

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 040796

This is to certify that Three Forty Associates Llc / I L Struct
has permission to build rack for stand up power generator
AT 340 Cumberland Ave 037 F009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in.
HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature] 6/24/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0796	Issue Date:	CBL: 037 F009001
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Location of Construction: 340 Cumberland Ave	Owner Name: Three Forty Associates Llc	Owner Address: 120 Exchange St	Phone: 775-2100
Business Name:	Contractor Name: L & L Structural	Contractor Address: 6 Q Street So Portland	Phone: 2077674830
Lessee/Buyer's Name	Phone:	Permit Type: Radio/Telecommunications Tower	Zone: B-3

Past Use: none	Proposed Use: rack for stand up power generators	Permit Fee: \$426.00	Cost of Work: \$45,000.00	CEO District: 1
Proposed Project Description: build rack for stand up power generator		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: U Type: 2c <i>[Signature]</i>	
		Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: jodinea	Date Applied For: 06/14/2004	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>exemption granted</i> Maj <input type="checkbox"/> Miffor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>6/23/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0796	Date Applied For: 06/14/2004	CBL: 037 F009001
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Location of Construction: 340 Cumberland Ave	Owner Name: Three Forty Associates Llc	Owner Address: 120 Exchange St	Phone: () 775-2100
Business Name:	Contractor Name: L & L Structural	Contractor Address: 6 Q Street So Portland	Phone: (207) 767-4830
Lessee/Buyer's Name	Phone:	Permit Type: Radio/Telecommunications Tower	

Proposed Use: rack for stand up power generators	Proposed Project Description: build rack for stand up power generator
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Dept: Zoning **Status:** Approved **Reviewer:** Marge Schmuckal **Approval Date:** 06/23/2004

Note: **Ok to Issue:**

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 06/24/2004

Note: **Ok to Issue:**

- 1) Equipment installation is limited to the design load of the structure as presented. The design profession must review and certify proposed equipment loads, fasteners and locations prior to installation. This report must be submitted to this office prior to equipment installation.
- 2) A statement of Special Inspections must be submitted by the design professional and approved prior to the commencement of construction.

Dept: Fire **Status:** Approved **Reviewer:** Lt. MacDougal **Approval Date:** 06/22/2004

Note: **Ok to Issue:**

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>340 CUMBERLAND AVE.</u>		
Total Square Footage of Proposed Structure <u>1200 +/- SF</u>	Square Footage of Lot <u>60,000 +/-</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>37</u> Block# <u>F</u> Lot# <u>9</u>	Owner: <u>340 ASSOCIATES, LLC</u>	Telephone: <u>775 2100</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ <u>45,000</u> Fee: \$ <u>426.00</u>
Current use: <u>TELE-COMMUNICATIONS</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>RACK FOR STAND-BY POWER GENERATORS</u> Project description:		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>LOU WOOD (450 6128)</u>		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

JUN 10 2004

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Michael DeLuca</u>	Date: <u>6/12/04</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

 Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before **any** site work begins on any project other than single family additions or alterations.

ND **Footing/Building Location Inspection:** Prior to pouring concrete

ND **Re-Bar Schedule Inspection:** Prior to pouring concrete

ND **Foundation Inspection:** Prior to placing ANY backfill

 Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

 Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

 If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

ND **CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Signature of Applicant/Designee

8/24/04
Date

Signature of Inspections Official

6/24/04
Date

CBL: 37-F-9

Building Permit #: 04 0796

**City of Portland, Maine
Planning And Urban Development
Application For Exemption From Site Plan Review**

Five Star Industrial Park (207) 464-2626
Applicant Phone

07/09/2003 20030153
Application Date Application ID

65 Bradley Drive
Address

Exemption
Project Name/Description

Westbrook ME 04092
City State Zip

037 F009001
CBL

Consultant/Agent Phone

340 Cumberland Ave
Address of Proposed Site

Description of Proposed Development:

Addition of a 9'-8" x 19'-0" concrete generator pad off the side of 340 Cumberland Avenue.

PLEASE ATTACH SKETCH/PLAN OF PROPOSAL/DEVELOPMENT

Criteria for Exemptions:

Applicant (Yes, No, N/A)	Planning Office
<u>N/A</u>	<u>N/A</u>
<u>Yes</u>	<u>Yes</u>
<u>N/A</u>	<u>N/A</u>
<u>N/A</u>	<u>N/A</u>
<u>N/A</u>	<u>N/A</u>
<u>N/A</u>	<u>N/A</u>
<u>N/A</u>	<u>N/A</u>
<u>N/A</u>	<u>N/A</u>

- a) within existing structures: No New Buildings, Demolitions or Additions
- b) footprint increase less than 500 sq ft
- c) no new curb cuts, driveways, parking areas
- d) curbs and sidewalks in sound condition and comply with ADA
- e) no additional parking / no traffic increase
- f) no stormwater problems
- g) sufficient property screening
- h) adequate utilities

Planning Office Use Only:

Exemption Granted 07/23/2003 Partial Exemption _____ Exemption Denied _____

Conditions (if any)

Planner's Signature

Date

L & L STRUCTURAL
ENGINEERING SERVICES, INC.
Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 799-5432

JUN 24 2004

June 24, 2004

Mike Nugent
City of Portland - Inspections Office
Portland, Maine 04101

Subject: Exterior Generator Support at 340 Cumberland Ave. Portland, Maine

Dear Mr. Nugent,

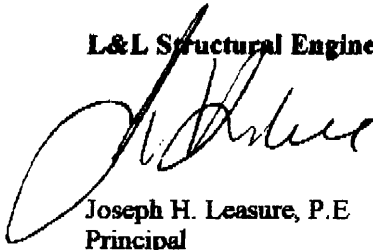
At your request we are writing to inform you of our intent to perform special inspections for the above referenced project in accordance with Boca 1999, Chapter 17, Section 1705.0. In conversation with our client, (Mike Scarks) Neptune Properties, they have authorized our firm to proceed with these inspections. We will be responsible for the inspection of the following.

1. Verify that the steel piles are installed to meet the requirements of the design drawings.
2. Review the installation of the Structural Steel framing and connections.

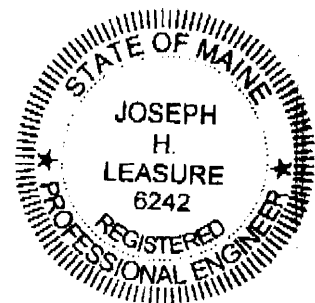
If you have any questions or require additional information, please do not hesitate to call

Sincerely,

L&L Structural Engineering Services, Inc.



Joseph H. Leasure, P.E.
Principal



cc: Mike Scarks, Neptune Properties

L & L STRUCTURAL
ENGINEERING SERVICES, INC.

Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 799-5432

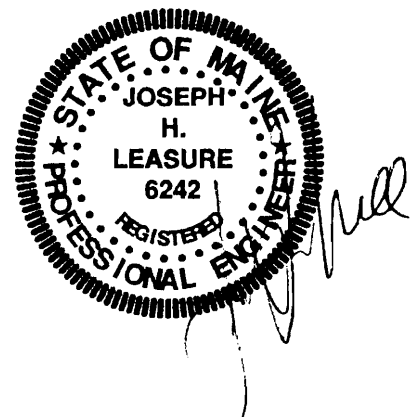
**BUILDING LOCATED AT:
340 CUMBERLAND AVE.
PORTLAND, MAINE**

**EXTERIOR GENERATOR
SUPPORT STRUCTURE**

STRUCTURAL DRAWINGS
& GENERAL NOTES

Prepared for: Mike Scarks
Neptune Properties
120 Exchange Street
Portland, Maine 04101

Submission Date: June 2, 2004
Drawings: S1 thru S7



THIS IS NOT A BOUNDARY SURVEY

INSPECTION OF PREMISES

I HEREBY CERTIFY TO Douglas Title Co.

338 Cumberland Avenue
Portland, Maine

Job Number: 345-14
Inspection Date: 04-24-00
Scale: 1" = 30'

Northeast Bank and its Title Insurer

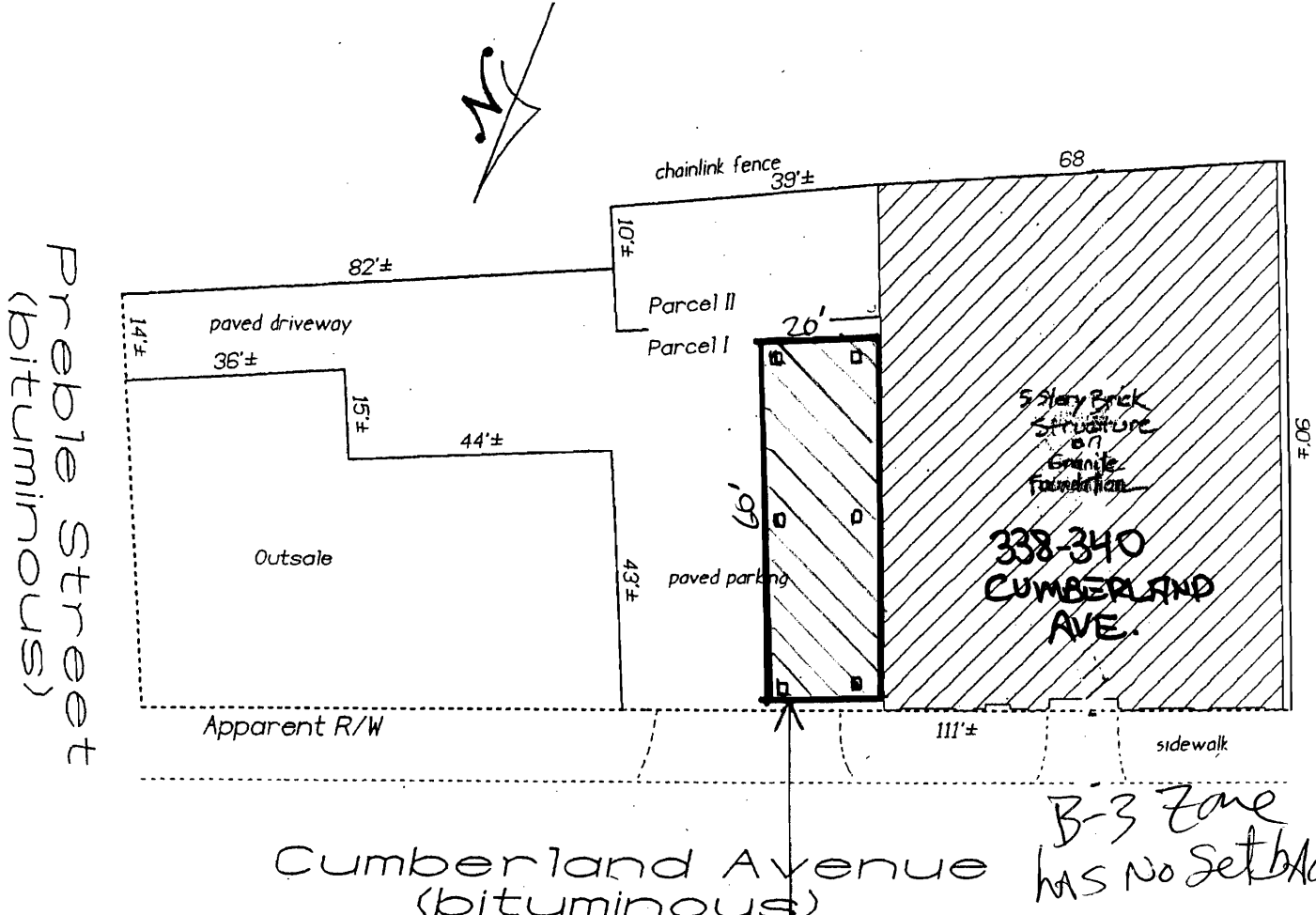
The monumentation is ~~not~~ in harmony with current deed description.

The building setbacks are ~~not~~ in conformity with town zoning requirements.

The dwelling does not ~~appear to~~ fall within the special flood hazard zone as delineated by the Federal Emergency Management Agency.

The land does not ~~appear to~~ fall within the special flood hazard zone as indicated on community-panel # 230051 0013 B.

BUYER: Neptune Properties
SELLER: Ladd L. &
Anne Heldenbrand



THIS PROPERTY IS SUBJECT TO ALL RIGHTS AND EASEMENTS OF RECORD. THOSE THAT ARE EVIDENT ARE SHOWN. THIS PLAN MIGHT NOT REVEAL CONFLICTS WITH ABUTTING DEEDS.

BRUCE R. BOWMAN, INC.
P.O. Box 12 A
Cumberland, Maine 04021
Phone: (207) 829-3959
Fax: (207) 829-3522



PLAN BOOK _____ PAGE _____ LOT _____
DEED BOOK 9316 PAGE 111 COUNTY Cumberland

THIS PLAN IS NOT FOR RECORDING Drawn by: JMM

SHEET
P-1

GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
4. Do not scale plans.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All proprietary products shall be installed in accordance with the manufacturers written instructions.
7. The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie downs. Such material shall remain the property of the contractor after completion of the project.
8. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

1. Building Code: BOCA Basic Building Code (1999)
2. Design Live Loads:
Generator Operational Unit Weight (9'-4" x 18'-8" Approx. Footprint)35,000#
Mechanical & Electrical Service Platform Loading50 PSF
3. Lateral (Seismic & Wind) design per 1999 BOCA

designed by: JHL	BUILDING LOCATED AT: 340 CUMBERLAND AVENUE PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106
drawn by: JHL		
checked by: MFL		
scale: NOTED		
date: 5/27/04	ELECTRICAL GENERATOR SUPPORT GENERAL NOTES	PHONE: (207) 767-4830 FAX: (207) 799-5432 EMAIL: LLENG@AOL.COM
		S1

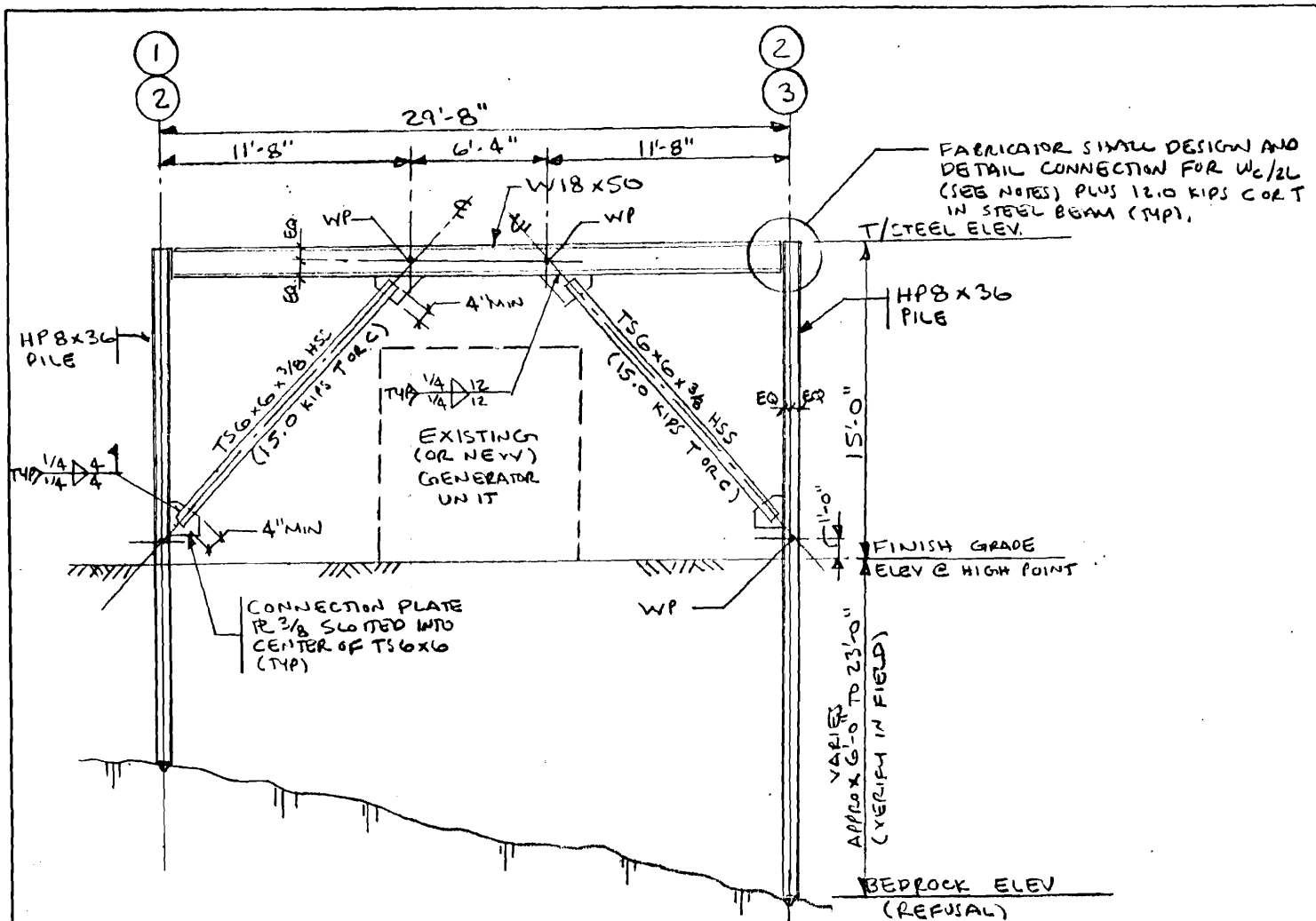
STRUCTURAL STEEL NOTES:

1. Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"—Ninth edition.
2. Structural steel:
 - a. Structural steel shall conform to ASTM A-36.
 - b. Structural tubing shall conform to ASTM A-500 GR.B.
 - c. Structural pipe shall conform to ASTM A-53, TYPE E or S.
3. Design connections for the reactions shown on the drawings or the maximum end reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
4. Field connections shall be bolted using 3/4"Ø ASTM A325 high strength bolts except where field welding is indicated on the drawings.
5. All welding shall conform to AWS D1.1—Latest edition. Welding electrodes shall be E70XX.

PILE NOTES:

1. Pile foundation design is based on the subsurface boring exploration performed by Northeast Diamond Drilling Company on May 13, 2003.
2. The pile foundation shall conform with the requirements on the 1999 BOCA National Building Code.
3. Piles:
 - Pile Type: HP8X36 with protective points
 - Pile points: APF HP 77600 "HARDBITE" points
 - Material: As specified
4. Pile driving criteria: Each pile shall be driven to develop a design bearing value of 40 tons.
5. Piles shall be driven with an approved hammer consistent with accepted driving practices. Care shall be exercised to keep from overdriving and damaging piles. Twisting and rotating of piles shall be prevented or corrected.
6. Pile Splicing: All required splices shall be designed and constructed to maintain alignment and position of pile sections and shall develop the full capacity of the pile in compression, tension, bending and shear.
7. Pile Location: Piles shall be driven in the locations shown on the plans. The allowable pile deviations shall be within the following:
 - a. Lateral deviation for a single pile shall be 1" maximum
 - b. Design cut off elevation shall be 1" maximum
 - c. Plumbness of driven pile measured on the projection above ground shall be 1" maximum in 10 feet.
8. An accurate record of the following shall be recorded:
 - a. Pile identification number.
 - b. Location driven.
 - c. Date driven.
 - d. Time driven.
 - e. Total depth of penetration to refusal.
 - f. Rate and penetration during the last ten blows of the hammer.
 - g. Type, size, and energy of hammer used during driving.
 - h. Height of fall of hammer.

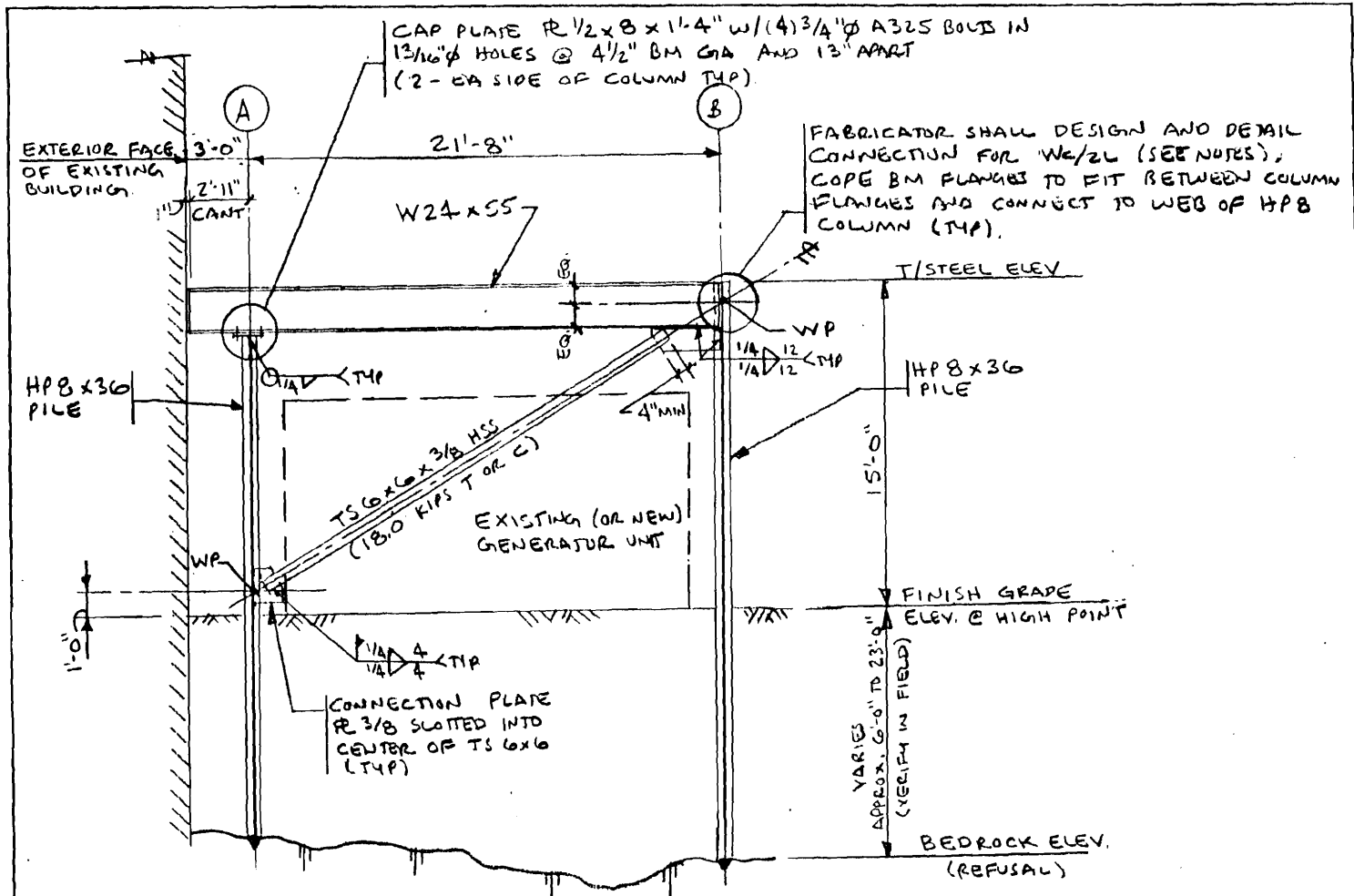
designed by: JHL	BUILDING LOCATED AT: 340 CUMBERLAND AVENUE PORTLAND, MAINE ELECTRICAL GENERATOR SUPPORT GENERAL NOTES	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 787-4830 FAX: (207) 799-5432 EMAIL: LLENG@AOL.COM	S2
drawn by: JHL			
checked by: MFL			
scale: NOTED			
date: 5/27/04			



BRACING ELEVATION @ COLUMN LINE "B"

1/8" = 1' 0"

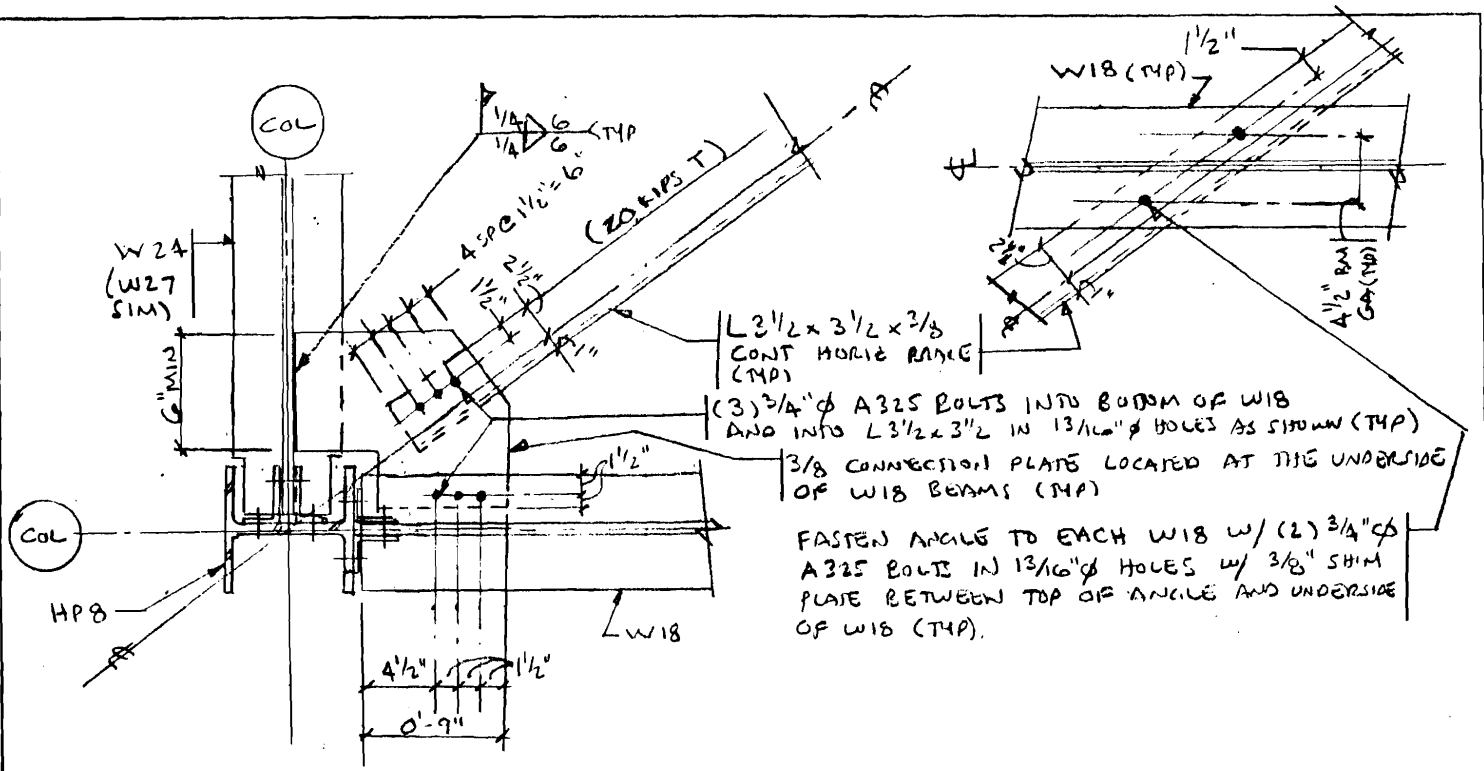
designed by:	JHL	BUILDING LOCATED AT: 340 CUMBERLAND AVE. PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04106
drawn by:	JHL		
checked by:	MFL		
scale:	NOTED		
date:	6/2/04		
		GENERATOR SUPPORT	PHONE: (207) 787-4830
		BRACING ELEVATION @ COL LINE "B"	FAX: (207) 788-5432
			EMAIL: l1eng@aol.com
			SA



BRACING ELEVATION @ COLUMN LINES 1 & 3

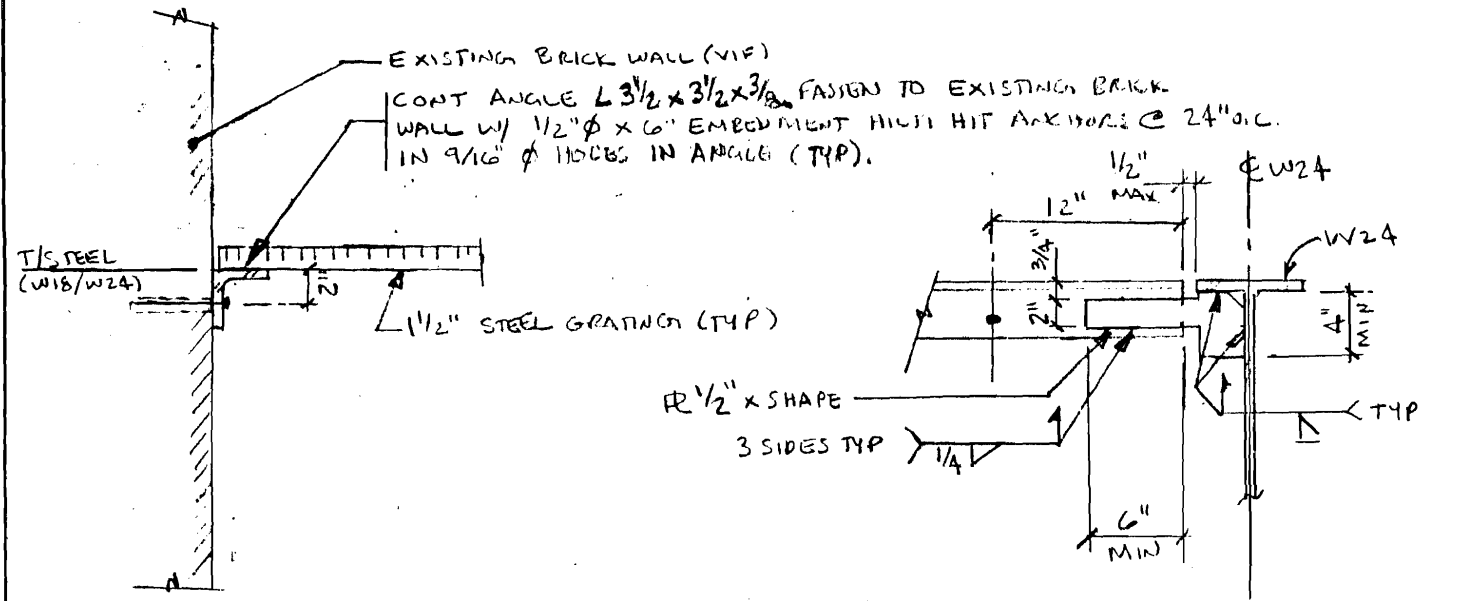
$\frac{1}{8}$ " = 1'-0"

designed by:	JHL	BUILDING LOCATED AT: 340 CUMBERLAND AVE. PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106
drawn by:	JHL		
checked by:	MFL		
scale:	NOTED		
date:	6/2/04		
		GENERATOR SUPPORT BRACING ELEVATION @ COL LINE 1 & 3	PHONE: (207) 787-4830 FAX: (207) 788-5432 EMAIL: LLENGO@L.COM
			55



DETAIL

1" = 1'-0"



SECTION

1" = 1'-0"



SECTION

1" = 1'-0"



designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	6/2/04

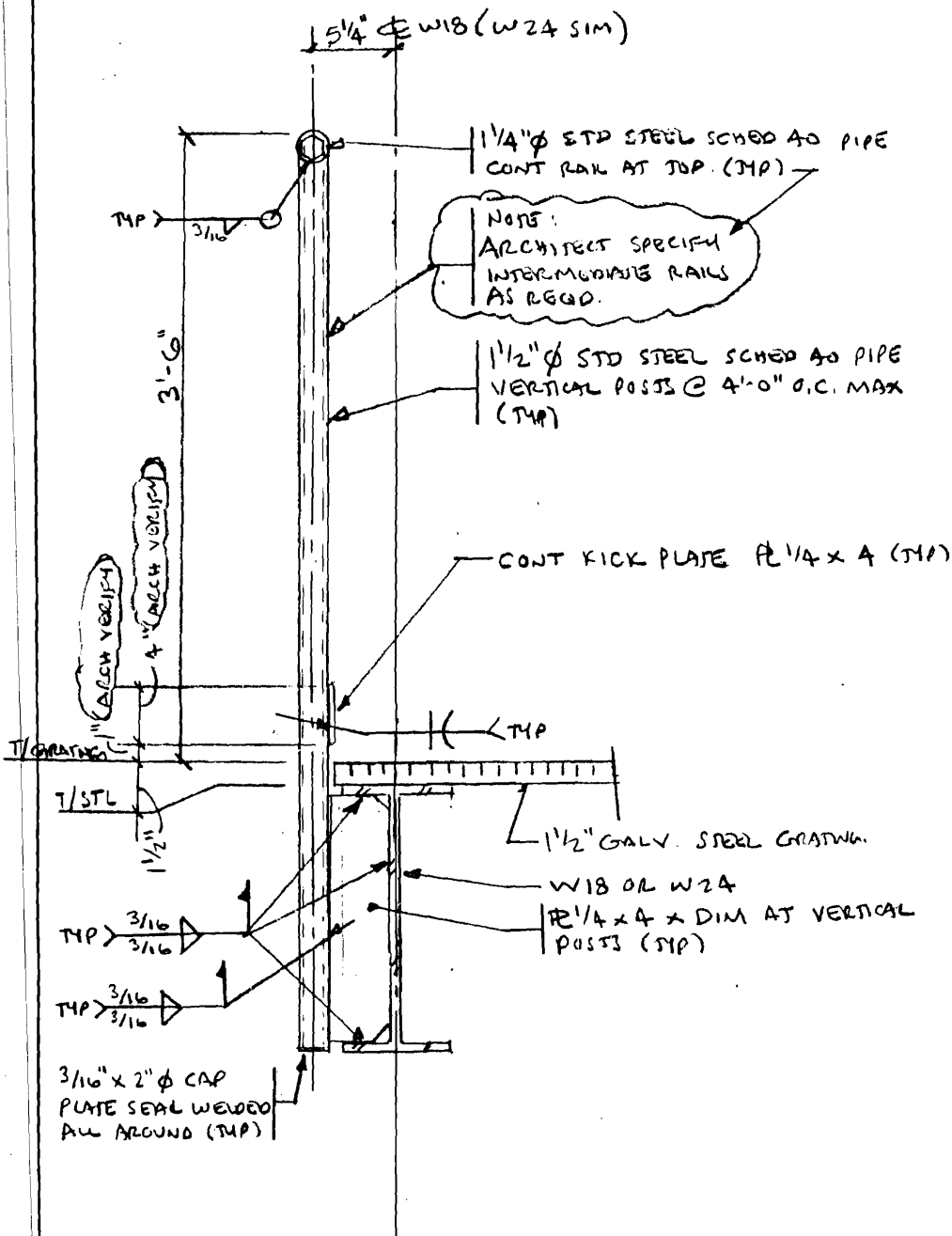
BUILDING LOCATED AT:
340 CUMBERLAND AVE
PORTLAND, MAINE

GENERATOR SUPPORT
SECTIONS & DETAILS

L & L STRUCTURAL
ENGINEERING SERVICES, INC.
SIX O STREET
SOUTH PORTLAND, MAINE 04106

PHONE: (207) 787-4830
FAX: (207) 788-5432
EMAIL: LLENG@AOL.COM

S6



SECTION 2
1"=1'-0" (2/53)

designed by:	JHL	BUILDING LOCATED AT: 340 CUMBERLAND AVE. PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04106
drawn by:	JHL		
checked by:	MFL		
scale:	NOTED		
date:	6/2/04		
		GENERATOR SUPPORT SECTIONS & DETAILS	PHONE: (207) 787-4830 FAX: (207) 788-5432 EMAIL: LLENG@AOL.COM
			57



CITY OF PORTLAND, MAINE

Department of Building Inspections

20

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (I1) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: _____

Check #: _____

Total Collected \$ _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. **PRESERVE THIS RECEIPT.** In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy