

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION PERMIT

Permit Number: 030499

This is to certify that Three Forty Associates Llc / (C) 2003, Inc.

has permission to Phase II of 4th floor tenant fit out (Phase 03-03)

AT 338 Cumberland Ave 037 F009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must given and when permission procured before this building or part thereof is occupied or closed-in.
HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 5/23/08
Director - Building Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0499	Issue Date:	CBL: 037 F009001
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Location of Construction: 338 Cumberland Ave	Owner Name: Three Forty Associates Llc	Owner Address: 120 Exchange St	Phone: 772-1333
Business Name:	Contractor Name: CCB, Inc. <i>5929483</i>	Contractor Address: 65 Bradley Drive Westbrook	Phone: 2074642626
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B3

Past Use: Vacant	Proposed Use: Unmanned telephone switch: Phase II of 4th floor tenant fit-up (Phase I: #03-0350)	Permit Fee: \$905.00	Cost of Work: \$125,750.00	CEO District: 2
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: B3 <i>5/23/03</i>	

Proposed Project Description: Phase II of 4th floor tenant fit-up (Phase I: #03-0350)	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: kwd	Date Applied For: 05/13/2003	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>5/15/03</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>5/15/03</i></p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
	<p><i>SEPARATE PERMITS ARE REQUIRED FOR ANY NEW SIGNAGE</i></p>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0499	Date Applied For: 05/13/2003	CBL: 037 F009001
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Location of Construction: 338 Cumberland Ave	Owner Name: Three Forty Associates Llc	Owner Address: 120 Exchange St	Phone: () 772-1333
Business Name:	Contractor Name: CCB, Inc.	Contractor Address: 65 Bradley Drive Westbrook	Phone (207) 464-2626
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Unmanned telephone switch: Phase II of 4th floor tenant fit-up (Phase I: #03-0350)	Proposed Project Description: Phase II of 4th floor tenant fit-up (Phase I: #03-0350)
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Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 05/15/2003	Note:	Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Approved with Conditions	Reviewer: Mike Nugent	Approval Date: 05/23/2003	Note: 1) Guards shown on Page A1.2 must be 42 inches in height w/ openings less than 4 inches. Engineer and Architect notified.	Ok to Issue: <input checked="" type="checkbox"/>
Dept: Fire	Status: Approved with Conditions	Reviewer: Lt. McDougall	Approval Date: 05/15/2003	Note: 1) the sprinkler system shall be maintained to NFPA 13 standards or a fire suppression system shall be installed 2) the fire alarm system shall be installed in accordance with NFPA 72 standards	Ok to Issue: <input checked="" type="checkbox"/>

Comments:
05/20/2003-mjn: plans aren't stamped, advised CCB

03-0499

Phase I 03 II 0850

037 Fooq

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 340 Cumberland Avenue		
Total Square Footage of Proposed Structure Existing 5766 sf / fl.	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>037</u> Block# <u>F</u> Lot# <u>009</u>	Owner: CB Richard Ellis / Boulos 1 Canal Plaza Portland, ME 04101	Telephone: 207-772-1333
Lessee/Buyer's Name (If Applicable) Verizon Global Network Soulutions, Inc.	Applicant name, address & telephone: BKA Architects, Inc. 142 Crescent Street Brockton, MA 02302 508-583-5600	Cost Of Work: \$ <u>125,750</u> Fee: \$
Current use: <u>Vacant</u>		
If the location is currently vacant, what was prior use: <u>S-1/B</u>		
Approximately how long has it been vacant: _____		
Proposed use: <u>B-Business unmanned telephone switch</u>		
Project description: <u>Installing New Partitions, Doors, Masonry Repairs, Painting / Flooring</u> <u>Phase II</u>		
Contractor's name, address & telephone: <u>CCB, Inc.</u> <u>65 Bradley Dr. Westbrook, ME 04092 207-464-2626</u>		
Who should we contact when the permit is ready: <u>Joe Burke</u>		
Mailing address: <u>CCB Inc.</u> <u>65 Bradley Dr.</u> <u>Westbrook, ME 04092</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>207-592-9483</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>5/12/03</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Project #3-012

McBrie, LLC160 Sylvan Street
Danvers, MA 01923Structural Engineers
www.mcbrie.comTelephone: 978-646-0097
Fax: 978-646-0087

May 9, 2003

Mr. Mike Nugent
Manager of Inspections
389 Congress Street, Room 315
Portland, ME 04101**RE: Global Network Solutions
Portland, ME POP
340 Cumberland Ave.
Portland, ME**

McBrie, LLC Job #3-012

Dear Mr. Nugent:

We certify that to the best of my knowledge, information and belief, the plans and computations for the captioned building were designed in accordance with the requirements of the 1999 BOCA National Building Code and all other pertinent laws and ordinances.

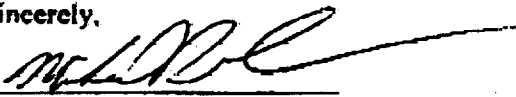
We also certify that I, or my authorized representative, will inspect the work during construction. We shall also oversee the testing agencies and will require all tests reports be submitted to our office for review. The proposed tests are:

1. Structural Steel: Welds, Bolts, Material Certification & welding certificates.
2. Metal Deck & attachment to structural steel
3. Expansion bolts.
4. Concrete compression tests.

Upon completion of the construction, a Final Report of Structural Tests and Inspection affidavit indicating inspections have been satisfactorily completed and all discovered defects have been corrected, will be issued.

If you require additional information, please to not hesitate to contact our office.

Sincerely,


Michael Perham, PE
Structural Engineer / Managing Member

Bridge From Existing to New Building
Bridge From Existing to New Building (decking)
Wall Framing (South Wall)
Wall Framing (North Wall)
Wall Framing (East & West Walls)

- HSS 6x4
- 2x6 Cedar Deck
- 4x6 @ 48" o.c. / Concrete
- 4x6 @ 24" o.c.
- 6x6 @ 48" o.c. (full hgt. to deck)
- 4x6 @ 24" o.c.

CONNECTIONS:

Connect (2) 2x12 Roof Rafter to 10x18 Roof Beam w/Simpson LUS26-2 w/(4) 16d nails @ Each connection, Typ.

Connect 4x6 Post (@ north face of Roof Deck) to 10x18 Roof Beam w/ 5"x5"x1/2"x5" Long Steel Angle. Attach angle to both post and beam w/ (2) 3/4" x 4" long lag Bolts, Typ.

Engineering Ventures did not perform a design analysis for the lateral stability of the structure for seismic or wind loading.

Should you have any questions regarding this letter report, please do not hesitate to call.

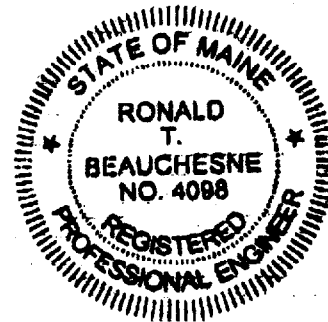
Sincerely,



Jason J. Landry
Engineering Designer
Engineering Ventures, Inc.



Ronald T. Beauchesne, PE
Branch Manager / Senior Engineer
Engineering Ventures, Inc.





**CITY OF PORTLAND
ACCESSIBILITY CERTIFICATE**

Designer: BKA Architects, Inc.

Address of Project 340 Cumberland Avenue

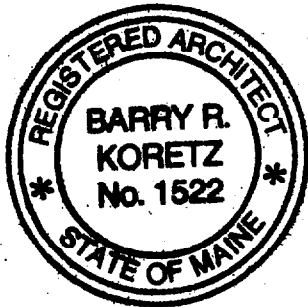
Nature of Project Unmanned telephone switch-tenant

fit-out

Date April 3, 2003

The technical submissions covering the proposed construction work as described above have been have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)



Signature *Barry R. Koretz*

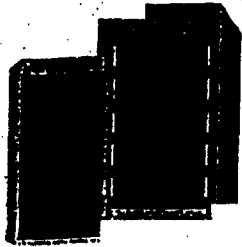
Title President

Firm BKA Architects, Inc.

Address 142 Crescent Street

Brockton, MA 02302

Telephone 508-583-5603



**CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101**

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: BKA Architects, Inc., 142 Crescent St., Brockton, MA 02302

RE: Certificate of Design

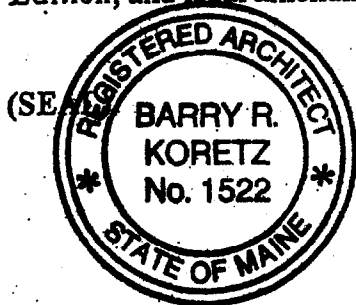
DATE: April 3, 2003

These plans and/or specifications covering construction work on:

340 Cumberland Avenue

4th Floor Tenant Fit-out

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature *Barry R. Koretz*

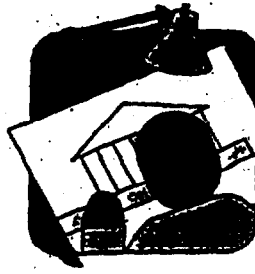
Title President

Firm BKA Architects, Inc.

Address 142 Crescent St., Brockton, MA 02302

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: BKA Architects, Inc.
142 Crescent Street, Brockton, MA 02302

DATE: April 3, 2003

Job Name: Verizon Global Network Solutions P.O.P.

Address of Construction: 340 Cumberland Avenue

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year 1999 Use Group Classification(s) B
 Type of Construction 1-B Exist. 8 Stories Exist. -5,766/sf.
 Noncombust. Bldg. Height No Change Bldg. Sq. Footage No Change
 Seismic Zone ** Group Class **
 Roof Snow Load Per Sq. Ft. ** Dead Load Per Sq. Ft. **
 Basic Wind Speed (mph) ** Effective Velocity Pressure Per Sq. Ft. **
 Floor Live Load Per Sq. Ft. 150 psf at Switch Rm.; 300 psf at Battery Rm.

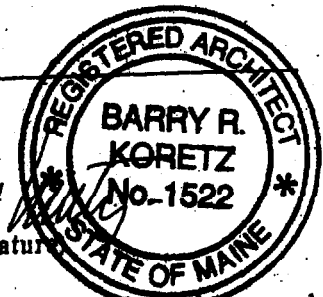
Structure has full sprinkler system? Yes No X Alarm System? Yes X No
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes X No

If mixed use, what subsection of 313 is being considered N/A

List Occupant loading for each room or space, designed into this Project.
Switch Room, Battery Room. Actual - unmanned.

(Designers Stamp & Signature)



PSH 6/07/2K

**BKA assumes per 102.2 that the existing building conformed to building codes at the time of construction, and the existing building has not been cited for any nonconformance.

INDEX & STATUS

DRAWING TITLE
REFERENCE Title Page, Code Review, & Locus Map
ARCHITECTURAL Abbreviations, Legend, Wall Types, Door Schedule, Finish Schedule, & Details Floor Plans: Demolition, New Work, Notes, & Details Coordination Plan, Partial Roof Plan, & Details Interior Elevations & Details
STRUCTURAL Structural Notes & Details
MECHANICAL Mechanical Legend, Notes & Abbreviations Mechanical Schedules Mechanical Fourth Floor Plan Mechanical Details Mechanical Riser Diagrams
CONTROLS Control Details Control Details Control Details Control Details
ELECTRICAL Electrical Symbols, Abbreviations & Notes Electrical Panelboard Schedules Electrical Single-Line Riser Diagram Electrical Basement Power Plan Electrical Fourth Floor & Roof Plan Electrical Fourth Floor & Roof Lighting Plan Electrical Grounding Plan Electrical Security & Telco Plan Steel Channel Support Plan Electrical Details Grounding Details
FIRE ALARM Fire Alarm Symbols, Abbreviations and Notes Fire Alarm Fourth Floor Plan Fire Alarm Details Fire Alarm Riser Diagram

APPROVED FOR CONSTRUCTION

(date)

(date)

Verizon

GLOBAL NETWORK SOLUTIONS, INC.

340 CUMBERLAND AVENUE

PORTLAND, ME

POINT OF PRESENCE FACILITY

WB ENGINEERING & CONSULTING, P.L.L.C.

130 New Boston Street
Suite 102
Woburn, MA 01801
Phone: (781) 935 0810
Fax: (781) 935 0603



BKA Associates, Inc.
Architects + Interiors

142 Crescent Street
Brockton, MA 02302

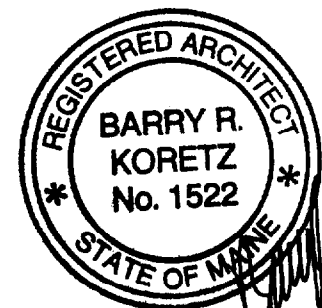
tel : 508.585.5603
fax : 508.584.2014
e-mail : bka@bka.com

McBrie, LLC

Structural Engineers

180 SYLVAN STREET
2nd FLOOR
DANVERS, MA 01923

TEL. 978-646-0097
FAX 978-646-0087
WWW.MCBRIE.COM





GLOBAL NETWORK SOLUTIONS PORTLAND, ME POP

340 CUMBERLAND AVENUE
PORTLAND, ME
BID SET - 03/25/03

PROJECT MANAGEMENT:
VERIZON PROPERTIES
1880 CAMPUS COMMONS DR.
RESTON, VA 20191
ATTN: GARY ASZTALOS, P.E.
(703) 295-4188

LOCATION DRAWING

340 CUMBERLAND AVE
PORTLAND, ME

DRAWING INDEX & STATUS

REVISION OR ISSUE NO.	CURRENT DRAWING ISSUE DATE	DWG. NO.	DRAWING TITLE
1	03-28-2003	T0.1	REFERENCE Title Page, Code Revisions & Locust Map
1	03-28-2003	A0.1	ARCHITECTURAL Abbreviations, Legend, Wall Types, Door Schedules, Finish Schedules, & Details
1	03-28-2003	A1.1	Floor Plans: Demolition, New Work, Notes, & Details
1	03-28-2003	A1.2	Coordination Plan, Partial Roof Plan, & Details
1	03-28-2003	A2.1	Interior Elevations & Details
1	03-28-2003	S0.1	STRUCTURAL General Structural Notes and Drawing Index
1	03-28-2003	S0.2	Typical Concrete Details
1	03-28-2003	S0.3	Typical Steel and Metal Deck Details
1	03-28-2003	S0.4	Typical Masonry Details
1	03-28-2003	S2.1	Foundation/Slab Plan
1	03-28-2003	S2.2	Roof Framing Plan
1	03-28-2003	S6.1	Details
1	03-28-2003	P0.01	PLUMBING Plumbing Symbols, Notes, & Abbreviations
1	03-28-2003	P2.01	Plumbing Demolition Plan
1	03-28-2003	P3.01	Plumbing Construction Plan
1	03-28-2003	M0.01	MECHANICAL Mechanical Legend, Notes & Abbreviations
1	03-28-2003	M0.02	Title 24
1	03-28-2003	M1.01	Mechanical Schedules
1	03-28-2003	M3.01	Mechanical First Floor Plan
1	03-28-2003	M4.01	Mechanical Details
1	03-28-2003	M5.01	Mechanical Floor Diagram
1	03-28-2003	ME0.01	MECHANICAL Control Details
1	03-28-2003	ME0.02	Control Details
1	03-28-2003	ME0.03	Control Details
1	03-28-2003	ME0.04	Control Details
1	03-28-2003	ME0.05	Control Details
1	03-28-2003	E0.01	ELECTRICAL Electrical Symbols, Abbreviations & Notes
1	03-28-2003	E0.02	Title 24
1	03-28-2003	E1.01	Electrical Panelboard Schedules
1	03-28-2003	E1.02	Electrical Single-Line Diagram
1	03-28-2003	E2.01	Electrical First Floor Power Plan
1	03-28-2003	E3.02	Electrical Lighting and Receptacle Plan
1	03-28-2003	E3.03	Electrical Grounding Plan & Single Line
1	03-28-2003	E3.04	Grounding Single-Line Diagram
1	03-28-2003	E3.05	Electrical Grounding Plan
1	03-28-2003	E3.06	Electrical Security and Ties Plan
1	03-28-2003	E4.01	Steel Channel Support Plan
1	03-28-2003	E4.02	Electrical Details
1	03-28-2003	E4.03	Grounding Details
1	03-28-2003	F0.01	FIRE ALARM Fire Alarm Symbols, Abbreviations and Notes
1	03-28-2003	F0.02	Fire Alarm First Floor Plan
1	03-28-2003	F0.03	Fire Alarm Details
1	03-28-2003	F0.04	Fire Alarm Floor Diagram

APPROVED FOR CONSTRUCTION

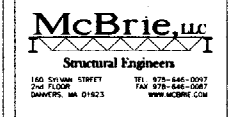
DESIGN PROFESSIONAL
SIGNATURE _____ (NAME) _____ (date)

VERIZON PROPERTIES
SIGNATURE _____ GARY ASZTALOS, P.E. _____ (date)

Building Code Summary

BASED ON BOCA 1999		
ITEM	ALLOWABLE	ACTUAL
1022 EXISTING STRUCTURES	BKA ASSUMES THE EXISTING BUILDING HAS NOT BEEN CITED FOR NON-CONFORMANCE	
USE GROUP FOR OCCUPANCY CLASSIFICATION TABLE 503 - BOCA	B - BUSINESS	B - BUSINESS
BUILDING AREA TABLE 503 - BOCA	B - NOT LIMITED 5,766 SF +/-	NO INCREASE IN AREA
BUILDING HEIGHT TABLE 503 - BOCA	B - NOT LIMITED	NO INCREASE IN HEIGHT
TYPE OF CONSTRUCTION TABLE 602 - BOCA	ASSUMED TO BE TYPE II, NON-COMBUSTIBLE	
FIRE PROTECTION SYSTEMS	THE GENERAL CONTRACTOR AND ELECTRICAL CONTRACTOR SHALL CONFORM TO AND COORDINATE WITH THE CITY OF PORTLAND FIRE DEPT. FOR ALL FIRE ALARM SYSTEMS REQUIREMENTS PRIOR TO THE WORK.	
ARTICLE 10 - BOCA MEANS OF EGRESS	3404.5-6 MEANS OF EGRESS SUMMARY: TABLE 1008.12 MAX FLOOR AREA/OCCUPANT: TABLE 1008.1 EGRESS WIDTH/OCCUPANT PER FLOOR: 5.766 SF/100+50 OCCUPANTS 3 ACTUAL 88"20"X116" LESS THAN 36" DOORS 36"MIN./20"MIN PEOPLE PER LEAF 1/2 DOORS AT THE LEVEL OF EXIT DISCHARGE/ X 180+360 OCC. MAX GREATER THAN 50 OCCUPANTS	
FIRE SEPARATION	NOT REQUIRED BECAUSE OF SAME USE GROUPS	
LENGTH OF TRAVEL (TABLE 1006.2)	100' W/O SPRINKLER SYSTEM	DOES NOT EXCEED 100'
FIRESTOP/DRAFTSTOP	FIRESTOPPING/DRAFTSTOPPING AS PER SECTION 1208 - BOCA	
INTERIOR FINISHES TABLE 803.4	BUSINESS PASSAGEWAYS: CLASS I, 26"X15" FLAME SPREAD CORRIDORS: CLASS II, 28"X15" FLAME SPREAD ROOMS OR ENC. SPACES: CLASS III, 76"X200" FLAME SPREAD ALL FLOORING: CLASS II, PASS DOC-FP-1 "PULL TEST"	

NOTE: THE CODE SUMMARY ASSUMES A DESIGN BASED ON LANDLORD SUPPLIED INFORMATION FOR USE GROUP AND TYPE OF CONSTRUCTION.



N	
8/23/03	ISSUED FOR BID
8/28/03	ISSUED FOR 90%

TITLE SHEET DRAWING LIST LOCUS MAP	
SCALE:	AS NOTED
JOB NUMBER:	000009-000-00
DATE:	3/25/03
DRAWN BY:	TW
SHEET NUMBER:	
TO.1	

DEMOLITION NOTES

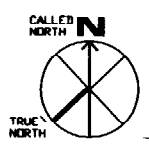
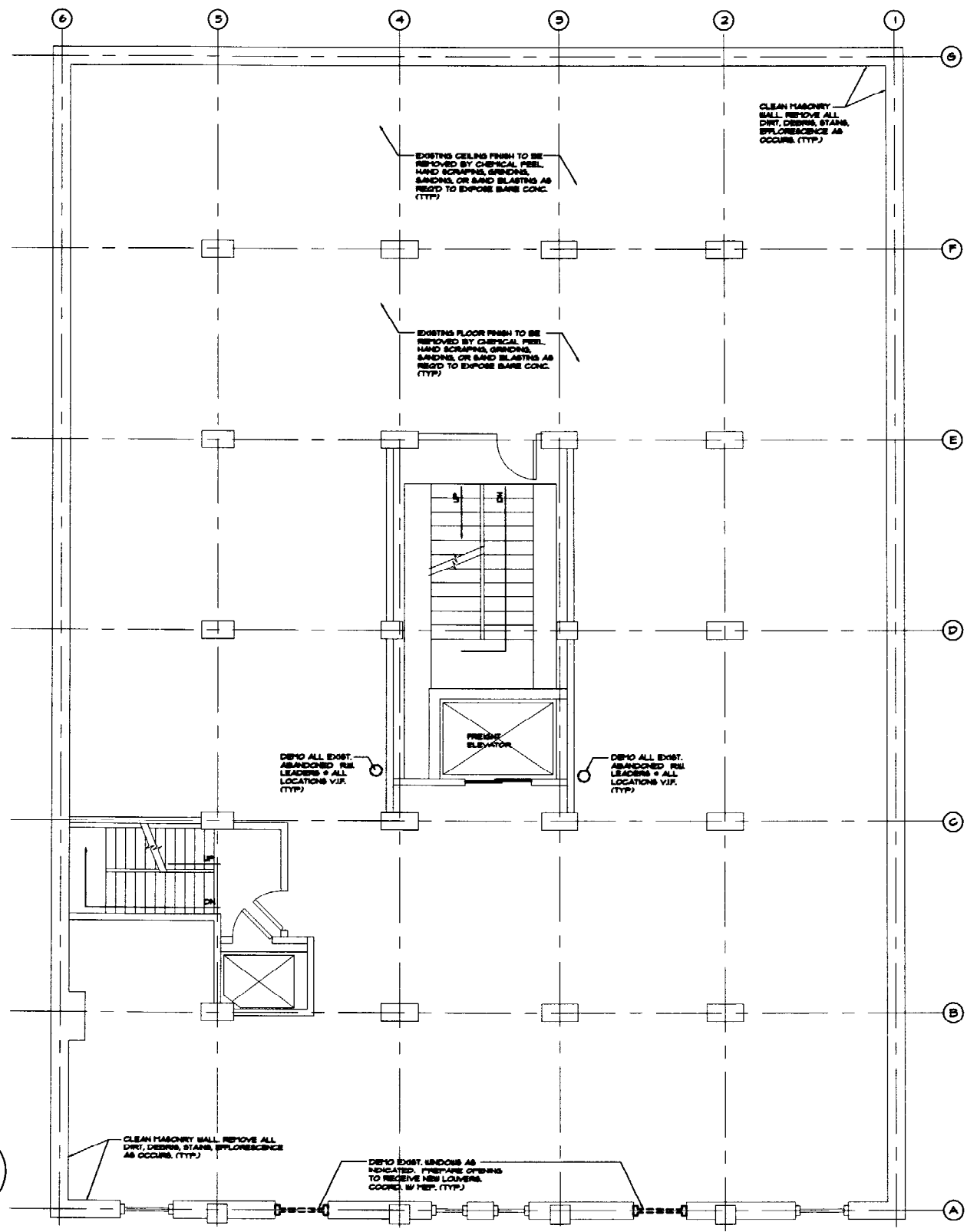
- WHERE EXISTING CONSTRUCTION-TO-REMAIN IS AFFECTED BY DEMOLITION OR INSTALLATION OF NEW WORK PATCH & REPAIR OR REPLACE THE WORK AT SURFACES THAT HAVE BEEN DAMAGED TO MATCH EXISTING (T.M.E.) ADJACENT CONSTRUCTION- INCLUDING RE-PAINTING, FRESH NEW AND EXISTING SURFACES, REMOVE EXIST GREASE AND LOOSE PAINT BEFORE RE-PAINTING
- NEW CONSTRUCTION IS T.M.E. ADJACENT CONDITIONS UNLESS NOTED OTHERWISE (N.O.)- INCLUDING FRESH (E.S. PAINT)- WHERE AFFECTED BY WORK.
- NO NEW WORK SHALL OCCUR IN EXISTING BUILDING UNTIL PROTECTION AND DUST REMEDIATION HAVE BEEN COMPLETED AND APPROVED BY THE ARCHITECT AND VERIZON. (TYP) SEE MORE EXISTING PLAN.
- SHORE AND BRACE EXISTING CONSTRUCTION CONDITIONS AS REQUIRED FOR REMOVAL OF EXISTING CONSTRUCTION OR INSTALLATION OF NEW WORK.

DEMOLITION NOTES:

- GENERAL**
 - SUBMIT FOR APPROVAL SELECTIVE DEMOLITION SCHEDULE, INCLUDING SCHEDULE AND METHODS FOR CAPPING AND CONTAINING UTILITY SERVICE, AND LIST OF COMPANIES SCHEDULED TO RECEIVE RECYCLED MATERIALS.
 - ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL OTHER LOCAL, STATE AND FEDERAL AGENCIES AND AUTHORITIES HAVING JURISDICTION.
 - OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO PERFORM THE DEMOLITION WORK AS REQUIRED BY ALL AGENCIES AND AUTHORITIES HAVING JURISDICTION.
 - DEMOLITION CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR ALL TOWN OF FRANKENHAM REQUIREMENTS FOR PROTECTION OF PERSONS, PROPERTY, TRAFFIC CONTROL, BARRICADES, ETC. FOR THE DURATION OF THE DEMOLITION CONTRACT.
- HANDLING**
 - WHEN THE NATURE OF DEMOLITION WORK REQUIRES THEIR USE, ERECT AND MAINTAIN DUST CAPS FOR THE DISPOSAL OF MATERIALS, RUBBISH AND DEBRIS.
 - REMOVE SALVAGE AND DEBRIS FROM THE SITE AS IT ACCUMULATES. DO NOT STORE, BURN OR OTHERWISE DISPOSE OF DEBRIS ON THE SITE. REMOVE ALL MATERIALS IN SUCH MANNER AS TO PREVENT SPILLAGE. KEEP ALL PAVEMENTS AND AREAS ADJACENT TO AND LEADING FROM THE SITE CLEAN AND FREE OF MUD, DIRT, AND DEBRIS AT ALL TIMES. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER - OFF SITE.
 - SORT DEBRIS FOR RECYCLING TO THE EXTENT POSSIBLE. REMOVE OR ARRANGE FOR THE TRANSPORT OF SORTED MATERIALS SCHEDULED TO BE RECYCLED TO APPROPRIATE OFF-SITE FACILITIES EQUIPPED FOR THE RECYCLING OF SPECIFIC MATERIALS. PROVIDE CONTAINERIZED CONTAINERS FOR THE SORTING OF DUMP DEBRIS.
 - ERECT AND MAINTAIN TEMPORARY BRACINGS, SHORING, LIGHTS, BARRICADES, WARNING SIGNS, AND SHARD NECESSARY TO PROTECT BUILDING OCCUPANTS, AND ADJOINING TENANTS FROM SLURRY, AND/OR DAMAGE, ALL IN ACCORDANCE WITH APPLICABLE RULES AND REGULATIONS.
 - DO NOT DAMAGE BUILDING ELEMENTS AND IMPROVEMENTS INDICATED TO REMAIN. ITEMS OF SALVAGE VALUE WHICH ARE NOT INCLUDED ON SCHEDULE OF SALVAGE ITEMS TO BE RETURNED TO OWNER SHALL BE REVIEWED WITH OWNER AS TO WHETHER THEY CAN BE REMOVED FROM THE PREMISES. STORAGE OR SALE OF ITEMS AT PROJECT SITE IS PROHIBITED. EXCLUDED MATERIAL SHALL BE COMPLETELY REMOVED FROM THE SITE AND DISPOSED OF USING LEGAL METHODS.
 - DO NOT CLOSE OR OBSTRUCT THE MEANS OF EGRESS, CORRIDORS, OR OTHER OCCUPIED SPACES WITHOUT THE WRITTEN PERMISSION OF THE OWNER AND THE AUTHORITIES HAVING JURISDICTION. DO NOT INTERRUPT UTILITIES WITHOUT THE WRITTEN PERMISSION OF THE OWNER OR AUTHORITIES HAVING JURISDICTION. IF NECESSARY, PROVIDE TEMPORARY UTILITIES.
 - CEASE OPERATIONS IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED PROPERLY.
- SEQUENCING AND EXECUTION**
 - PREPARE AND FOLLOW ORGANIZED PLAN FOR DEMOLITION AND REMOVAL OF ITEMS.
 - SHUT OFF, CAP, AND OTHERWISE PROTECT EXISTING UTILITY LINES IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLIC AGENCY OR UTILITY HAVING JURISDICTION.
 - COMPLETELY REMOVE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID, AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS, GOVERNMENTAL AGENCIES HAVING JURISDICTION.
 - USE MEANS NECESSARY TO PREVENT DUST BECOMING A NUISANCE TO OTHER TENANTS OF THE BUILDING, THE PUBLIC, NEIGHBORING BUILDINGS, AND TO OTHER WORK BEING PERFORMED.
 - ENSURE DEMOLITION WORK TO ENSURE SAFETY OF PERSONS AND ADJACENT PROPERTY AGAINST DAMAGE BY FALLING DEBRIS.
 - COORDINATE THE REMOVAL, RELOCATION, REPLACEMENT, REUSE, SHUT-OFF, SHUT-OFF, CAPPING-OFF OR UPGRADING OF ALL EXISTING PLUMBING, HVAC, FIRE ALARM, SECURITY AND ELECTRICAL SYSTEMS, EQUIPMENT, AND APPLIANCES - INCLUDING, BUT NOT LIMITED TO, UTILITY LINES, DUCTS, CONNECTIONS, PANELS, VENTS, FANS, FIREFIGHTING DEVICES, CONTROLS, SWITCHES, OUTLETS, AND CONDUIT DURING CONSTRUCTION AS REQUIRED, AS SCHEDULED OR AS SPECIFIED IN ACCORDANCE WITH ALL LOCAL, MUNICIPAL AND STATE CODES. REFER TO PLUMBING, HVAC AND ELECTRICAL DRAWINGS FOR RELATED REQUIREMENTS.
- SALVAGE**

SALVAGE ANY ITEMS REQUESTED BY OWNER, E.C. TO COORDINATE WITH OWNER PRIOR TO DEMO. ITEMS TO BE SALVAGED AND SORTED FOR RECYCLING:

 - ALL MASONRY MATERIALS.
 - ALL METAL PRODUCTS, INCLUDING BUT NOT LIMITED TO, MISCELLANEOUS METALS, METAL DOORS AND FRAMES AND STRUCTURAL STEEL.
 - ALL FRAMES AND STRUCTURAL STEEL, INCLUDING BUT NOT LIMITED TO, ALUMINUM DOORS, FRAMES AND ELECTRONICS.
 - ALL UNTREATED WOOD STUDS, FRAMING AND FLYWOOD.
 - ANY OTHER ITEMS DEEMED RECYCLABLE BY THE E.C., OWNER OR ARCHITECT PRIOR TO THE START OF DEMOLITION.



DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"

3/25/03	2	ISSUED FOR BID
3/27/03	1	ISSUED FOR RFP

DEMOLITION PLAN

SCALE:	AS NOTED
JOB NUMBER:	03254-00-01
DATE:	03/25/03
DRAWN BY:	TJMAP
SHEET NUMBER:	

D1.1

Owner:

VERIZON GLOBAL SOLUTIONS, INC
325 TURNPIKE RD.
2ND FLOOR
SOUTHBORO, MA 01772

MR. CHRIS HATCH
TELEPHONE: 508-480-3585
FAX: 508-788-2861

Locus Map



Legend

- EXISTING PARTITIONS TO BE DEMOLISHED
--- EXISTING PARTITIONS TO REMAIN
--- NEW AND PARTITION
--- PATCH & REPAIR EXISTING PARTITIONS
--- DUST PARTITION
--- COLUMN LINE
--- NOTE TAG
--- WINDOW/DOOR TAG
--- DOOR TAG
--- NEW EQUIPMENT
--- MALL TAG
--- CABLE SLOT NUMBER
--- SECTION TAG
--- ELEVATION TAG
--- DETAIL TAG

Abbreviations

- ACP - ADJACENT CEILING PANEL
ADJ - ADJACENT
AFP - ABOVE FINISHED FLOOR
ALUM - ALUMINUM
APVD - APPROVED
B.O.C.A. - BUILDING OFFICIALS & CODE ADMINISTRATORS
CA - CHAPTER
CS - CABLE SLOTS
C.S.C. - CLEAR SEALED CONCRETE
COORD. - COORDINATE
CONT. - CONTRACTOR
D - DEEP
DEM. - DEMOLITION
DET. - DETAIL
DRAIN - DRAINAGE
ELEC. - ELECTRICAL
ETC. - ET CETERA
ETR. - EXISTING TO REMAIN
EXST. - EXISTING
FIN. - FINISHED
FL. - FLOOR
F.P. - FACE OF
F.R. - FIRE RATED
F.T.M. - FIRE TREATED WOOD
G.C. - GENERAL CONTRACTOR
G.F.N. - GYPSONUM FINISH
H.C. - HANDICAP
H.H. - HOLLOW METAL
H.V.A.C. - HEATING, VENTILATION & AIR CONDITIONING
INSUL. - INSULATION
INSUL. - INSULATION
MEP. - MECHANICAL, ELECTRICAL & PLUMBING
MISC. - MISCELLANEOUS
MURR. - MURDER RESISTANT
MTL. - METAL
NA - NOT APPLICABLE
N.C. - NOT IN CONTRACT
NOM. - NOMINAL
O.A.E. - OR APPROVED EQUAL
O.C. - ON CENTER
O.F.I. - OTHER FURNISHED AND INSTALLED
OFF. - OFFICE
P.F. - PRESSED METAL
P.T. - PRESSURE TREATED
PT. - PAINT
R.C.P. - REFLECTED CEILING PLAN
RESUR. - RESURFACING
S.S. - STAINLESS STEEL
STRUC. - STRUCTURE/STRUCTURAL
TILE - TO MATCH EXISTING
T.O. - TOP OF
TYP. - TYPICAL
UNL. - UNLESS NOTED OTHERWISE
U.S. - UNDERSIDE
V.C.T. - VINYL COMPOSITE TILE
V.I.P. - VERIFY IN FIELD

Owners Reps:

VERIZON PROPERTIES
1800 CAMPUS COMMONS DR.
REBTON, VA 20181

MR. GARY ASZTALOG, P.E.
TELEPHONE: 703-295-4188
FAX:

Architect:

EKA ARCHITECTS, INC.
142 CRESCENT STREET
BROCKTON, MA 02302

MR. TIMOTHY J. FITZROY
TELEPHONE: 508-583-5803
FAX: 508-584-2044

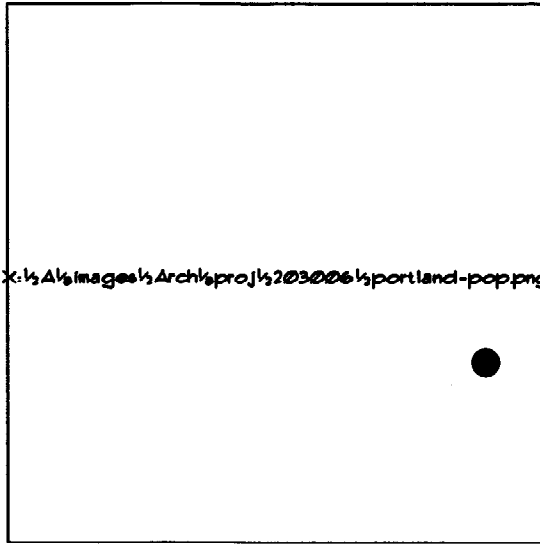
Engineers:

WB ENGINEERING (MEP/FP ENGINEER)
190 NEW BOSTON ST.
SUITE 102
WOBURN, MA 01810

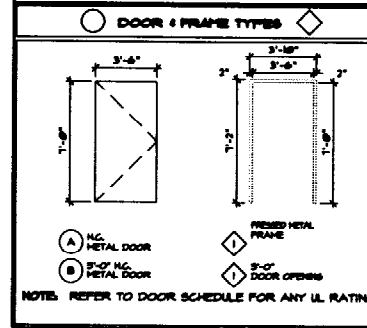
MR. PETER DUSSAULT
TELEPHONE: 781-935-0810
FAX: 781-935-0803

McBRIE, LLC, STRUCTURAL ENGINEERS
160 SYLVAN ST.
DANVERS, MA 01923

MR. MICHAEL FERHAM, PE
TELEPHONE: 978-646-0067
FAX: 978-646-0067



DOOR SCHEDULE table with columns for NO., FROM, TO, SIZE, TYPE, FRAME, FINISH, HARDWARE, LOCKSET, and FIRE RATING. Includes rows for LOBBY, SWITCH ROOM, BATTERY ROOM, and STORAGE.



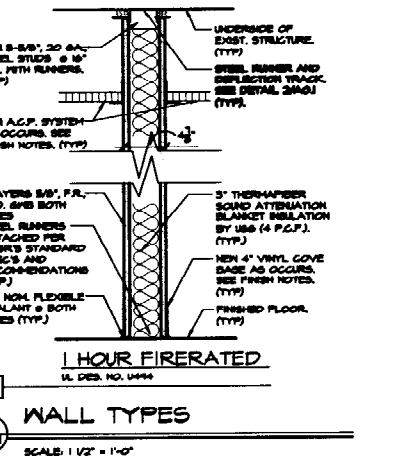
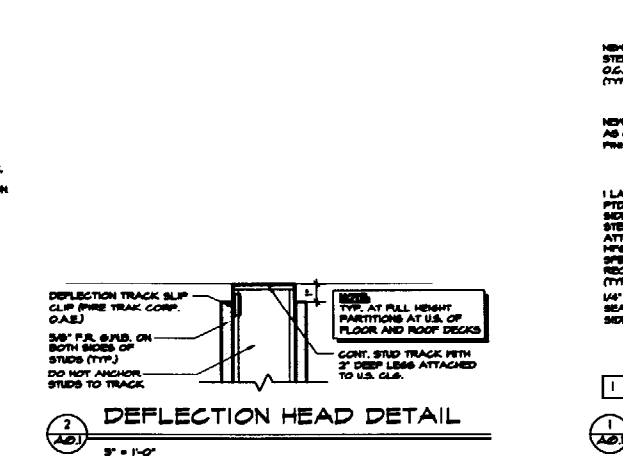
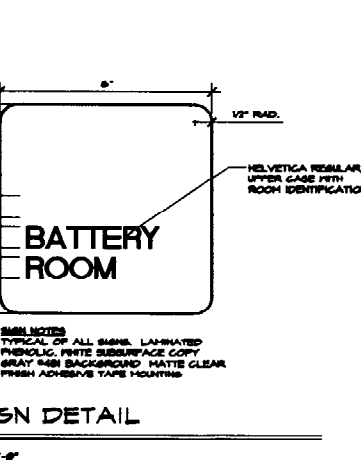
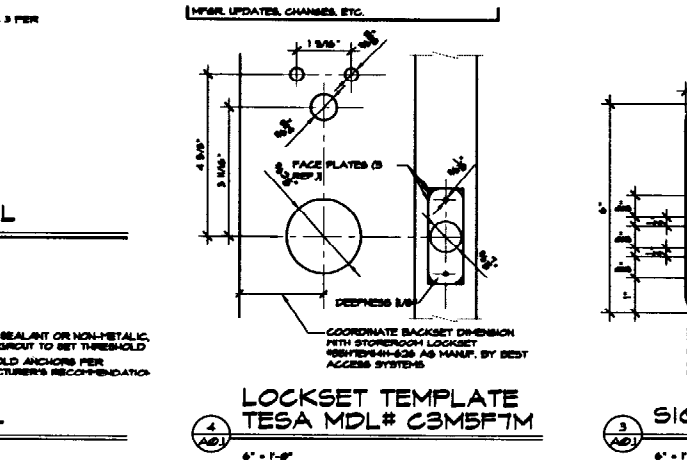
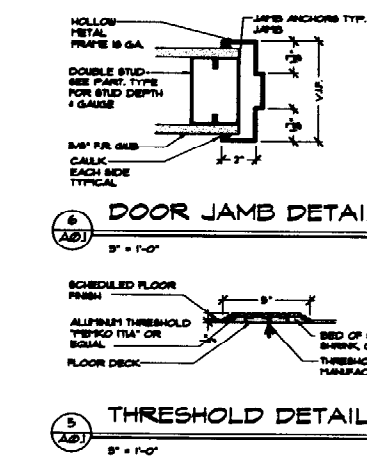
DOOR SCHEDULE NOTES
1. ALL NEW AND EXISTING HARDWARE SHALL BE IN COMPLIANCE WITH ADA AND MAINE ACCESSIBILITY CODES AND ANY APPROPRIATE.

DOOR HARDWARE DESCRIPTION table with columns for HARDWARE, ITEM #, BEST CATALOG #, and COMMENTS. Lists items like MORTISE LOCK, HORIZONTAL LOCK, and DOOR STOP.

FINISH SCHEDULE table with columns for NO., ROOM, FLOOR, BASE, MALL, CLG, CLG. MET., and REMARKS. Lists finishes for SWITCH ROOM, LOBBY, BATTERY ROOM, and STORAGE.

GENERAL FINISH NOTES
1. UPON RECEIPT FROM THE MANUFACTURER, THE INSTALLER SHALL INSPECT ALL MATERIALS FOR DEFECTS, SHIPPING DAMAGE, CORRECT COLOR AND PATTERN.

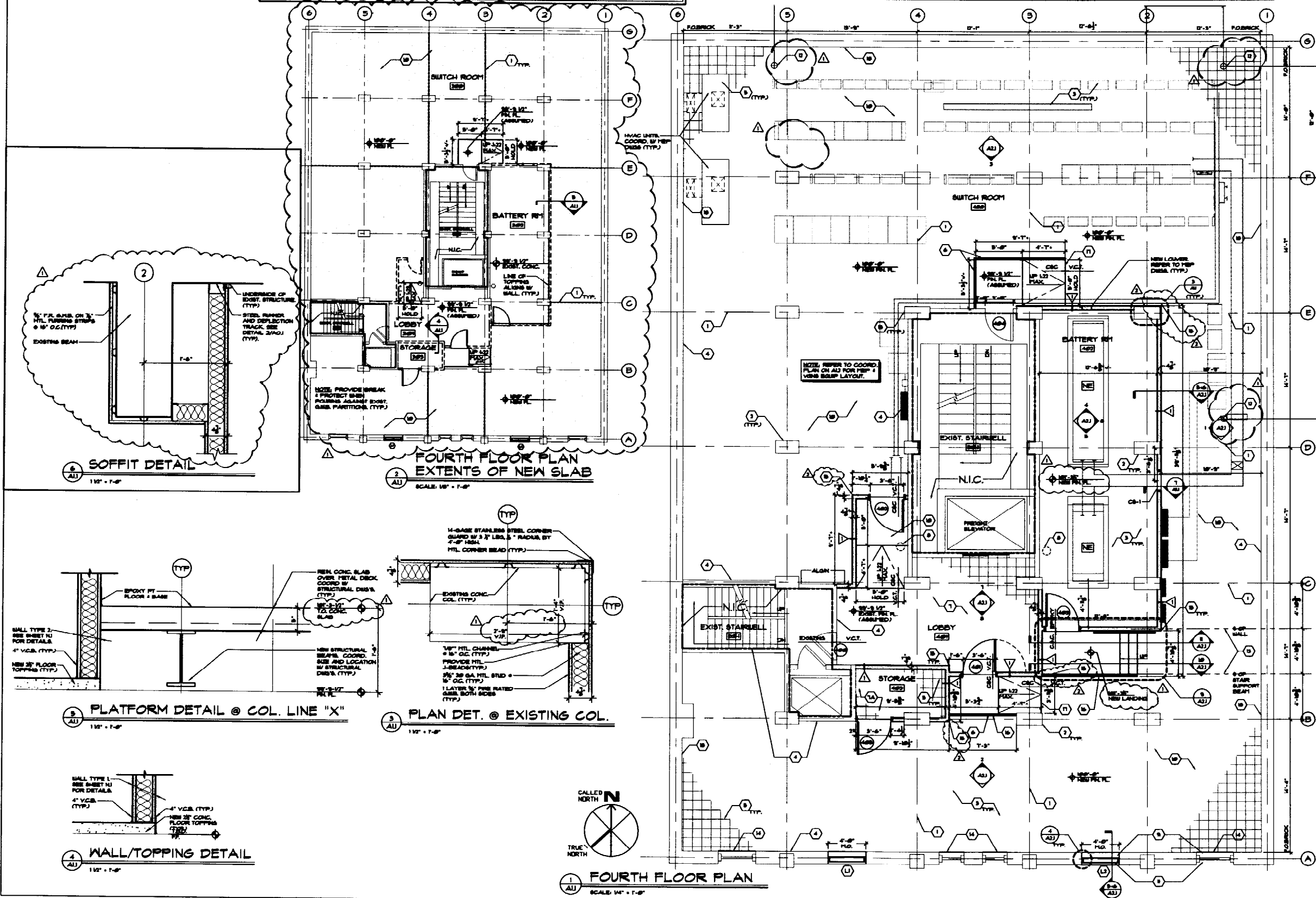
FINISH SCHEDULE NOTES
1. PAINT FINISH OF ALL WALL/COLUMN SURFACES SHALL BE "EMERALD-GLASS" PLATE AS MANUFACTURED BY BARRON WILLIAMS OR APPROVED EQUAL.



Vertical sidebar containing logos for Verizon, WB Engineering & Consulting, LLC, and McBrie, LLC. Includes contact information and a revision table at the bottom.

- KEYED PLAN NOTES**
- PROVIDE CONTROL JOINTS, AS DIRECTED BY ARCHITECT OR STRUCTURAL ENGINEER, IN CONCRETE FLOOR TOPPING. ALIGN NEW CONTROL JOINTS W/ EXISTING SLAB BELOW (TYP) REFER TO GEN. NOTE 5
 - PATCH & REPAIR EXIST. CEILING W/ MIN. 2500 PSI GROUT. SCRAPE, PRIME, FINISH & PAINT (TYP)
 - EXISTING CEILING FINISH TO BE REMOVED BY CHEMICAL, PNEUMATIC, SANDING, SANDING OR SAND BLASTING AS NOTED TO EXPOSE BASE CONC. PATCH AND REPAIR EXISTING CONC. CEILING W/ 2500 PSI GROUT. PRIME, FINISH AND G.C. PER FRAMES SPECIFICATIONS & RECOMMENDATIONS (TYP)
 - PATCH AND REPAIR EXISTING WALLS. PREP FOR NEW FINISH. SEE GEN. NOTES 5, 6, & 8. (TYP)
 - NEW V.C.T. ANTI-RUSTING PRIMER, MODERN DEXCELON 5004 STERLING (TYP)
 - PROVIDE REINFORCING EDGE TERMINATION (TYP)
 - 2" X 2" A.C.P. CLS. W/ HOLD DOWN CLIPS @ 8'-0" APP. SEE FINISH SCHEDULE
 - 2" X 2" A.C.P. CLS. W/ HOLD DOWN CLIPS. SEE FINISH SCHEDULE
 - REMOVE ALL EXIST. ABANDONED RAIL LEADERS @ ALL LOCATIONS V.P. (TYP)
 - REMOVE EXIST. WINDOW AS INDICATED. PREPARE OPENING TO RECEIVE NEW LOUVER. COORD. W/ MEP. (TYP)
 - NEW 2-1/2" CONC. FLOOR TOPPING. COORD. WITH STRUCT. DIBS, SPEC'S AND HEIGHTS (TYP) REFER TO S1/A1 FOR LISTS. REFER TO GEN. NOTE 5
 - NEW LOUVER
 - PROVIDE BRASS FLOOR MARKER FOR USE AS A BENCH MARK (B/M) FOR VERIZON EQUIPMENT LAYOUT. COORD. W/ VMSB (TYP)
 - ALIGN LAYOUT W/ LINE OF EXISTING JOISTS BELOW SLAB. COORD. W/ STRUCTURAL DIBS (TYP)
 - ADHERE 3/4" MIN. THICK FLEX TO CONC. AT WINDOW OPENINGS (TYP)
 - PROVIDE 1/2" GA. CORNER GUARD W/ 3/4" LEG. 3" RADIUS BY 7'-0" HIGH @ ALL EXT. CORNERS (TYP)
 - PROVIDE REMOVABLE RAIL. SEE RAIL DET'S ON SHEET A11
 - PROVIDE REDUCER STRIP (TYP)
 - CLEAN MASONRY WALL. REMOVE ALL DIRT, DEBRIS, STAIN, IMPROBES AS OCCURS. PROVIDE A BREATHABLE ELASTOMERIC COATING INSTALLED PER FRAMES SPECIFICATIONS & RECOMMENDATIONS. *CONFORM LASTIC G.L.S. COLOR APPLIED BY ARCHITECT.

- GENERAL NOTES**
- THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO THE BEGINNING OF WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WHICH MAY ALTER OR PROHIBIT THE EXECUTION OF THE WORK AS SPECIFIED IN THE CONTRACT DOCUMENTS.
 - PATCH, REPAIR AND FILL SOLID ALL ABANDONED PENETRATIONS, JUNCTION BOXES, POWER AND TELEPHONE OUTLETS AT ALL SURFACES.
 - THE ENTIRE FLOOR SHALL BE LEVELLED TO " IN 8'-0", 1" OVER THE LENGTH OF THE SPACE, AND 3/4" IN ANY BUILDING BAY. PROVIDE SPOT LEVELS WITH ARDEX K-3.
 - ALL PLYWOOD, BLOCKING, BACKING AND FURRING SHALL BE FIRE RETARDANT A.P.A. RATED.
 - WHERE EXISTING CONSTRUCTION IS AFFECTED PATCH/REPAIR SO THAT ALL NEW FINISHES SHALL MATCH BLEND AND ALIGN WITH EXISTING ADJACENT SURFACES. THIS IS TYPICAL FOR ALL SURFACES.
 - PROVIDE PAINTING (ONE (1) PRIME AND TWO (2) FINISH COATS) AND SURFACE PREPARATION FOR ALL UNFINISHED AND PREVIOUSLY PAINTED SURFACES INCLUDING- BUT NOT LIMITED TO ALL TIES EXISTING AND NEW WALLS, DOORS, DOOR FRAMES, CABLE SLOT FRAMES, ETC. ALL SURFACES SHALL BE PAINTED WITH A VAPOR RETARDANT PAINT EXCEPT AS NOTED.
 - THE G.C. SHALL SEAL ALL THRU-WALL & FLOOR PENETRATIONS W/ 3/4" BANNER CALK & SEALANT ON UEG SIFTS.
 - THE G.C. SHALL BE RESPONSIBLE FOR DAILY REMOVAL & LEGAL DISPOSAL OF DEBRIS.
 - DRAWINGS ARE NOT TO BE SCALED. ALL WORK LINES AND LEVELS SHALL BE Laid OUT BY SWITH DIMENSIONS. GIB DIMENSIONS ARE FROM FACE TO FACE OF FRAMA. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. ALL DEVIATIONS SHALL BE CORRECTED BY THE CONTRACTOR BEFORE HE BEGINS HIS PORTION OF THE WORK.
 - INSTALL A CONTINUOUS SEALANT BEAD ON BACKER-BED AT JUNCTIONS OF DISSIPAR MATERIALS (SP. METAL TO CIVL STEEL TO ALUMINUM) AND ALL NEW MATERIAL JOINTS AS REQUIRED BY THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS, INDUSTRY STANDARDS, AND GOOD PRACTICE.
 - COORDINATE & INSTALL PART BLOCKING FOR ALL WALL MOUNTED EQUIPMENT, PICTURES, ETC.
 - PROVIDE CONTINUOUS GALVANIZED METAL EDGE AT ALL NEW GAB WORK.



verizon
GLOBAL NETWORK SOLUTIONS, INC.
340 CUMBERLAND AVENUE
PORTLAND, ME
POINT OF PRESENCE FACILITY

WB ENGINEERING & CONSULTING, P.L.L.C.
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Portland, ME 04101
Phone: (703) 925-0800
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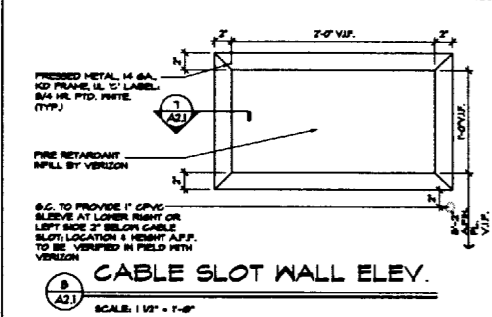
SK
SKA Architecture, Inc.
Architects + Interiors
1400 Greenwood Street
Portland, ME 04103
Tel: 603.233.2000
Fax: 603.233.2000

3/25/05	2	ISSUED FOR BID
3/7/05	1	ISSUED FOR RFP

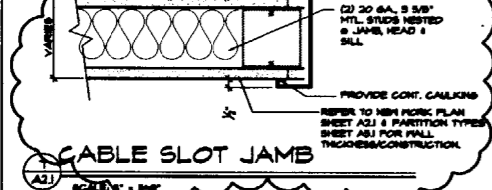
FLOOR PLANS, DETAILS

SCALE: AS NOTED
JOB NUMBER: 000000-004-00
DATE: 05/04/05
DRAWN BY: TFRMAP
SHEET NUMBER:

A1.1

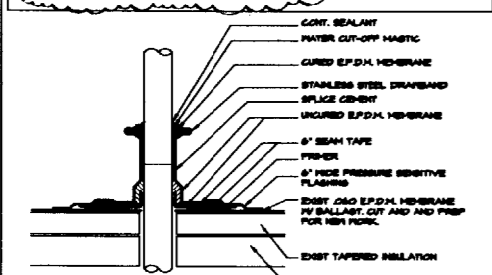


CABLE SLOT WALL ELEV.
SCALE: 1/8" = 1'-0"

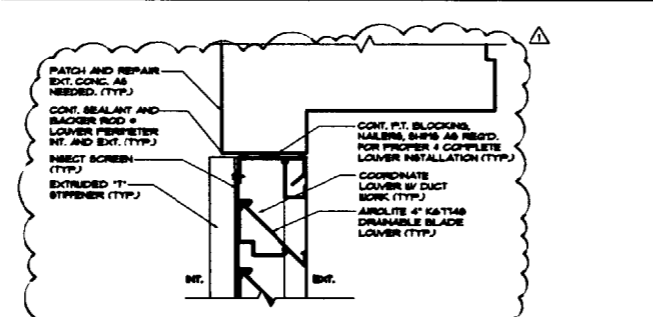


CABLE SLOT JAMB
SCALE: 1/8" = 1'-0"

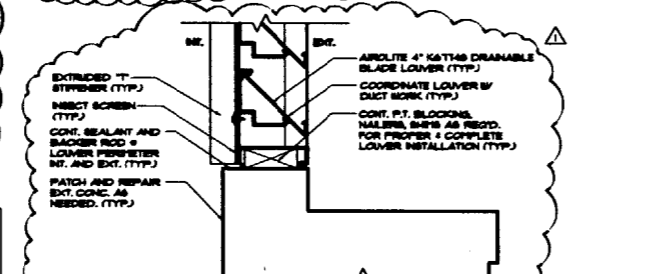
CABLE SLOT NO.	FRAME	LOCATION	WALL THICKNESS	REMARKS
FOURTH FLOOR				
1	1/4\"/>			



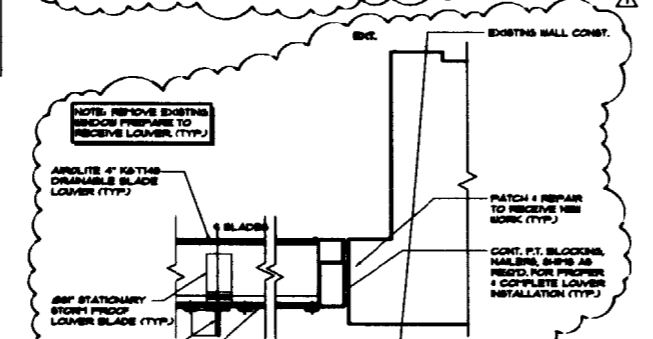
FIELD-FABRICATED PIPE FLASHING
SCALE: 1/8" = 1'-0"



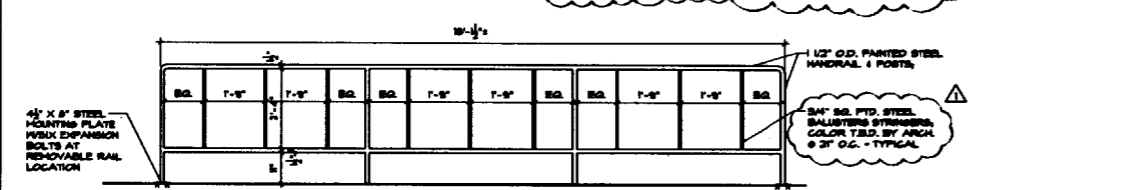
HEAD @ LOUVER
SCALE: 3/4" = 1'-0"



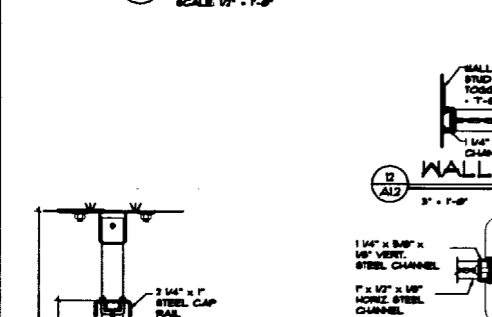
SILL @ EXT. LOUVER
SCALE: 3/4" = 1'-0"



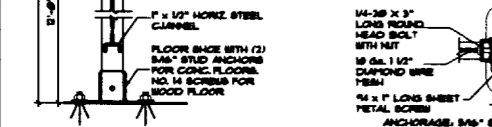
JAMB @ EXT. LOUVER
SCALE: 3/4" = 1'-0"



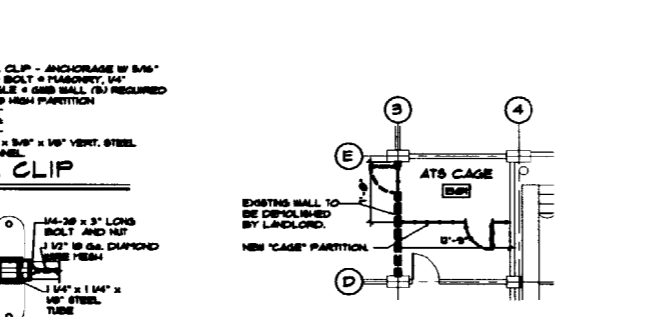
ROOF GUARDRAIL ELEVATIONS
SCALE: 1/2" = 1'-0"



WALL CLIP
SCALE: 3/4" = 1'-0"



TUBE CONNECT
SCALE: 3/4" = 1'-0"



PART'L BASEMENT PLAN
SCALE: 1/8" = 1'-0"



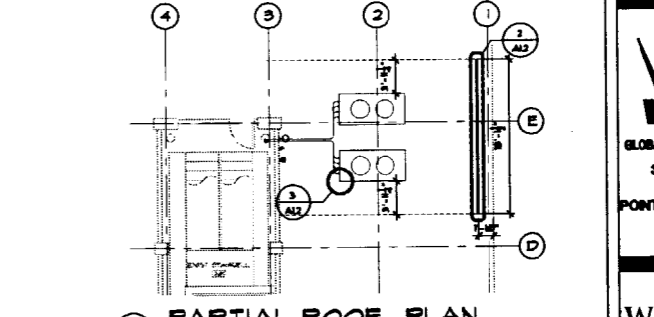
SECT. @ WIRE PART
SCALE: 3/4" = 1'-0"



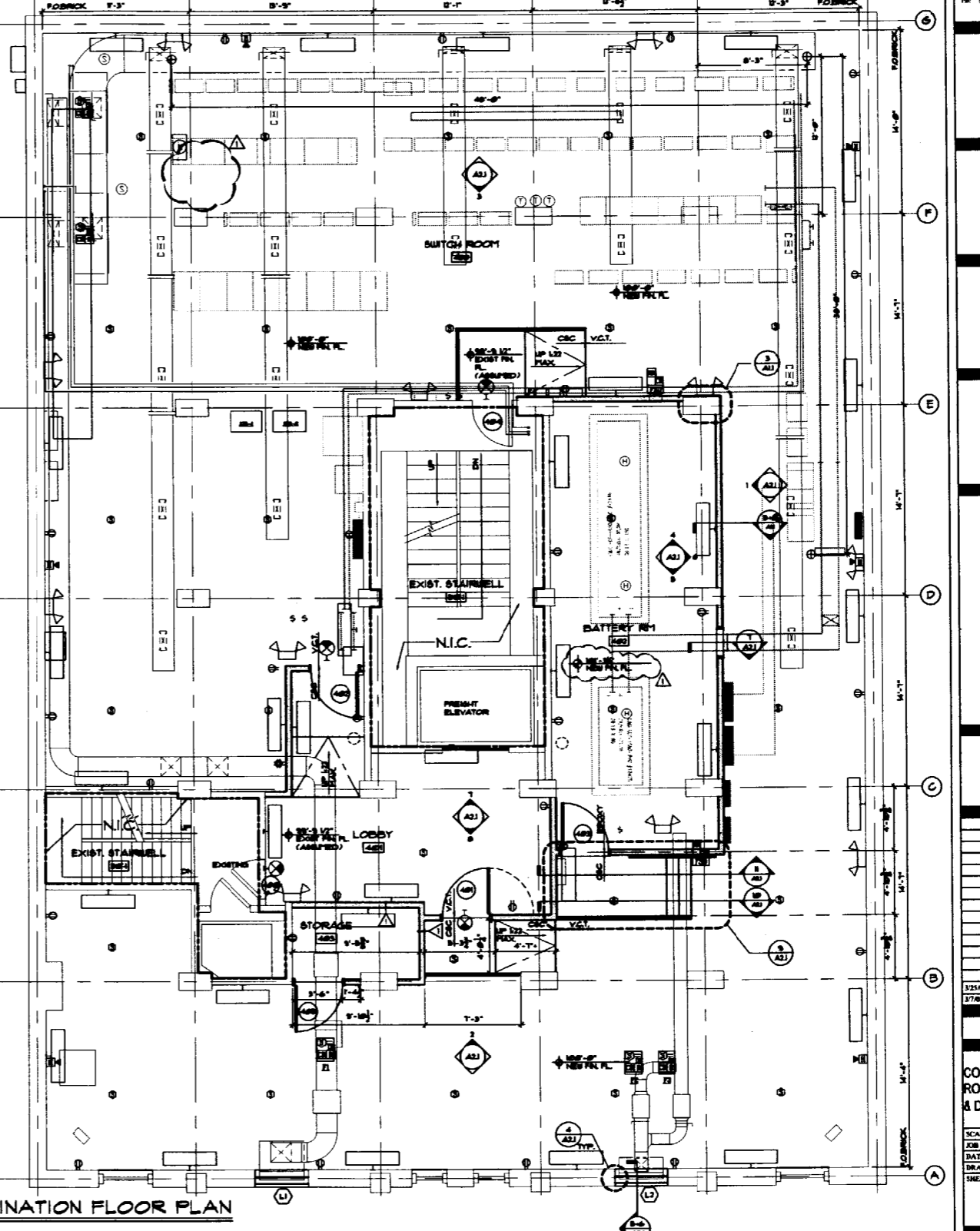
3 WAY TUBE
SCALE: 3/4" = 1'-0"

LOUVER SCHEDULE					
LOUVER #	SIZE	INT.	EXT.	LOCATION	REMARKS
L1	8'-0" x 4'-0"		Ø	SWITCH	COORDINATE W/ H.E.P. DWGS
L2	8'-0" x 4'-0"		Ø	SWITCH	COORDINATE W/ H.E.P. DWGS

LOADINGS:
1. AIRGLITE LOUVERS ARE SHOWN AND ARE USED AS A BASIS OF DESIGN, PERFORMANCE, AND QUALITY STANDARDS TO BE MET.
2. LOUVERS SHALL HAVE 20\"/>



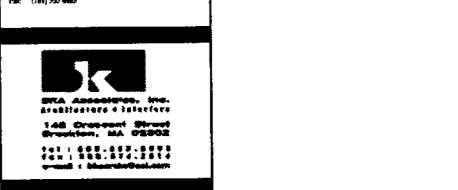
PARTIAL ROOF PLAN
SCALE: 1/8" = 1'-0"



COORDINATION FLOOR PLAN
SCALE: 1/8" = 1'-0"



WB ENGINEERING & CONSULTING P.L.L.C.
15 New Boston Road
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Winnon, MA 01890
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3/21/03	2	ISSUED FOR BID
3/7/03	1	ISSUED FOR RFP

COORD. PLAN, ROOF PLAN, ROOF DET., LOUVER SCHED. & DET., CABLE SLOT DET.
SCALE: AS NOTED
JOB NUMBER: 000308-00-00
DATE: 3-4-03
DRAWN BY: TBM/MP
SHEET NUMBER: **A1.2**

GENERAL NOTES

ALL WORK SHALL CONFORM TO THE 1999 BOCA NATIONAL BUILDING CODE.

THE OWNER SHALL RETAIN THE SERVICES OF AN INDEPENDENT TESTING AGENCY TO PERFORM STRUCTURAL INSPECTIONS AS INDICATED ON THE DRAWINGS AND AS REQUIRED/INDICATED BY THE SCHEDULE OF STRUCTURAL TESTS AND INSPECTIONS.

THE CONTRACTOR SHALL EXAMINE ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR VERIFICATION, LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THE STRUCTURAL FOUNDATION DRAWINGS.

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCY BEFORE PROCEEDING WITH THE WORK.

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING & SHORING UNTIL ALL STRUCTURAL WORK IS COMPLETE.

SHOP DRAWINGS, IN ADDITION TO THE SUBMITTALS REQUIRED BY THE PROJECT SPECIFICATIONS, SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION FOR THE FOLLOWING:

- 1) STRUCTURAL STEEL
- 2) EXPANSION BOLTS AND ADHESIVE ANCHORS

PROVIDE SEALANT AT ALL CONTROL JOINTS.

STRUCTURAL DESIGN NOTES

DESIGN LOADING:

BUILDING CAPACITY FOR STRUCTURAL ENGINEERING SERVICES, INC.
FOURTH FLOOR LINE LOAD = 176 PSF
BATTERY ROOM FRAMING DEAD LOAD = 60 PSF
BATTERY ROOM FRAMING LIVE LOAD = 300 PSF

STRUCTURAL INSPECTIONS

AT A MINIMUM, THE FOLLOWING WILL BE INSPECTED:

1. REBAR PLACEMENT/DECK PLACEMENT
2. CONCRETE PLACEMENT
3. STRUCTURAL STEEL

CONCRETE & REINFORCING

ALL CONCRETE WORK SHALL CONFORM TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-09)" AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 309).

ALL CONCRETE IN SLABS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. ALL CONCRETE SHALL HAVE BETWEEN 4 TO 6% AIR ENTRAINMENT AND 4" MAXIMUM SLUMP.

REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING:

- (A) ASTM A615, GRADE 60 FOR DEFORMED BARS (F_y = 60,000 P.S.I.)
- (B) WELDED WIRE FABRIC (W/F) REINFORCEMENT: ASTM A185

WELDED WIRE FABRIC (W/F) SHALL BE LAPPED 6" ON ONE SPACE, WHICHEVER IS LARGER, AND SHALL BE WIRED TOGETHER.

STRUCTURAL STEEL

STRUCTURAL STEEL WORK SHALL CONFORM TO PART 5 OF THE MANUAL OF STEEL CONSTRUCTION (AISC ASD 1989). ALL WELDING SHALL CONFORM TO AWS D1.1 AND BE PERFORMED BY APPROVED CERTIFIED WELDERS. ALL WELDS SHALL USE E70XX ELECTRODES BOTH IN THE SHOP AND IN THE FIELD.

SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO FABRICATION.

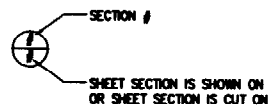
STRUCTURAL STEEL SHALL CONFORM TO ASTM A500 WITH F_y = 50ksi FOR ROLLED SHAPES AND ASTM A500 GRADE B (F_y = 48ksi) FOR STEEL TUBES AND PIPE COLLARS. BOLTED CONNECTIONS SHALL BE MADE USING A MINIMUM OF 3/4" & ASTM A325 HIGH STRENGTH BOLTS.

W/16 PLATE TYPE CONNECTIONS ARE TO BE USED AT ALL BEAM TO COLUMN CONNECTIONS U.G.A.

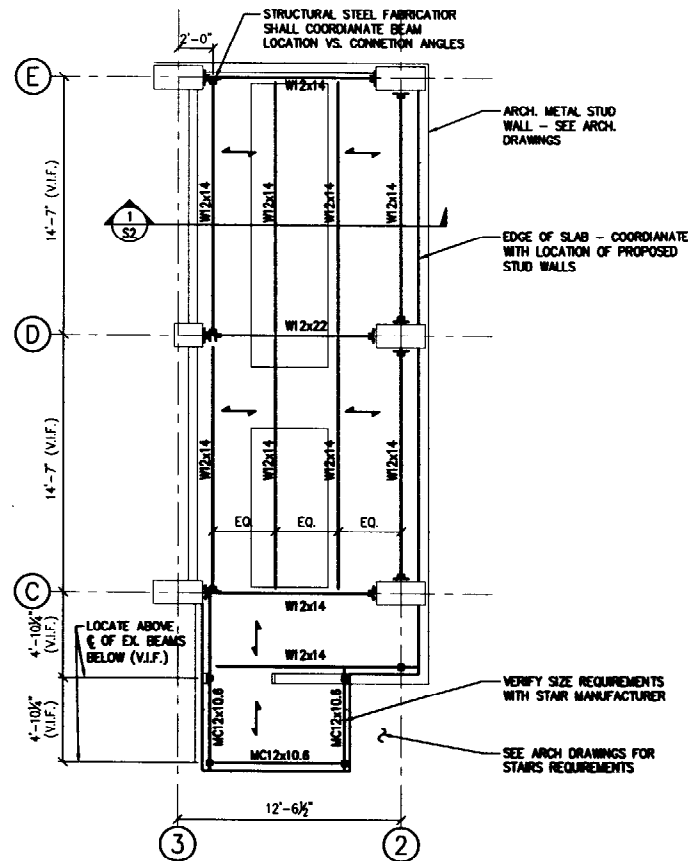
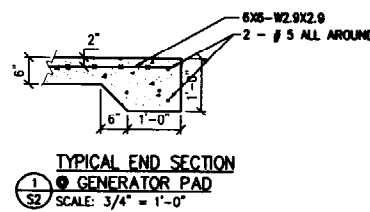
ALL INTERIOR STRUCTURAL STEEL TO RECEIVE ONE SHOP COAT OF STANDARD GRAY PRIMER & WHITE FINISH COAT. TOUCH UP ALL BARE AREAS AFTER ERECTION.

ALL STRUCTURAL STEEL FOR THE TWO ACCU'S SUPPORT FRAME SHALL BE HOT DIPPED GALVANIZED. TOUCH UP ALL BARE AREAS AFTER ERECTION WITH APPROVED GALV. TOUCH UP.

LEGEND / ABBREVIATIONS



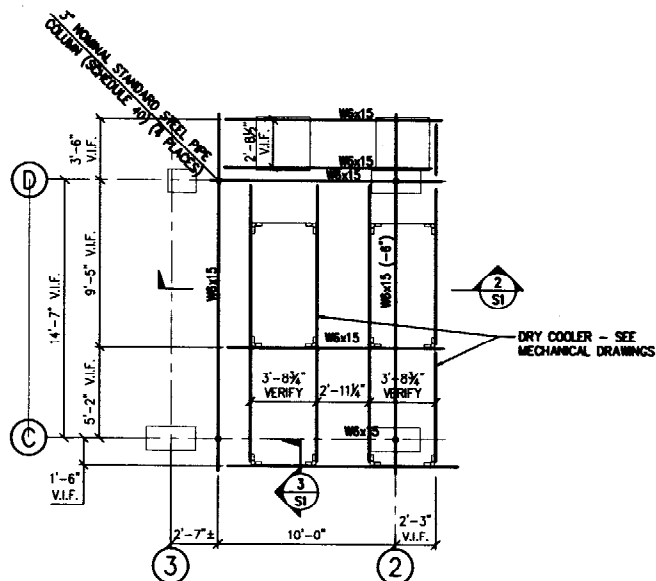
- SEI = STRUCTURAL ENGINEER OF RECORD
- W/F = WELDED WIRE FABRIC
- V.I.F. = VERIFY IN FIELD
- U.G.A. = UNLESS NOTED OTHERWISE
- SM. = SIMILAR
- GALV. = GALVANIZED
- S.S. = STAINLESS STEEL
- EX. = EXISTING
- EL. = ELEVATION



← INDICATES SPAN DIRECTION OF 1 1/2" 20 GAUGE COMPOSITE FLOOR DECK & 3/4" NORMAL WEIGHT CONCRETE (5" TOTAL DEPTH) REINFORCED WITH #4-W/16.4 W/F. FIELD WELD DECK AT EDGE RISERS 6" O/C MAX. AND AT INTERMEDIATE RISERS 12" O/C MAX. TO ALL SUPPORTS. (ALL WELDS TO BE 3/8" PUDDLE WELDS). FASTEN ONE SIDE LAP PER SPAN. NOTE WELL: CONCRETE DECK MUST BE WET CURED FOR 7 DAYS UNLESS HIGH EARLY CONCRETE IS USED WHICH MUST BE WET CURED FOR 3 DAYS.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS INDICATED WITH THE ARCHITECTURAL DRAWINGS AND IN THE FIELD BEFORE COMMENCEMENT OF WORK OR FABRICATION OF MATERIALS.(VERIFY IN FIELD & NOTIFY STRUCTURAL ENGINEER OF RECORD OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK).

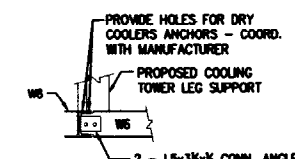
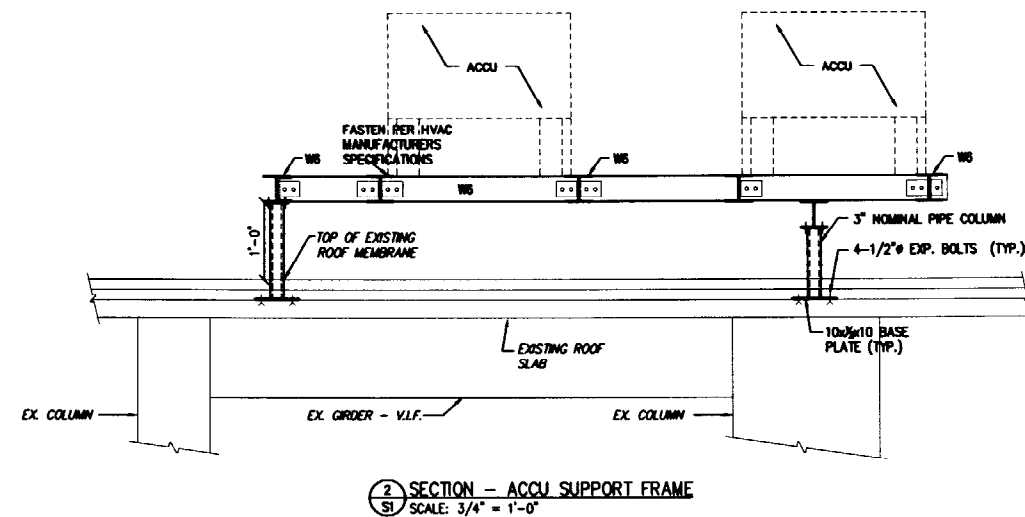
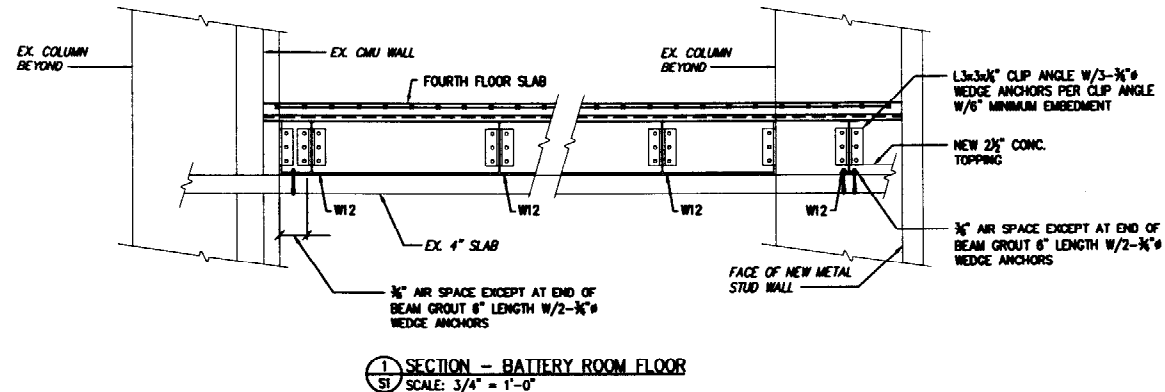
BATTERY ROOM FRAMING PLAN - FOURTH FLOOR
SCALE: 3/4" = 1'-0"



BOTTOM OF STEEL BEAMS SHALL BE 12" FROM FINISHED ROOF MEMBRANE ELEVATION (U.G.A.). ELEVATIONS AND DIMENSIONS INDICATED SHALL BE VERIFIED BY THE CONTRACTOR AND APPROVED BY THE OWNER/ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.

STRUCTURAL STEEL SHOP DRAWINGS SHALL INCLUDE ALL GEOMETRY ASSOCIATED WITH THE ACCU'S AND THE ATTACHMENT METHOD TO THE STRUCTURAL STEEL.

DRY COOLER'S SUPPORT FRAMING PLAN
SCALE: 1/4" = 1'-0"



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GLOBAL NETWORK SOLUTIONS
340 CUMBERLAND AVENUE
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POINT OF PRESENCE FACILITY

WB ENGINEERING & CONSULTING, P.C.
100 State Street
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Phone: (781) 935-8800
Fax: (781) 935-8800

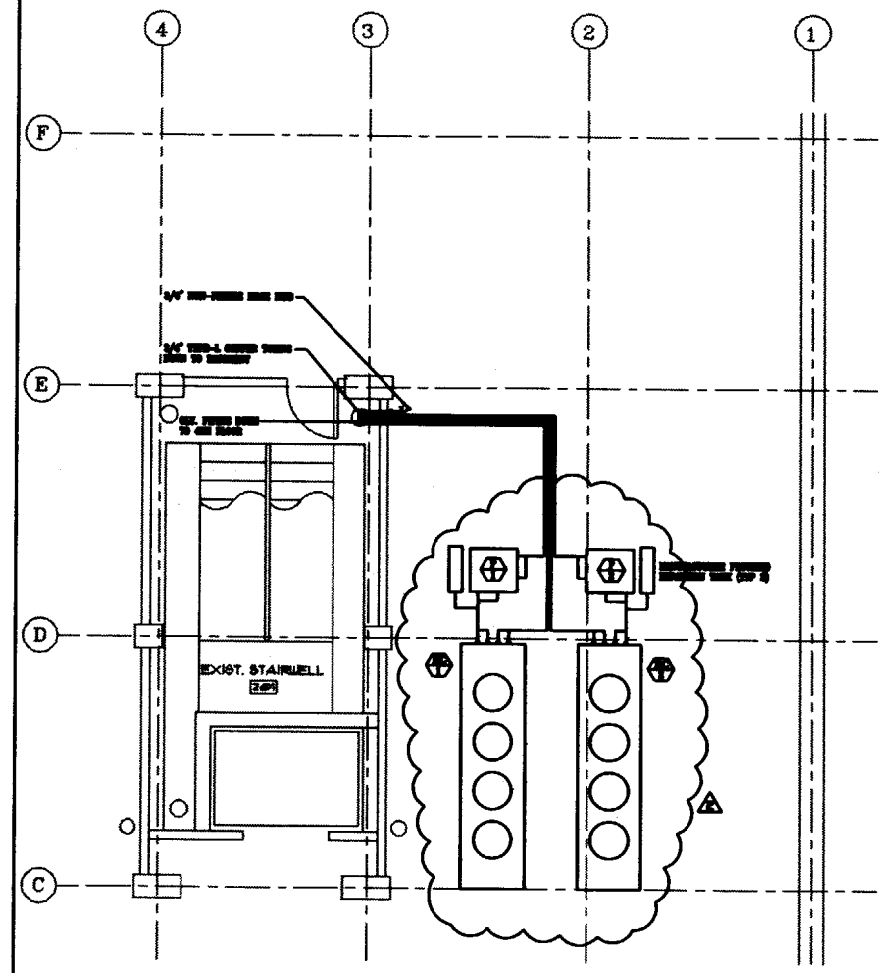
SKA Associates, Inc.
Architectural & Interiors
142 Crescent Street
Brookline, MA 02302
Tel: 617-552-8800
Fax: 617-552-8801
e-mail: skainfo@skai.com

McBrie, LLC
Structural Engineers
100 State Street
Woburn, MA 01890
Phone: (781) 935-8800
Fax: (781) 935-8800
www.mcbrie.com

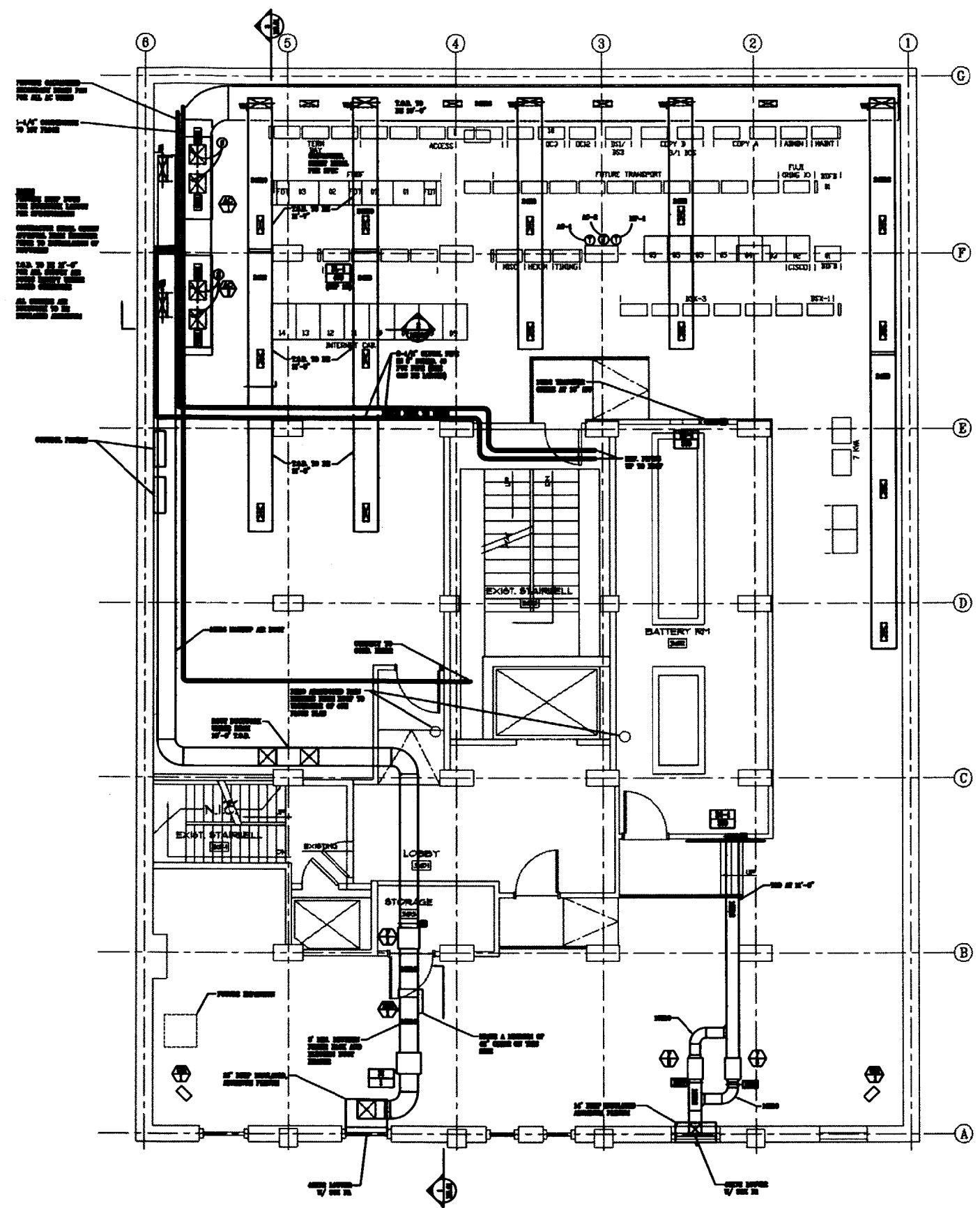
STRUCTURAL NOTES & DETAILS

SCALE:	AS SHOWN
JOB NUMBER:	1714001-01
DATE:	02/20/11
DRAWN BY:	KC/MLP
SHEET NUMBER:	

S1



PARTIAL ROOF PLAN
REV 1/12/12



SWITCH ROOM FLOOR PLAN
REV 1/12/12



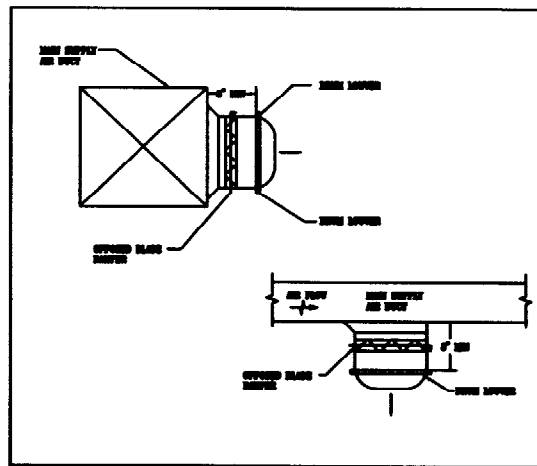
WB
ENGINEERING & CONSULTING, P.L.L.C.
1000 State Street
Portland, ME 04101
Tel: 603.733.1100
Fax: 603.733.1101

K
KCA Associates, Inc.
Architects & Interiors
145 Greenwood Street
Brookfield, MA 02301
Tel: 508.682.8000
Fax: 508.682.8001
Email: kca@kca.com

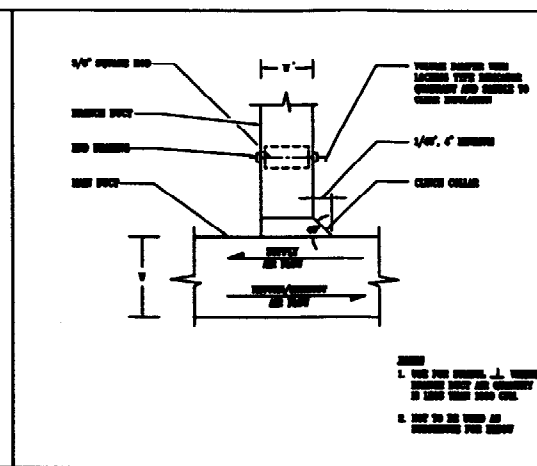
McBrie, Inc.
Structural Engineers
1000 State Street
Portland, ME 04101
Tel: 603.733.1100
Fax: 603.733.1101
Email: mcbrie@mcbr.ie.com

MECHANICAL FOURTH FLOOR PLAN	
SCALE:	1/4" = 1'-0"
REV NUMBER:	1/12/12
DATE:	1/12/12
DRAWN BY:	MM
CHECKED BY:	

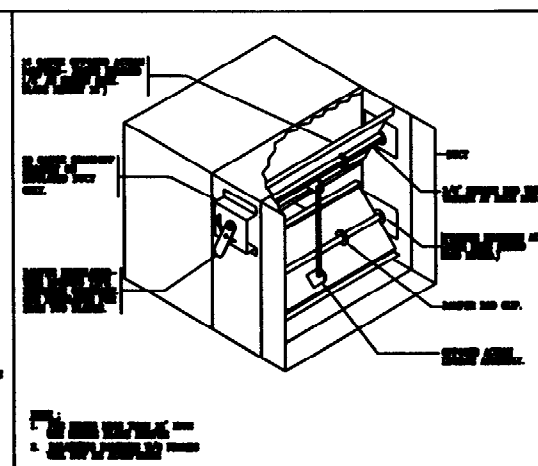
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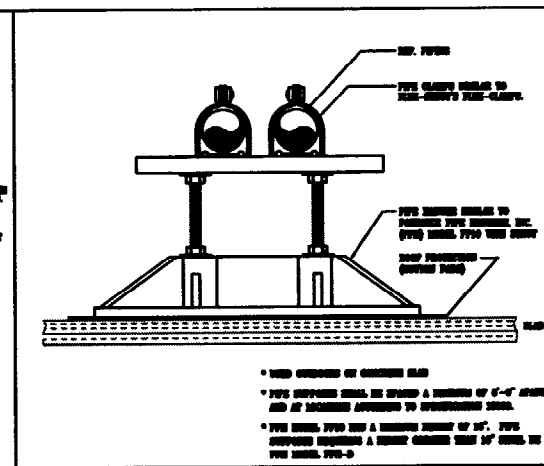
15855 2 DRUM LOUVER INSTALLATION DETAIL



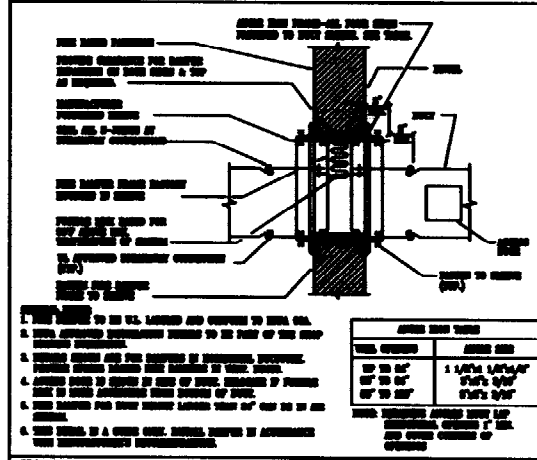
15815 1 RECTANGULAR DUCT BRANCH WITH ANGULAR TAP & VOLUME DAMPER



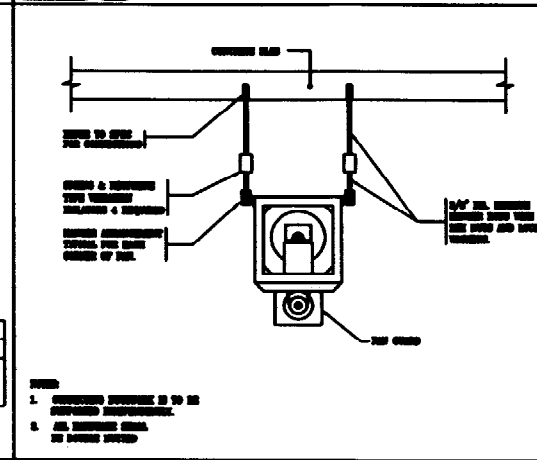
15820 2 LOW PRESSURE BALANCING DAMPER



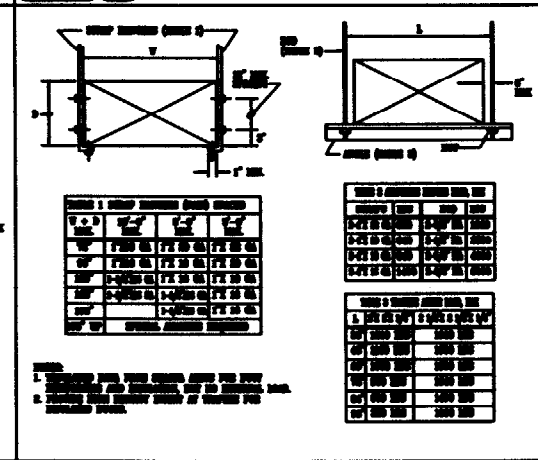
15060 1 ROOF PIPE SUPPORT DETAIL



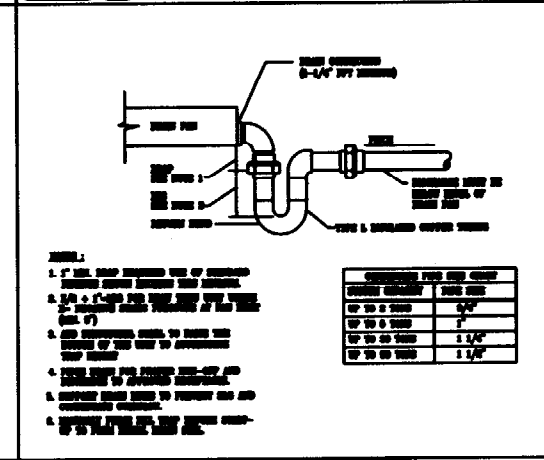
15820 3 FIRE DAMPER



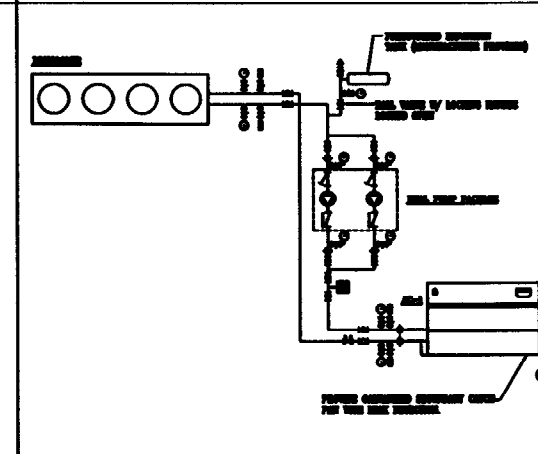
15830 3 INLINE FAN DETAIL



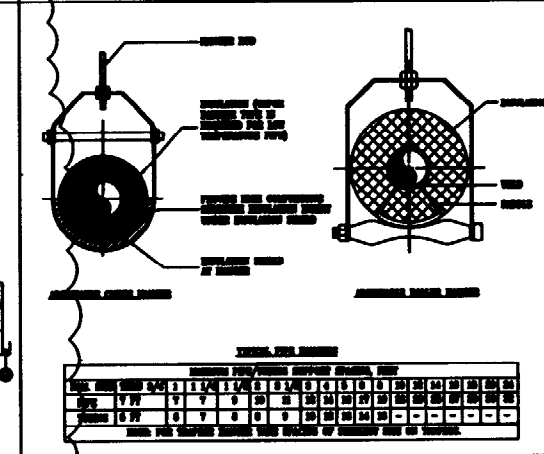
15815 5 RECTANGULAR DUCT HANGERS



15181 2 TYPICAL CONDENSATE DRAIN PIPING DETAIL



15738 1 COMPUTER ROOM AC UNIT PIPING



15060 1 PIPE HANGERS

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E-mail: wbe@wbeng.com

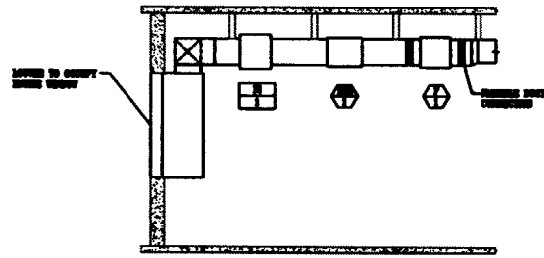
SKA
SKA Associates, Inc.
148 Greenleaf Street
Brookton, MA 02306
Tel: 508.882.8822
E-mail: skainfo@skainc.com

McBrie, Inc.
Structural Engineers
1000 Exchange Street
Portland, ME 04101
Tel: 603.763.1100
Fax: 603.763.1101
E-mail: mcbrie@mcbrie.com

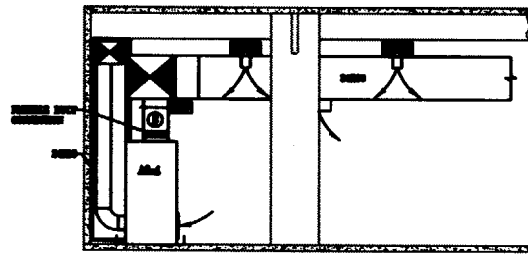
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DATE: 08/01/00
DRAWN BY: JPM
CHECKED BY: JPM

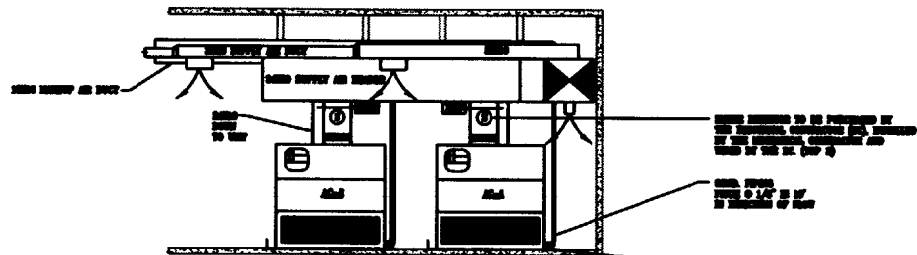
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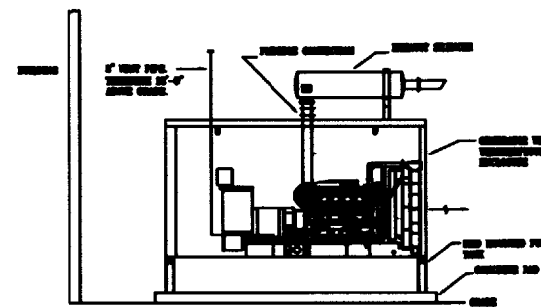
① MECHANICAL RISER DIAGRAM



② MECHANICAL RISER DIAGRAM



③ MECHANICAL RISER DIAGRAM



FUEL OIL RISER DIAGRAM

ELECTRICAL SYMBOL LIST

[Symbol]	THE SYMBOL REPRESENTS THE FOLLOWING: 1. - [Description]
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ELECTRICAL ABBREVIATIONS

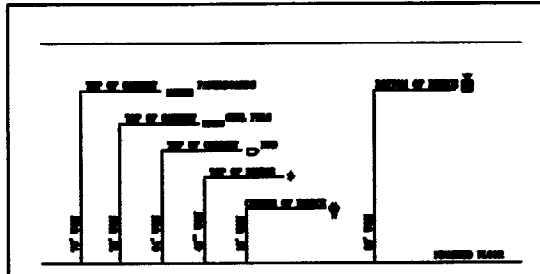
AB	ABOVE
AD	ADJUSTABLE
AF	AIR FEED
AG	AIR GATE
AI	AIR INLET
AL	ALUMINUM
AM	ALUMINUM METAL CLAD
AN	ANODE
AO	AIR OUTLET
AP	AIR PUMP
AR	AIR RETURN
AS	AIR SUPPLY
AT	AIR TIGHT
AV	AIR VALVE
AW	AIR WAY
AX	AIR EXHAUST
AY	AIR YARD
AZ	AIR ZONE
BA	BALANCE
BB	BALANCE BEAM
BC	BALANCE CALIBRATION
BD	BALANCE DIAL
BE	BALANCE ERROR
BF	BALANCE FACTOR
BG	BALANCE GAIN
BH	BALANCE HANGING
BI	BALANCE IDENTIFICATION
BJ	BALANCE JOURNAL
BK	BALANCE KNOB
BL	BALANCE LEVER
BM	BALANCE MECHANISM
BN	BALANCE NETWORK
BO	BALANCE OFFSET
BP	BALANCE POINT
BQ	BALANCE RANGE
BR	BALANCE READING
BS	BALANCE SENSITIVITY
BT	BALANCE TARE
BU	BALANCE UNIT
BV	BALANCE VERIFICATION
BW	BALANCE WEIGHT
BX	BALANCE ZERO
BY	BALANCE ZEROING
BZ	BALANCE ZERO POINT

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
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LIGHTING SCHEDULE/SPECIFICATIONS

TYPE	SYMBOL	FIXTURE DESCRIPTION	DIMENSION TYPE	LAMP	MANUFACTURER	REMARKS
1	[Symbol]	RECESSED CAN LIGHT	12" DIA	100W	OSRAM	
2	[Symbol]	RECESSED CAN LIGHT	12" DIA	100W	OSRAM	
3	[Symbol]	RECESSED CAN LIGHT	12" DIA	100W	OSRAM	
4	[Symbol]	RECESSED CAN LIGHT	12" DIA	100W	OSRAM	
5	[Symbol]	RECESSED CAN LIGHT	12" DIA	100W	OSRAM	



1. ALL FIXTURES SHALL BE MOUNTED TO THE CEILING.
2. THE MOUNTING HEIGHT SHALL BE AS SHOWN IN THE DETAIL.
3. THE MOUNTING HEIGHT SHALL BE AS SHOWN IN THE DETAIL.
4. THE MOUNTING HEIGHT SHALL BE AS SHOWN IN THE DETAIL.
5. THE MOUNTING HEIGHT SHALL BE AS SHOWN IN THE DETAIL.

16050 1 MOUNTING HEIGHT DETAIL

verizon
GLOBAL NETWORK SOLUTIONS
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PORTLAND, ME
POINT OF PRESENCE FACILITY

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Architects & Interiors
145 Greenwood Street
Portland, ME 04101
Tel: (207) 852-8893

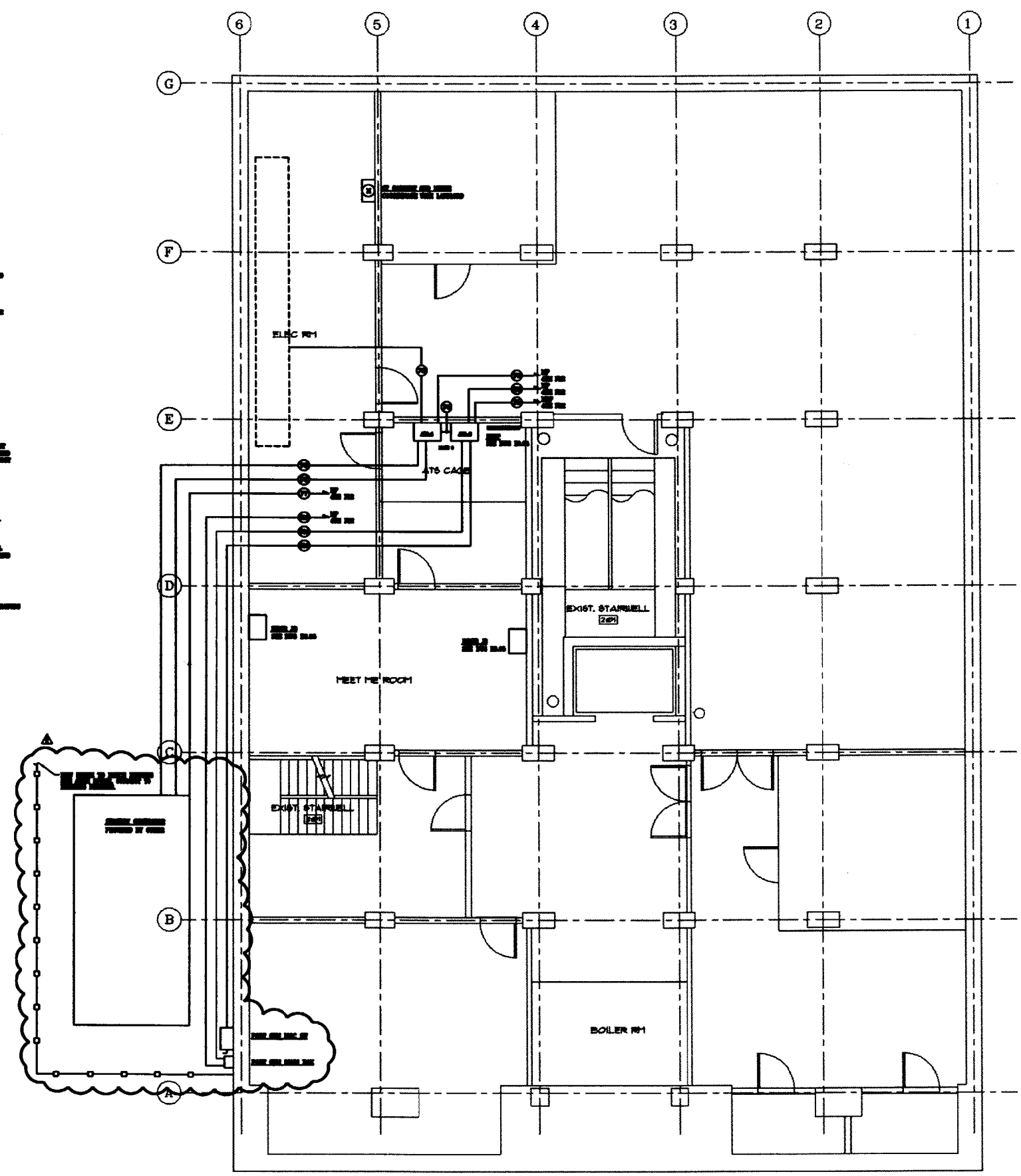
McBrie
Structural Engineers
1000 Main Street
Portland, ME 04101

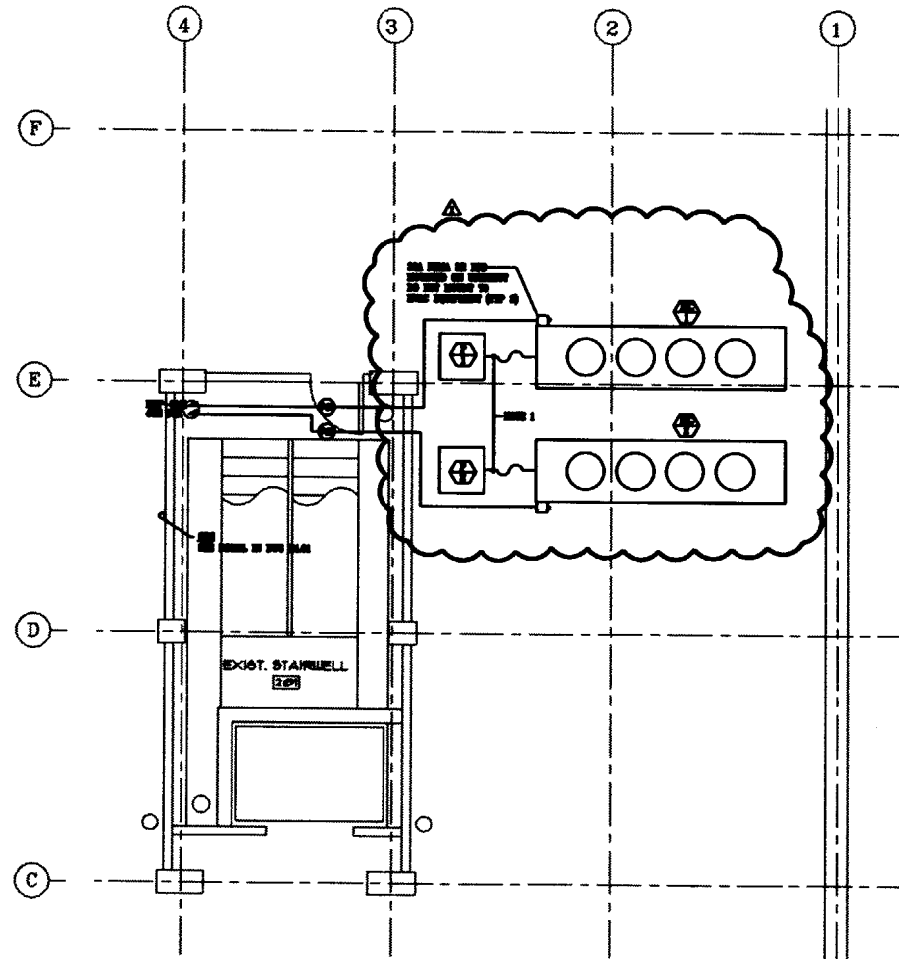
ELECTRICAL SYMBOLS ABBREVIATIONS, AND NOTES

SCALE:	THIS
JOB NUMBER:	16050-01
DATE:	08/01/01
DRAWN BY:	ME/MD
CHECKED BY:	ME/MD

TABLE NO.		DATE		PROJECT		SHEET								
101		11/1/07		PORT OF PRESSURE FACILITY		101								
CIRCUIT NO.	DESCRIPTION	TYPE	P	WHP	LAMP	BRANCH	WHP PER FRAME			BRANCH CIRCUIT	LAMP WHP	TYPE	DESCRIPTION	CIRCUIT NO.
							A	B	C					
1	101	0	00	0	0									1
2	102	0	00	0	0									2
3	103	0	00	0	0									3
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5	105	0	00	0	0									5
6	106	0	00	0	0									6
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141	241	0	00	0	0									141
142	242	0	00	0	0									142
143	243	0	00	0	0									

- NOTES**
1. ALL ELECTRICAL WORK AND PERMITS SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE STATE OF MAINE.
 2. SEE THE PLAN FOR ROOM SCHEDULES AND EQUIPMENT SCHEDULES.
 3. PERMITS, APPROVALS, AND TESTING SHALL BE OBTAINED BY THE CONTRACTOR FROM THE APPLICABLE AGENCIES AND AUTHORITIES.
 4. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE STATE OF MAINE. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE STATE OF MAINE.
 5. CONDUIT TO BE INSTALLED AS SHOWN.
 6. REFER TO THE ELECTRICAL SYMBOL SCHEDULE FOR THE IDENTIFICATION OF THE ELECTRICAL SYMBOLS.
 7. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE STATE OF MAINE.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES.
 9. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE STATE OF MAINE.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES.
 11. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE STATE OF MAINE.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES.
 13. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE STATE OF MAINE.
 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES.
 15. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE STATE OF MAINE.
 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES.

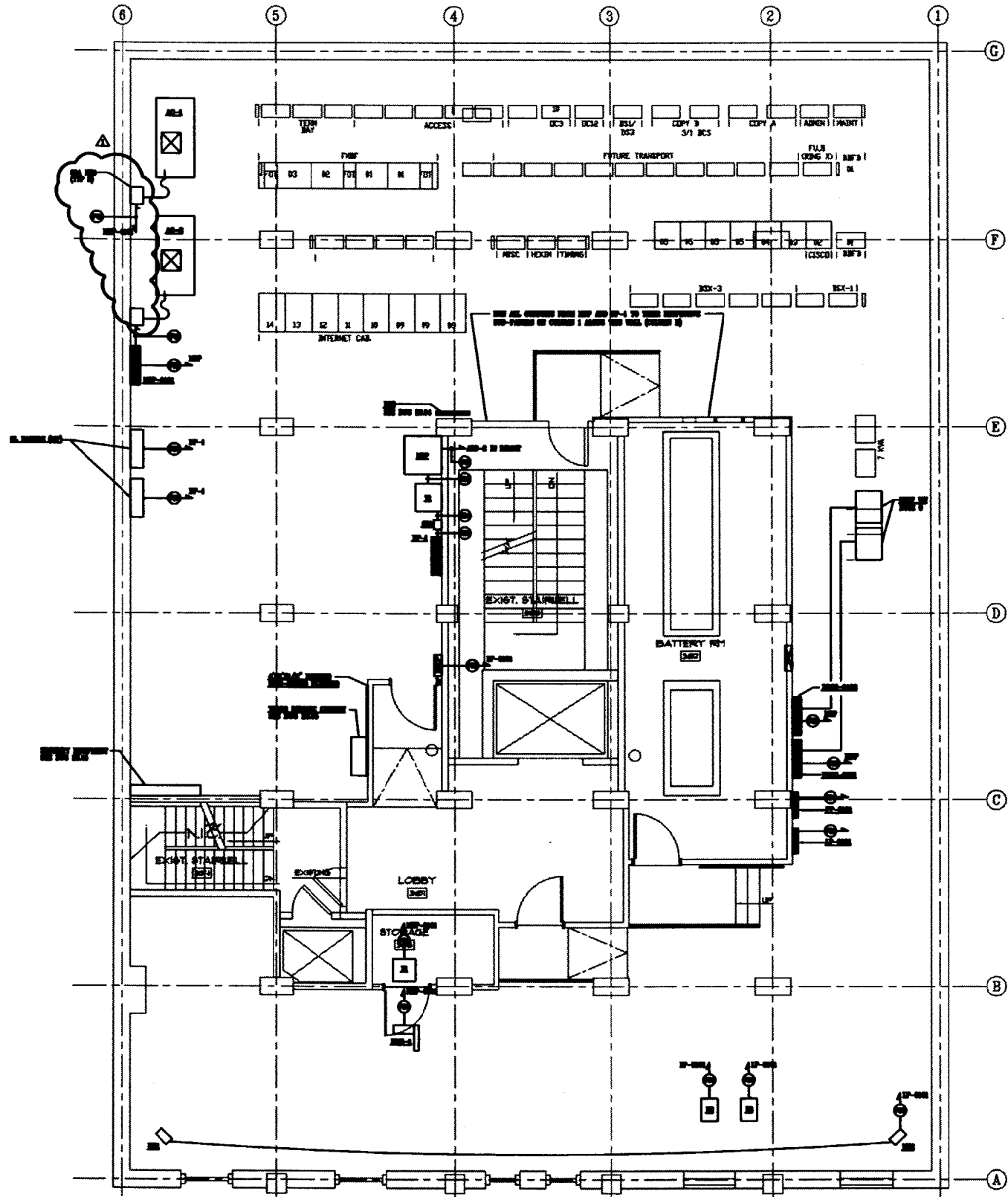




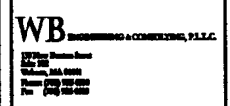
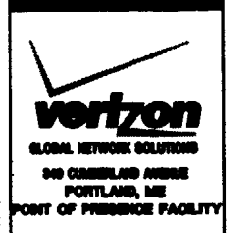
PARTIAL ROOF PLAN
SEE 14-C-1

NOTES:

1. REFER TO ALL OTHER ELECTRICAL AND MECHANICAL WORK SHEETS FOR ALL WORK TO BE DONE ON THIS FLOOR AND THE FLOOR BELOW. THE WORK SHALL BE THE WORK SHOWN ON THE OTHER SHEETS AND THE ELECTRICAL WORK.
2. SEE THE PLAN FOR THE EXISTING AND PROPOSED WORK.
3. EXISTING CONDITIONS SHALL REMAIN UNLESS OTHERWISE NOTED OTHERWISE, A NEW SYMBOL.
4. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, THE NATIONAL MECHANICAL CODE, AND THE NATIONAL PLUMBING AND PIPEfitTING CODE.
5. SEE THE PLAN.
6. ALL EXISTING EQUIPMENT SHALL BE MAINTAINED.
7. ALL EXISTING WORK SHALL BE MAINTAINED UNLESS OTHERWISE NOTED OTHERWISE, A NEW SYMBOL.
8. THE WORK AND MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT AND THE CITY ENGINEER.
9. EXISTING WORK SHALL REMAIN UNLESS OTHERWISE NOTED OTHERWISE, A NEW SYMBOL.
10. ALL EXISTING WORK SHALL BE MAINTAINED UNLESS OTHERWISE NOTED OTHERWISE, A NEW SYMBOL.
11. ALL EXISTING WORK SHALL BE MAINTAINED UNLESS OTHERWISE NOTED OTHERWISE, A NEW SYMBOL.
12. ALL EXISTING WORK SHALL BE MAINTAINED UNLESS OTHERWISE NOTED OTHERWISE, A NEW SYMBOL.
13. ALL EXISTING WORK SHALL BE MAINTAINED UNLESS OTHERWISE NOTED OTHERWISE, A NEW SYMBOL.
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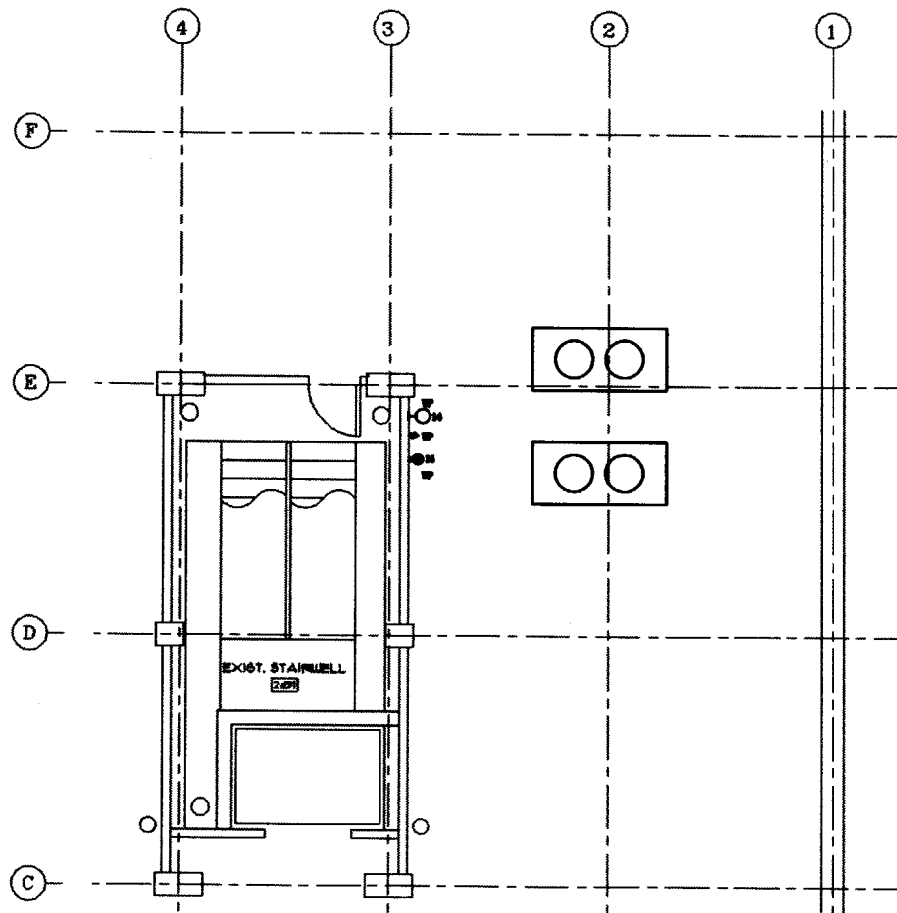


SWITCH ROOM FLOOR PLAN
SEE 14-C-1



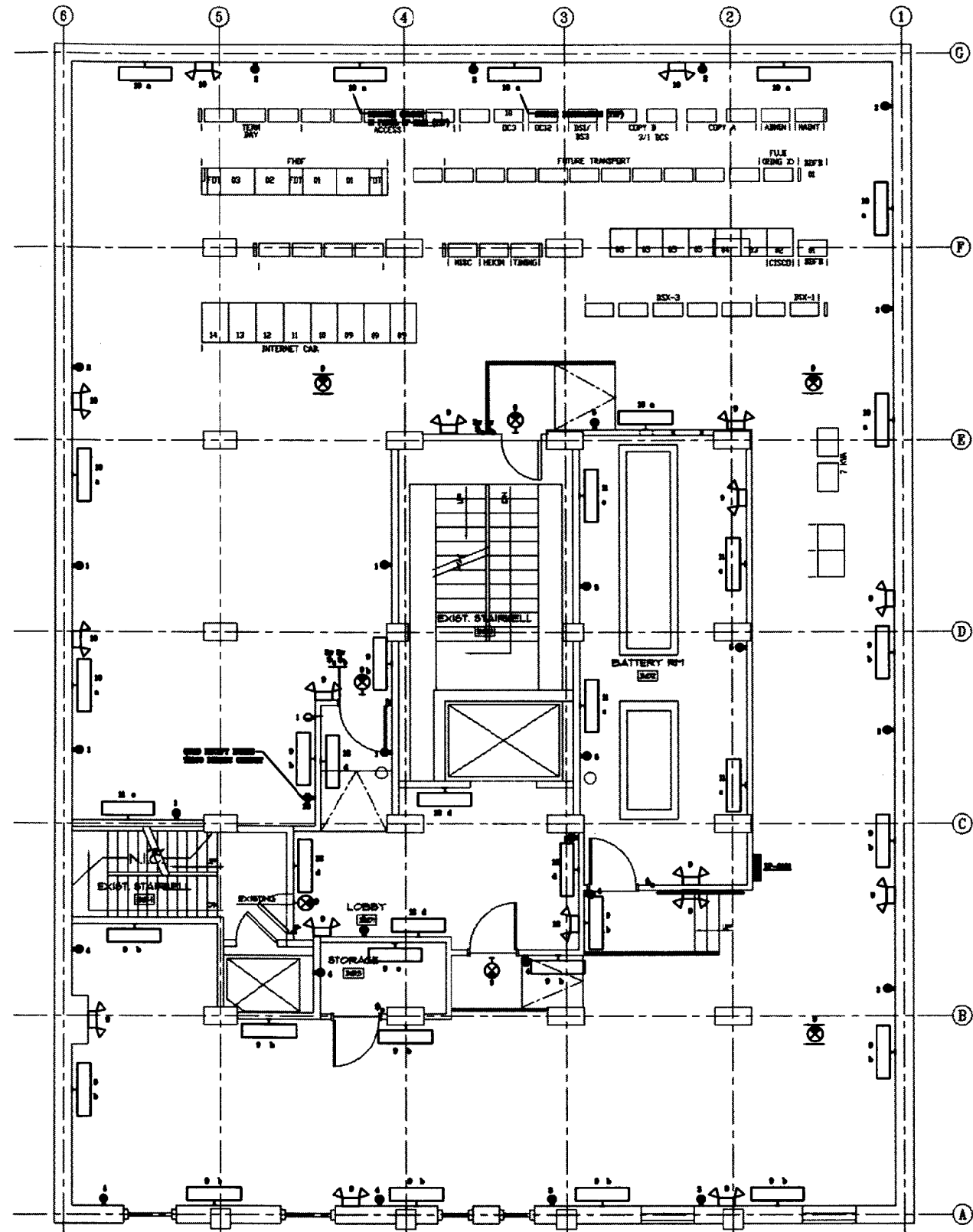
**ELECTRICAL
FOURTH FLOOR & ROOF
POWER PLAN**

SCALE:	AS SHOWN
JOB NUMBER:	VER-04-01
DATE:	08/01/04
DRAWN BY:	DMH/MD
CHECKED BY:	DMH/MD

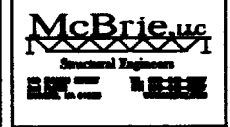
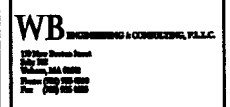


PARTIAL ROOF PLAN
REV 1/03-2

- NOTES**
1. REFER TO THE PLAN FOR FUTURE CHANGES.
 2. ALL NEW WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
 3. ALL NEW WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
 4. ALL NEW WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
 5. ALL NEW WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
 6. ALL NEW WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
 7. ALL NEW WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
 8. ALL NEW WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
 9. ALL NEW WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
 10. ALL NEW WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).

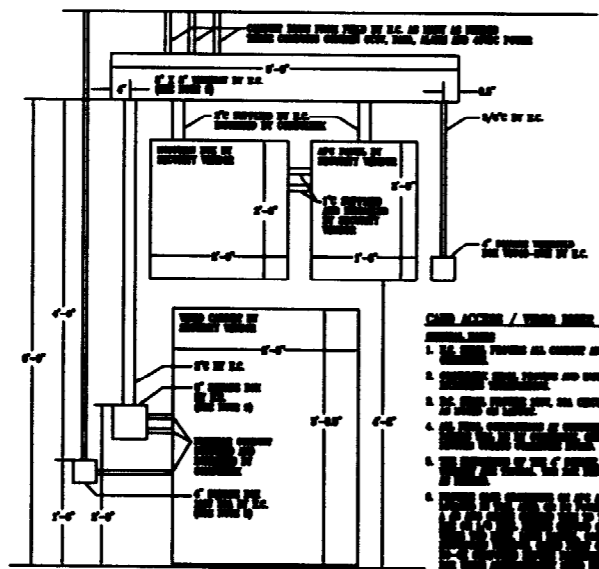


SWITCH ROOM FLOOR PLAN
REV 1/03-2



**ELECTRICAL
FOURTH FLOOR & ROOF
LIGHTING PLAN**

SCALE:	AS SHOWN
JOB NUMBER:	VT00000000
DATE:	08/08
DRAWN BY:	SM/MS
CHECKED BY:	

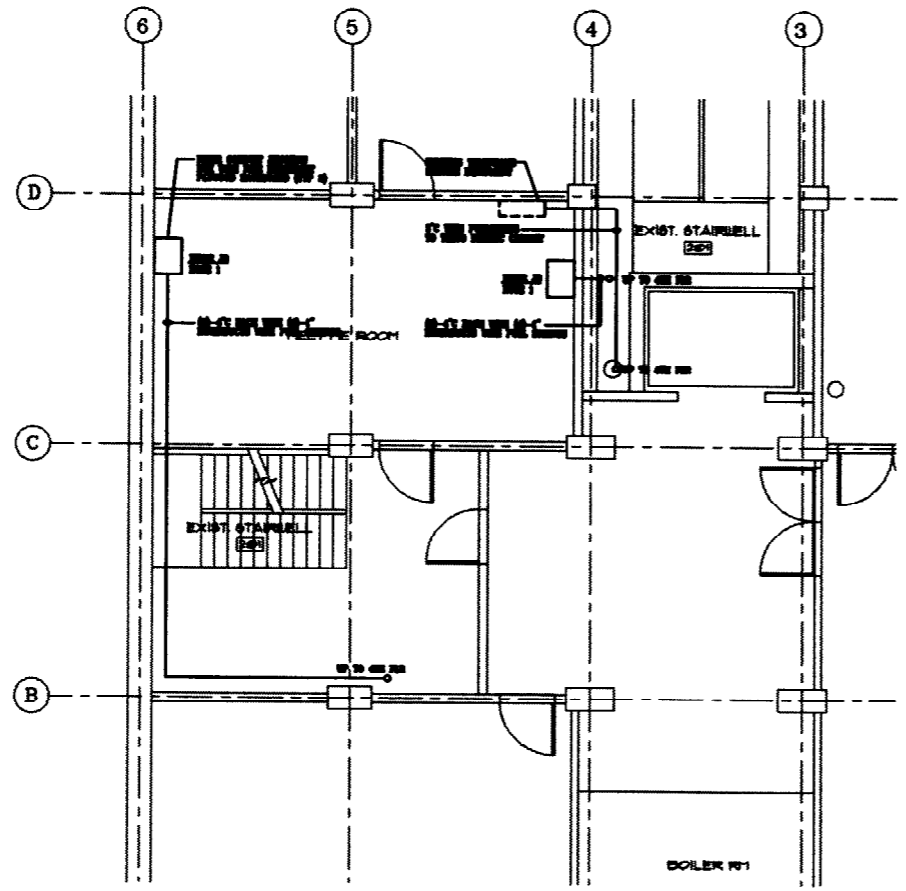


CABLE ACCESS / WIRE MANAGEMENT

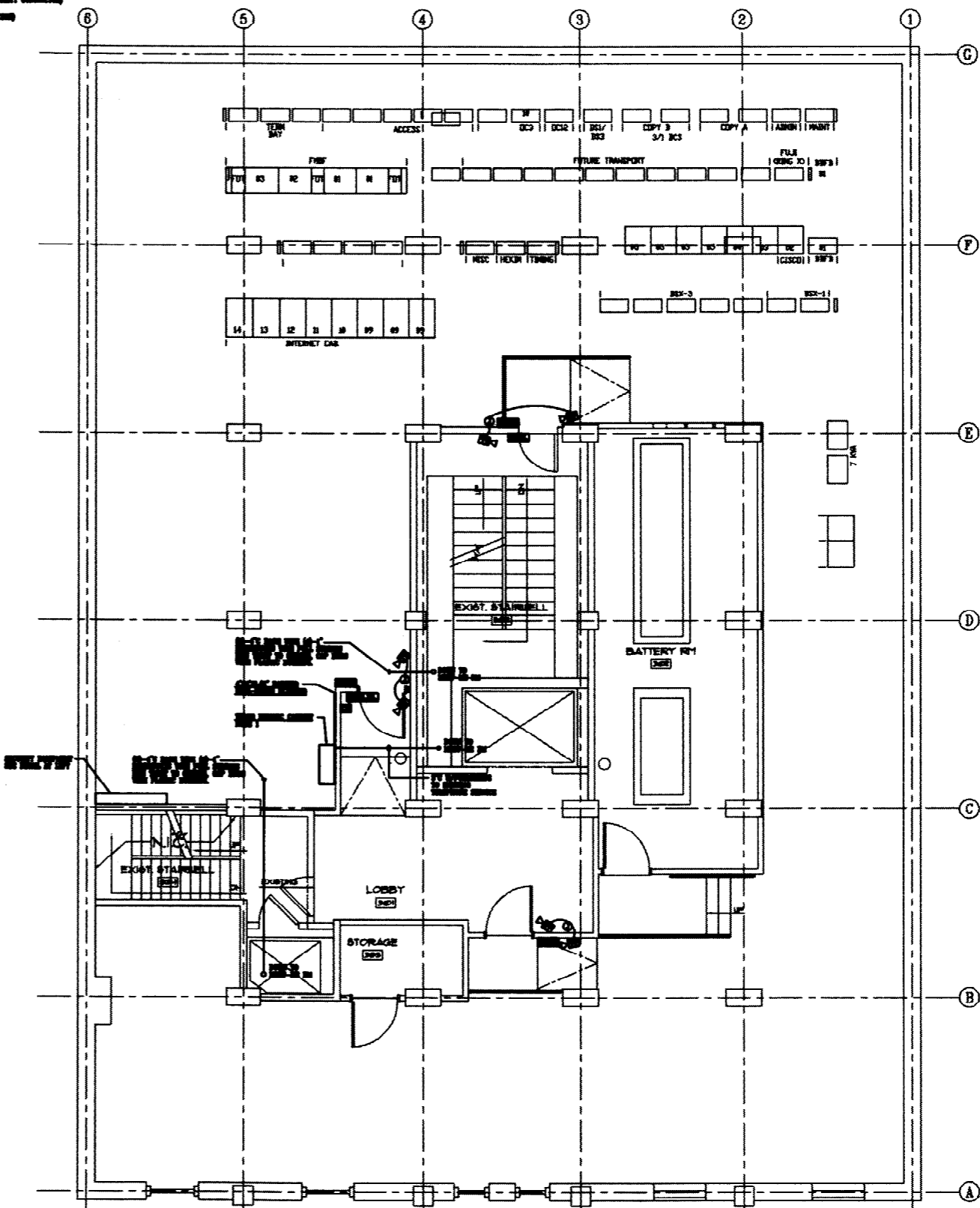
1. ALL CABLES SHALL BE BUNDLED AND LABELLED AT BOTH ENDS.
2. CABLES SHALL BE RACKED AND ORGANIZED BY SYSTEM.
3. ALL CABLES SHALL BE KEPT AT LEAST 6" ABOVE THE FLOOR.
4. CABLES SHALL BE KEPT AT LEAST 6" AWAY FROM WALLS.
5. CABLES SHALL BE KEPT AT LEAST 6" AWAY FROM OTHER CABLES.
6. CABLES SHALL BE KEPT AT LEAST 6" AWAY FROM EQUIPMENT.

- SECURITY SYMBOLS**
- 1. ALL PERMITS SHALL BE OBTAINED AND TERMS OF SECURITY CONTRACTS.
 - 2. ALL PERMITS SHALL BE OBTAINED AND TERMS OF SECURITY CONTRACTS.
 - 3. ALL PERMITS SHALL BE OBTAINED AND TERMS OF SECURITY CONTRACTS.
 - 4. ALL PERMITS SHALL BE OBTAINED AND TERMS OF SECURITY CONTRACTS.
 - 5. ALL PERMITS SHALL BE OBTAINED AND TERMS OF SECURITY CONTRACTS.
 - 6. ALL PERMITS SHALL BE OBTAINED AND TERMS OF SECURITY CONTRACTS.
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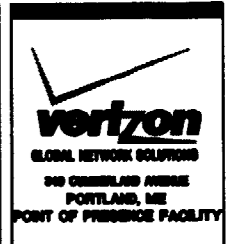
- GENERAL NOTES**
1. SEE NOTES ON THIS PLAN.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).



BASEMENT FLOOR PLAN



SWITCH ROOM FLOOR PLAN



WB
 WILSON BENTLEY
 1000 BROADWAY
 NEW YORK, NY 10018

SK
 SKA Associates, Inc.
 142 Greenwood Street
 Brewster, MA 02526
 TEL: 508.852.8274
 EMAIL: sk@skafirm.com

McBrien
 Structural Engineers
 1000 BROADWAY
 NEW YORK, NY 10018

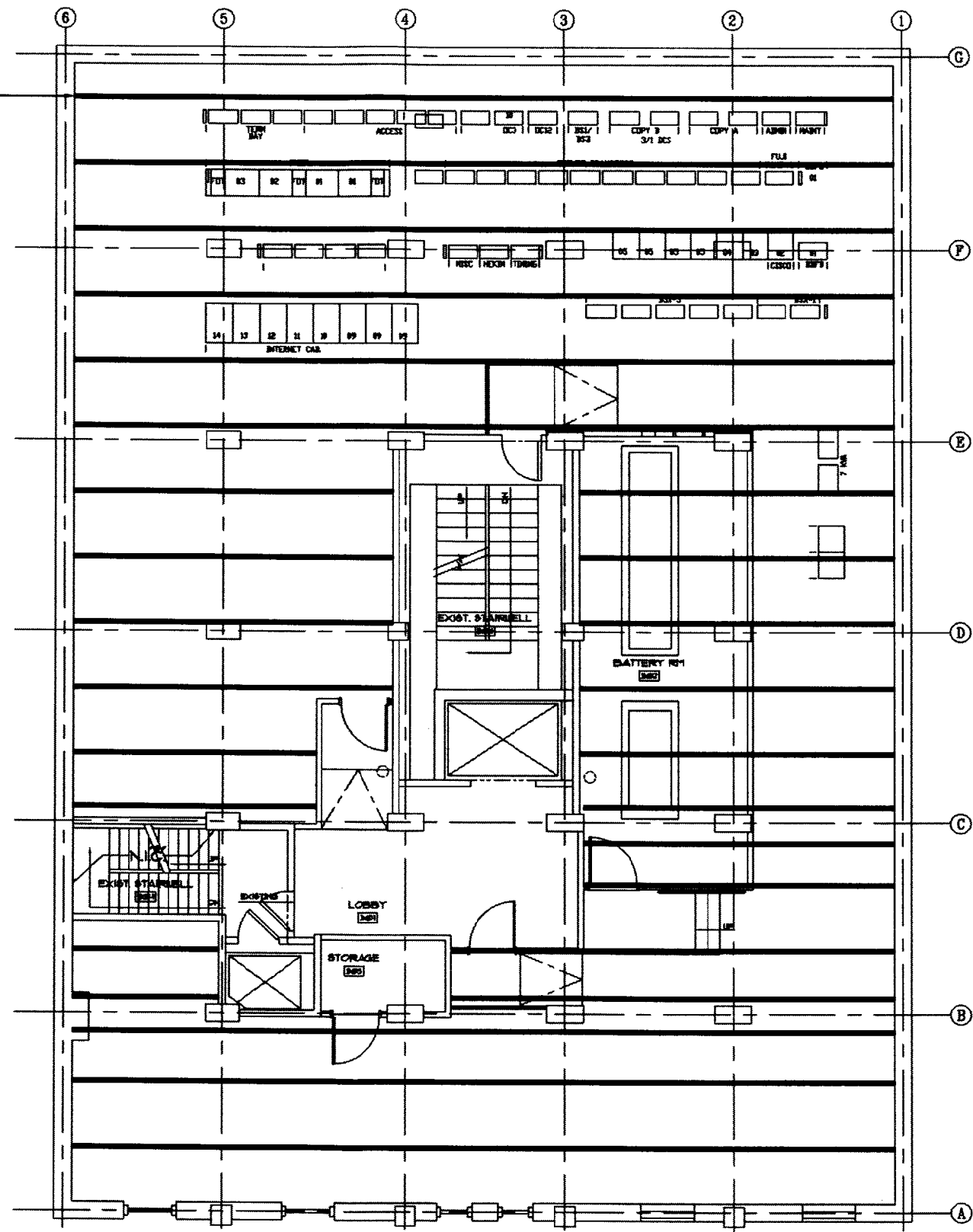
ELECTRICAL SECURITY & TELCO PLAN

SCALE: AS SHOWN
 JOB NUMBER: 1744-00
 DATE: 08/09
 DRAWN BY: [Name]
 CHECKED BY: [Name]

E3.05

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND, ME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND, ME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND, ME.

- GENERAL NOTES:**
1. SEE GENERAL NOTES FOR THIS PROJECT AT THIS SITE.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND, ME. CODES AND REGULATIONS.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND, ME. CODES AND REGULATIONS.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND, ME. CODES AND REGULATIONS.



verizon
GLOBAL NETWORK SOLUTIONS
840 CHAMBERLAIN AVENUE
PORTLAND, ME
POINT OF PRESENCE FACILITY

WB
ENGINEERING & CONSULTING, P.L.L.C.
1750 Main Street
Portland, ME 04101
Tel: 603.733.1100
Fax: 603.733.1101

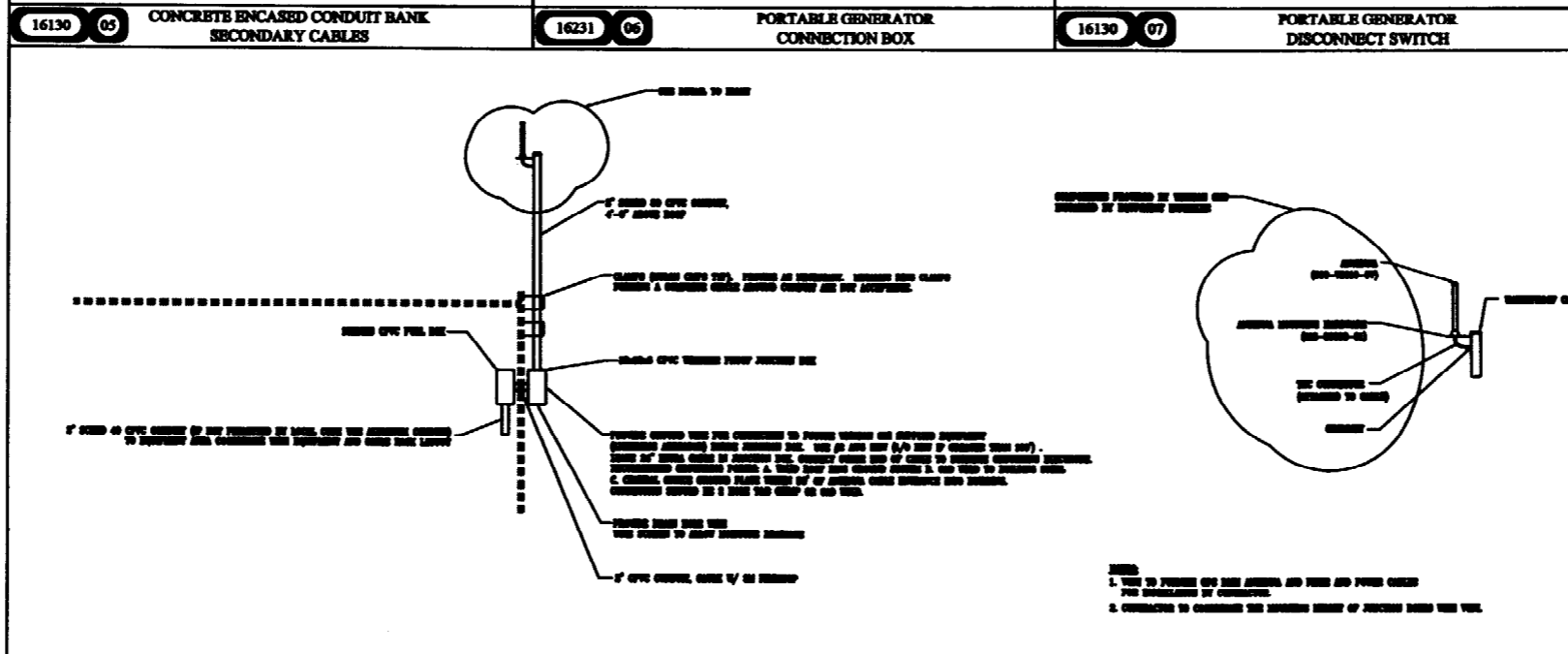
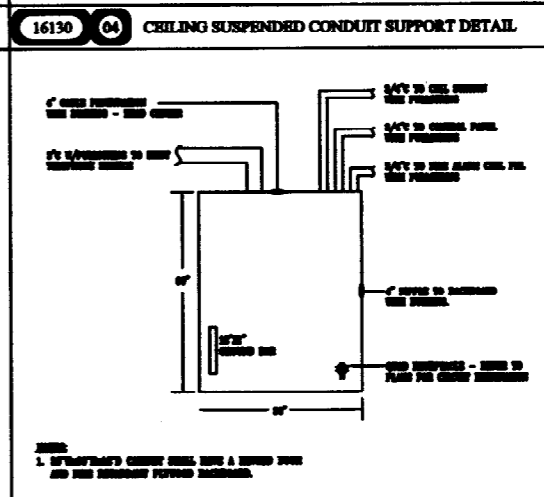
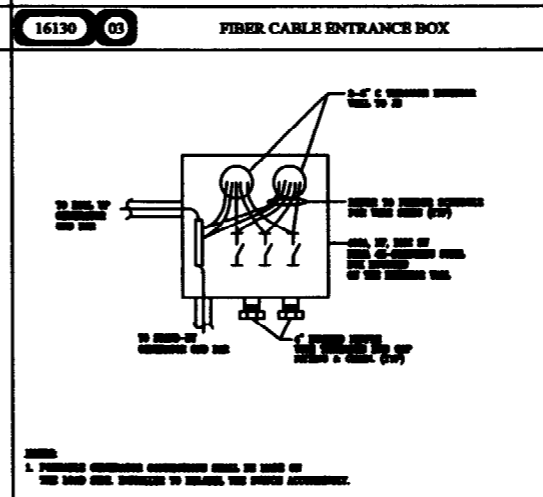
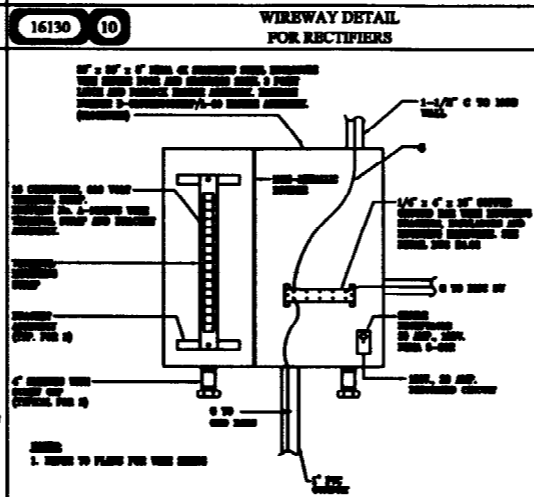
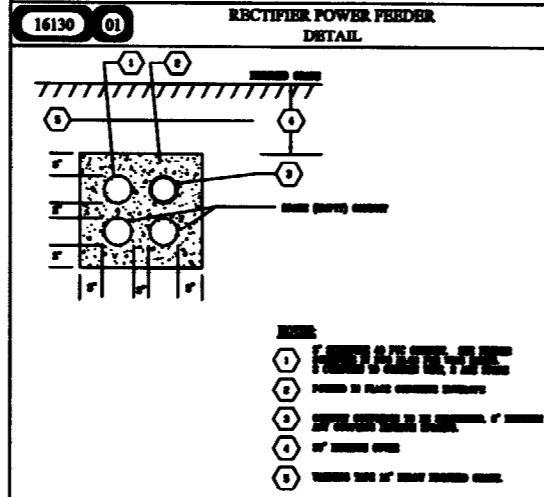
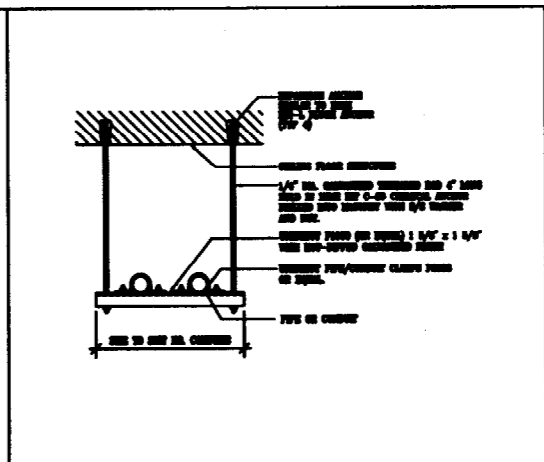
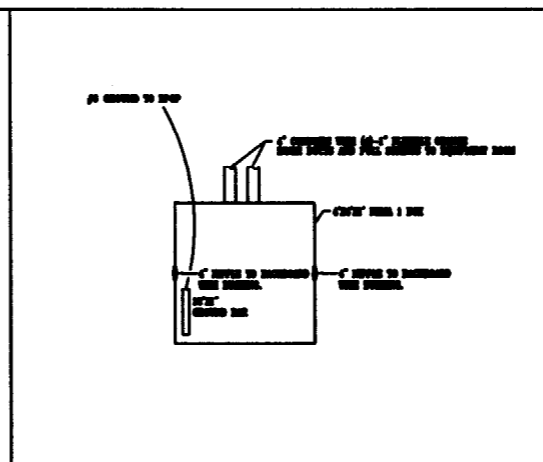
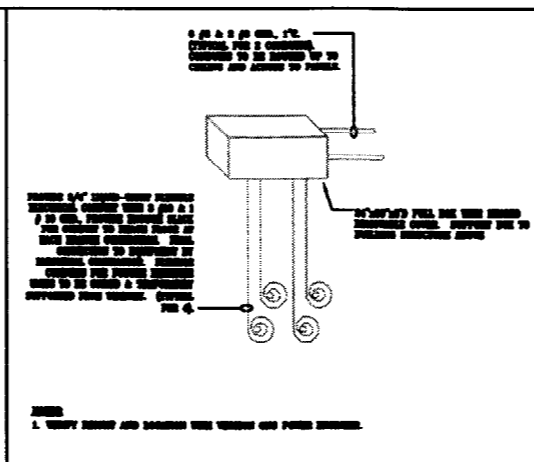
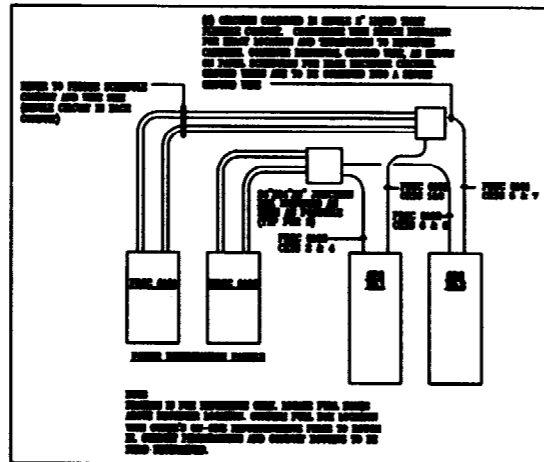
SK
SKA Associates, Inc.
Architects & Interiors
1400 Greenwood Street
Portland, ME 04102
Tel: 603.852.8877
Fax: 603.852.8878
Email: info@skainc.com

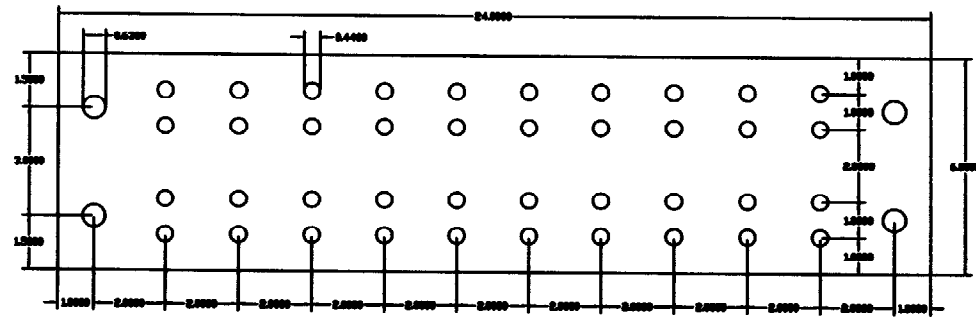
McBrien
Structural Engineers
1000 Main Street
Portland, ME 04101
Tel: 603.733.1100
Fax: 603.733.1101

STEEL CHANNEL SUPPORT PLAN

SCALE: 1/4" = 1'-0"
JOB NUMBER: YR08-09
DATE: 08/08
DRAWN BY: JH-080
CHECKED BY: JH-080

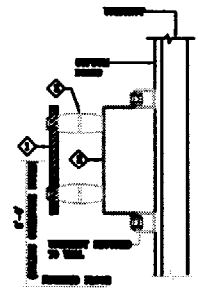
E3.06





FRONT VIEW

GROUND BAR DETAIL
SEE TO SHEET



- 1. NUT TO FIT
- 2. WASHER TO FIT
- 3. TERMINAL TO FIT
- 4. TERMINAL TO FIT
- 5. TERMINAL TO FIT
- 6. TERMINAL TO FIT
- 7. TERMINAL TO FIT
- 8. TERMINAL TO FIT
- 9. TERMINAL TO FIT
- 10. TERMINAL TO FIT
- 11. TERMINAL TO FIT
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- 14. TERMINAL TO FIT
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- 16. TERMINAL TO FIT
- 17. TERMINAL TO FIT
- 18. TERMINAL TO FIT
- 19. TERMINAL TO FIT
- 20. TERMINAL TO FIT

COPPER COMPRESSION TERMINALS SCHEDULE
SEE ALL LISTS SHALL BE THE SAME, THE SAME AND IDENTICAL TO THE

TERMINAL SIZE	TERMINAL SIZE RANGE	TERMINAL SIZE
1/2"	1/2"-3/4"	1/2"
3/8"	3/8"-1/2"	3/8"
1/4"	1/4"-3/8"	1/4"
3/16"	3/16"-1/4"	3/16"
1/8"	1/8"-3/16"	1/8"
3/32"	3/32"-1/8"	3/32"
1/16"	1/16"-3/32"	1/16"
3/64"	3/64"-1/16"	3/64"
1/32"	1/32"-3/64"	1/32"
3/64"	3/64"-1/32"	3/64"
1/64"	1/64"-3/64"	1/64"
3/128"	3/128"-1/64"	3/128"
1/128"	1/128"-3/128"	1/128"
3/256"	3/256"-1/128"	3/256"
1/256"	1/256"-3/256"	1/256"
3/512"	3/512"-1/256"	3/512"
1/512"	1/512"-3/512"	1/512"

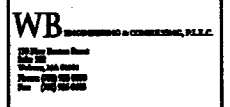
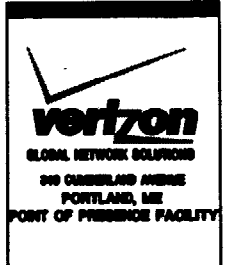
STANDARD TORQUE TABLE VALUES FOR STAINLESS STEEL (AISI 304)

TERMINAL SIZE	TORQUE (IN-FT)
1/2"	20
3/8"	15
1/4"	10
3/16"	8
1/8"	6
3/32"	5
1/16"	4
3/64"	3
1/32"	2
3/64"	2
1/64"	1
3/128"	1
1/128"	1
3/256"	1
1/256"	1
3/512"	1
1/512"	1

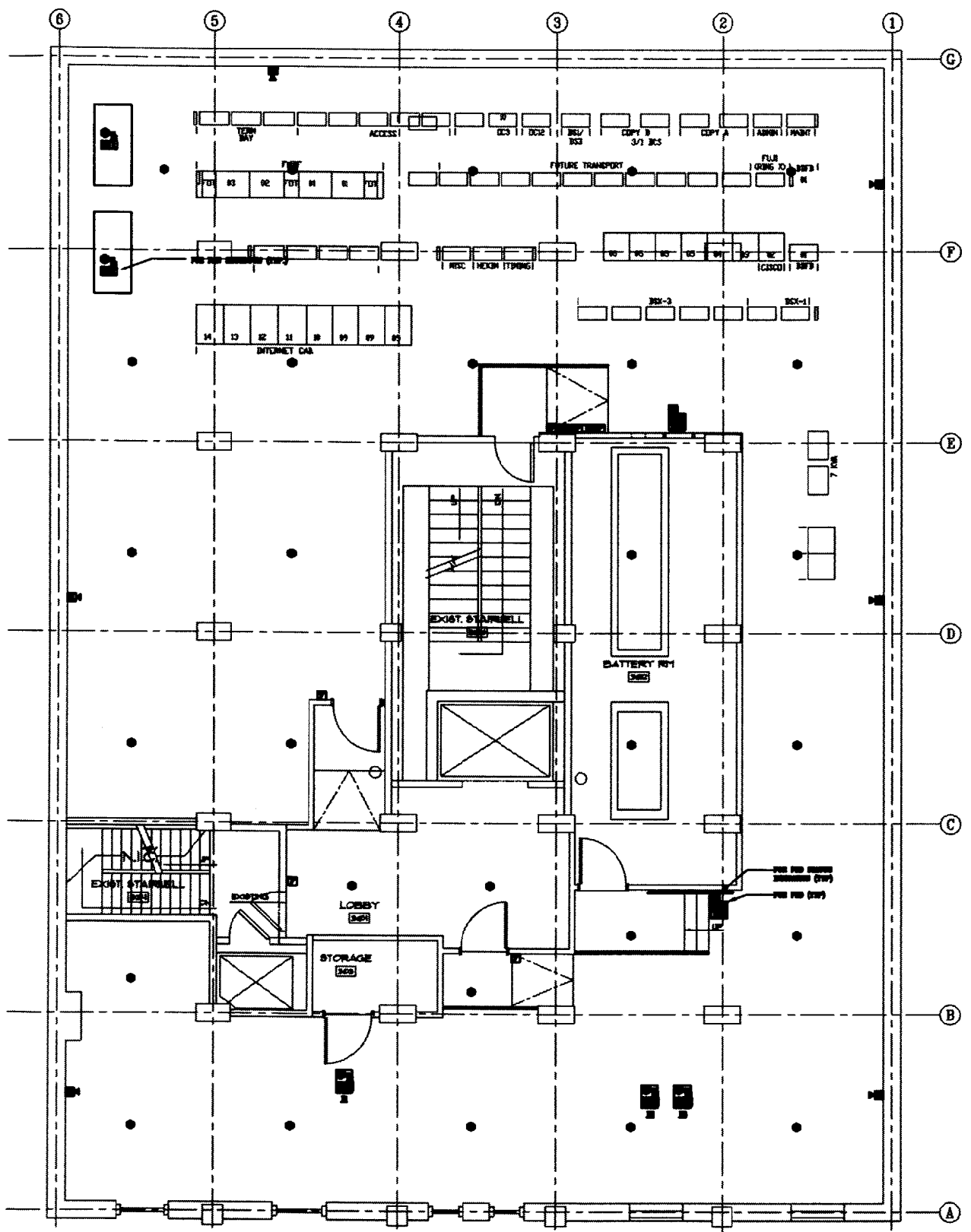
GROUNDING SYSTEM NOTES

1. GROUNDING SYSTEM SHALL BE IN FULL COMPLIANCE WITH THE CODES AND STANDARDS.
2. PROVIDE TO THE CONTRACTOR THE LIST OF ALL WIRING METHODS TO BE USED, FOR ALL GROUNDING POINTS, AND INSTALLED THESE POINTS WITH THE CORRECT WIRING METHODS FOR GROUNDING THE SYSTEM.
3. ALL WIRING SHALL BE IN FULL COMPLIANCE WITH THE CODES AND STANDARDS. GROUNDING SHALL BE INSTALLED WITH THE CORRECT WIRING METHODS.
4. ~~ALL WIRING SHALL BE IN FULL COMPLIANCE WITH THE CODES AND STANDARDS. GROUNDING SHALL BE INSTALLED WITH THE CORRECT WIRING METHODS.~~
5. ALL WIRING SHALL BE IN FULL COMPLIANCE WITH THE CODES AND STANDARDS. GROUNDING SHALL BE INSTALLED WITH THE CORRECT WIRING METHODS.
6. ALL WIRING SHALL BE IN FULL COMPLIANCE WITH THE CODES AND STANDARDS. GROUNDING SHALL BE INSTALLED WITH THE CORRECT WIRING METHODS.
7. ALL WIRING SHALL BE IN FULL COMPLIANCE WITH THE CODES AND STANDARDS. GROUNDING SHALL BE INSTALLED WITH THE CORRECT WIRING METHODS.
8. ALL WIRING SHALL BE IN FULL COMPLIANCE WITH THE CODES AND STANDARDS. GROUNDING SHALL BE INSTALLED WITH THE CORRECT WIRING METHODS.
9. ALL WIRING SHALL BE IN FULL COMPLIANCE WITH THE CODES AND STANDARDS. GROUNDING SHALL BE INSTALLED WITH THE CORRECT WIRING METHODS.
10. ALL WIRING SHALL BE IN FULL COMPLIANCE WITH THE CODES AND STANDARDS. GROUNDING SHALL BE INSTALLED WITH THE CORRECT WIRING METHODS.

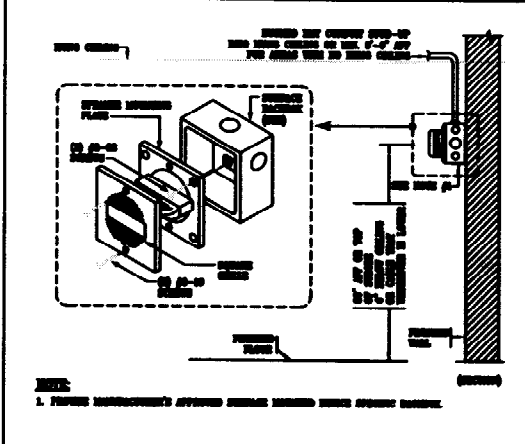
<p>16060 2</p> <p>PANEL GROUNDING DETAIL</p>	<p>16060 1</p> <p>TRANSFORMER GROUNDING DETAIL</p>	<p>16060 1</p> <p>DUCT BONDING CONNECTIONS</p>
<p>16060 3</p> <p>CLIE CLAMP</p>	<p>16060 4</p> <p>TYPICAL GROUND BAR CONNECTION DETAIL</p>	<p>16060 4</p> <p>GROUND ROD TEST WELL DETAIL</p>



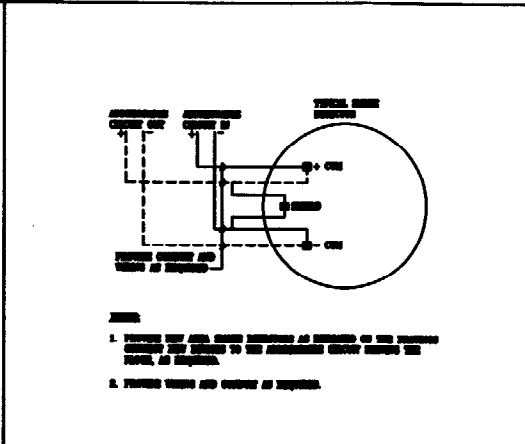
- NOTES:**
1. REFER TO 3D MODEL FOR ALL.
 2. VERIFY ALL ROOMS AND EQUIPMENT ARE CORRECTLY LOCATED.
 3. VERIFY ALL ROOMS AND EQUIPMENT ARE CORRECTLY LOCATED.
 4. VERIFY ALL ROOMS AND EQUIPMENT ARE CORRECTLY LOCATED.
 5. VERIFY ALL ROOMS AND EQUIPMENT ARE CORRECTLY LOCATED.
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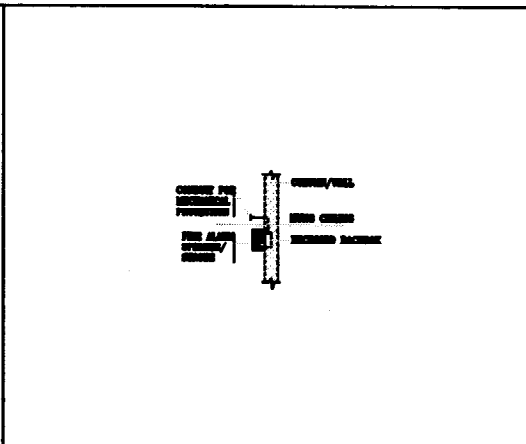
SWITCH ROOM FLOOR PLAN
 SHEET 14-3-3



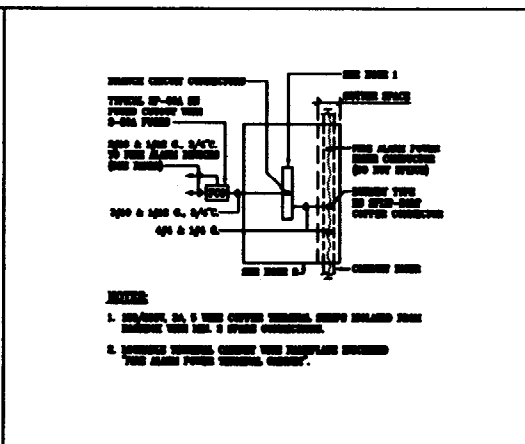
16600 4 SURFACE WALL MOUNTED COMBINATION SPEAKER/STROBE LIGHT INSTALLATION DETAIL



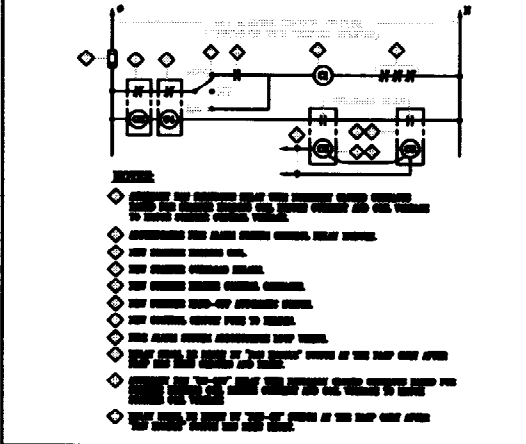
16600 3 TYPICAL SMOKE DETECTOR WIRING DETAIL



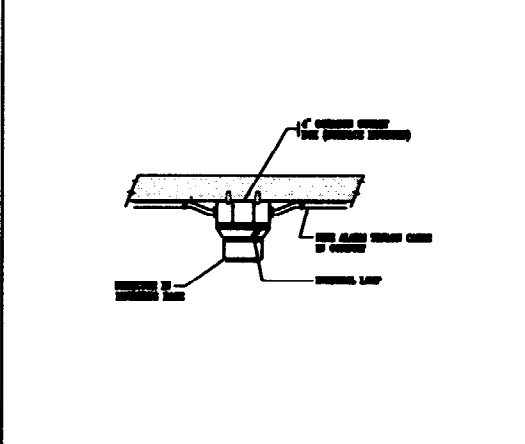
16600 1 FLUSH WALL MOUNTED COMBINATION SPEAKER/STROBE LIGHT INSTALLATION DETAIL



16600 9 TYPICAL FIRE ALARM POWER TERMINAL CABINET



16600 1 TYPICAL FAN SHUTDOWN WIRING DIAGRAM



16600 5 SURFACE MOUNTED SMOKE/HEAT DETECTOR INSTALLATION DETAIL

verizon
GLOBAL NETWORK SOLUTIONS
500 CHURCHLAND AVENUE
PORTLAND, ME
POINT OF PRESENCE FACILITY

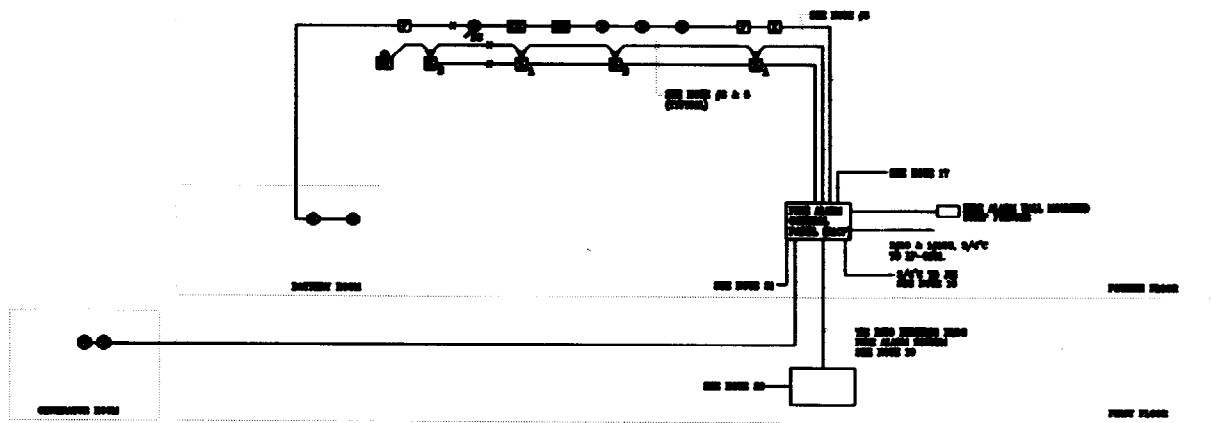
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www.skaassociates.com

McBrie, Inc.
Structural Engineers
1000 Exchange
Portland, ME 04101

FIRE ALARM DETAILS
SCALE: 1/8"=1'-0"
JOB NUMBER: 17448-01
DATE: 08/11/11
DRAWN BY: BCL/MLP
CHECKED BY:

FA4.01



FIRE ALARM RISER DIAGRAM
 04/10/2010

FIRE ALARM RISER NOTES:

1. FOR FIRE ALARM CONTROL AND RINGING PANEL.
2. ALL WIRING AND NEW WIRING CHANNELS SHALL FOLLOW ALL RELEVANT CODES AS REQUIRED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA).
3. CONDUCTOR SIZE SHALL BE AS PER THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) TABLE 310.15(B)(16) OF THE NATIONAL ELECTRICAL CODE (NEC).
4. WIRING SHALL BE IN CONFORMANCE WITH ALL RELEVANT CODES AS REQUIRED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) TABLE 310.15(B)(16) OF THE NATIONAL ELECTRICAL CODE (NEC).
5. ALL NEW FIRE ALARM WIRING SHALL BE IN CONFORMANCE WITH ALL RELEVANT CODES AS REQUIRED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) TABLE 310.15(B)(16) OF THE NATIONAL ELECTRICAL CODE (NEC).
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