

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

**PERMIT ISSUED**

Permit No: 02-0366	Issue Date: MAY - 1 2002	CBL: 037 G005001
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Location of Construction: 580 Congress St	Owner Name: Bbb Inc	Owner Address: 76 Woodland Dr <b>CITY OF PORTLAND</b>	Phone: 878-4968
Business Name:	Contractor Name: EJ Construction	Contractor Address: 10-A Beach Steet Portland	Phone: 2077750123
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Office Space	Proposed Use: Office Space	Permit Fee: \$758.00	Cost of Work: \$105,000.00	CEO District: 2
Proposed Project Description: Interior Renovations to New Office Space/Replace Stair Tower 4th Floor		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: 3A 4/30/02 Signature: <i>[Signature]</i>	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	
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Permit Taken By: gad	Date Applied For: 04/11/2002	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Denied Date: <i>OK with conditions 4/19/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review interior only <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied to D.A. 4/19/02 Date: <i>DA 4/29/02</i>
	Handwritten notes: <i>1st floor to remain retail-like is located within P.A.D. district</i>		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Application ID Number: 2-0366

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 580 Congress St

Approve Date: 04/18/2002

Given By Date: 04/18/2002

Other Issue Permit Issued By: Marge Schmuckal Date: 04/18/2002

This property is located within the Pedestrian Activites District (PAD). This requires the 1st floor to remain retail-like. Any changes of uses SHALL require a separate permit PRIOR to any changes.

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Separate permits shall be required for any new signage.

Create Date: 04/16/2002 By: gad

Update Date: 04/18/2002 By: mes

Application ID Number: 2-0366

Delete

Save

Close

Department: Building

Status: Approved with Conditions

Reviewer: Mike Nugent

Comments:

Approval Date: 04/30/2002

Given On Date: 04/29/2002

OK to Issue Permit

Name: Mike Nugent

Date: 04/30/2002

Date 2:

Conditions Section:

Add New Condition From

Add New Condition

Delete Condition

Floor/Ceiling assemblies, if altered or replaced must have a 1hr. Fire resistance rating



Create Date: 04/16/2002 By: gad

Update Date: 04/30/2002 By: mjn

02-0366


# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

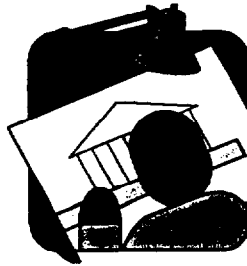
Location/Address of Construction: <u>580 Congress St. Portland, ME</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>037</u> Block# <u>G</u> Lot# <u>005</u>	Owner: <u>Rick Beaulieu</u> <u>B.B.B. Inc.</u>	Telephone: <u>207-878-4968</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>EJ Construction, Inc.</u> <u>10 A Beach St.</u> <u>Portland, ME 04101</u>	Cost Of Work: <u>\$105,000</u> Fee: <u>\$758.00</u>
Current use: <u>Office space</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Office space</u>		
Project description: <u>Remove and replace entire stair tower, 1st - 4th floors. Gut 2nd and 3rd floors, and refinish 2nd for new offices, and part of 3rd floor for same.</u>		
Contractor's name, address & telephone: <u>EJ Construction, Inc.</u>		
Who should we contact when the permit is ready: <u>Phil Engel</u>		
Mailing address: <u>10 A Beach St.</u> <u>Portland, ME 04101</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>775-0123 office</u> <u>415-4252 cell</u>		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>4/11/02</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall**



**CITY OF PORTLAND MAINE**

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

FROM DESIGNER: BRIAN E. DUFFY ASSOCIATES

10 BEACH STREET • PORTLAND, ME 04101

DATE: APRIL 8, 2002

Job Name: RENOVATIONS TO SPRINGERS JEWELERS

Address of Construction: 500 CONGRESS STREET • PORTLAND, ME 04101

**THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION**

Construction project was designed according to the building code criteria listed below:

Building Code and Year 1999 Use Group Classification(s) B

Type of Construction 3A Bldg. Height 37'± Bldg. Sq. Footage 2128 PER FLOOR

Seismic Zone N.A. Group Class N.A.

Roof Snow Load Per Sq. Ft. N.A. Dead Load Per Sq. Ft. N.A.

Basic Wind Speed (mph) N.A. Effective Velocity Pressure Per Sq. Ft. N.A.

Floor Live Load Per Sq. Ft. NEW REBUILT STAIR: 100 PSF. UNIFORM LIVE LOAD  
300 POUNDS CONCENTRATED LOAD

Structure has full sprinkler system? Yes \_\_\_\_\_ No X Alarm System? Yes \_\_\_\_\_ No X

Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes \_\_\_\_\_ No X

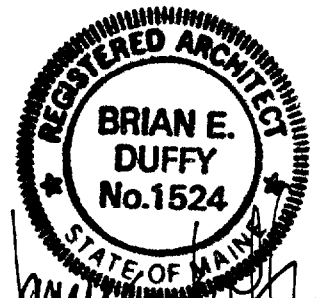
If mixed use, what subsection of 313 is being considered \_\_\_\_\_

List Occupant loading for each room or space, designed into this Project. 20 PEOPLE PER FLOOR

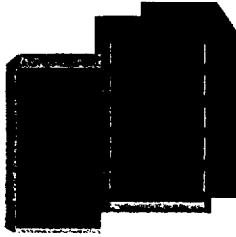
N.A. = NOT APPLICABLE,  
INTERIOR RENOVATIONS ONLY

(Designers Stamp & Signature)

PSH 6/07/2K



*Brian E. Duffy*



**CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Rm 315  
Portland, ME 04101**

**TO:** Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

**FROM:** ARCHITECT

**RE:** Certificate of Design

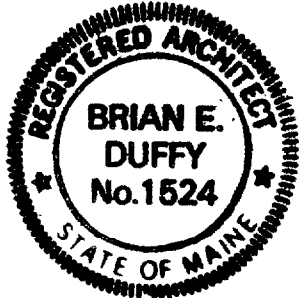
**DATE:** APRIL 8, 2002

These plans and/or specifications covering construction work on:

RENOVATIONS TO SPRINGBROS JEWELERS  
580 CONGRESS STREET  
PORTLAND, ME 04101

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.

(SEAL)



Signature

*[Handwritten Signature]*

Title

ARCHITECT

Firm

BRIAN E. DUFFY ASSOCIATES

Address

10 BEACH STREET  
PORTLAND, ME 04101

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



# City of Portland, Maine

389 Congress St., Rm 315  
Portland, ME 04101

## ACCESSIBILITY CERTIFICATE

TO: Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Services

FROM: ARCHITECTS

RE: Certificate of Design, HANDICAP ACCESSIBILITY

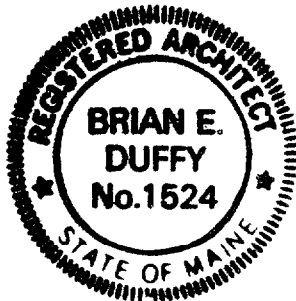
DATE: APRIL 9, 2002

These plans and/or specifications covering construction work on:

RENOVATIONS TO: SPRINGERS JEWELERS  
500 CONGRESS STREET  
PORTLAND, ME 04101

Have been designed and drawn up by the undersigned, a Maine registered engineer/architect according to State Regulations as adopted by the State of Maine on Handicapped Accessibility.

(SEAL)



Signature Brian E. Duffy

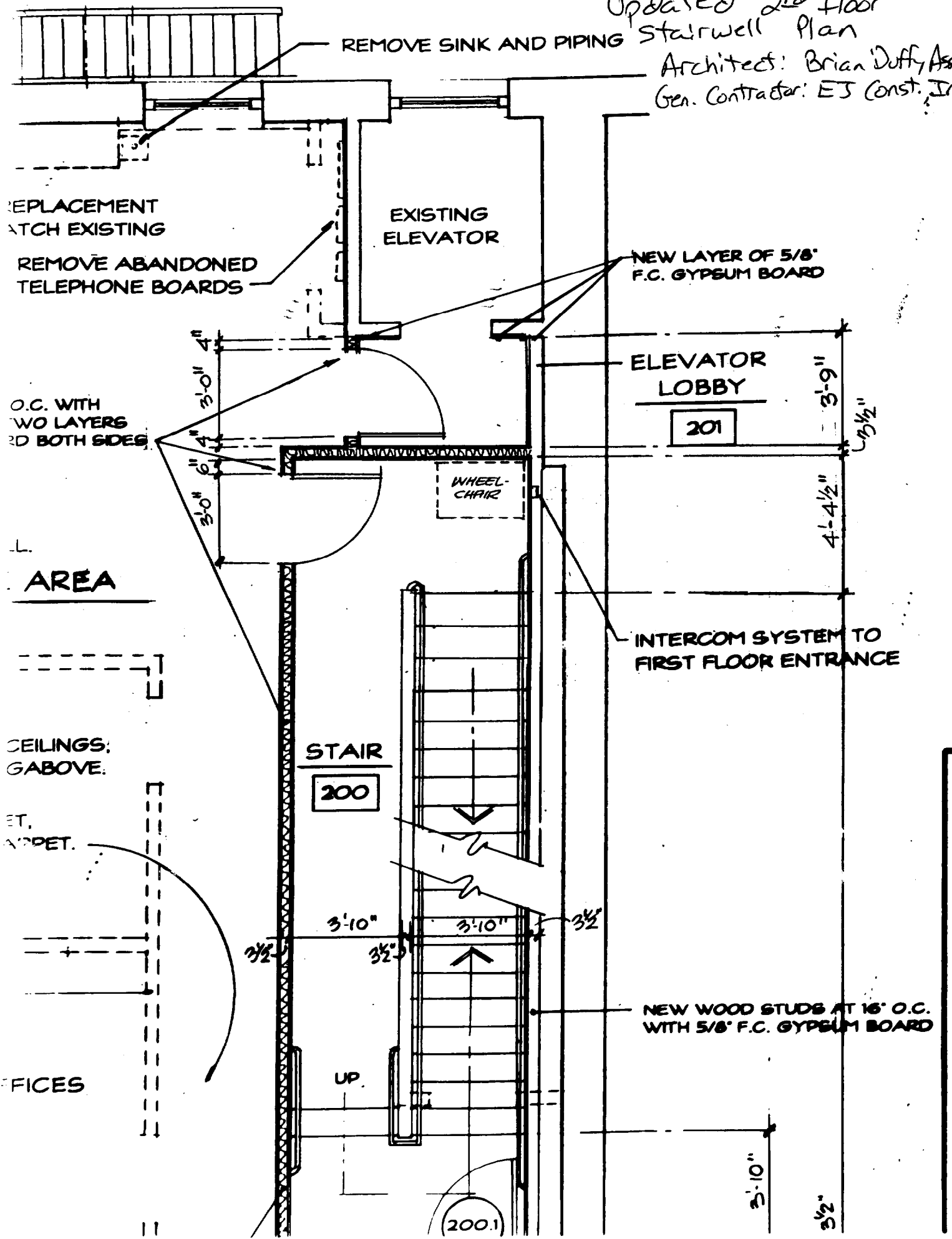
Title ARCHITECT

Firm BRIAN E. DUFFY ASSOCIATES

Address 10 BEACH STREET  
PORTLAND ME 04101

Springers Jewelers  
Updated 2nd Floor  
Stairwell Plan

Architect: Brian Duffy Assoc.  
Gen. Contractor: EJ Const., Inc.



REMOVE SINK AND PIPING

REPLACEMENT  
PATCH EXISTING

REMOVE ABANDONED  
TELEPHONE BOARDS

EXISTING  
ELEVATOR

NEW LAYER OF 5/8"  
F.C. GYPSUM BOARD

ELEVATOR  
LOBBY

201

O.C. WITH  
TWO LAYERS  
BOARD BOTH SIDES

WHEEL-  
CHAIR

AREA

INTERCOM SYSTEM TO  
FIRST FLOOR ENTRANCE

CEILINGS:  
GABOVE.

STAIR

200

ET.  
APPET.

FICES

NEW WOOD STUDS AT 16" O.C.  
WITH 5/8" F.C. GYPSUM BOARD

UP

(200.1)



SECOND FLOOR

13'-5 1/4"  
15 TREADS @ 10 3/4"

Steel I-Beam

EXISTING STEEL BEAM

1" CUT BACK ON RISERS

10 3/4"

7 1/2"

NEW STEEL PIPE HANDRAIL

2x WOOD BLOCKING FOR HANDRAIL BRACKETS

PROFILE OF NEW STAIR

EXISTING WOOD STAIR STRINGERS

10'-0" ±  
16 RISERS @ 7 1/2"

2'-10"

6'-8"

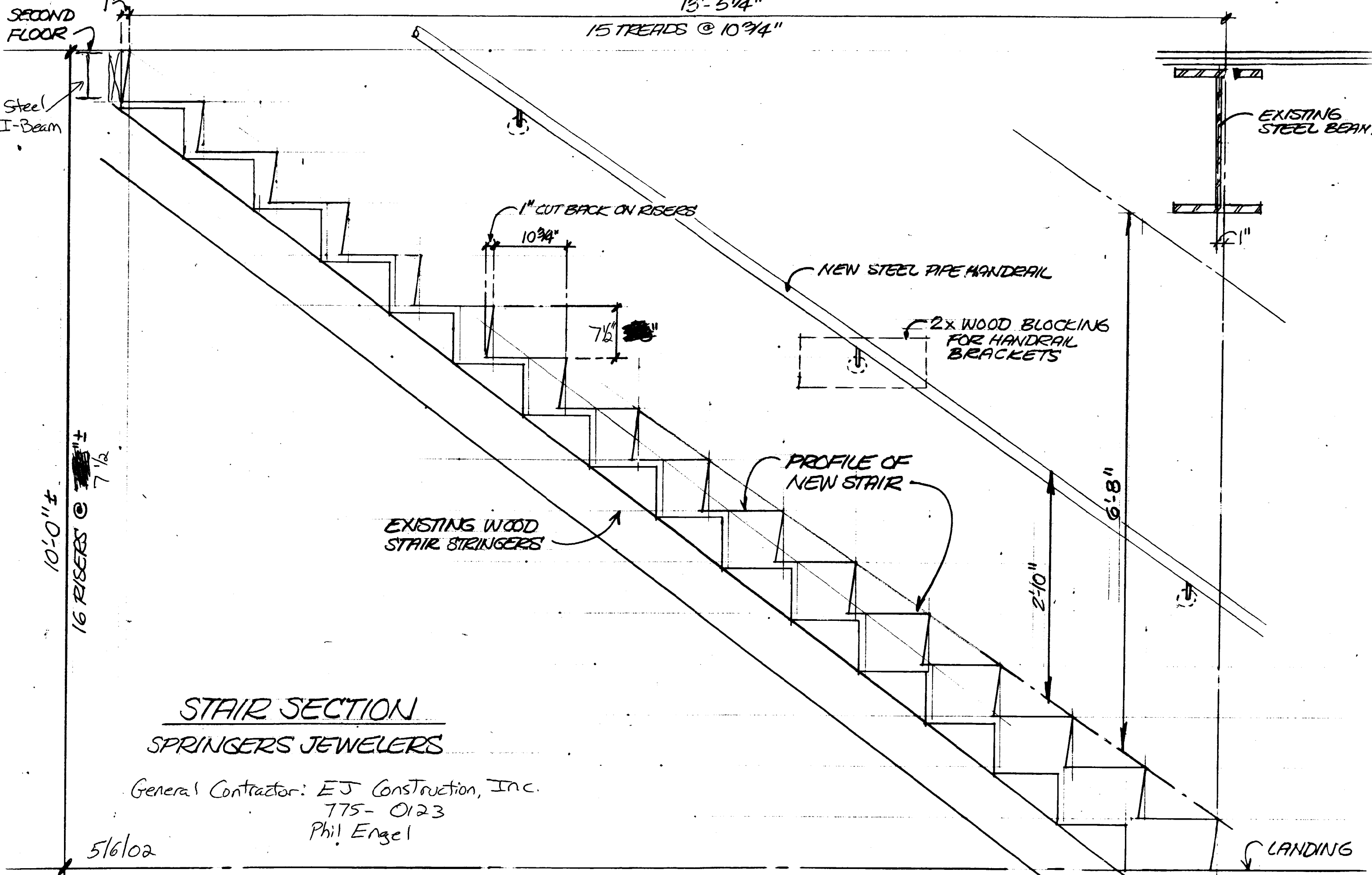
### STAIR SECTION

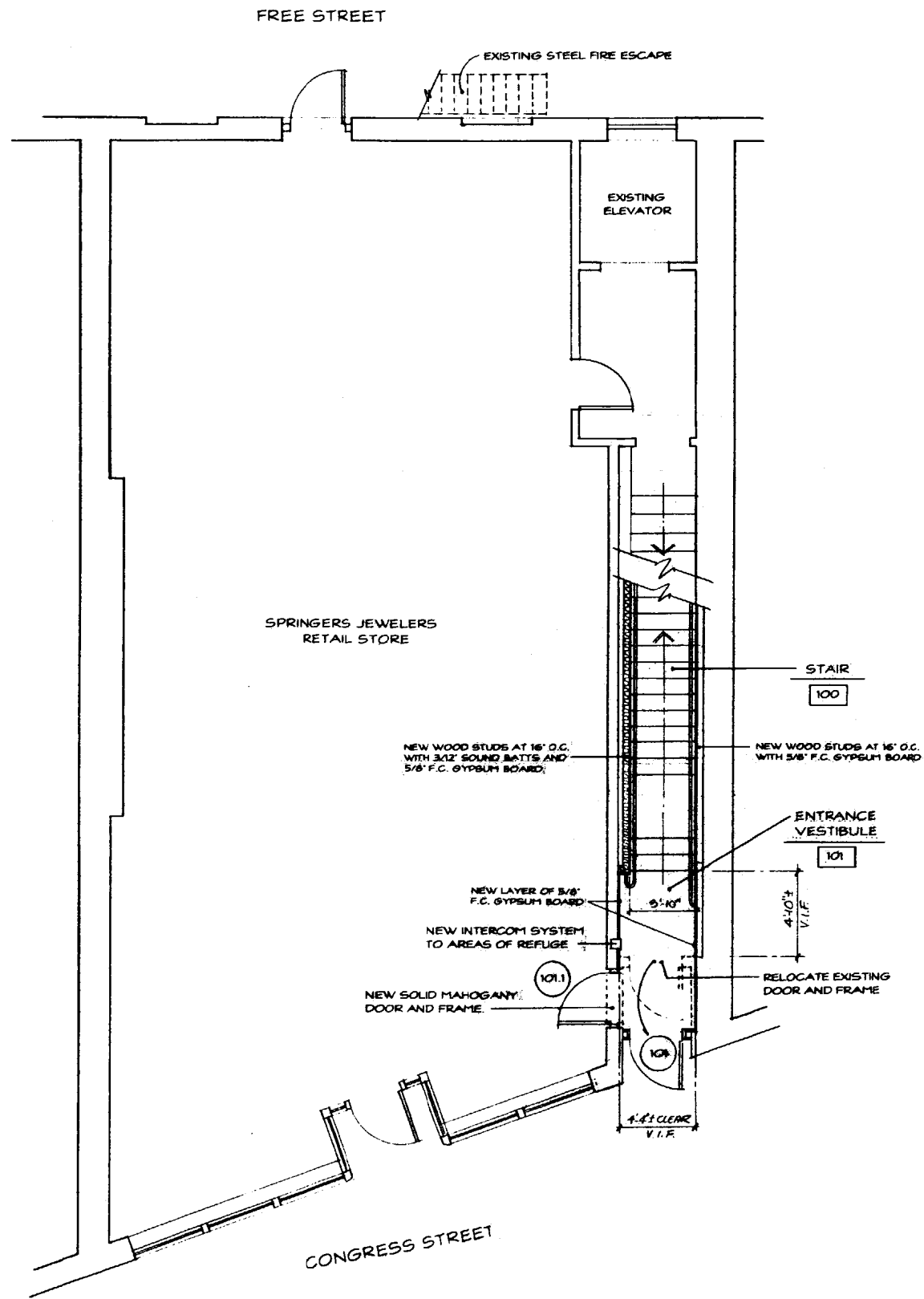
SPRINGERS JEWELERS

General Contractor: EJ Construction, Inc.  
775- 0123  
Phil Engel

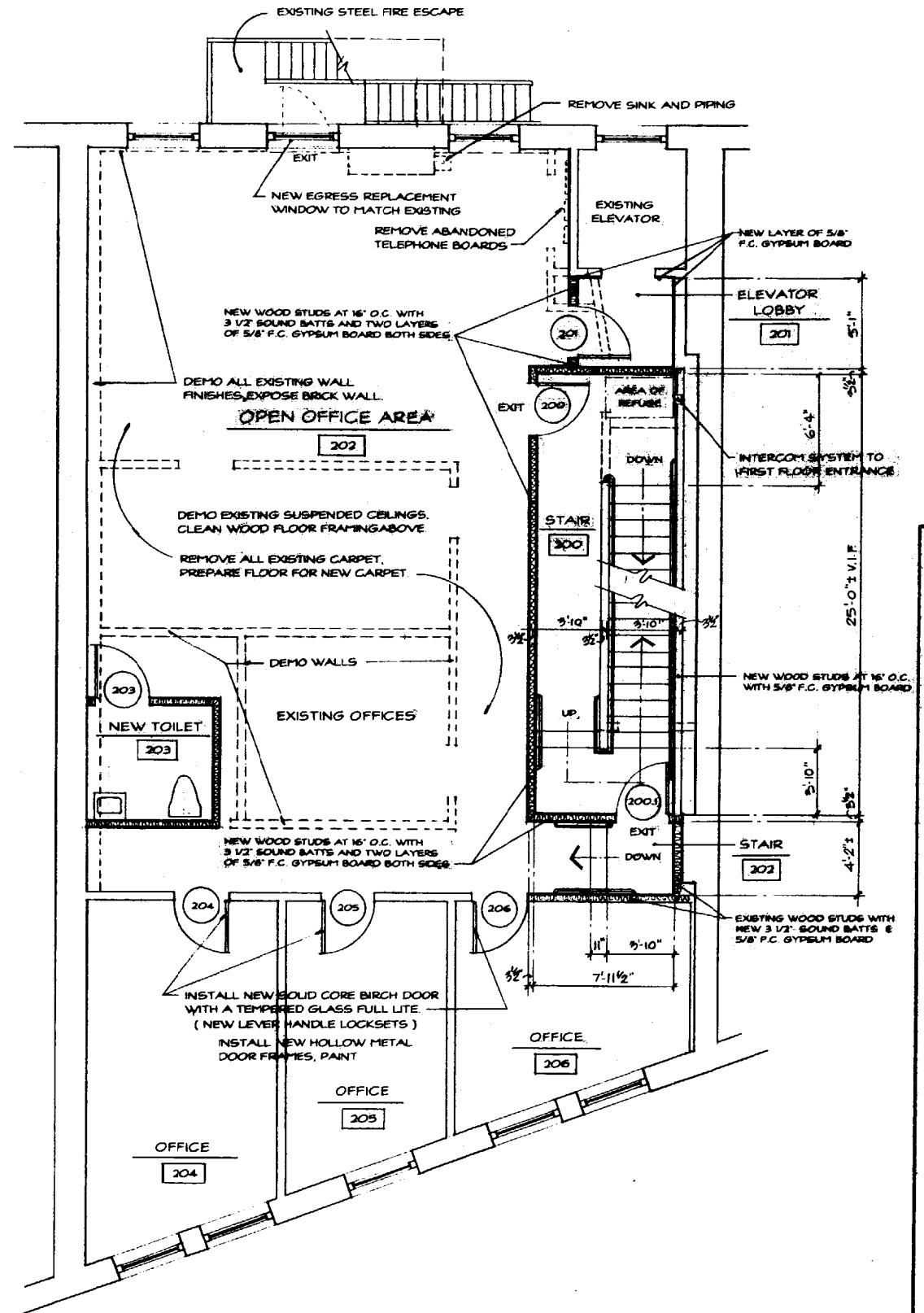
5/6/02

LANDING





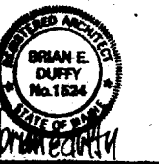
FIRST FLOOR PLAN



SECOND FLOOR PLAN

brian e. duffy  
associates

18 South Street  
Portland, ME 04101



RENOVATIONS TO:  
SPRINGERS JEWELERS  
580 CONGRESS STREET  
PORTLAND, MAINE

date: REV. 4/6/2008  
MARCH 19, 2001

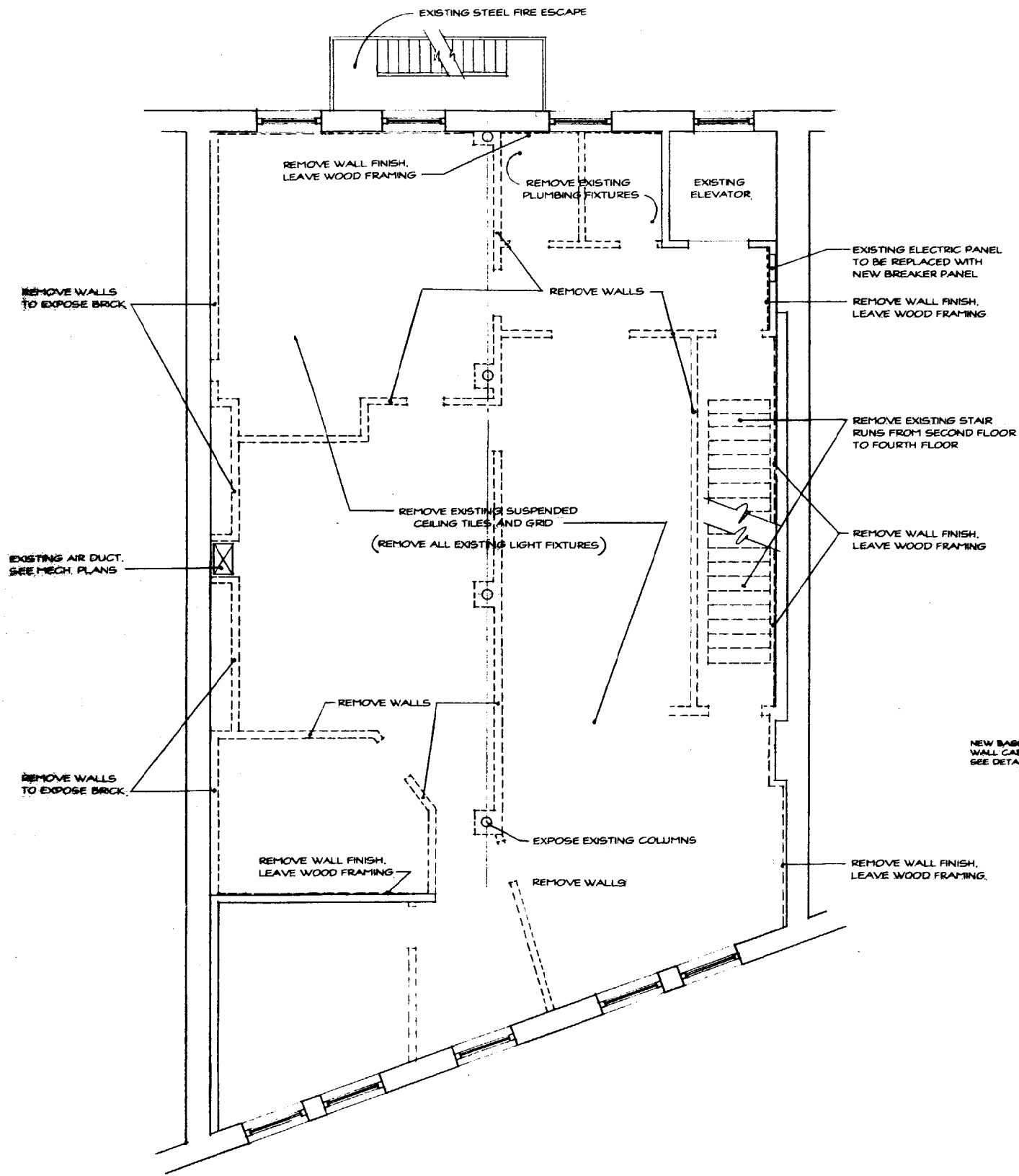
drawn by:  
b.e. duffy

scale:  
1/4" = 1'-0"

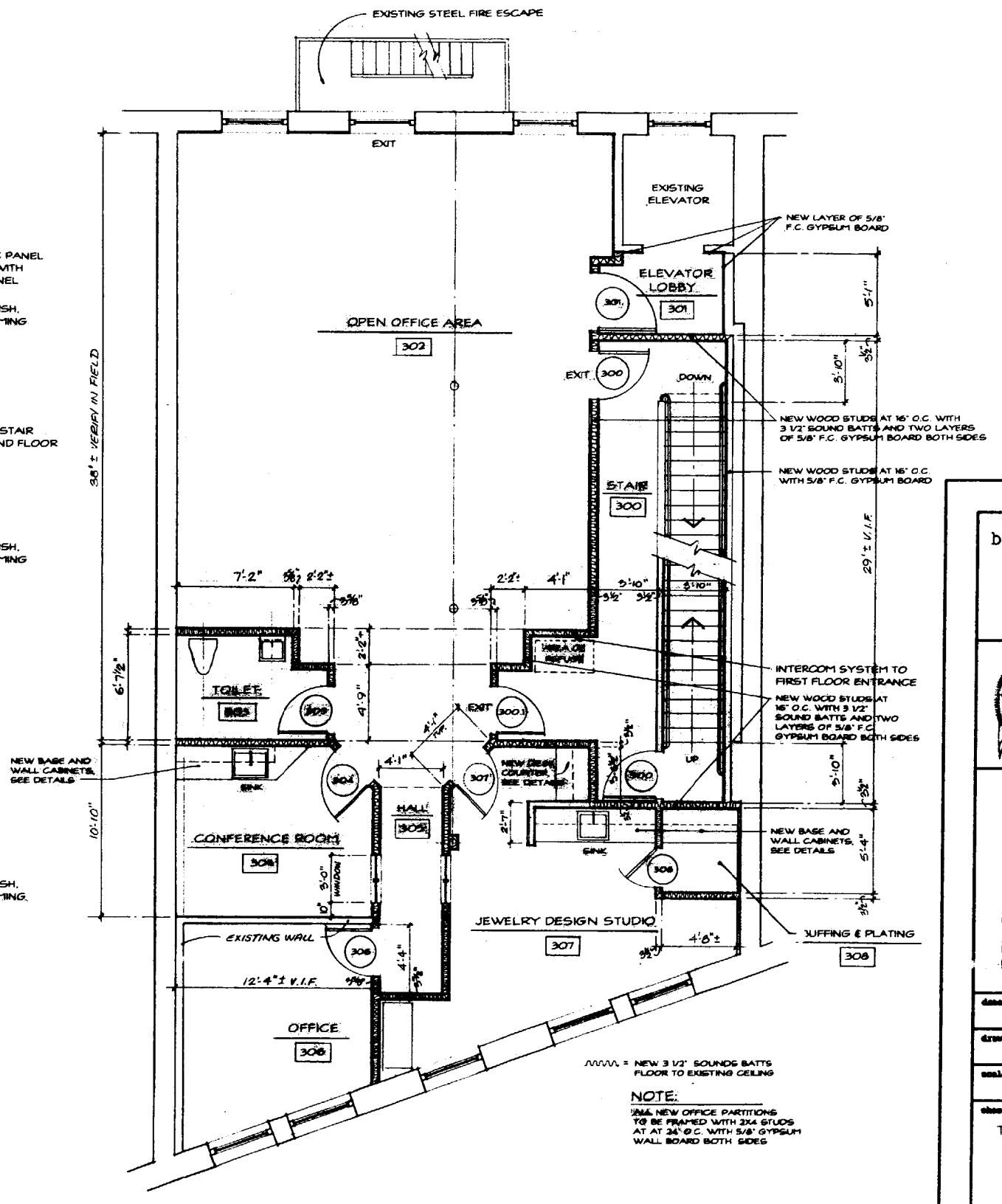
sheet title:  
FIRST & SECOND  
FLOOR PLANS.

sheet no.:

A-1



THIRD FLOOR DEMOLITION PLAN



THIRD FLOOR PLAN

brian e. duffy  
associates

10 beach street  
portland, me. 04101



RENOVATIONS TO:  
SPRINGER'S JEWELERS  
580 CONGRESS STREET  
PORTLAND, MAINE

date: REV. 4/6/2002  
MARCH 19, 2001

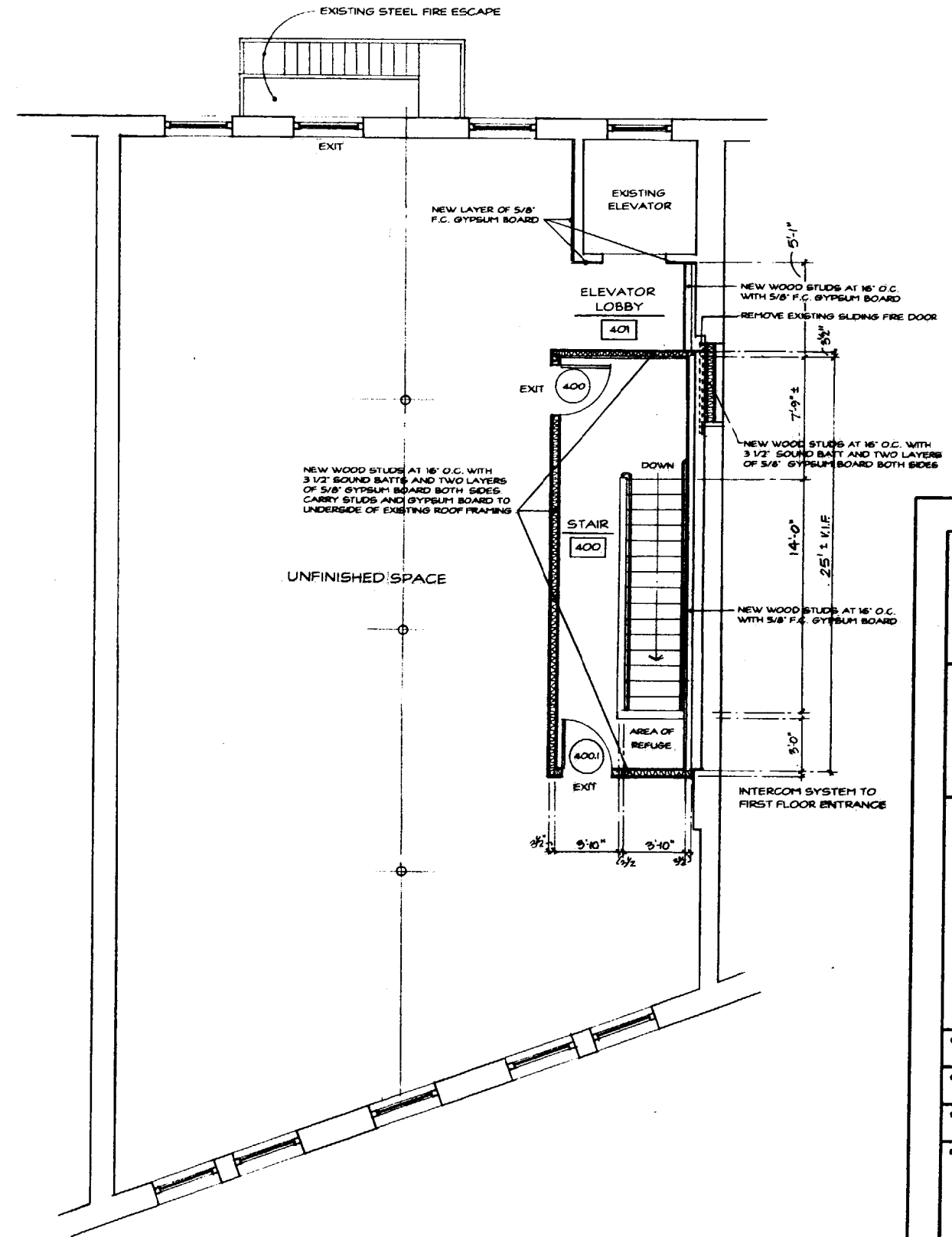
drawn by:  
b.e. duffy

scale:  
1/4" = 1'-0"

sheet title:  
THIRD FLOOR  
PLAN  
AND  
DEMOLITION  
PLAN

sheet:

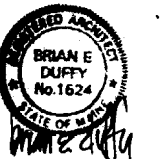
A-2



FOURTH FLOOR PLAN SCALE 1/4" = 1'-0"

brian e. duffy  
associates

10 beach avenue  
portland, me. 04108



RENOVATIONS TO:  
SPRINGER'S JEWELERS  
580 CONGRESS STREET  
PORTLAND, MAINE

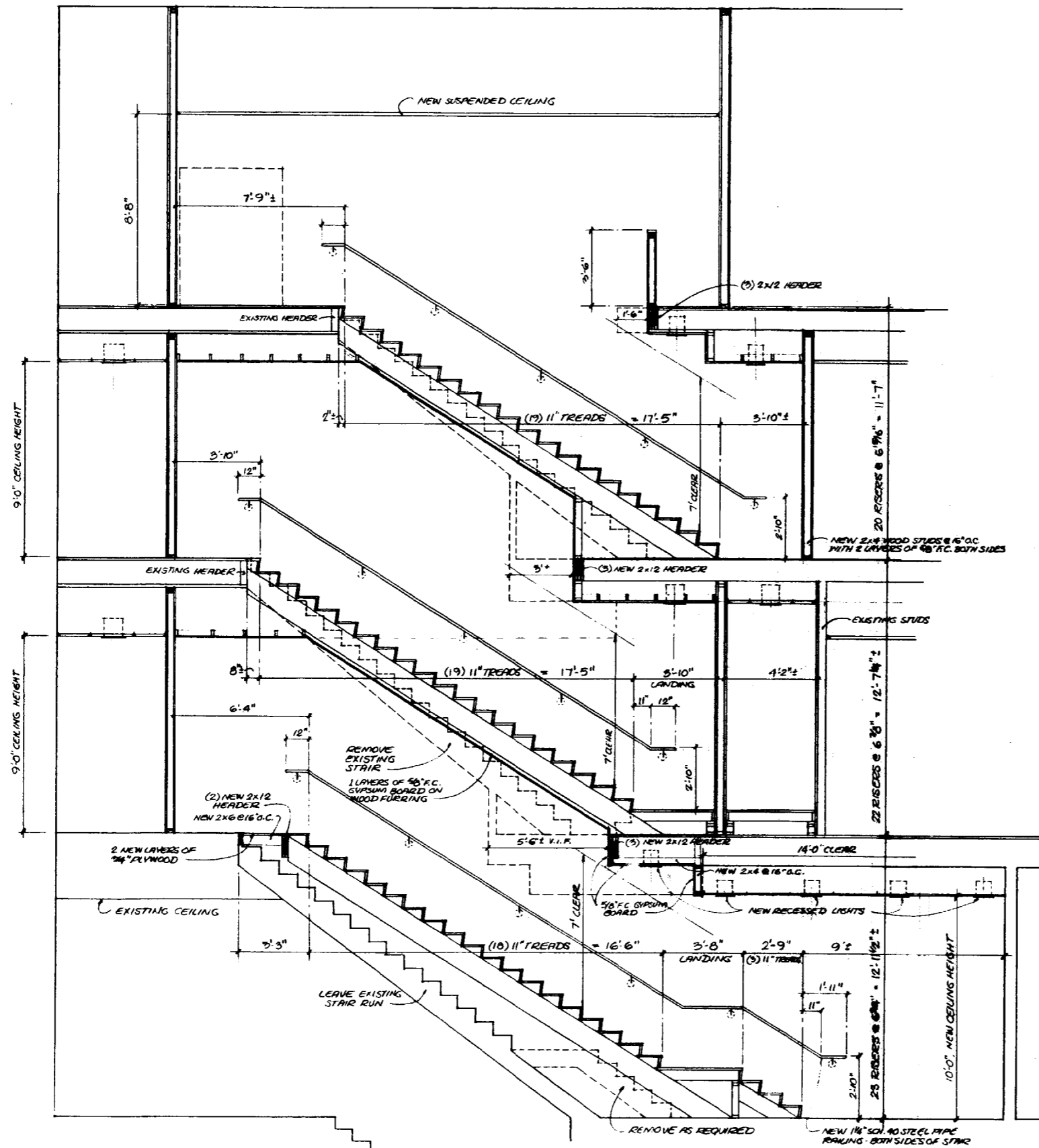
date: REV. 2/17/2000  
MARCH 15, 2001

drawn by: b.e. duffy

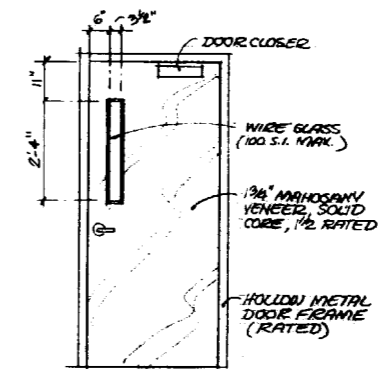
scale: AS NOTED

sheet title:  
FOURTH FLOOR PLAN  
AND  
DETAILS

sheet:  
A-3



SECTION THRU STAIR TOWER SCALE: 1/8" = 1'-0"



TYPICAL STAIR TOWER DOOR

brian e. duffy  
associates  
38 beach street  
portland, me 04101

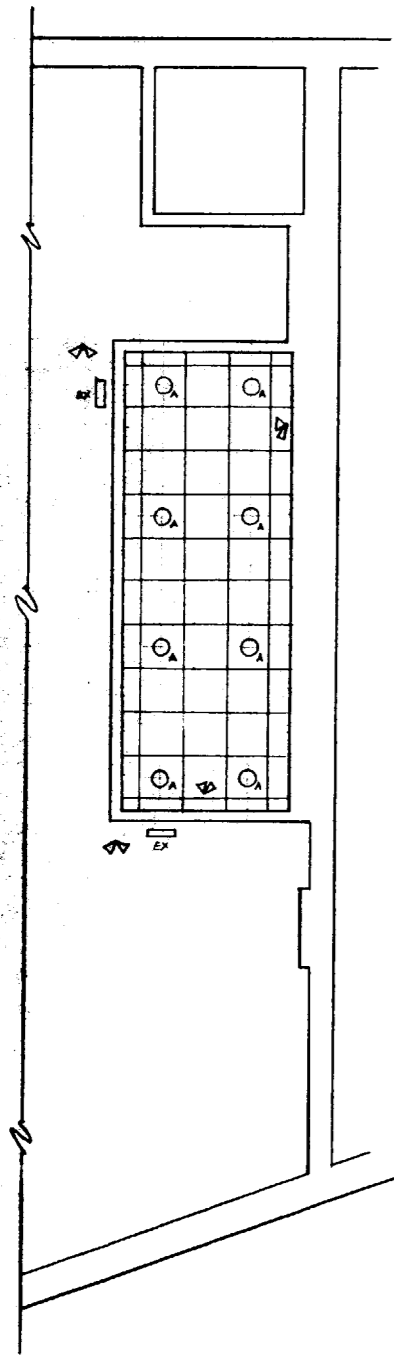


RENOVATIONS TO:  
SPRINGER'S JEWELERS  
580 CONGRESS STREET  
PORTLAND, MAINE

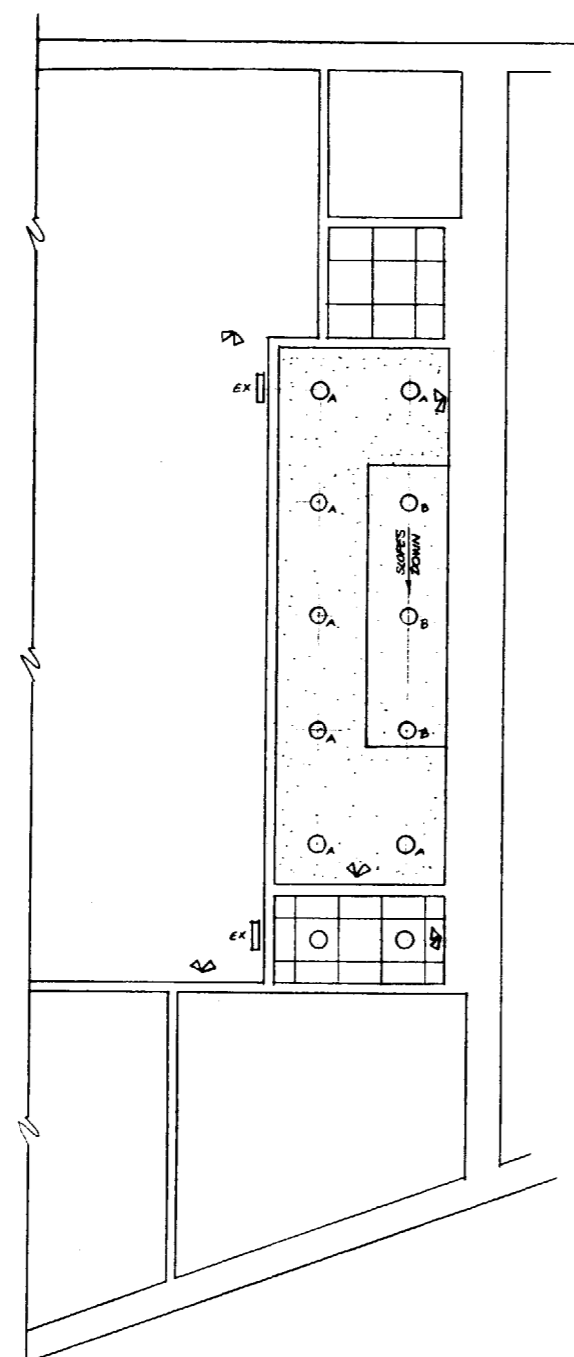
date: REV. 4/6/2002  
MARCH 19, 2001  
drawn by: b.e. duffy  
scale: AS NOTED  
sheet title:  
STAIR SECTION  
AND DETAILS

sheet:  
A-4

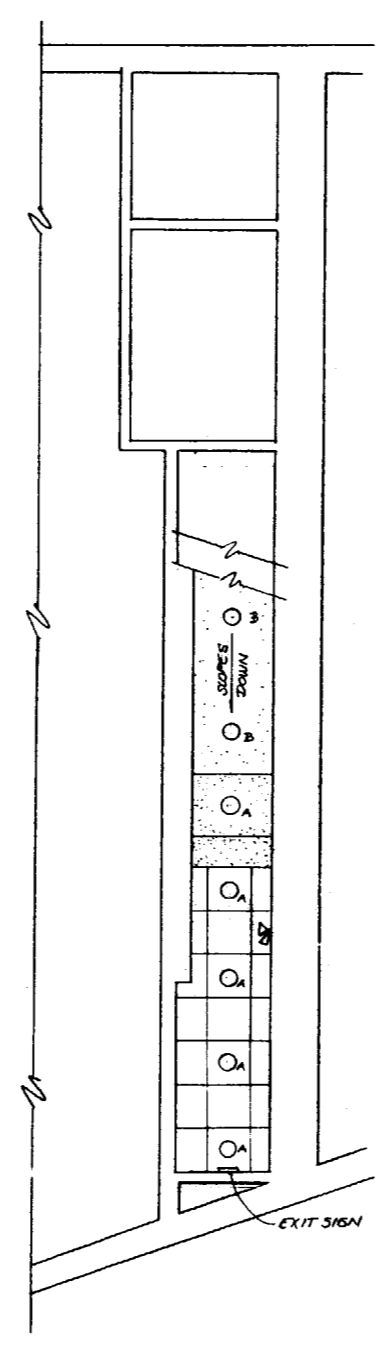
- A: RECESSED CAN, CLEAR ALZAK, KON 6" DIA "JUNO" OR EQUAL
- B: SURFACE MOUNTED 8" DIA x 4" DEEP WHITE GLASS, 100W
- C: SURFACE MOUNTED 14" DIA x 4" DEEP WHITE GLASS, 150W
- D: RECESSED, 4" DIA, CAN CLEAR HORIZ SOW
- E: 2x4 DEEP IN, PARABOLIC (16 CELLS) 3 CAMPS
- F: 16" x 4" SURFACE, PARABOLIC ID
- G: WALL MOUNTED, (IT), 75W
- H.1: UNDER CABINET, H.1= 3', H.2= 4' H.3= 6'
- EX: EXIT SIGN
- S: CEILING MOUNTED EMERGENCY LIGHTS
- I: COOPER LIGHTING - CORELITE NAVIGATOR 2TB, 4', 50% UP 70% DOWN LIGHT, CABLE HUNG FROM EXISTING FLOOR FRAMING



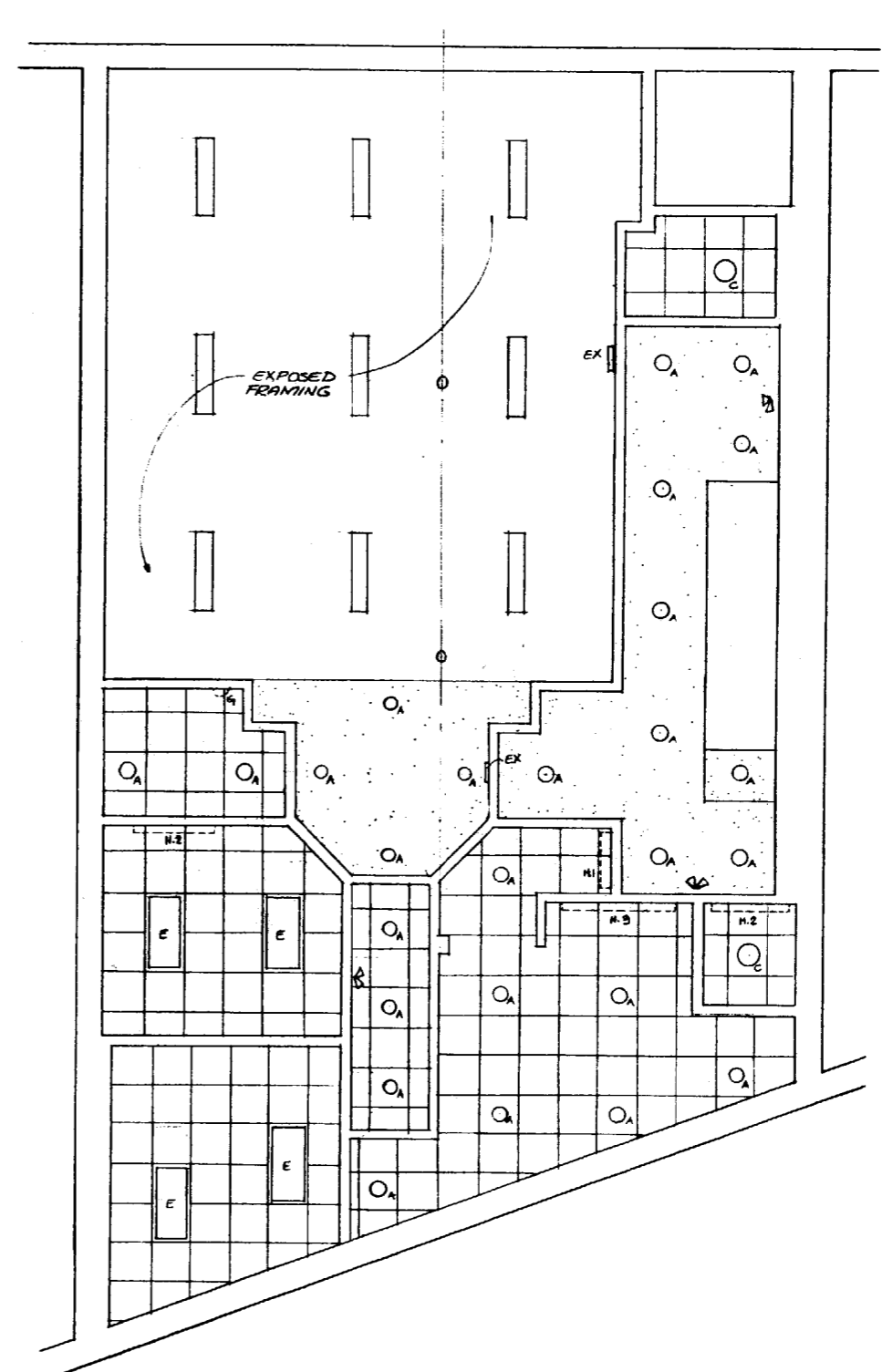
PARTIAL FOURTH FLOOR  
REFLECTED CEILING PLAN



PARTIAL SECOND FLOOR  
REFLECTED CEILING PLAN



PARTIAL FIRST FLOOR  
REFLECTED CEILING PLAN



THIRD FLOOR REFLECTED CEILING PLAN  
1/4" = 1'-0"

brian e. duffy  
associates

10 beach street  
portland, me. 04101



RENOVATIONS TO:  
SPRINGER'S JEWELERS  
580 CONGRESS STREET  
PORTLAND, MAINE

date: REV. 4/6/2002  
MARCH 19, 2001

drawn by:  
b.e. duffy

scale:  
AS NOTED

sheet title:  
REFLECTED  
CEILING PLANS

sheet:  
A-5