

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that BBC, INC – SPRINGERS JEWELERS

Located At 580 CONGRESS ST

Job ID: 2012-05-3896-ALTCOMM

CBL: 037- G-005-001

has permission to Renovate 1st fl retail, new entrance on Free St., structural roof framing for HVAC, renovate elevator shaft provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

[Signature] *[Signature]* 6/12/12
Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-05-3896-ALTCOMM	Date Applied: 5/1/2012	CBL: 037- G-005-001	
Location of Construction: 580 CONGRESS ST	Owner Name: BBC, INC.	Owner Address: 76 WOODLAND DR FALMOUTH, ME 04105	Phone: 772-5404
Business Name:	Contractor Name: EJ Construction - Phil Engel	Contractor Address: 10C BEACH ST PORTLAND MAINE 04101	Phone: (207) 775-0123 415-4252
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG ALT	Zone: B-3
Past Use: 1 st floor-retail (Springers) 2 nd floor-offices 3 rd floor-offices 4 th flr storage/unoccupied	Proposed Use: Same: Retail/offices/unoccupied storage - renovate 1st floor store - new display cabinetry, new store entrance on Free St - reconfigure roof framing to support HVAC - rebuild elevator shaft	Cost of Work: \$282,000.00 Fire Dept: 6/6/12 Signature: <i>Bjornberg</i> (58)	CEO District: Inspection: Use Group: m/B Type: 3A IBC-2009 Signature: <i>JMB</i>
Proposed Project Description: Interior Renovations w/Exterior door window change		Pedestrian Activities District (P.A.D.) 6/12/12	
Permit Taken By: Lannie		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>___ Maj ___ Mth ___ MM</p> <p>Date: <i>OK with conditions</i> <i>5/14/12</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>5/14/12</i></p>	<p>Historic Preservation <i>within</i></p> <p><input type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input checked="" type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>5/14/12</i> <i>D. A. ...</i></p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Acting Director of Planning and Urban Development
Gregory Mitchell

Job ID: 2012-05-3896-ALTCOMM

Located At: 580 CONGRESS ST

CBL: 037- G-005-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. Separate permits shall be required for any new signage.
3. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
4. Separate permits are required for the new HVAC roof top units.

Historic

1. All details to conform to plans reviewed and approved by the Historic Preservation Board on 2/15/2012.

Fire

1. All construction shall comply with City Code Chapter 10.
2. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
3. The applicant shall confirm with the State Fire Marshal's Office if Fire Marshal approval is required.
4. All outstanding code violations shall be corrected prior to final inspection.
5. A separate Fire Alarm Permit is required. This review does not include approval of fire alarm system design or installation.
6. Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.
7. The fire alarm system shall comply with the City of Portland Standard for Signaling Systems for the Protection of Life and Property. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department.
8. Installation shall be in accordance with NFPA 13. A signed compliance letter will be required.
9. A separate Suppression System Permit is required. This review does not include approval of sprinkler system design or installation.
10. Sprinkler supervision shall be provided in accordance with NFPA 101, *Life Safety Code*, and NFPA 72, *National Fire Alarm and Signaling Code*.

11. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
12. Fire department connection type and location shall be approved in writing by fire prevention bureau. The Fire Department will require Knox locking caps on all Fire Department Connections on the exterior of the building.
13. System acceptance and commissioning must be coordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.
14. Installation of a sprinkler or fire alarm system requires a Knox Box to be installed per city ordinance.
15. A firefighter Building Marking Sign is required.
16. Fire extinguishers are required per NFPA 1.
17. All means of egress to remain accessible at all times.
18. Latches and locks; including electrically controlled egress door assemblies; shall comply with NFPA 101:7.2.1.5. A compliance letter is required for electrically controlled or special locking arrangements.
19. A special inspections report is required for the fire escape. In the down position the fire escape shall not obstruct the required egress discharge from the Free Street exit.
20. New elevators are required to be ADA compliant and accommodate an 80 x 24 stretcher.
21. Elevator landing/lobby exit access shall comply with NFPA 101:7.4.1.6.
22. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
23. Any cutting and welding done will require a Hot Work Permit from Fire Department.
24. Walls in structure are to be labeled according to fire resistance rating. IE; 1 hr. / 2 hr. / smoke proof.
25. A single source supplier should be used for all through penetrations.

Building

1. Application approval based upon information provided by applicant or design professional. Any deviation from approved plans requires separate review and approval prior to work.
2. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM E 814 or UL 1479, per IBC 2009 Section 713.
3. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Underslab plumbing/Electrical

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



General Building Permit Application

B-3

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>580 Congress St. Portland, ME</u>		
Total Square Footage of Proposed Structure/Area <u>2065</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>037 - G - 005 - 001</u>	Applicant * must be owner, Lessee or Buyer * Name <u>BBC, INC.</u> Address <u>76 Woodland Dr.</u> City, State & Zip <u>Falmouth, ME 04105</u>	Telephone: <u>772-5404</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>281,813</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Retail store</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Retail store</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Renovate interior of first floor retail store + install new display cabinetry. Create new store entrance on Free St. + add 2 windows. Reconfigure 4th floor roof framing to support new rooftop HVAC equipment. Remove basement non-bearing partitions and shelves. Rebuild existing elevator shaft for future elevator and renovate elevator lobbies on 2nd and 3rd floors.</u>		
Contractor's name: <u>EJ CONSTRUCTION, INC.</u> Address: <u>100 Beach St.</u> City, State & Zip <u>Portland, ME 04101</u> Telephone: <u>775-0123</u> Who should we contact when the permit is ready: <u>Phil Engel</u> Telephone: <u>415-4252</u> Mailing address: <u>Same</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the City official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable time to enforce the provisions of the codes applicable to this permit.

Signature: <u>[Signature]</u>	Date: <u>5/1/12</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

RECEIVED
MAY 01 2012
Dept. of Building Inspections
City of Portland Maine



Certificate of Design Application

From Designer: Brian E. Duffy R.A.
 Date: May 1, 2012
 Job Name: Springer's Jewelers
 Address of Construction: 580 Congress St. Portland, ME

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2009 IBC Use Group Classification (s) _____

Type of Construction Commercial

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Yes, NFPA 13 system

Is the Structure mixed use? Yes offices/retail If yes, separated or non separated or non separated (section 302.3) Separated

Supervisory alarm System? Yes Geotechnical/Soils report required? (See Section 1802.2) N/A

Structural Design Calculations

N/A Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>N/A</u>	<u>N/A</u>

Wind loads (1603.1.4, 1609)

- N/A Design option utilized (1609.1.1, 1609.6)
- N/A Basic wind speed (1809.3)
- N/A Building category and wind importance factor, I_w (table 1604.5, 1609.5)
- N/A Wind exposure category (1609.4)
- N/A Internal pressure coefficient (ASCE 7)
- N/A Component and cladding pressures (1609.1.1, 1609.6.2.2)
- N/A Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

- N/A Design option utilized (1614.1)
- N/A Seismic use group ("Category")
- N/A Spectral response coefficients, S_D & S_{D1} (1615.1)
- N/A Site class (1615.1.5)

- N/A Live load reduction
- 20 PSF Roof live loads (1603.1.2, 1607.11)
- 42 PSF Roof snow loads (1603.7.3, 1608)
- 60 PSF Ground snow load, P_g (1608.2)
- 42 PSF If $P_g > 10$ psf, flat-roof snow load P_f
- 1.0 If $P_g > 10$ psf, snow exposure factor, C_e
- 1.0 If $P_g > 10$ psf, snow load importance factor, I_s
- 1.0 Roof thermal factor, C_t (1608.4)
- N/A Sloped roof snowload, P_s (1608.4)
- N/A Seismic design category (1616.3)
- N/A Basic seismic force resisting system (1617.6.2)
- N/A Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)
- N/A Analysis procedure (1616.6, 1617.5)
- N/A Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

- N/A Flood Hazard area (1612.3)
- _____ Elevation of structure

Other loads

- 650#, 300# Concentrated loads (1607.4)
- N/A Partition loads (1607.5)
- N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Accessibility Building Code Certificate

Designer: BRIAN E. DUFFY R.A.

Address of Project: SPRINGERS JEWELRY · 580 CONGRESS ST.

Nature of Project: RENOVATION OF 1ST FL. STORE FRONT
WITH NEW ENTRY & WINDOWS ON
FREE STREET

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

Signature: Brian E. Duffy R.A.

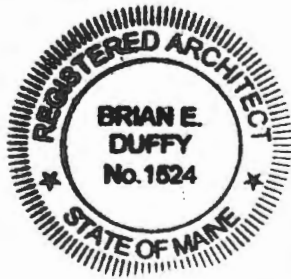
Title: ARCHITECT

Firm: Brian E. Duffy Assoc.

Address: 65 FALMOUTH RD
FALMOUTH, ME 04105

Phone: 207-838-9500

(SEAL)



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

Date: APRIL 30, 2012

From: BRIAN E. DUFFY R.A.

These plans and / or specifications covering construction work on:

SPRINGER'S JEWELRY STORE @ 580 CONGRESS ST.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.

Signature: Brian E. Duffy R.A.

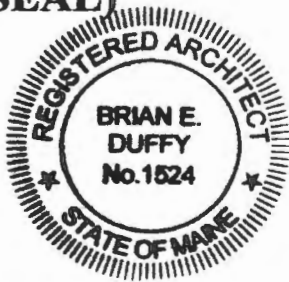
Title: ARCHITECT

Firm: Brian E. Duffy Assoc.

Address: 65 FAIRMOUTH RD.
FAIRMOUTH, ME 04105

Phone: 207-838-9500

(SEAL)



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

EJ CONSTRUCTION INC

RESIDENTIAL / COMMERCIAL

May 1, 2012

Fire Department Requirements

Springer's Jewelers Renovation - Permit Application

Applicant:

Phil Engel
EJ Construction, Inc.
10C Beach St.
Portland, ME 04101
207-775-0123

Architect:

Brian E. Duffy Associates
65 Falmouth Rd.
Falmouth, ME 04105
207-838-9500

Proposed Use of Structure: Unchanged: Retail Store/Offices

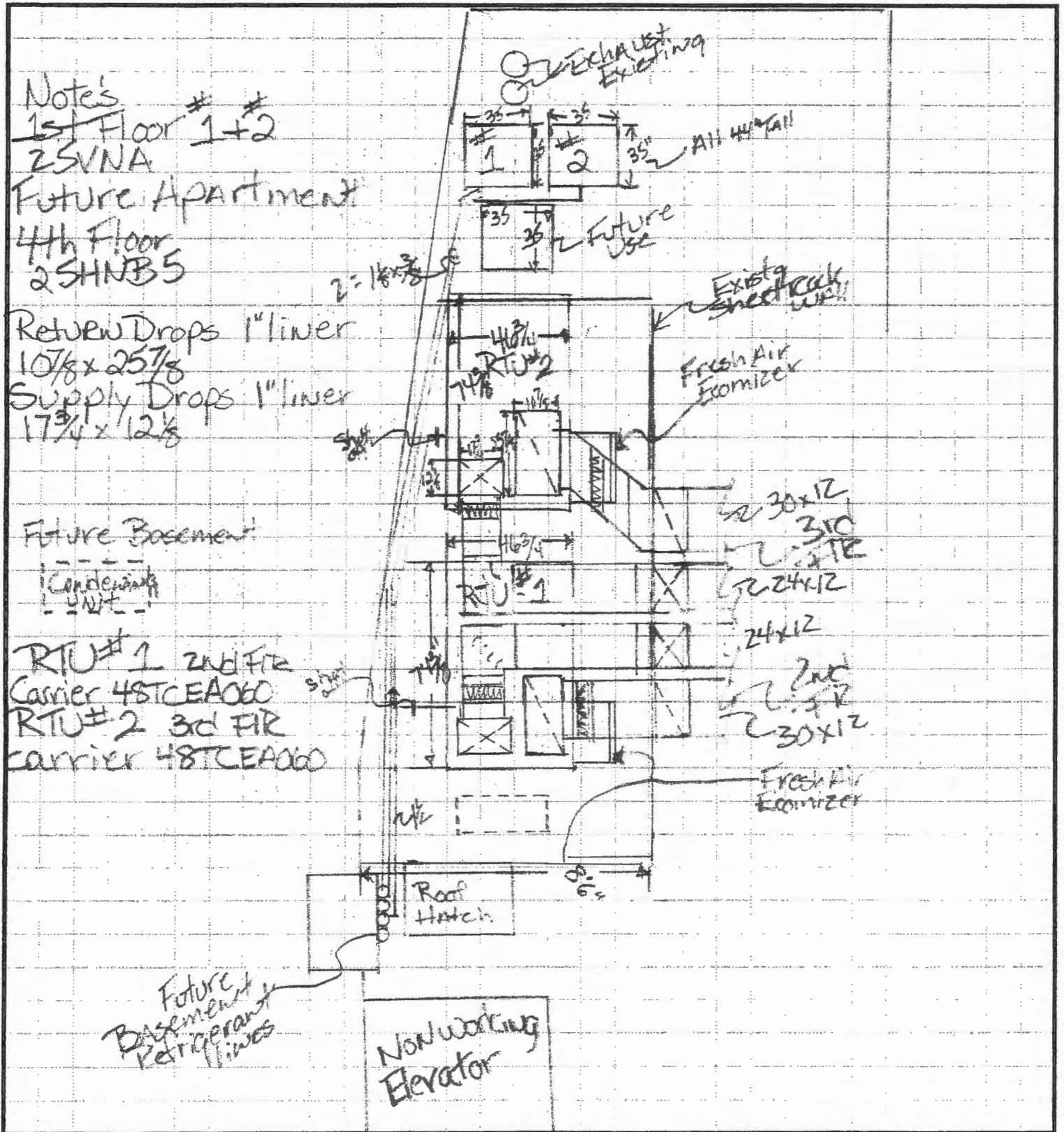
Square Footage: 2065 sq. ft. x 4 floors = 8260 sq. ft.

Existing fire protection: None

Proposed fire protection: NFPA 13 sprinkler system on renovated first floor - Design to follow from sprinkler company.

Duct Layout

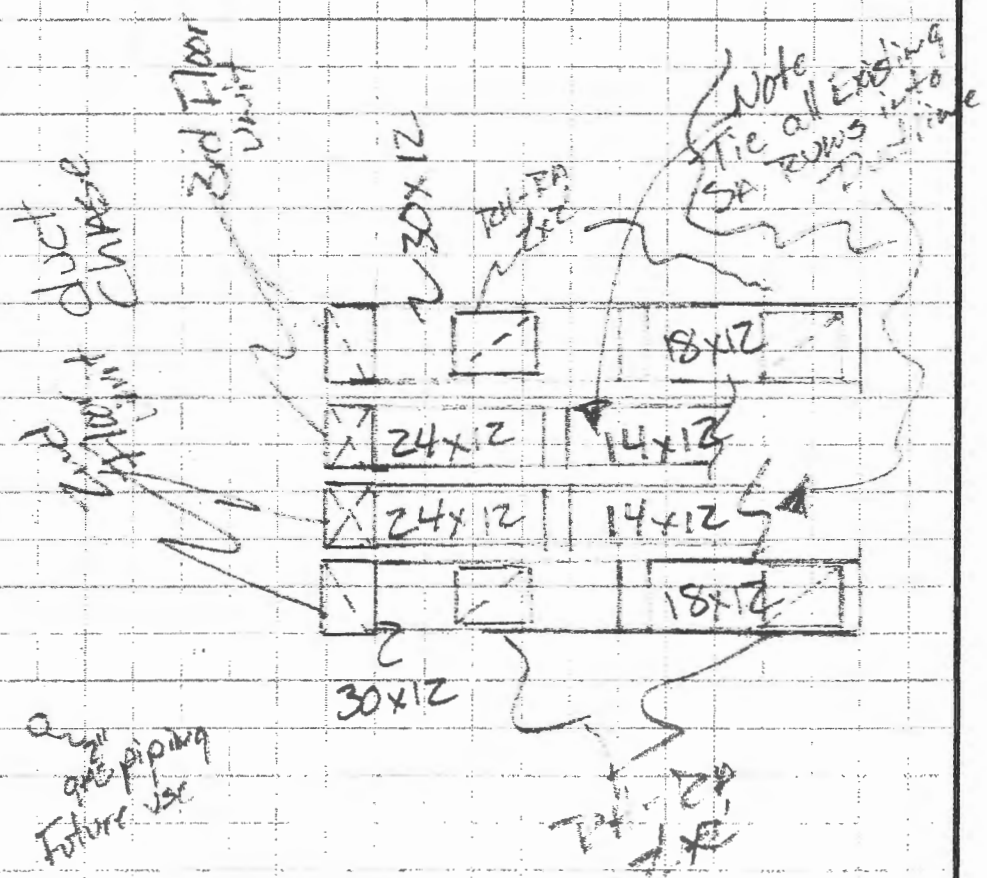
(See System Layout for Equipment Locations)



Duct Layout

(See System Layout for Equipment Locations)

Note wrap all duct work with 1/2" insulation.



Jeanie Bourke - Re: Springers Jewelry Store Renovations

From: Brian Duffy <bedassoc@earthlink.net>
To: Jeanie Bourke <JMB@portlandmaine.gov>
Date: 6/12/2012 1:29 PM
Subject: Re: Springers Jewelry Store Renovations

| Jeanie,

| Re:

| Springers Jewelry Store Renovations

| 580 Congress Street / Free Street

| Portland, Maine 04101

| 1. All wall types show on sheet A-104 will be the controlling types for this project

| 2. The structural engineer for this project is:

| Dave Pinkham ME Eng. # 4433

| Pinkham and Greer Consulting Engineers

| 28 Vannah Avenue

| Portland, Maine 04103

| Tel: 207-781-5242

| Brian E. Duffy Associates incorporated David design into the drawing set.

| Brian E. Duffy RA # ME 1524

|
Brian E. Duffy Assoc.
65 Falmouth Road
Falmouth, ME 04105



RECEIVED
 JUN 12 2012
 Dept of Building Inspections
 City of Portland Maine

FREE STREET ELEVATION
 Scale: 1/4" = 1'-0"

architect: brian e. duffy associates
 65 falmouth road, falmouth, maine 04105
 01-17-2012 (03)

Springer's Jewelers
 580 CONGRESS STREET, PORTLAND, MAINE