

5. All new brick walls which may be closer than five feet to side property lines should have masonry parapet walls at least two feet above the level of the roof and capped with wholly non-burnable material. Any windows in such walls and the windows looking out on the light well should be fire windows. The peculiar fire which damaged the original building taught some lessons of fire prevention which were not so evident before. Due to the fact that the cellar could not be opened to the outside air except on the Free St. end, the Fire Department was unable to secure cross-ventilation and thus make it possible to enter the cellar and extinguish the incipient fire. The fire, largely unrestrained on this account, finally worked its way up through various openings and did extensive damage above the cellar. The City Council are considering amendments to the Code which may require means of ready cross ventilation to be present in both new and existing cellars, and may require at least a dry-pipe, manually operated sprinkler system in both new and existing cellars in mercantile buildings of substantial size. No such amendments have been adopted, but, perhaps, prudent property owners would like to take advantage of this lesson learned. The plans show grilles in the front wall on Congress St. which presumably will open into the cellar. It would be well to make sure while these changes are being made that these grilles do open into the cellar, thus, combined with the openings on Free St., offering a method of cross-ventilation, and that the grilles are either always open and of sufficient size to do the work, or means provided so that they may be opened from the outside in case of need. It seems that the idea of the dry-pipe sprinkler system is worthy of consideration in this cellar although there is no law requiring it.

6. It is assumed that the concrete floors will extend to the brick walls in every case and thus form fire stops. Where the ceiling of the second story is adjacent to the brick walls, fire stops of non-burnable material are required. Metal wall anchors, spaced at least every eight feet, and fastened to the under side of roof joists will be required to anchor the roof to the masonry walls. Where the joists are parallel to the walls, the anchors should be long enough to engage at least three joists. Moreover there are concealed spaces above ceilings hung, or over low ceilings such as occur in toilet rooms, the concealed spaces should be made accessible in case of need. Toilet rooms appear to be inside rooms depending upon gravity ducts for ventilation. The cross-sectional area of these ducts should be equal to 56 square inches for every toilet room vented thereby.

7. Limestone facing is specified as 4 inches thick. Section 250, Paragraph c of the Code seems to provide that such facing shall not be counted as a part of the required thickness of the masonry wall unless certain of the facing stones are thicker than 4 inches and built into the backing as bond stones.

8. The Health Officer required certain changes in cooking and baking arrangements of the restaurant in the building, and I would suggest that the arrangement of all ranges, cookers, etc. and all equipment connected with the preparation of food be submitted to him and his approval secured before owner or tenant have become committed to the arrangements.

Very truly yours,

CC Charles C. Bickford

(Signed) Warren McDonald

Inspector of Buildings.

at 570 Congress St.

Specifications:
1st. Int. two stories of front and rear brick walls to be removed.

How about 4" limestone facing being counted as part of thickness of wall? 250 P.C.

✓ Statements of design.

Stairs to go down to garden etc?

✓ Incombustible fire stops at floor & ceiling levels at crossing walls.

✓ Wall anchors

✓ Hanging ceiling on 2nd floor.

Height of awning?

✓ Blind space over toilets?

Sidewalk elevator?

Plan

✓ Rem. down 1st story 2' 6" x 2' 8" wide

— Enclosure of cellar stairs

— Undermining wall

✓ Second means of egress from 2nd floor not apparent

✓ Door to stair hall from exit not

2nd story opening in rear

✓ Exit signs or light

✓ Toilet room vents all floors.

✓ Banquet halls

— Light in 2nd floor offices

Highland 12.24p. Cont'd

✓ Gate adjoin ad to road side
on boulevard to front.

✓ Windows on property line and in light
well mixed porch and driveway?

Inquiry File

November 5, 1936

Mr. Herbert W. Rhodes,
51 Exchange Street,
Portland, Maine

Dear Sir:

With relation to the proposed building for Mr. Charles C. Bickford at 570 Congress Street, I have made examination of the plans, including those brought to the office recently, in the light of the special requirements of the Building Code for mercantile buildings and find the following:

1. Exit signs with letters in the word exit at least six inches high should be provided over the door leading from the restaurant to the kitchen and another over the door in the second story leading to the rear exit hall.

2. The Building Code requires that there be a handrail on both sides of the second story stairs and on both sides of the front stairs to the basement, since both stairs are more than three feet six inches wide; also that the landing in the second story stairs be in its least dimension as great as the width of the stairs instead of the three feet minimum dimension shown on the plan.

3. There appears to be scuttle shown on the roof plan, but I can discover no permanent ladder fastened in place leading thereto as required by Section 80 of the Building Code.

4. While I presume it is not in the general contract, the requirement for standard fire extinguishers before the building is occupied is as follows: one in the boiler room (since there is to be an oil burner there, this extinguisher at least should be of a type capable of putting out fire in oil), two extinguishers in the basement and two extinguishers in each story above the basement, making a total of seven in all.

5. Under the rule of the Health Department, the compartments in the first story where the water closets are actually located are required to be completely cut off from the balance of the toilet rooms by partitions running all the way from floor to ceiling and by doors to these compartments, tight fitting and self-closing. The doors leading from the restaurant to the outer toilet rooms are also required to be close fitting and self-closing.

6. No room where food or ~~edibles~~ ^{edibles} are prepared is permitted to have any undressed wood exposed on walls or ceiling. This rule would apply to certain parts of the basement.

Herbert W. Rhodes—2

November 5, 1938

7. With regard to the new brick walls, I understand that both Congress Street and Free Street walls are to be at least 12 inches in thickness of solid brickwork from the top of the foundation to the second floor and that the second story walls on both fronts are to be eight inches in thickness of solid brickwork and not more than 12 feet in unsupported height.

8. On the roof plan there is shown two eight inch ventilators which it is assumed are intended to ventilate the two toilet rooms in the second story and a 16 inch ventilator which it is assumed is intended to ventilate the two toilet rooms in the first story. The Building Code requires that the ventilator and ventilating duct of each toilet room have a cross sectional area of at least 56 square inches for their entire length, including the outlet. It takes a pipe of 8½ inches in diameter to produce an area of 56 square inches. All of these ventilators should extend at least three feet above the roof.

9. The same rules as regards tight partitions around the water closets and self-closing doors on toilet rooms stated above as regards the first story toilets, apply also to the toilet in the basement. It is not clear how these toilet rooms in the basement are to be ventilated. If this is to be accomplished by a mechanical ventilation system, such a system is required to be independent in every way from any other ventilation system in the building.

10. I shall want to make sure before the building permit is issued that the grilles shown on the Congress Street front below the show windows may be opened to the cellar on occasion to provide a cross ventilation in case of fire.

11. Sheet C-2, received recently, shows a different toilet room arrangement in the first story than that shown on Sheet 2. Which arrangement is correct? The rules of the Health Department require that there be a vestibule arrangement in front of every toilet in a restaurant under such circumstances so that by opening a single door the actual compartment where the water closet is located will not be in direct communication with the restaurant. At the same time Sheet C-2 is not in sufficient detail to supersede Sheet 1 of the plans.

12. In the first story the rear door from the kitchen to the vestibule swings in and both this door and the rear outside door leading to Free Street are only two feet and eight inches wide instead of three feet wide as required by the Building Code.

Very truly yours,

McD/H
CC: Charles C. Bickford

Inspector of Buildings

Inquiry File:

November 3, 1936

Mr. Herbert W. Rhodes,
51 1/2 Exchange Street,
Portland, Maine

Dear Sir:

Referring again to the plans for the new building proposed at 570 Congress Street, Dr. Tetreau, Health Officer, has examined the plans briefly and I find that he is mainly concerned with a few features, part of which at least, are not covered in the specifications or plans.

It is desirable for him to know where the fresh air supply is to be taken from for the ventilation system, and, if the air is to be recirculated, how it is to be treated between changes of air.

As shown on the plans, the basement is indicated as one large room with only the boiler room separated. Presumably the various departments, such as bakery, vegetable room, etc., will be separated from one another. Where will these partitions be, and how will the partitions, walls, ceilings and floors be finished? The Health Officer considers this important from the standpoint of having nonabsorbent and readily cleanable finishes exposed in all places where food is prepared.

Dr. Tetreau also is concerned with the nature of all openings into rooms where food is prepared from the standpoint of whether or not these openings will be protected from dust and dirt blowing into the rooms.

I prefer that the Health Officer's approval be secured upon the restaurant arrangement before the building permit is issued. To this end will you be kind enough to confer with Dr. Tetreau and see if all questions may not be thoroughly understood by him and approved by him before the permit is issued and so that there will be no delay on this account in getting the permit cleared from this office?

Very truly yours,

MacB/H
CC: Charles Rickford
Dr. Tetreau

Inspector of Buildings

File: Insign Copy
570 Congress St.

November 23, 1936

Mr. H. S. Rhodes,
512 Exchange St.,
Portland, Me.

Dear Sir:

Examination of the plans and specifications of the proposed Bickford Building at 570 Congress St. filed by the contractor with the application for the building permit, reveals the following details which should be changed on the plans before the general permit is issued. These changes are actually necessary on the plans because that is the natural place to show them so that all may understand, and because there appears to be no way to accept your letters or verbal statements as a part of the application unless you put them in writing and have the contractor file them as a part of his application.

1. The new brick wall over existing party between Bickford and Chipman properties is required to extend at least two feet above the new Bickford roof (plan scales somewhat less), and to be capped with non-burnable material without the use of wood or other burnable material. This matter was called to your attention in my letter of October 9th.

2. There is still to be settled the question of legal means of access from the second story, which, of course, must be shown on the plans. I have given a preliminary permit covering erection of the first story, or rather the first floor frame, but I shall be unable to give permit to proceed further with the frame, until this question is settled.

3. The minimum width of all stairs in the building is 5'-6". The question as to minimum dimension of the landing in the front stairs to the second story has been raised. This least dimension (now shown as 3 feet) must be as great as the width of the stairs. The width of the stairs may be reduced to 5'-6", not less. Any stairs more than 5'-6" wide should have handrails on both sides.

4. Certain steel is being increased to make provision for a future third story. Your attention and that of the owner is now called to the fact that addition of the third story under present requirements would mean that all stairways in the building should be enclosed with self-closing fire doors at every opening.

5. A permanent fixed ladder leading to the roof scuttle should be shown on the second floor plans.

6. Please show on the plans the size and weight of the original steel that is to be left in place on the Congress St. front. Not only these steel beams but those

show steel beams and the lally columns designed to support the brick walls of the light court are required to be fireproofed. Please show the materials and details of all of this fireproofing on the plans.

7. It is not possible for this department to check thoroughly the structural plans. For this reason the Code calls for a written statement of design by the designing engineer. We have your statement of design covering your own design plans, but we also have a set of structural plans from McQuier & Jones which are different from yours in some particulars. The contractor has agreed to get a statement of design from the M. & J. Designer covering his part of the work. In this connection, from a casual examination of the structural plans, it appears that the 9" channels on the long spans at the three stair wells are inadequate.

8. Your letter of November 7th, Par. 7, says that the second story wall on Congress Street is to be 8 inches of brickwork and 4 inches of limestone in thickness. This satisfies the Code as long as the building remains at a height of two stories because a brick wall 8 inches thick without the limestone would meet the requirements; but, unless this limestone facing is actually made a part of the required thickness of the wall as provided in Par. c of Section 250 of the Code and called to your attention in my letter of October 9th, difficulties will arise when it becomes desirable to build a third story front on Congress Street, because the then existing second story wall will not be legally thick enough to permit it.

9. The plans should be changed to show the two ventilators over the second story toilet rooms to be equivalent in area to a circle having a diameter of 8 1/2 inches or more.

10. At least one modern building in the city has been erected with the awning bars so low that it is not easy to install awnings on them in such a way that the legal minimum clearance of seven feet between the lowest edge of the awning and the sidewalk may be maintained. Please check these arrangements on this building so that the same difficulty may not arise.

11. Are the existing foundation walls to be underpinned and are they to be faced with concrete. This work has been stricken from the specifications. There is at least one very bad place in the existing foundation walls under the Chipman party wall. How is this to be fixed and by whom? There are numerous places in the brick party walls on both sides, especially in the walls of existing chimneys. There are one or more metal flue stops now exposed in existing chimneys which should be removed and the holes filled with masonry. These matters cannot be shown on the plan, but I shall appreciate information as to who is to take care of it.

12. Please note that when the general permit is issued it will cover only such work as is at that time included in the plans, specifications and application. All other work, substantially different from that included, is required to be covered by one or more amendments to the original permit. For instance, it was obvious that partitions will be required to separate the various activities in the basement; in fact, they will doubtless be required by the Health Department. If these partitions are not on the plan when the general permit is issued, then they must be covered by amendment before they are built.

Very truly yours,

(Signed) Warren McDonald
Inspector of Buildings

CC Mr. Blackford

F. W. Cunningham & Son's while requirements for protection of public sidewalks are in the Code, they are subject to approval by Comm. Pub. Works. Please get these arrangements made to his satisfaction.

Warren McDonald

Herbert W. Rhodes

ARCHITECT



51½ EXCHANGE STREET
PORTLAND, MAINE

November 19, 1936

Mr. Warren McDonald
Inspector of Buildings
Portland, Maine

Dear Mr. McDonald:

Your letter of November 9th received. In reply will say that we had a conference with Dr. Tetreau yesterday afternoon and everything was very agreeable and I think all questions and differences were agreed upon.

However, the matter of the health regulations, or any equipment installed by the tenant could not hold up the issuing of a permit to Mr. Sidelord as the owner only intends to do the work shown on the plans and described in the specifications under this permit.

Trusting you will issue the Cunningham permit at once,
I am

Sincerely yours,

Herbert W. Rhodes

HWB/BW

Alfred Cunningham

Herbert W. Rhodes

ARCHITECT



51½ EXCHANGE STREET
PORTLAND, MAINE

November 7, 1936

Mr. Warren McDonald,
Inspector of Buildings
Portland, Maine

Dear Mr. McDonald:

Your letter of November 5th regarding the Bickford Building at 570 Congress Street received and contents carefully noted. In reply beg to say:

1. The exit signs as mentioned will be taken care of. ✓
2. The matter of hand rails will be taken care of as suggested, but the matter of the landing is a question of whether there is room enough, if necessary to comply with the law we may be forced to narrow the stairway up to 3 feet. Please let me know if you will insist that a four foot platform will be put in these stairs because, if so, I think we will reduce the width to three feet as we have not room for a longer run. *no stairs less than 3 ft. wide*
3. The matter of the scuttle shown is being re-located in the corridor for exit purposes and a ladder will be provided to the roof. ✓
4. The matter of extinguishers does not come under my jurisdiction and doubtless will be attended to to the satisfaction of the Fire Department before license for occupancy is granted. ?
5. The matter of closing in the water closet sections of the toilet will be taken care of. ?
6. No rough wood or undressed lumber is contemplated under this contract or will be installed by this contractor. ✓

Also lumber

Herbert W. Rhodes
ARCHITECT



51½ EXCHANGE STREET
PORTLAND, MAINE

RECEIVED
NOV 9 1936
DEPT. OF BLDG. INS.
CITY OF PORTLAND

Mr. Warren McDonald, November 7, 1936, p. 2.

7. Your understanding of the first story walls is correct and beg to advise that the second story walls are also to be 12 inches in thickness excepting the front wall which is eight inches of brickwork and four inches of limestone. ?

8. The increased size of ventilators as suggested will be taken care of to your satisfaction. ?

9. The arrangement and ventilation of the toilets in the basement will fully cover requirements set forth in your paragraph. ?

10. These ventilating grilles on Congress Street will have dampers inside to control the air, but will be of such nature that they will be readily opened for the Fire Department from the exterior, in fact I have never seen any that the fireman with his axe hasn't opened very quickly. ?

11. Sheet C2 shows the toilets as finally arranged by Mr. Constantine but the partitions required by the Health Department will be installed to their satisfaction. ?

12. These doors and revised plan show swinging out and increased to the size required by the code. ✓

I think this answers your questions and can assure you that if there is any further details which are questionable I would be glad to cooperate with you in adjusting them to everyones satisfaction.

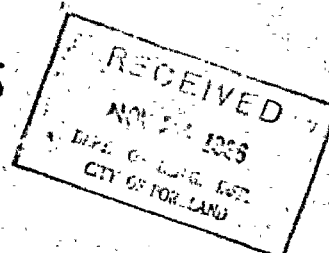
Sincerely yours,

Herbert W. Rhodes

HWR/BW

Clear for printing

Herbert W. Rhodes
ARCHITECT



51½ EXCHANGE STREET
PORTLAND, MAINE

November 23, 1936

Warren McDonald, Inspector of Buildings
City Hall
Portland, Maine

Dear Mr. McDonald:

Your letter of the 10th in reference to the issuing of a permit for the Hickford Building, Portland, received. Thanks for same.

Referring to your second paragraph, I went to the fire station and saw Chief Sanborn regarding the exits as per your request and after some discussion of various methods he advised me that if we would erect the old fire escape that was on the previous building and put a passage to it so that the public would not have to pass through any private office to reach it, that he would approve and accept same.

We did discuss the future ordinance regarding fire protection for the basements and both agreed that it was an excellent thing, and I did say that I would use my efforts to show the owners where a dry system in their basement would be to their advantage, both for protection and insurance, and I still mean what I said.

I have revised my plans according to our agreement and I think you have copy of these drawings.

I also note what you say about the grilles in the front and will say that grilles usually located under a display window like these are for ventilation of the basement and I think I told you in your office that that is what these are for and if you cannot take my word for it, I will confirm it in this letter.

Regarding the exhaust fan on Exchange Street below the fire escape platform, would say that this is the old ~~fan~~ re-installed

Alfred Spaulding

Warren McDonald, November 23, 1936, p. 2.

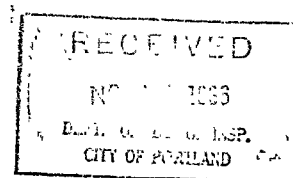
over the ceiling of the back entry and only to be used in case of emergency such as a temporary disablement of the motor ventilating the kitchen range hood, but as this will not be connected to anything but the back entry, to be of any use the door must be left open. In that event I think you can readily see it is not intended for general ventilating purposes such as used for before.

Trusting this answers your letter, and thanking you,
I am

Sincerely yours,

W. Rhodes

WWR/BN



Also furnished to Mr. Rhodes

Ind. Bldg, 570 Congress St.

Page 1.

11/4/36

Section 7.3 - Capacity - 1st floor

$$\frac{37 \times 39 + 54 \times 33 + (8 \times 4 + 16 \times 15)}{15} = \frac{3073}{15} = 205$$

2nd floor

$$\frac{45 \times 39.5 + 51 \times 32 + (12 \times 10 + 5 \times 16)}{100} = \frac{3209}{100} = 32$$

Total 237

Exit sign with letters 6" high - one over door from restaurant to kitchen and one over door to exit hall 2nd floor.

X Section 74 - Handrail on both sides of 2nd story stairs and landing in least dimension as great as stairs are wide.

X Section 75 - Rear door from kitchen to vestibule swings in and both this door and outside rear door should be 3'-0" wide instead of 2'-8" as shown.

X Section 80 - Scuttle 2' x 3' in roof with permanent ladder thereto. Scuttle as shown but no permanent ladder thereto.

? Section 82 - Standard fire extinguishers - one in boiler room (since oil burners are capable of putting out fire in oil), 2 in basement and 2 in each story above.

X Section 85 - Under rules of Health Dept. partitions compartments where actual toilets are located must be completely cut off from balance of toilet rooms and doors to these compartments and doors must be self-closing. (This applies to 1st story toilets only.)

? Section 88 - No room where food or edibles are prepared shall have so much exposed wood exposed on walls or ceilings.

X Section 250 - Still question of thickness of brick wall in 1st story, Congress St. front. P. 2 of letter of Oct. 9.

? Section 341 - 2nd story toilet room ventilators each 5" in diam. - should be at least 8 1/4" and extend at least 3 ft. above roof. Under no mechanical system for restaurant toilets not connected with any other vent system - 16" vent shown on plan.

Also basement & 2nd story rooms.

Pr 10-7

Page 2

10/19/36

Congress St. - Bickford Bldg

Roof

Roof load 55# sq. ft. live and dead

2x10 = 12" O.C. on 22.5' span $22.5 \times 1.0 \times 55 = 1238$

$\frac{1238 \times 12.25 \times \sqrt{1.5}}{8} = 4178$; $\frac{4178 \times 2}{11.50} = 3798$ neg S.

S of 2x10 dressed = 24.4 - western hem. $\frac{4178 \times 2}{13.50} = 3214$ neg S.

2x10 = 12" O.C. on 19.5' span = $19.5 \times 1.0 \times 55 = 1072$

$\frac{1072 \times 19.5 \times \sqrt{1.5}}{8} = 31356$; $\frac{31356 \times 2}{11.50} = 2850$ neg S; S of 2x10 = 24.5

2x10 = 12" O.C. on 19.0' span = $19.0 \times 1.0 \times 55 = 1045$

$\frac{1045 \times 19.0 \times \sqrt{1.5}}{8} = 2979$; $\frac{2979 \times 2}{11.50} = 2708$ neg S.

$m = \frac{5I}{C} = \frac{WL}{8}$; $\frac{WL}{8} = 24.4 \times 11.00$; $L = \frac{8 \times 24.4 \times 11.00}{W}$

$L = \frac{214720}{W \times L \times 11} = \frac{214720}{L \times 660}$

Remainder framing (Plan rec'd Nov 2, 1936) F.S. = 48

2x12 = 14" O.C. on 21.5' span = 18" O.C. dressed = 35.8

$21.5 \times 1.5 \times 60 = 1935.0$; $\frac{1935 \times 21.5 \times \sqrt{1.5}}{8} = 6239$; $\frac{6239 \times 2}{11.50} = 4159$ neg S.

IF FULL JOIST OK F.S. = 33.2

2x10 Sp. 12" O.C. = 19' span on 2x10 Dressed = 24.4

$19 \times 1.0 \times 60 = 1140$; $\frac{1140 \times 19 \times \sqrt{1.5}}{8} = 32490$; $\frac{32490}{11.50} = 2953$ neg S.

2x10 Sp. 14" O.C. = 18.5' span

$18.5 \times 1.17 \times 60 = 1298$; $\frac{1298 \times 18.5 \times \sqrt{1.5}}{8} = 36019$; $\frac{36019}{11.50} = 3274$ neg S.

2x10 Sp. 18" O.C. = 14.5' span = $14.5 \times 1.17 \times 60 = 1305.0$

$1305 \times 14.5 \times \sqrt{1.5} = 1958 \times 14.5 = 28391$; $\frac{28391}{11.50} = 2581$ neg S.

18" I @ 54.7# on 26' span good for 40,800#

26' x 20' x 60 = 31,200#

6" I @ 12.5 on 10' span good for 8700#

$(7 \times 10 + 6 \times 6 + 4 \times 3) 60 = 7080$

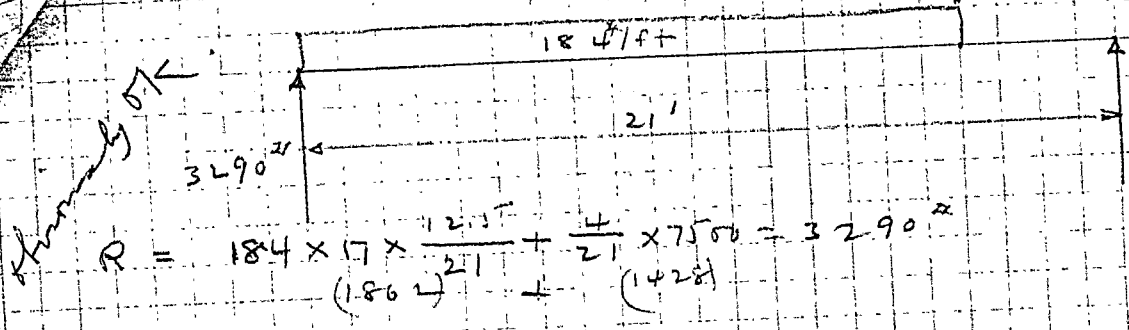
Second floor framing

Steel joist lightest count would be for framing

continued on Page 2

First Floor Structural (Page 3)

1" I @ 35# on 21' span, good for 21,600 #



9" I @ 13.4# at plain end on 16'-6" span good for 7,650 #
 $16.5 \left(\frac{9.0 \times 15}{13.5} + \frac{8.5 \times 9.2}{7.2} \right) = 16.5 \times 9.17 = 15130$

MSJ has changed 14 W.P. beam from 14" I @ 13.4# to 9" I

OK 35,123 on 17.0' span good for 21.2 x 1" = 3604
 $2 \times 17.0 \times 9.2 = 3128$

OK 15" I @ 50# on 17' span good for 45,300 #
 $19.0 \times 17 \times 9.2 = 29,716$

First Floor Structural

X 9" I @ 13.4# at first plain end on 18' span good for 7,000 #
 $18 \times 9.0 = 189 \text{ #/ft}$; $\frac{2000}{189} = 37 \text{ #/ft}$

SL 146 on 21' span good for $\frac{3100}{10.5} \times 21 = 295 \times 21 = 6199$
 $\frac{6199}{42} = 147.5 \text{ #/ft}$

4 1/2" concrete = $150 \times \frac{4.5}{12} = \frac{67.5}{12} = 56.2 \text{ #/ft}$

SL 145 on 19' span good for $\frac{2900}{9.5} \times 19 = 2900 \times 2 = 5800$
 $\frac{5800}{38} = 153 \text{ #/ft}$

18" I @ 54.7# on 17' span good for 62,400 #
 $19.5 \times 17.0 = 331.5 \text{ #/ft}$; $\frac{62,400}{331} = 188 \text{ #/ft}$

for Bally - Page 4

$$\begin{array}{r} 14000 \\ 10.5 \times 9 \\ \hline 1487.2 \text{ g. ft. } 8-15 \end{array}$$

3 1/2" L.W. Bally 14' unsplit gold for

Find Plans & Specifications with applications

Page 5

Phodes plans:

- Sheets 1 - Basement Plan
 " 2 - First Floor
 " 3 - Second Floor
 " 4 - Roof Plan
 " 5 - Elevations
 " D1 - Interior Detail
 " F2 - First Floor Framing
 " F3 - Second Floor
 " ^{no number} - Revised Roof Framing rec'd Nov. 2, 1936
 " P1 - Plumbing Plan
 " C2 - First Floor Plan

M. J. Plans:

- Sheet E1 - First Floor Framing
 " E2 - Second
 " E3 - Roof Framing
 " E4 - Section
- } Get attention of
 } Design foundation

Specifications

23 pages and including several extra pages as 10a etc
 Important changes shown on Pages 22 & 23

1. Cellar floor not to be lowered and foundation walls not to be underpinned or surfaced outside
2. Steel work changed to provide for future addition of 3rd floor
3. Provision for steel sash and wire glass in light well
4. Provision for belting on partition walls and ceilings, 2nd story (which requires stuffing brick walls) instead of metal lath and plaster
5. Provision for leaning concrete wall in place as is up to 2nd story window sills
6. Provision for fireproofing steel supports, 2nd story walls as required by Bldg Code, also to increase their walls to 12" thick and increase steel supporting them as necessary

Letters of J. W. R. to be accepted as part of specifications and applications
 of Nov. 7, 1936 - See pages mentioned in P. S. letter Nov. 5, 1936

- Fire Extinguishers not to be called to attention of owner
- No undressed lumber as mentioned in P. S. letter
- Grilles on Congress St front

Page 6
X letter now C with permit.
Rockford Building-570 Congress St. Notes in examination of plans and specifications
Nov. 21, 1936

Sections 71, 72,

Section 72-New brick wall over existing party wall on west side required to extend at least two feet above new roof with wholly incombustible cap (plans scale 1"=9" and indicate "Toucan" cap which probably means wooden nailing strip)

In connection with existing walls, raise question with Cunningham what is to be done about holes, defective masonry etc. in existing chimneys, now exposed, and what about defects in present foundations of party walls, especially one bad place under west wall. Also, are existing foundation walls now to be faced with concrete, this clause having been stricken from the specifications?

XP Section 73-Question of means of egress from second story to be settled to approval of Board of Fire Engineers before general permit is issued. Double acting door from restaurant to kitchen to be made 3' wide instead of 2'-3" and leaf of double doors from restaurant to kitchen which swings toward restaurant to be made double acting. Exit signs with letters 6" high to be provided over double acting door restaurant to kitchen on restaurant side, over doorway from restaurant to corridor leading to Ladies Room and kitchen; also from second floor to exit corridor. Rhodes statement in letter of Nov. 7 will be accepted for the application, but a letter with the permit should call attention to this matter and especially the exit sign over toilet room corridor and change in width of doors as, although these matters were covered in my letter of Oct. 9, all of them were not mentioned in detail in mine of Nov. 5.

XP Section 74-Call attention to the fact that if and when the building is increased to three stories, all stairways must be enclosed, and in such a way that persons may leave the building via the stairs without being exposed to danger in passing from one story to another. Call attention to fact that minimum width of all stairs is 3'-6", that front stairs to 2nd story must have handrails on both sides if built more than 3'-6" wide, and that minimum length of intermediate landing in these stairs is 3'-6". Insist upon these details being shown on the plans.

□ Section 77-Call attention to fact that there must be at least 2 tight-fitting, self-closing doors between all toilet rooms and the basement or restaurant.

□ Section 78-The boiler room door should be self-closing rather than automatic.

XP Section 80-Insist that permanent ladder leading to scuttle in roof be shown on plans of second story.

□ Section 82-When general permit is issued, notify owner that standard fire extinguishers will be required, - one in boiler room, and one to each 2,000 square feet or fraction thereof in each story and in the basement. If basement is equipped with standard sprinkler system, fire extinguishers there and in the boiler room may be omitted.

XP Section 237-Request information as to size and weight of structural steel beams over first story on Congress Street front which are to be left in place. Request also information as to materials, methods and details of fireproofing these beams. Also fireproofing of beams under light court wall.

XP Section 250-Call attention to Par. 7 of Rhodes letter Nov. 7-2nd story wall on Congress St. to be 8" of brick and 4" of limestone-satisfactory if bldg. never to be more than two stories. Making steel for 3 stories would seem to require making this front wall for three stories also.

X letter now ☐ with permit.

Page 7
Page 6

Rockford Building-570 Congress St. Notes in examination of plans and specifications
Nov. 21, 1936

Sections 71, ##,

Section 72-New brick wall over existing party wall on west side required to extend at least two feet above new roof with wholly incombustible cap (plans scale 1'-9" and indicate "Toncan" cap which probably means wooden nailing strip)

In connection with existing walls, raise question with Cunningham what is to be done about holes, defective masonry etc. in existing chimneys, now exposed, and what about defects in present foundations of party walls, especially one bad place under west wall. Also, are existing foundation walls now to be faced with concrete, this clause having been stricken from the specifications?

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Item 259-Note, since 2nd story walls are now to be strapped, incombustible firestops required at second story ceiling level.

Section 281-Understood plaster on second story ceiling to be eliminated. If used 1x3 cross bridging required every 8' of span of roof joists. Anchoring roof joists to masonry walls not shown on the plan.

Section 316-When permit is issued, call attention to requirements of Par. d of this section pertaining to frames of skylights and screens over them.

xp Section 341-Request change on plans showing at least 3 $\frac{1}{2}$ " ventilators from toilet rooms on second floor.

□ When issuing permit call attention to fact that in case of air conditioning, no air from toilet rooms may be re-circulated.

x Section 390-Call attention to temporary protection for Congress St. and Free St. sidewalks during construction and advise that Comm. P. W. should be consulted as to location, strength and other arrangements.

x Section 406-Warn about getting awning bars the right height.

Warn that roof should be designed to support poster panels if any possibility of desiring to erect same after construction.

x Statement of designer from M & J.

x 9' L's at 3 stair wells.

File: P. 56/2112-I

December 31, 1936

F. W. Cunningham & Sons,
181 State Street,
Portland, Maine

Gentlemen:

Enclosed is the amendment to building permit 4- 36/2112 at 573 Congress Street, covering alteration of the structural steel in the Congress Street front, based on a plan of Maggular & Jones Company dated December 18, 1936 with a statement of design by Robert H. Taylor attached and a plan by H. W. Rhodes, architect, without date but titled "Detail Column to Substitute Brick Pier Under Front Main Girder." You probably have copies of both plans.

The architect's plan shows fireproofing of the proposed short I-beam column and the spandrel beams of the Congress Street front. He has shown the uniform thickness of one and one-half inches of fireproofing for the short column. The Building Code requires, however, that the fireproofing of the flat surfaces of the flanges of this column have fireproofing at least three inches in thickness. Mr. Rhodes assures me over the phone that this required thickness will be fully taken care of without perforations or breaks of any kind in the fireproofing.

Please be governed accordingly.

Very truly yours,

McD/H

Inspector of Buildings

WILLIAM H. GILL
VICE PRESIDENT
PHILIP M. BURNHAM
ENGINEER

*Start rec'd
plan to Mr. Jones
and file*
WMT 12/28/36

F. W. CUNNINGHAM & SONS

Inc. 1905

GENERAL CONTRACTORS

Pine State Building, 181 State Street

PORTLAND, MAINE

Tel. 3-0246

December 24, 1936

Warren G. MacDonald, Inspector of Buildings
City of Portland, Maine

Dear Sir:

We are enclosing print of sheet #8 of the Megquier
& Jones Company on the Bickford Building indicating the change
in the framing of the 2nd floor plan where the new stairs are
required.

This print carries with it a Statement of Design signed
by the writer. We do not consider this a change, but rather, supple-
mentary information.

Very truly yours,

F. W. CUNNINGHAM & SONS

William J. Cunningham
Treas.

AJC:DH
Encl.



Original Permit No. PER 1574185
Amendment No. 1

AMENDMENT TO APPLICATION FOR PERMIT DEC 31 1930

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, December 22, 1930

The undersigned hereby applies for an amendment to Permit No. EA 2112 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 570 Congress Street Ward 5 With the Fire Limits? yes Dist. No. 1

Owner's or lessor's name and address C. C. Blackford, 300 Sawyer St., So. Portland

Contractor's name and address F. E. Cunningham & Sons, 181 State Street

Plans filed as part of this Amendment yes sheet 1 of 2 sheets 1

Increased cost of work about \$22 required by Jones Co. Additional fee 25

Description of Proposed Work

Substitution of steel column in place of brick under lintels at second floor level, Congress Street side as per plan

Approved

C. C. Blackford
By F. E. Cunningham & Sons
Signature of Owner By William J. Callahan
Treas.

Chief of Fire Department

Approved

12/30/30

File: 56/2112-I

December 23, 1936

F. W. Cunningham & Sons,
181 State Street,
Portland, Maine

Gentlemen:

Upon second thought and a closer examination of the plan accompanying application for amendment to the building permit at 573 Congress Street pertaining to change in the structural arrangements of the Congress Street front, I believe we still have to have rather complete details of this arrangement before the amendment is really issued.

I am inclined to think that this arrangement of superimposing a short I-beam post on top of a brick pier which is probably already 10 or 12 feet high is definitely questionable as to stability and practical stiffness. There appears to be no anchors indicated on the plan between the bottom of the proposed post and the brick pier. I should like to be shown why it is impracticable to either extend the masonry pier upwards, thus eliminating the short post, or to remove the existing pier altogether and introduce a single steel column fully fireproof. The revised plan furnished should show in detail the fireproofing of the steel work and any other features that seem to make this unusual arrangement necessary.

I shall await this additional information before issuing the amendment.

Mr. Rhodes is receiving a copy of this letter.

Very truly yours,

McD/H

Inspector of Buildings

at the foot of the
bulb, the floor leading from this vestibule to the main
door serving as entrance to the second story should all be equipped with such

File: Rept. No. 8323-1

December 7, 1936

F. W. Cunningham & Sons,
181 State St.,
Portland, Maine

CO H. S. Rhodes
Charles C. Rickford

Gentlemen:

Enclosed is the general permit covering construction of the Rickford Building at 570-572 Congress St. Because there have been many negotiations, the results of which do not appear in the specifications or on the plans, and, in order that misunderstanding may be eliminated as much as possible, a long list of these matters are called to your attention herein, but it must be obvious to all, that there are many detailed requirements of the Building Code which apply to this building and which cannot be enumerated here. These unmentioned requirements are just as effective as any others, as the City recognizes no responsibility to notify anyone of the requirements of the Building Code.

1. To have the following data filed with the application for the permit:
Architect's specifications (27 pages) and architect's letter of 9/23/36
Architect's plans: Sheets 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 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1014, 1015, 1016, 1017, 1018, 1019, 1020, 1021, 1022, 1023, 1024, 1025, 1026, 1027, 1028, 1029, 1030, 1031, 1032, 1033, 1034, 1035, 1036, 1037, 1038, 1039, 1040, 1041, 1042, 1043, 1044, 1045, 1046, 1047, 1048, 1049, 1050, 1051, 1052, 1053, 1054, 1055, 1056, 1057, 1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 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2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170,

Doors may never be locked against any person on the inside desiring to and so that any person desiring to open the doors from the inside may do so by turning the usual knob.

5. Exit signs with letters at least 6" high are required over the double door from restaurant to kitchen, over doorway leading from restaurant to corridor to ladies room and to kitchen, and over the door leading from the second floor to the rear stairs.

6. Irrespective of arrangements shown on the plans, all stairways in the building are required to be at least 3'-6" wide, to have handrails on at least one side and on both sides if stairs are more than 3'-6" wide. All landings are required to be in least dimension at least as great as the width of the stairs in which they occur.

7. The boiler room door should be self-closing, that is, it should be normally closed and kept closed by a suitable door check or other suitable device.

8. A permanent ladder, securely fastened in place, is required in the second story hall leading directly to the roof scuttle.

9. Before the building is occupied, standard fire extinguishers will be required, one in the boiler room (if there is to be an oil burner, extinguisher capable of putting out an oil fire should be provided here), and one to each 2,000 square feet of fraction thereof in the basement and in each story above.

10. Fireproofing is required around steel beams left standing on the Congress Street front, around steel beams which will support the brick walls of the second story light court, and around all columns down to the ground which support these latter steel beams. It would be best to furnish sketches showing materials, thickness and reinforcement of all of this fireproofing well in advance of the time when the job is ready for it to be constructed.

11. Attention is again called to the fact that, while all columns in the building are apparently being designed to support a future third story, the second story wall on the Congress St. front is not designed in such a way as to take the third story wall upon it, according to present day standards.

12. Since the second story walls are apparently to be strapped, incombustible fire stops will be required at the second story ceiling level. If this ceiling is to be plastered, cross-bridging, at least 1" x 3", will be required in every 2 feet of span of roof joists. Metal anchors fastened to bottoms of roof joists to fasten joists to brick walls as described in Section 231, Par. d of the Code, and the usual fire cuts on these joists will, of course, be provided.

13. Section 315 of the Code should be followed pertaining to frames of skylights in the Fire District and size and height of protective screens over them.

14. The two ventilators for second story toilets should have outlets equivalent in area to that of a circle of 8 1/2 inches diameter. Toilet rooms in cellar are inside and are required to be ventilated by a duct through the roof or a mechanical system of ventilation. A ventilation system ventilating toilets is not permitted to be connected with rooms used for any other purpose or to ducts ventilating such rooms used for purposes other than toilets.

If sidewalk awnings are planned for the building, care should be used during construction, that the place to fasten such awnings is high enough so awnings may maintain at least the minimum clearance above the sidewalks required law. This item is primarily for the benefit of the owner, who is receiving a copy of this letter.

16. To strengthen the 9" channels at the stair wells one $3\frac{1}{2}$ " and three 5" "pipe columns" have been indicated on the revised plans. Presumably these are meant to be specially manufactured columns that will admit of rational design. Used pipe is not acceptable for these columns, and even if new pipe is to be used the code requires that the outside diameter be at least 4 inches. In the column manufacturers' data that I have at hand, I can find no indication of columns with a diameter less than $3\frac{1}{2}$ inches. Presumably, also, these pipe columns above the basement are to be carried down to and rest upon the columns below in the basement. Information as to what is actually proposed will be appreciated. Upon closer examination of the plans, if lally columns are to be used beneath these channels, it appears necessary to use at least 4-inch heavy weight in the first story to get stock columns long enough. Further, these columns introduced in the first story at about the centers of the spans of the channels at front and rear second story stair wells will not come over the columns in the basement introduced to strengthen the channels at the first story stair wells. In other words, the column shown on Congress Street end in first story would not be in a location to relieve the channel at the second story stair well in any way. The change in arrangement of steel and steel joist framing necessitated by the rear stairway from the second story and change in location of collar stairs on Free Street end, is not shown on any of the plans that I have. Naturally this permit does not carry with it approval of any of this arrangement, and I shall appreciate a plan which does show how you really propose to build these parts, at an early date.

Very truly yours,

(Signed) Warren McDonald

Warren McDonald, Inspector of Buildings.

November 25, 1936

F. W. Cunningham & Sons,
191 State Street,
Portland, Maine

Gentlemen:

Enclosed is a preliminary permit in connection with the Bickford Building at 570 Congress Street which gives the right to construct the footings, erect basement columns and first story steel frame only.

In connection with this part of the work there are a few questions not yet settled with the architect, which may effect the details of construction.

If I understand the proposed method of framing the first floor, the nine inch channels at the front and rear stairwells appear to be very light. I suggest that they be checked before installation.

There has been a question about the width of the cellar stairs and also the stairs to the second story. The architect has intimated that he may change the width of the stairs to the second story and that there would be difficulty in complying with Building Code requirements as to the minimum dimension of the landing in the stairs to the second story.

I presume that the work of underpinning the foundation walls and facing them is to be done by others than your company. There is an extremely bad place in the foundation wall on the west side of the cellar and there are numerous places in the walls above, especially the walls of the chimneys which require attention. There are one or more flue stops in these chimneys and we shall expect them to be removed and the resulting openings to be closed with masonry.

Very truly yours,

McD/H

Inspector of Buildings

File: Rec. 8323B-I

November 24, 1936

Mr. Charles Bickford,
338 Sawyer Street,
South Portland, Maine

Dear Sir:

The attached letter is in reply to one received from Mr. Rhodes dated November 23. I can easily understand that you may be mystified, perhaps disturbed, by these numerous details that we have been considering for several weeks. It is especially unfortunate that this misunderstanding has arisen concerning the means of egress from the second floor. Unfortunately the duties of my office, as laid down in the Building Code, require me to be reasonably sure that a proposed structure will comply in every way with the Building Code before the building permit is issued, and this is the reason for my great care in advance of issuing the general building permit. I have told your contractors over the phone, however, that we will try to supply one or more preliminary permits to cover the first stages of the work as soon as they are ready, if by that time the general permit has not been issued. I want to assure you that we are all very much pleased with the fine building that you propose to erect, and, that, in spite of appearances, I am really anxious to do everything I can to help the job along.

Very truly yours,

McD/H

Inspector of Buildings

File No. 65288-1

November 24, 1936

Mr. H. W. Rhodes,
517 Exchange Street,
Portland, Maine

Dear Sir:

Replying to your letter of November 23 concerning the proposed Bickford Building at 570 Congress Street, I regret very much that the question of means of egress from the second story has become so involved. The arrangement of platform and ladder which you have shown on the plan does not satisfy Building Code requirements for a standard fire escape. Irrespective of anything that I may do or of any conversation you may have had with Chief Sanborn, the Board of Fire Engineers appear unwilling to approve the arrangement under the State Law for the reasons which I set forth in my letter of November 20. I suggest that you try to arrange a conference of Mr. Bickford, Chief Sanborn, yourself and myself. Perhaps it would be well to include also a representative of the general contractor.

There are a few details that I believe should be added to the plan or changed before the general building permit is issued so that there may be no confusion or misunderstanding as the job progresses. I will try to have information with regard to these in your hands within a day or two.

Very truly yours,

CC: Charles Bickford
F. W. Cunningham & Sons
Chief Sanborn

Inspector of Buildings

November 29, 1936

Mr. W. B. Rhodes,
51 1/2 Exchange Street,
Portland, Maine

Dear Sir:

With relation to the proposed Bickford Building on Congress Street, I understood that you would satisfy the Board of Fire Engineers with regard to the exits from the second story on the basis of using the iron platform and ladder that was on the old building.

I now find that Chief Sanborn agreed to using this old fire escape only on the basis that the cellar was to be fully equipped with an automatic sprinkler system and that adequate openings were to be provided in the Congress Street front giving a direct connection to the cellar for the Fire Department in case of fire. The plans do not indicate that the grilles on the Congress Street front actually lead into the cellar. In fact there is a notation to the effect that they are recirculating intakes and that leads us to believe that they do not open directly into the cellar.

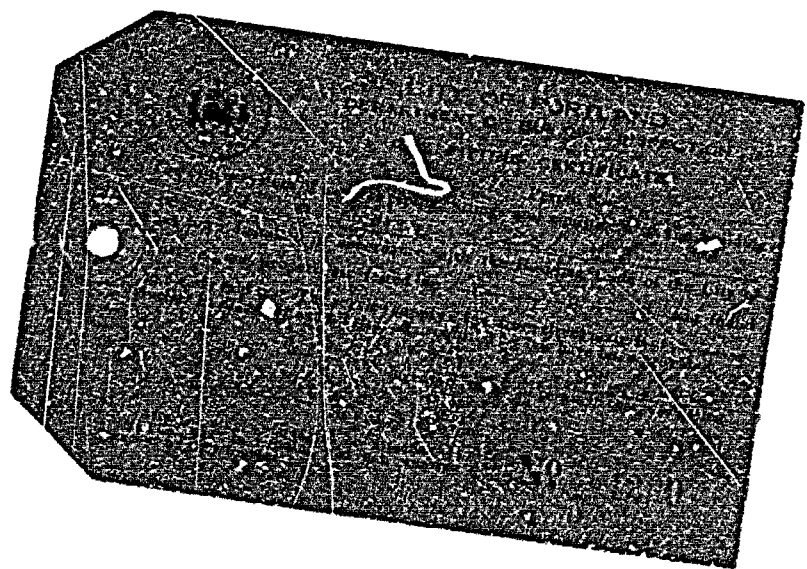
Chief Sanborn found objections to placing the large exhaust fan in the Free Street front below the fire escape platform.

Please take immediate steps to get this exit proposition corrected so that it may be approved by the Board of Fire Engineers, as I shall be unable to issue the general permit until the approval of the Board is secured.

Very truly yours,

Mol/E
CC: F. W. Cunningham & Sons
Charles Bickford

Inspector of Buildings





GENERAL BUSINESS

Permit No.

APPLICATION FOR PERMIT TO REPAIR BUILDING

second Class Building

Portland, Maine, Jan. 13, 1916

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

This undersigned hereby applies for a permit to repair the following described building in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 570 Congress St. Ward 5 Within five limits? yes Dist. No. 1

Owner's name and address Charles Bickford 153 Sawyer St. So. Portland Telephone _____

Contractor's name and address Coogins & Clark 45 Portland St. Telephone 2-1163

Use of building mercantile

No. stories 4 Height _____ ft. Gross area _____ sq. ft. Style of roof flat

Type of present roof covering tar & gravel

General Description of New Work

Repair after fire, no alterations. Fire in bathroom 2nd and 4th floors.
Cause unknown.

RECEIVED BY THE CITY OF PORTLAND
JAN 15 1916

If Roof Covering is to be Repaired or Renewed

When last repaired? _____ Area then repaired _____ sq. ft.

Are repairs or renewal due to damage by fire? yes If so, what area damaged? _____ sq. ft.

Area of roof to be repaired now? none _____ sq. ft.

Type of roofing to be used _____ No. plies _____

Trade name and grade of roof covering to be used _____

Estimated cost \$ 100 Fee \$.50

INSPECTION COPY

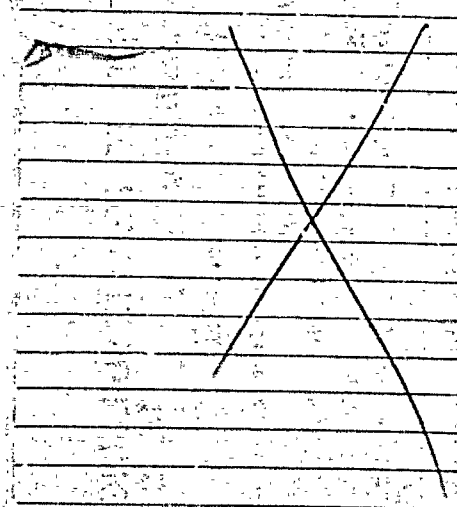
Signature of owner by Charles Bickford
A. Clark

61185 #

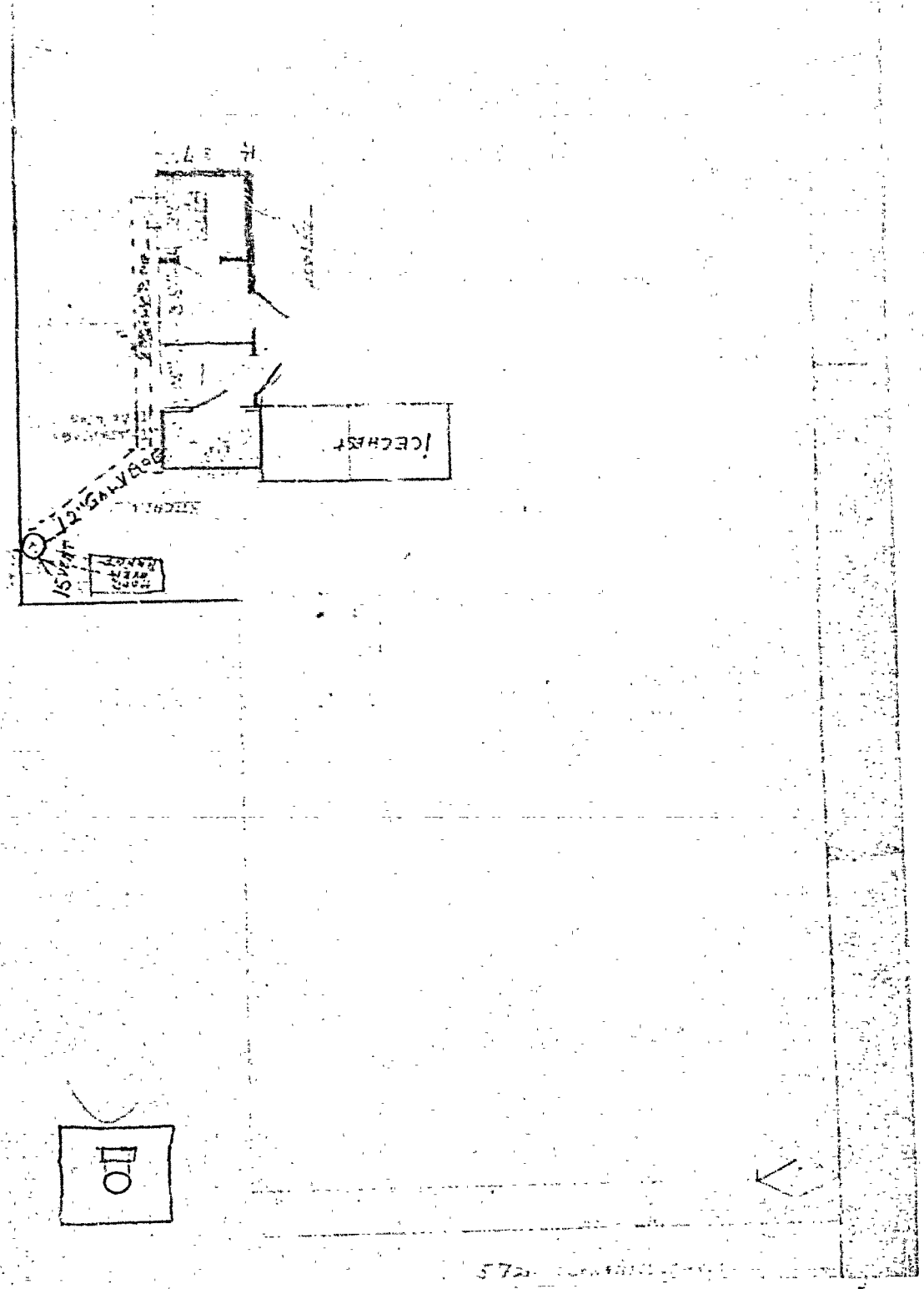
1 5 Permit No. 35/60
Location 570 Congress St.
Owner Char. Bliffard
Date of permit Jan 28, 36
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 8/28/36
Cert. of Occupancy issued None

NOTES

1/29/36 - Electricians
working - AJS



MOBILE 2800
H. H. H.



DOOR

5721



GENERAL BUSINESS ZONE PERMIT ISSUED
APPLICATION FOR PERMIT

AUG 1 1935

Class of Building or Type of Structure, Second Class

Portland, Maine, August 1, 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure-equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 572 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Minerva Lunch Co. 572 Congress St. Telephone _____
Contractor's name and address Faul B. McLellan, 204 Ocean Ave. Telephone _____
Architect's name and address _____
Proposed use of building Restaurant, stores, Offices, and tenements No. families _____
Other buildings on same lot _____
Plans filed as part of this application? yes No. of sheets 1
Estimated cost \$ 250. Fee \$.75

Description of Present Building to be Altered

Material brick No. stories 4 Heat _____ Style of roof _____ Roofing _____
Last use Restaurant, stores, offices and tenements No. families _____

General Description of New Work

To construct new interior non-bearing partitions as indicated on sketch to provide two new toilet rooms in the first story, one for men and one for women, and each to have a vestibule doors to both vestibules and toilets to be made self-closing in such a way that there will be little chance of both doors being open at the same time. All new partitions are to be of 1x8 studs, 16" on center, and covered on both sides with plaster on gypsum board base. These toilet rooms are to be vented by a galvanized pipe 8" in diameter for each toilet, joining a 12" diameter pipe, all pipes to slope generally upwards without pockets and the 12" pipe to run through the ceiling into the shaft in which is now located the range vent pipe and to connect to this vent pipe at some point above the existing fan

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Minerva Lunch Co.

Signature of owner _____

INSPECTION COPY

W. W. Fanning
Recd. 2/25/35

CERTIFICATE OF OCCUPANCY
REQUIREMENT 5-1-12-20

17060

Ward 5 Permit No. 35/1157

Location 572 Congress St.

Owner Minerva Lynch Co.

Date of permit 8/1/35

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 10/30/36

Cert. of Occupancy issued None

NOTES

2/9/35
No work being done.
Partitions up and plaster
board on West side
in addition, etc.
10/30/36 - Fire within
building and build-
ing demolished. J.D.



(C) GENERAL BUSINESS ZONE

PERMIT ISSUED

APPLICATION FOR PERMIT

JUL 14 1934

1948

Class of Building or Type of Structure SECOND FLOOR

Portland, Maine, July 14, 1934

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 572 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1

Owner's or Lessee's name and address Louis Constantino Telephone _____

Contractor's name and address W. L. Vassar, 95 Sheridan St. Telephone 3-7998

Architect's name and address _____

Proposed use of building Restaurant, Offices and tenements No. families _____

Other buildings on same lot _____

Plans filed as part of this application? no No. of sheets _____

Estimated cost \$ 65. Fee \$.50

Description of Present Building to be Altered

Material brick No. stories 5 Heat _____ Style of roof _____ Roofing _____

Last use Restaurant, Offices and tenements No. families _____

General Description of New Work

To put 17' brick wall 8" thick in basement of building, to partition off boiler room

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-10" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters _____ 1st floor _____ 2nd _____ 3rd _____ roof _____

On centers: _____ 1st floor _____ 2nd _____ 3rd _____ roof _____

Maximum span: _____ 1st floor _____ 2nd _____ 3rd _____ roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any grade tree or public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

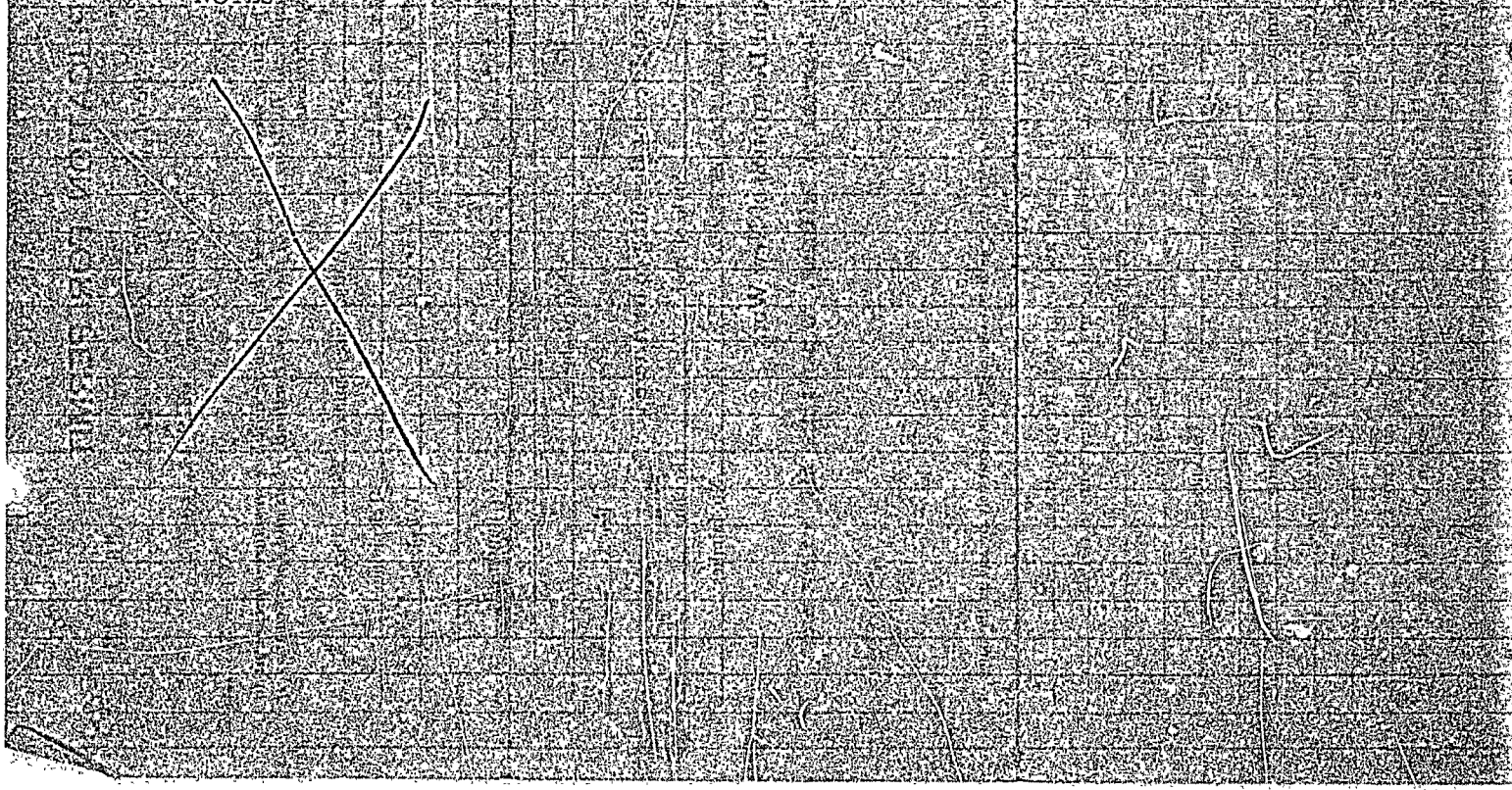
Louis Constantino

William Vassar

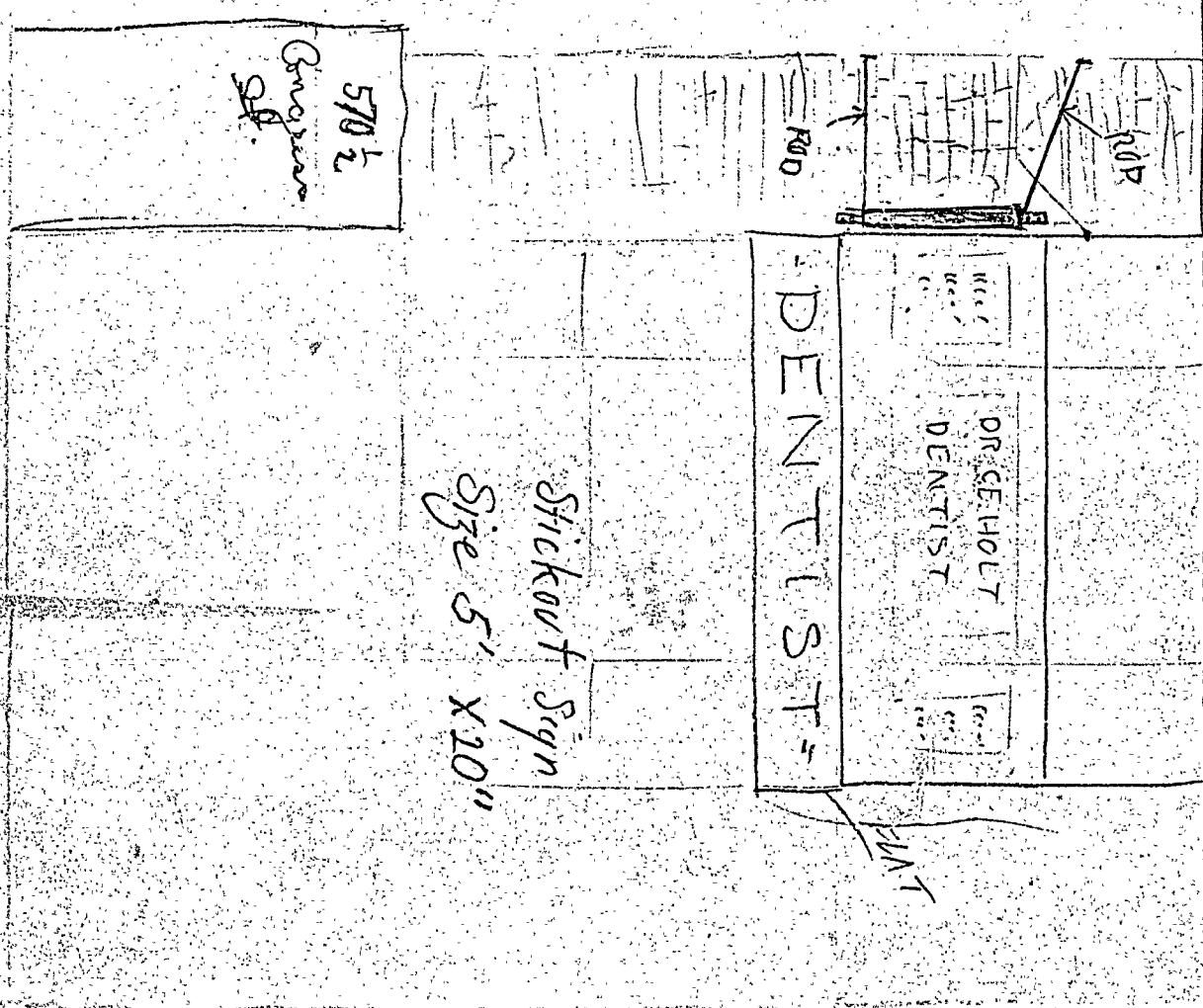
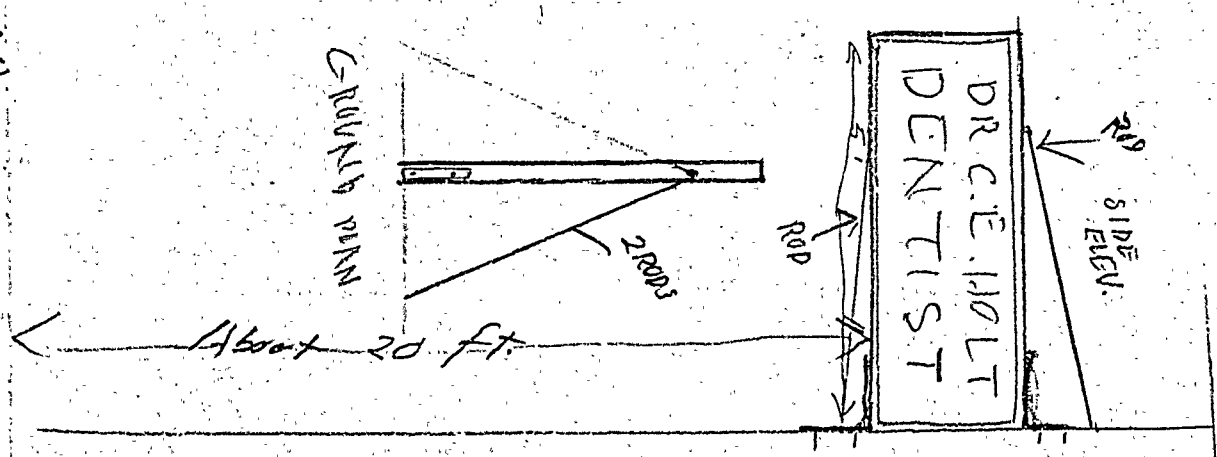
326P

Ward 6 Permit No. 34/948
Location 572 Congress St.
Owner Louis Constantine
Date of permit 7/14/34
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. 3/1/35
Cert. of Occupancy issued None

NOTES



100
225
1190
117.55



GENERAL BUSINESS ZONE PERM

Permit No. 032ED

APPLICATION FOR PERMIT TO ERECT SIGN
OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, April 21, 1923

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 570 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1

Owner of building to which sign is to be attached Lyman B. Chipman

Name and address of owner of sign Dr. C. F. Holt

Contractor's name and address Flynn, The Painter 245 Middle St.

When does contractor's bond expire? January 1934

Information Concerning Building

No. stories 5 Material of wall to which sign is to be attached brick

Details of Sign and Connections

Electric? no Vertical dimension after erection 20" Horizontal 5'

Weight 40 lbs. Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame wood No. advertising faces 2, material metal

No. rigid connections 2 Are they fastened directly to frame of sign? yes

No. through bolts none Size Location, top or bottom

No. guys 2, material rods Size 3/8ths"

Minimum clear height above sidewalk or street 15' 20'

Maximum projection into street 5'

Flynn, The Painter

Signature of contractor

Oliver T. Sanborn

INSPECTION COPY

CHIEF OF FIRE DEPT.

Fee \$1.00

NOTIFICATION BEFORE CLOSING OR CLOSING IS WAIVED

CERTIFICATE OF OCCUPANCY REQUIRED

10 255



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

Permit No. 1820

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Oct 21 1932

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location: 70 Congress St. Use of Building: Candy Shop

Name and address of owner: George Magelos & John Pappas Ward 5

Contractor's name and address: Portland Gas Light Co. Telephone: F. 5500

General Description of Work

To install Gas Range

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? Yes If not, which story: Kind of Fuel: Gas

Material of supports of heater or equipment (concrete floor or what kind): Concrete

Minimum distance to wood or combustible material, from top of boiler or casing top of furnace: 5 ft 6 in

from top of smoke pipe: from front of heater: from sides or back of heater: Stone wall

IF OIL BURNER

Name and type of burner: Labeled and approved by Underwriters' Laboratories?

Will operator be always in attendance? Type of oil feed (gravity or pressure)

Location oil storage: No. and capacity of tanks

Will all tanks be more than seven feet from any flame? How many tanks fireproofed?

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of contractor: Portland Gas Lt Co.

By Allen R. Andrews

INSPECTION COPY

NOTIFICATION BEFORE LATHEING
OR CLOSING-IN IS WAIVED.
CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

NOTES
12/6/32 - Rayger + hood
up - ajs

[illegible]



(G) GENERAL BUSINESS ZONE

PERMIT ISSUED
Permit No. 1794

APPLICATION FOR PERMIT

OCT 19 1932

Class of Building or Type of Structure Second ClassPortland, Maine, October 19, 1932

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 570 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Furitan Candy Shop, 570 Congress Street Telephone 857
Contractor's name and address John Nicholas, 57 Morrill Street Telephone 857
Architect's name and address _____ No. families _____
Proposed use of building Mercantile
Other buildings on same lot _____
Plans filed as part of this application? yes No. of sheets 1 Fee \$ 1.00
Estimated cost \$ 700.

Description of Present Building to be Altered

Material brick No. stories 3 Heat _____ Style of roof _____ Roofing _____
Last use _____ mercantile _____ No. families _____

General Description of New Work

To change store front as per sketch attached. - no structural change.
There are to be two entrance doors, one swinging in and the other out.
To remove non-bearing ornamental archway in the interior of the store.

CERTIFICATE OF OCCUPANCY
NOTIFICATION BEFORE LATHING
OR CLOSING IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ Height average grade to highest point of roof _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters _____ 1st floor _____ 2nd _____ 3rd _____ roof _____
On centers _____ 1st floor _____ 2nd _____ 3rd _____ roof _____
Maximum span _____ 1st floor _____ 2nd _____ 3rd _____ roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner

By John Nicholas
Furitan Candy Shop

INSPECTION COPY

Ward 5 Permit No. 32/1794

Location 570 Cingren St.

On Philadel Candy Co.

Date of permit 10/19/32.

Notif. closing-in

Insp. closing-in

Final Notif.

Final Inspn. 11/3/32

Cert. of Occupancy issued None

NOTES

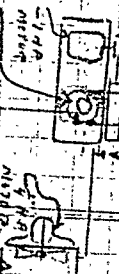
10/26/32 - New doors not
yet in place. Aged
11/3/32 - Work done agl

General Description of Work Done

(C) GENERAL BUSINESS ZONE

PROPOSED REFRIGERATING MACHINE
EQUIP
PURITAN CANDY SHOP 570 CONGRESS ST.
(LOCATED IN BASEMENT)

SHUT OFF
VALVES



SERV. TANK
REF. MACHINE
REF. CONDENSER

CANDY & CHOCOLATE DIPPER ROOM
TEMPERATURE 65°F MAX.

0-11

20-0

CONGRESS ST.

FACE OF
INSPECTOR OF BUILDINGS
PORTLAND ME.

WALTER WILLIAMS, CE ENGRS.
10 CENTRAL ME. (MAY 31, 1952)
PORTLAND ME.



(C) GENERAL PERMIT NO. 0756
APPLICATION FOR PERMIT FOR BUSINESS

Class of Building or Type of Structure

Portland, Maine June 1, 1952

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 570 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Puritan Candy Shop, 570 Congress St. Telephone _____
Contractor's name and address Geo. B. Williams, Co., 10 Central Wharf Telephone P 1322 W
Architect's name and address _____
Proposed use of building Stores and apartments No. families _____
Other buildings on same lot _____
Plans filed as part of this application? yes No. of sheets 1
Estimated cost \$ 850. Fee \$ 1.00

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Last use _____ No. families _____

General Description of New Work

To insulate room and install refrigeration equipment in basement of building

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner
Oliver T. Sanborn

By Puritan Candy Shop
Geo. B. Williams Co.

By Geo. B. Williams

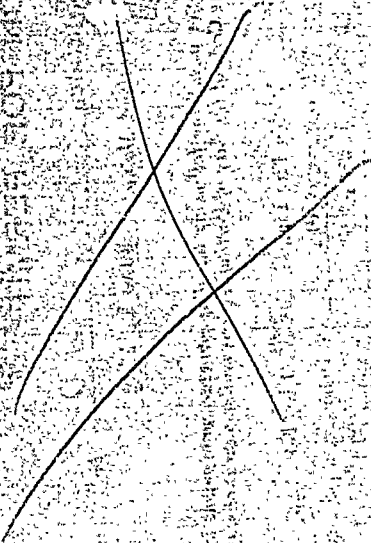
CHIEF OF THE DEPT.

75-45A

Ward 5 Permit No. 32/756
Location 570 Congress St
Owner W. L. L. Candy Co.
Date of permit 6/2/32
Notif. closing-in _____
Insp. _____ in _____
Final Notif. _____
Final Inspn. 6/6/32
Cert. of Occupancy issued None

NOTES

6/6/32 - P. I. T. - Q. J. d.



STATEMENT OF ELEVATOR TESTS

PORTLAND, MAINE,

Apr 26-32

I, Benj F. Cary, have personally supervised the
as an employee of Olin Elevator Co. as permitted
installation of alterations to the elevator, hatchways and enclosures at 572 Congress St.
under Building Permit 52/190, and have personally supervised tests of loading capacity and of all brakes, inter-
locking and all other safety devices, and I do here state that, according to my best knowledge and belief, the elevator
safely carry the maximum rated loading and all brakes, interlocking and other safety devices are in satisfactory condition.

(Signature)

PORTLAND, MAINE, April 26 1932

STATE OF MAINE

CUMBERLAND, SS:

Personally appeared the above named Benj. F. Cary
subscribed are true.

Mathew H. Foley and made oath the statements
Notary Public - Justice of the Peace

APPLICANT'S COPY

Copy to John J. Maloney Co.-270 Middle St.

PC353A-I

Copy to Otis Elevator Co.-495 Fore St. March 5, 1932

Constantino Bros.
572 Congress Street
Portland, Maine

Gentlemen:

We are issuing today a permit to the Otis Elevator Company to cover installation of hand power dumb waiter for installation in the Minerva Restaurant at 572 Congress Street.

Your attention is called to the fact that metal clad hatchway doors are required in this shaft at the second floor level, the doors to be operated automatically with the dumb waiter, or metal covered self-closing doors in metal covered frames will be required in the dumb waiter enclosure, at least in the first story. By the term "self-closing" is meant a door which is normally closed and kept closed by the action of spring hinges or a similar approved device.

Please be governed accordingly.

Very truly yours,

Inspector of Buildings.

WM/HO



APPLICATION FOR ELEVATOR PERMIT

PERMIT ISSUED
Permit No. 0190
MAR 3 1932

Portland, Maine, March 2, 1932

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.
The undersigned hereby applies for a permit to install alter elevator in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications submitted herewith, and the following specifications:

Location 572 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1
Owner's name and address Louis Constantine, 572 Congress St.
Elevator contractor's name and address Otis Elevator Co. 495 Fore St. Telephone P 224
Last use of building stores, offices and tenements No. families _____
Proposed use of building stores offices and tenements No. families _____
Material of outside walls of building brick, interior frame wood
No. of stories 4 Style of roof _____ No. of existing elevators in building _____

Remarks

Details of Proposed Work

Extent of work by elevator contractor installing hand power dumb waiter
Extent of work by owner preparing hatchway for dumb waiter
Type of elevator hand power, in new or existing shaftway new
Shaftway enclosed or open enclosed No. elevator stops 2
Capacity of elevator 100 lbs., Speed in feet per minute slow
Material of cables steel No. and size of hoisting cables 1 3/8"
Location of machinery overhead Material of supports wood, of guides wood
Minimum diameter of sheaves 10" Minimum clearance counterweights and overhead beams 2'
Minimum clearance above car at topmost floor level 2'
Minimum clearance buffer plates and springs when car is at lowest floor level 2'
Type of power hand power Type of machine traction
Will elevator be equipped with the following safety devices: governor? _____, car safety? _____, electric brakes? _____, automatic terminal stops at top and bottom? _____, slack cable stops? _____, safety floor stops? _____

If Passenger Elevator

Passenger capacity? _____ Area of platform _____ Material of enclosure _____
No. of entrances _____ Type of gates _____, interlocked? _____, automatic closing device? _____
Will elevator be automatic or will operator be in attendance? _____
Will doors in shaftway enclosure be interlocked? _____

If Freight Elevator

Area of platform 19'x27' No. of sides enclosed 2 Height of enclosure 2'
Will shaftway be enclosed? _____ Self-closing hatch gates? _____, height? _____
No. outside entrances to shaftway? _____ Self-closing slatted gates? _____, height? _____

Miscellaneous

Plans filed as part of this application? yes No. of sheets 1
Estimated cost of work by elevator contractor? \$ 200. Otis Elevator Co. Fee \$ 2.00
Signature of elevator contractor By J. F. Hall

STATEMENT OF ELEVATOR TESTS

PORTLAND, MAINE, _____

I, _____, have personally supervised the installation of alterations to the elevator, hatchways and enclosures at _____ as permitted under Building Permit _____, and have personally supervised tests of loading capacity and of all brakes, interlocking and all other safety devices, and I do here state that, according to my best knowledge and belief, the elevator will safely carry the maximum rated loading and all brakes, interlocking and other safety devices are in satisfactory condition.

(Signature)

PORTLAND, MAINE, _____

STATE OF MAINE

CUMBERLAND, SS: Personally appeared the above named _____ and made oath the statements by him subscribed are true.

INSPECTION COPY

Notary Public Justice of the Peace

Ward 5 Permit No. 32/190

Location 572 Congress St.

Owner Louis Constantine

Date of permit 3/5/32

Elev. Cont.

Statement of tests rec'd 4/26/32

Final insp. 3/15/32

Certificate issued

NOTES

DESIGN FOR ELEVATOR PERMIT

DESIGN OF PROPOSED WORK

DESIGN OF PROPOSED WORK

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ST. E ESCAPES
AND FENCES

PHONES
FOREST 8560-1

STRUCTURAL STEEL
BRIDGES

A. & H. STEEL CORP.
THE FARMER COUPLING
115-117 KENNEBEC STREET
PORTLAND, MAINE

February 26, 1932

Mr. McDonald, Building Inspector
City Hall
Portland, Maine

Dear Sir:

Enclosed find blueprint of proposed fire
escape for Minerva Lunch, Free Street side.

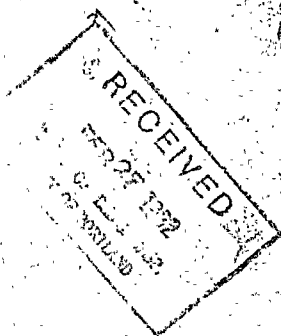
The plan having been approved by the fire
chief we are fabricating it as per enclosed plan.

Very truly yours,

A. & H. Steel Corp.

W. L. Adams
W. L. Adams

WLA:ML





(3) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

MAR 1 1932

Portland, Maine, February 10, 1932

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 572 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1

Owner's or Lessee's name and address Constantine Bros. (Minerva Lunch) Telephone _____

Contractor's name and address John J. Maloney Co., 270 Middle St., Telephone 7785

Architect's name and address _____

Proposed use of building Restaurant, offices and apartments No. families _____

Other buildings on same lot _____

Plans filed as part of this application? to be sent in No. of sheets _____

Estimated cost \$ 400. Fee \$.75

Description of Present Building to be Altered

Material brick No. stories 3 Heat _____ Style of roof _____ Roofing _____

Last use restaurant, offices and apartments No. families _____

General Description of New Work

- To remove existing rear stairway between first and 2d floor and floor over opening
- To cover over existing skylight in the roof at second floor level and provide legal roofing
- To construct dumb waiter shaft app. 2'6" x 2'6", dumb waiter to run from first floor level to second floor level and to be covered by separate permit by that contractor. The opening in the second floor is to be protected by self closing metal covered doors of approved type.
- To construct counter-balanced fire escape from second floor to Free Street sidewalk, and to provide glass panel in door from hall to bakery on second floor bearing the instruction to break the glass and reach the fire escape in case of fire - proper hardware to be provided on this door so it can always be operated from the bakery side.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

2/10/32 - Preliminary permit given Details of New Work except fire escape.

Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto

are observed? yes

RECEIVED
INSPECTION COPY

Signature of owner

Constantine Bros.
By John J. Maloney Co.

By

John J. Maloney

CHIEF OF FIRE DEPT.

64801

Ward 5 Permit No. 32/185

572 Congress St

Owner Canadian Line Bldg

Date of permit 3/1/32

Notif. closing in

Inspr. closing in

Final Notif.

Final Inspr. 5/7/32

Cert. of Occupancy issued None

NOTES

3/5/32 - Blowing machine erected. Check on machine. 3/11/32 - Blowing machine erected. Check on machine. 3/24/32 - Blowing machine erected. Check on machine.

4/7/32 - Blowing machine erected. Check on machine. 4/29/32 - Blowing machine erected. Check on machine. 5/6/32 - Blowing machine erected. Check on machine. 5/7/32 - Blowing machine erected. Check on machine.

185



(G) GENERAL BUSINESS ZONE

PERMIT ISSUED

APPLICATION FOR PERMIT TO ERECT SIGN
OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, 2/17 1932

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 568 Congress Street Ward 5 Within Fire Limits? Yes Dist. No. 1

Owner of building to which sign is to be attached Chas. Bickford

Name and address of owner of sign Minerva Lunch Co. 568 Congress St. Portland, Me.

Contractor's name and address Kimball System of Portland, 51 Cross St. Telephone P-1514

When does contractor's bond expire? 1932

Information Concerning Building

No. stories 4 Material of wall to which sign is to be attached Brick

Details of Sign and Connections

Electric? Yes Vertical dimension after erection 18' Horizontal 3'

Weight 1000 lbs., Will there be any hollow spaces? Yes Any rigid frame? Yes

Material of frame 3" angle iron No. advertising faces 2, material galv. iron

No. rigid connections 7 Are they fastened directly to frame of sign? Yes

No. through bolts 2, Size 5/8, Location, top or bottom bottom & near top

No. guys 0, material Galv. cable, Size 1/4"

Minimum clear height above sidewalk or street 15'

Maximum projection into street 6'

Fee \$

Signature of contractor The Kimball System of Portland

INSPECTION COPY Oliver T. Sanborn

CHIEF OF FIRE DEPT.

NOTIFICATION TO FIRE DEPT.
OR CLOSING IN
CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED



FILL IN COMPLETELY AND SIGN WITH INK

Permit No. 0166

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Feb 12 1932

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment, in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 574 Congress St. Use of Building Restaurant

Name and address of owner Louis K. Constantine Ward 5

Contractor's name and address Portland Gas Light Co. Telephone 5500

General Description of Work

To install Gas Range

NOTIFICATION BEFORE LATHING
OR CLOSING-IN IS WAIVED.

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? no If not, which story 1st Kind of Fuel Gas
Material of supports of heater or equipment (concrete floor or what kind) 3 to 5" of concrete tile on wood
Minimum distance to wood or combustible material, from top of boiler or casing top of furnace, 8 ft.
from top of smoke pipe 4 ft., from front of heater 3 ft. from sides or back of heater 3 in.

IF OIL BURNER

Name and type of burner _____ Approved by Underwriters' Laboratories? _____
Location oil storage _____ No. and capacity of tanks _____
Will all tanks be more than seven feet from any flame? _____ How many tanks fireproofed? _____
Amount of fee enclosed? \$1.60 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of contractor Portland Gas Light Co.
By Allen R. Andrews.

INSPECTION COPY

6881A