

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 031092

This is to certify that Sargent Nancy D & Colin W (Joe) Lo

has permission to Reface Existing 8'x1.5' Sign

AT 578 Congress St 037 G006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must given and when permission procured before this building or part thereof laid or closed-in. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature]
9/16/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1092	Issue Date:	CBL: 037 G006001
-----------------------	-------------	---------------------

Location of Construction: 578 Congress St	Owner Name: Sargent Nancy D & Colin W Jts	Owner Address: 294 Spring St	Phone: 774-7664
Business Name:	Contractor Name: Joe Loring	Contractor Address: Portland	Phone: 2078295063
Lessee/Buyer's Name	Phone:	Permit Type: Signs - Permanent	Zone: B3

Past Use: Retail/Commercial	Proposed Use: Retail/Commercial	Permit Fee: \$66.00	Cost of Work: \$66.00	CEO District: 2
--------------------------------	------------------------------------	------------------------	--------------------------	--------------------

FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>J</i> Type: <i>NA</i> <i>Sign 9/16/03</i> <i>[Signature]</i>
--	---

Proposed Project Description:
 Reface Existing 8'x1.5' Sign

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
 Action: Approved Approved w/Conditions Denied
 Signature: *D. Andrews* Date: *9/14/03*

Permit Taken By: gad	Date Applied For: 09/02/2003	Zoning Approval
-------------------------	---------------------------------	------------------------

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/10/03</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>to DA 9/10/03</i> Date:
--	---	--	--

DA. 9/14/03

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____



03-1092

Sign Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of construction: <u>578 Congress Street Portland 04101</u>		Zone: <u>B-3</u>
Total square footage of proposed structure: <u>2,226</u>	Square footage of lot: <u>682</u>	Lot frontage: <u>17'</u> Tenant frontage <u>17'</u>
Tax Assessor's Chart, Block & Lot Chart# <u>37</u> Block# <u>6</u> Lot# <u>6</u>	Owner: <u>William Stauffer</u>	Telephone: <u>207-774-7664</u>
Lessee/buyer's name (If applicable) <u>William Stauffer</u> <u>Storreytime, LLC</u> Applicant name, address & telephone: <u>578 Congress St.</u> <u>Sk 200</u> <u>Portland 04101</u> <u>207-774-7664</u>	Current use: <u>office & retail</u> Proposed use: <u>office & retail</u> If vacant, prior use: _____ How long has it been vacant? <u>3 mos</u> Project description: _____ Number of tenants in lot? <u>3</u>	Total s.f. of signage <u>18</u> \$1.00 per s.f. \$ <u>18</u> , plus \$30.00 base fee Fee: \$ <u>48.66⁰⁰</u> Awning-without signage: \$30.00 for first \$1,000 plus \$7.00 each addit. \$1,000 <u>\$16.00</u> Fee: \$ <u>66.00</u>
Freestanding sign? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No More than one sign? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Sign Attached to Building? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Dimensions _____ Height _____ Dimensions _____ Height _____ Dimensions <u>18' long</u> Height <u>1.5'</u>	
Awning <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Is awning backlit? <input type="checkbox"/> Yes <input type="checkbox"/> No Height off sidewalk? _____ Awning Height: _____ Length: _____ Depth: _____ Is there any message, trademark or symbol on it? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, total s.f. of panels/graphics: _____ Please describe: <u>we propose to re-use the original sign with the new company name, Storreytime, LLC (Also, please see attached)</u>		
List ALL existing signage and their dimensions: <u>A Maharan's closet @ 8' X 1.5'</u>		
Contractor's name, address & telephone: <u>Joe Loing 207-829-5063</u> Who should we contact when the permit is ready: <u>William Stauffer</u> <u>4111 cell</u> Mailing address: <u>578 Congress St. Sk 200 Portland ME 04101</u> Phone: <u>207-774-7664</u>		
Once your permit is approved, we will notify you to come in and pick up your permit and review the requirements with our plan reviewer. Beginning work prior to receiving your permit will result in a violation fee of \$50.00.		

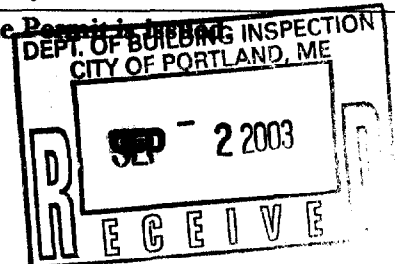
Please submit all of the information outlined in the Signage Application Checklist including a building sketch showing exactly where existing is and proposed signage will be located. Please include sketches/pictures of proposed signage. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: William Stauffer Date: 8-29-03

This is not a Permit; you may not commence any work until the Permit is issued.



SIGNAGE/AWNING PRE-APPLICATION QUESTIONNAIRE

PLEASE ANSWER ALL QUESTIONS

ADDRESS: 578 Congress St. Ste 200 ZONE: B-3

CBL: 37 G 6

SINGLE TENANT LOT? YES NO MULTI TENANT LOT? YES NO
MORE THAN ONE SIGN TOTAL WITH PROPOSED SIGN? YES NO

one sign existing

INFORMATION ON PROPOSED SIGN(S):

FREESTANDING (e.g., pole) SIGN? YES NO DIMENSIONS PROPOSED: _____

BLDG. WALL SIGN? (attached to bldg) YES NO DIMENSIONS PROPOSED: 18' x 1.5'

279

INFORMATION ON ALREADY EXISTING AND PERMITTED SIGN(S):

FREESTANDING (e.g., pole) SIGN? YES NO DIMENSIONS: _____

BLDG. WALL SIGN(attached to bldg) ? YES NO DIMENSIONS: 8' x 1.5'

AWNING? YES NO DIMENSIONS: _____

LOT FRONTAGE (FEET): 17'
TENANT/ALLOCATED BUILDING SPACE FRONTAGE (FEET): 17' x 2 = 34' MAX

AWNING YES NO IS AWNING BACKLIT? YES NO

HEIGHT OF AWNING: _____ LENGTH OF AWNING: _____ DEPTH: _____

IS THERE ANY COMMUNICATION, MESSAGE, TRADEMARK OR SYMBOL ON IT? YES NO

IF YES, TOTAL S.F. OF PANELS WITH COMMUNICATIONS/MESSAGE/TRADEMARK/SYMBOL? _____ s.f.

A SITE SKETCH AND BUILDING SKETCH SHOWING EXACTLY WHERE EXISTING AND NEW SIGNAGE IS LOCATED MUST BE PROVIDED. SKETCHES AND/OR PICTURES OF PROPOSED SIGNAGE ARE ALSO REQUIRED.

SIGNATURE OF APPLICANT: [Signature] DATE: 8/29/03

***** FOR OFFICE USE ONLY *****

ACORD
TM

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
AUG 29 03

PRODUCER
STEPHEN P ST ANGELO
ANDERSON WATKINS ASSOCIATES, INC
31 CENTRAL STREET
WESTBROOK ME 04092

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED
WILLIAM STAUFFER
C/O BIBEAU & COMPANY LLC
30 NOYES ST
PORTLAND ME 04103

INSURERS AFFORDING COVERAGE

NAIC #

INSURER A:	MERRIMACK MUTUAL INSURANCE CO	19798
INSURER B:		
INSURER C:		
INSURER D:		
INSURER E:		

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSURER LETTER	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	BINDER	AUG 20 03	AUG 20 04	EACH OCCURRENCE \$ 1,000,000
	DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000 MED. EXP (Any One Person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS COMP/OP AGG. \$ 1,000,000				
	GEN'L AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC				
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Per accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
	EXCESS / UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATUTORY LIMITS OTHER E.L. EACH ACCIDENT \$ E.L. DISEASE-EA EMPLOYEE \$ E.L. DISEASE-POLICY LIMIT \$
	OTHER:				

DESCRIPTION OF OPERATIONS/LOCATION/VEHICLES/EXCLUSIONS ADDED ENDORSEMENT/ SPECIAL PROVISIONS

ADDITIONAL INSURED: CITY OF PORTLAND

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER:

CANCELLATION

CITY OF PORTLAND
389 CONGRESS ST
PORTLAND ME 04101

Attention:

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES

AUTHORIZED REPRESENTATIVE

COPY

N O M I N A T I O N

*The Portland Monthly Building, 578 Congress Street, Portland, Maine.
Owners: Nancy and Colin Sargents.*

CIGAR STORE. Optical Shop. Newsstand. Grocery store. Derelict structure. Warehouse. Video arcade. Since 1821, the little brick building at the top of Forest Avenue, 578 Congress Street — survivor of the Great Fire of 1866 and now possibly the oldest commercial building still extant between Monument Square and Longfellow Square — has slid in and out of dozens of inconspicuous identities, forgotten through the decades until it became a symbol of the Portland Everybody Forgot, a building that quite ironically endured and outlived its larger companions because it was too small to restore, too insignificant to tear down.

Was a brighter future for the building unforeseeable? Nearly. Jammed with dusty video machines, decaying fiberboard, rotting paint, and the dust and ashes of half a century, few could see through the flaking mustard paint, broken windows, and the giant yellow PAC-MAN cartoon scrawled on the storefront at street level. Neighbors had despaired of the building ever being restored, and the building was owned by remote control by a Texas investor who had no plans to improve the building's appearance or function.

But the moment the Texas investor put it on the market, on a Sunday morning in the summer of 1987, Nancy and Colin Sargent, owners of Portland Monthly magazine, put every cent they had into a downpayment on a dream. Nancy in particular, who had lived in Richmond's Fan district during its renovation period, saw the charming possibilities of such a visible little headquarters for the city's namesake magazine. And Portland native and magazine editor Colin was inspired by memories of seeing the building when he rode orange and cream colored buses into town during the 1960s, back when Hav's Drug Store served vanilla frappes and the Planter's Peanut Man walked along Congress Street, greeting shoppers. A perfect building in the center of the real Portland, a place that needed improving, a place small — tiny, really — but still able to make an enormous difference if restored.

The building was so far gone that the Sargents feared that no local bank would lend assistance to the restoration. But combined talents of Coastal Bank and RDS Construction Co., which had so beautifully rediscovered the "Ruby's Choice" building on nearby Free Street, jumped into action and soon sidewalk strollers saw the dramatic transformation.

Surprises were many. In the basement, an original ornate, detailed sign for the cigar store in the building used during the Victorian period was discovered behind the furnace. Excited, the Sargents decided to have this original sign completely restored and used on the building once again, for Portland Monthly and the time, efforts, and results have been rewarded by external signage that absolutely rings true to the period.

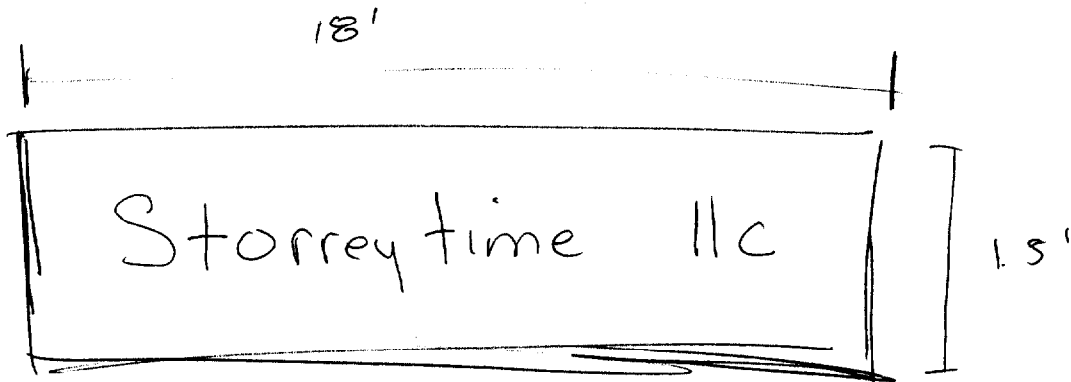
Other restoration aspects were more difficult to achieve.

The original doors — irreplaceably authentic commercial wood and glass doors, original to the building, were reclaimed from years of overpainting and neglect. The painting, sanding, and filling was extensive, but the finished product keeps the spirit of the restoration alive. In addition, the interior of the building was shielded by layer after layer of fiberboard, wallpaper, linoleum, tar paper, and plaster. Demolition was prohibitively costly, and was advised against on numerous occasions because of the difficulty in peeling back all the debris to find real brick, but the Sargents were intent upon bring the building completely back to real brick on the outside AND the inside, and the outstanding brick detailing visible on all floors of the building is dramatically worth it. Also revealed: ancient, beautiful floor timbers, and two levels of original transoms where dry goods were vertically hoisted to the third floor, were exposed, which required an artistic eye and an engineer who strengthened the beams in order to make the high ceilings beautiful and safe.

Next, after discussions with architects and Landmarks representatives, the Sargents got caught up with the history and scholarship of the period. Old black and white photos were consulted to provide a sense of the spirit of the building. Through these and paint samples, it was possible to select striking, authentic colors (grey, cream trim, maroon/plum doors) to recreate the heyday of the period when the building was at its zenith. Signage was checked, and it was possible to exactly replace the original sign.

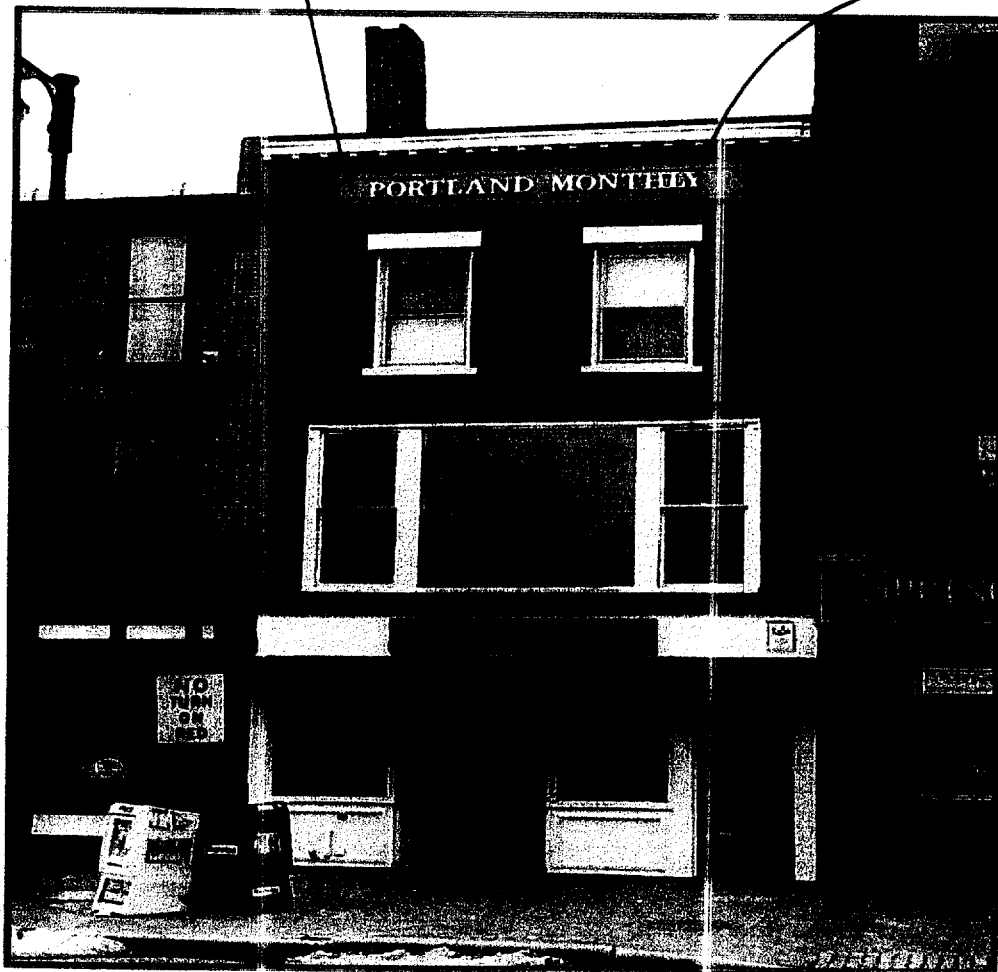
Though the building is only 2,100 square feet, the surrounding neighborhood has been delighted, uplifted by the restoration. The flower shop next door, Paul's Grocery Store, Springer's and Cross Jewelers... The owners have received congratulations and good will from every business in the area, and an entirely positive, galvanizing feeling has been springing from the area, coincident with the restoration. And, best of all, little intangibles like other storefronts sprucing up, more window washing, etc. are happening as a result of a new pride in the immediate area.

We are most proud to nominate the Portland Monthly building, at the top of Forest Avenue in Congress Street, for one of the annual Landmarks awards. We are in love with this building and with this city, and though small, we share mutual delight that this small family business and small owner-occupied historical building have found each other.



Same gold lettering

letters read Storrey time llc



Frontage 17 Feet

Tuesday, September 02, 2003

City of Portland
Gail

Dear Gail:

Karen Gellis of Storreytime, LLC has permission to apply for a permit and put a sign up on 578 Congress Street. I have reviewed her application and desire to use the original sign from the building and fully approve her putting a sign up at 578 Congress Street. If you have any questions please feel free to contact me at 207-774-7664. Thank you.

Sincerely,



William Stauffer
Owner, 578 Congress Street