas (number of units) _____	_____			
	Electric (number of rooms) _____	_____			
COMMERCIAL OR INDUSTRIAL HEATING:	Oil or Gas (by a main boiler) _____	_____			
	Oil or Gas (by separate units) _____	_____			
	Electric Under 20 kws _____	Over 20 kws _____	_____		
APPLIANCES: (number of)	Ranges _____	Water Heaters _____	_____		
	Cook Tops _____	Disposals _____	_____		
	Wall Ovens _____	Dishwashers _____	1		
	Dryers _____	Compactors _____	_____		
	Fans _____	Others (denote) _____	1		
	TOTAL _____	walk in refrigerator _____	1		6.00
MISCELLANEOUS: (number of)	Branch Panels _____	_____			
	Transformers _____	_____			
	Air Conditioners Central Unit _____	_____			
	Separate Units (windows) _____	_____			
	Signs 20 sq. ft. and under _____	_____			
	Over 20 sq. ft. _____	_____			
	Swimming Pools Above Ground _____	_____			
	In Ground _____	_____			
	Fire/Burglar Alarms Residential _____	_____			
	Commercial _____	_____			
	Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	_____			
	over 30 amps _____	_____			
	Circus, Fairs, etc. _____	_____			
	Alterations to wires _____	_____			
	Repairs after fire _____	_____			
	Emergency Lights, battery _____	_____			
	Emergency Generators _____	_____			

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE: _____
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE: _____
 TOTAL AMOUNT DUE: 6.00

INSPECTION: today between 1 and 3 or Monday
 Will be ready on _____, 19__; or Will Call xx
 CONTRACTOR'S NAME: William Gagnon
 ADDRESS: 58 Victor Road
 TEL.: _____
 MASTER LICENSE NO.: 3014
 LIMITED LICENSE NO.: _____

SIGNATURE OF CONTRACTOR:

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

October 11, 1983

E.C. Jordan Company
562 Congress Street
Portland, ME 04101

Gentlemen:

Your application for parking lots at 216-222 Cumberland Avenue, 1-33 Wilmot Street, and 339-345 Congress Street has been reviewed, and a permit is herewith issued subject to the following requirements.

Site Plan Review Requirements

Building Division
Fire Department
Public Works Department
Planning Division

Approved 10/9/83 M. Ward
Approved 10/6/83 Lt. Collins
Approved 11/4/83 R. Roy
Approved 10/4/83 B. Barhydt - with
the following:

1. Subject to Traffic Engineer's (Bill Bray) approval.
2. Landscaping subject to Anne Grimes' approval (City Arborist). All planting material shall meet City Arborist's specifications. Applicant shall contact Ms. Grimes prior to any landscaping being planted so that material may be inspected.
3. Wood timber guardrails shall be erected along Cumberland Avenue, Congress Street and the first six (6) spaces along the Franklin Street Arterial in place of proposed metal guardrails.
4. Approval is based upon an unpaved parking lot.

If you have any questions regarding these requirements, please call this office.

Sincerely,

P. Samuel Hoffses
Chief of Inspection Services

PSH/kat
cc: Alex Jaegerman, Chief Planner
Robert Roy, Project Engineer
Lt. James Collins, Fire Prevention

B

APPLICATION FOR CERTIFICATE OF OCCUPANCY FOR USE OF PREMISES
216-222 Cumberland Avenue
1-33 Wilnot Street
339-345 Congress Street

Portland, Maine Oct. 4, 1983

Location _____ Zone R-3

To the INSPECTOR OF BUILDINGS, Portland, Maine

The undersigned hereby applies for a certificate of occupancy to allow the use of the above named premises for Parking Lot

as set forth on the attached site plan (made by E. C. Jordan Company whose address is 562 Congress St., Portland) to show compliance with the Zoning Ordinance according to the intended use and the zone in which the property is located; and in accordance with the following pertinent information:-

Owner (name, address and phone number) Lincoln Towers Dev.

Lessee (name, address and phone number) Maine National Bank

Is proposed use to be accessory to a building or other use on this lot? no
If so, what is use of building or other use _____

If on-street parking is sought, what is proposed maximum number of vehicles to be parked—passenger cars? 104, commercial vehicles? _____

Have you secured on the site plan the written approval of existing and proposed entrances to and exits from the premises for vehicles over public sidewalks by the Traffic Engineer (Dept. of Public Works)? _____
And, if access to the premises is available from more than one street, have you secured similar approval by the Planning Board? yes

Have you shown on the site plan the true location of all trees on the public street along the frontage of the premises (both streets if a corner lot)? yes

Do you propose to remove or disturb any tree on a public street? no
If so, have you secured on the site plan the written approval of the Director of Parks and Recreation? _____

Signature of Owner Lincoln Towers Dev.

By [Signature]
(duly authorized thereto)

Site Plan Review \$300.00
35.00
\$335.00

THIS IS NOT A CERTIFICATE OF OCCUPANCY

To:

COMMENCING the above proposed use of the premises would be IN VIOLATION of the Zoning Ordinance unless a Certificate of Occupancy is first procured from the Department of Building Inspection.

However, improvement of the premises according to the site plan and the above application may now proceed without further authorization, but subject to the conditions indicated below—notice of readiness for final inspection to be given to this department when the premises have been placed in compliance with the requirements:-

(Date) Oct 11, 1983

[Signature]
Inspector of Buildings

PERMIT ISSUED WITH LETTER

10

PERMIT ISSUED

OCT 11 1983

CITY of PORTLAND



CITY OF PORTLAND

JOSEPH E. GRAY, JR.
DIRECTOR OF PLANNING
AND URBAN DEVELOPMENT

September 20, 1983

Mr. Willie Verge
Box 642
Old Orchard Beach, Me. 04064

Dear Sir:

Your application to change the use of 565 Congress Street from vacant space to an office on 2nd and 3rd floors as per plans, have been reviewed and a building permit is herewith issued subject to the following requirements:

1. Internally lit exit signs and emergency lighting shall be provided for all exits and paths to reach same.
2. All doors involved in the means of egress shall be equipped with latch sets which shall open from the inside without the use of keys, special knowledge, or ability, but by merely turning the usual knob or by pressure on a plate or lever.
3. All vertical openings (stairways) shall be enclosed with construction having a fire rating of at least one hour including fire doors with self closers.
4. Electrical and Plumbing permits must be obtained by masters of their trade.
5. A completed set of plans drawn to scale must be submitted to this office within 5 working days for the completion of this application. These plans will show all electrical and plumbing layouts. If these plans are not received within the time limit, the building permit will become void.

If you have any questions on these requirements, please call this office.

Sincerely,

P. Samuel Hoffses
Chief of Inspection Services

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 00963

SEP 21 1983

ZONING LOCATION PORTLAND, MAINE Sept. 14, 1983

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

- LOCATION ... 565 Congress Street
1. Owner's name and address Commercial Industrial Properties - Chris Pacheco
2. Lessee's name and address 562 Congress St.
3. Contractor's name and address Willie Verge - Box, 642 Old Orchard Beach

Proposed use of building offices
Last use unknown
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 30,000

Appeal Fees \$
Base Fee 160.00
Late Fee of use 25.00
TOTAL \$ 185.00

FIELD INSPECTOR--Mr. @ 775-5451

Change of use from unknown to offices on 2nd and 3rd floors of existing building as per plans. 2 sheets of plans, alterations, no structural changes

Stamp of Special Conditions

send permit to # 3 04064

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? yes
Is any electrical work involved in this work? yes
Is connection to be made to public sewer? yes
Has septic tank notice been sent?
Height average grade to top of plate
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber--Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION--PLAN EXAMINER Will work require disturbing of any tree on a public street? no
ZONING:
BUILDING CODE: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining hereto are observed? yes
Fire Dept.
Health Dept.
Others:

Signature of Applicant Willie Verge for Commercial Industrial Properties Phone # 934-5479
Type Name of above Industrial Properties 1 2 3 4
Other and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 565 Congress Street

Issued to Commercial Industrial Properties

Date of Issue July 27, 1984

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 88- 963, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

2nd & 3rd Floors

Offices

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

Arthur Rowe

[Signature]

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND

JOSEPH E. GRAY, JR.
DIRECTOR OF PLANNING
AND URBAN DEVELOPMENT

September 20, 1983

Mr. Willie Verge
Box 642
Old Orchard Beach, Me. 04064

Dear Sir:

Your application to change the use of 565 Congress Street from vacant space to an office on 2nd and 3rd floors as per plans, have been reviewed and a building permit is herewith issued subject to the following requirements:

1. Internally lit exit signs and emergency lighting shall be provided for all exits and paths to reach same.
2. All doors involved in the means of egress shall be equipped with latch sets which shall open from the inside without the use of keys, special knowledge, or ability, but by merely turning the usual knob or by pressure on a plate or lever.
3. All vertical openings (stairways) shall be enclosed with construction having a fire rating of at least one hour including fire doors with self closers.
4. Electrical and Plumbing permits must be obtained by masters of their trade.
5. A completed set of plans drawn to scale must be submitted to this office within 5 working days for the completion of this application. These plans will show all electrical and plumbing layouts. If these plans are not received within the time limit, the building permit will become void.

3-16-84
New
Revised
codes

If you have any questions on these requirements, please call this office.

Sincerely,

P. Samuel Hoffses
Chief of Inspection Services

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 00963
ZONING LOCATION ... B-3 ... PORTLAND, MAINE ... Sept. 14, 1981

SEP 21 1981

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 565 Congress Street ... Fire District #1 []
1. Owner's name and address Commercial Industrial Properties - Chris Pachio ...
2. Lessee's name and address ... 562 Congress St. ...
3. Contractor's name and address Willie Verge - Box, 642 Old Orchard Beach ...
Proposed use of building ... offices ... No. of sheets ...
Last use ... unknown ... No. families ...
Material ... No. stories ... Heat ... Style of roof ... Roofing ...
Other buildings on same lot ...
Estimated contractual cost \$... 30,000 ...

FIELD INSPECTOR - Mr. @ 775-5451

Appeal Fees \$
Base Fee 150.00
Late fee of use 25.00
TOTAL \$ 185.00

Change of use from unknown to offices on 2nd and 3rd floors of existing building as per plans. 2 sheets of plans. alterations, no structural changes

Stamp of Special Conditions

send permit to # 3 04064

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT ISSUED WITH LETTER

DETAILS OF NEW WORK

Is any plumbing involved in this work? yes
Is any electrical work involved in this work? yes
Is connection to be made to public sewer? YES
Has septic tank notice been sent?
Height average grade to top of plate
Size, front depth
Material of foundation
Kind of roof
No. of chimneys
Framing Lumber - Kind
Size Girder
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION - PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

Signature of Applicant Willie Verge Phone # 934-5479
Type Name of above Properties Willie Verge for Commercial 1 2 3 4
Other and Address

PERMIT ISSUED WITH LETTER

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

[3] Ms Schmuckal