

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION PERMIT

Permit Number: 030350

Please Read Application And Notes, If Any, Attached

This is to certify that Three Forty Associates Llc / J Osgood  
has permission to Phase I of 4th floor renovation only.  
AT 338 Cumberland Ave 037 F009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must be given and when permission procured before this building or part thereof is occupied or closed-in.  
NO OTHER NOTICES REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. [Signature]  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

[Signature] 5/17/03  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**



Project #3-012

**McBrie, LLC**160 Sylvan Street  
Danvers, MA 01923Structural Engineers  
www.mcbrie.comTelephone: 978-646-0097  
Fax: 978-646-0087

May 9, 2003

Mr. Mike Nugent  
Manager of Inspections  
389 Congress Street, Room 315  
Portland, ME 04101**RE: Global Network Solutions  
Portland, ME POP  
340 Cumberland Ave.  
Portland, ME**

McBrie, LLC Job #3-012

Dear Mr. Nugent:

We certify that to the best of my knowledge, information and belief, the plans and computations for the captioned building were designed in accordance with the requirements of the 1999 BOCA National Building Code and all other pertinent laws and ordinances.

We also certify that I, or my authorized representative, will inspect the work during construction. We shall also oversee the testing agencies and will require all tests reports be submitted to our office for review. The proposed tests are:

1. Structural Steel: Welds, Bolts, Material Certification & welding certificates.
2. Metal Deck & attachment to structural steel
3. Expansion bolts.
4. Concrete compression tests.

Upon completion of the construction, a Final Report of Structural Tests and Inspection affidavit indicating inspections have been satisfactorily completed and all discovered defects have been corrected, will be issued.

If you require additional information, please to not hesitate to contact our office.

Sincerely,

  
Michael Perham, PE  
Structural Engineer / Managing Member

Bridge From Existing to New Building	- HSS 6x4
Bridge From Existing to New Building (decking)	- 2x6 Cedar Deck
Wall Framing (South Wall)	- 4x6 @ 48" o.c. / Concrete
Wall Framing (North Wall)	- 4x6 @ 24" o.c.
Wall Framing (East & West Walls)	- 6x6 @ 48" o.c. (full hgt. to deck)
	- 4x6 @ 24" o.c.

**CONNECTIONS:**

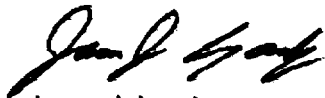
Connect (2) 2x12 Roof Rafter to 10x18 Roof Beam w/Simpson LUS26-2 w/(4) 16d nails @ Each connection, Typ.

Connect 4x6 Post (@ north face of Roof Deck) to 10x18 Roof Beam w/ 5"x5"x1/2"x5" Long Steel Angle. Attach angle to both post and beam w/ (2) 3/4" x 4" long lag Bolts, Typ.

Engineering Ventures did not perform a design analysis for the lateral stability of the structure for seismic or wind loading.

Should you have any questions regarding this letter report, please do not hesitate to call.

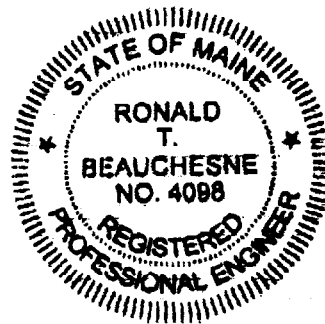
Sincerely,

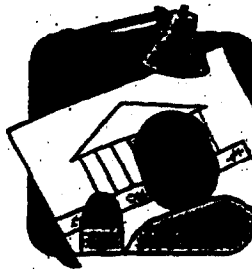


Jason J. Landry  
Engineering Designer  
Engineering Ventures, Inc.



Ronald T. Beauchesne, PE  
Branch Manager / Senior Engineer  
Engineering Ventures, Inc.





**CITY OF PORTLAND MAINE**

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

FROM DESIGNER: BKA Architects, Inc.

142 Crescent Street, Brockton, MA 02302

DATE: April 3, 2003

Job Name: Verizon Global Network Solutions P.O.P.

Address of Construction: 340 Cumberland Avenue

**THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION**

Construction project was designed according to the building code criteria listed below:

Building Code and Year 1999 Use Group Classification(s) B  
1-B Exist. 8 Stories Exist. -5,766/sf.  
Type of Construction Noncombust. Bldg. Height No Change Bldg. Sq. Footage No Change  
Seismic Zone \*\* Group Class \*\*  
Roof Snow Load Per Sq. Ft. \*\* Dead Load Per Sq. Ft. \*\*  
Basic Wind Speed (mph) \*\* Effective Velocity Pressure Per Sq. Ft. \*\*  
Floor Live Load Per Sq. Ft. 150 psf at Switch Rm.; 300 psf at Battery Rm.

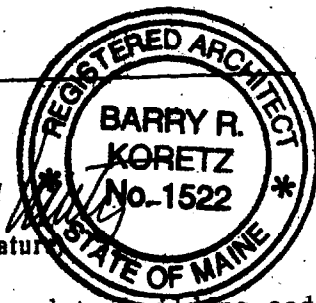
Structure has full sprinkler system? Yes        No X Alarm System? Yes X No         
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes X No       

If mixed use, what subsection of 313 is being considered N/A

List Occupant loading for each room or space, designed into this Project.  
Switch Room, Battery Room. Actual - unmanned.

(Designers Stamp & Signature)



PSH 6/07/2K

\*\*BKA assumes per 102.2 that the existing building conformed to building codes at the time of construction, and the existing building has not been cited for any nonconformance.



**CITY OF PORTLAND  
ACCESSIBILITY CERTIFICATE**

**Designer:** BKA Architects, Inc.

**Address of Project** 340 Cumberland Avenue

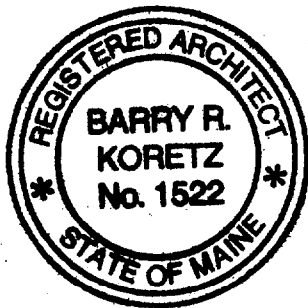
**Nature of Project** Unmanned telephone switch-tenant

fit-out

**Date** April 3, 2003

**The technical submissions covering the proposed construction work as described above have been have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.**

(SEAL)



**Signature** *Barry R. Koretz*

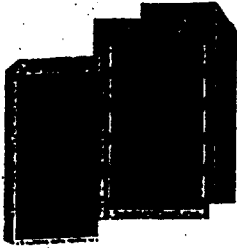
**Title** President

**Firm** BKA Architects, Inc.

**Address** 142 Crescent Street

Brockton, MA 02302

**Telephone** 508-583-5603



**CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Rm 315  
Portland, ME 04101**

**TO:** Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

**FROM:** BKA Architects, Inc., 142 Crescent St., Brockton, MA 02302

**RE:** Certificate of Design

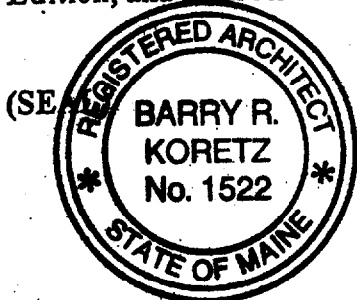
**DATE:** April 3, 2003

These plans and/or specifications covering construction work on:

340 Cumberland Avenue

4th Floor Tenant Fit-out

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature *Barry Koretz*

Title President

Firm BKA Architects, Inc.

Address 142 Crescent St., Brockton, MA 02302

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 03-0350	<b>Date Applied For:</b> 04/16/2003	<b>CBL:</b> 037 F009001
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<b>Location of Construction:</b> 338 Cumberland Ave	<b>Owner Name:</b> Three Forty Associates Llc	<b>Owner Address:</b> 120 Exchange St	<b>Phone:</b> ( ) 874-6959
<b>Business Name:</b>	<b>Contractor Name:</b> Jon Osgood	<b>Contractor Address:</b> 153 US Rt. 1 Scarborough	<b>Phone:</b> (207) 883-4040
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

<b>Proposed Use:</b> Telecommunications: Phase I of 4th floor renovations only.	<b>Proposed Project Description:</b> Phase I of 4th floor renovations only.
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**Dept:** Zoning      **Status:** Approved      **Reviewer:** Marge Schmuckal      **Approval Date:** 04/17/2003  
**Note:**      **Ok to Issue:**

**Dept:** Building      **Status:** Pending      **Reviewer:** Mike Nugent      **Approval Date:**  
**Note:**      **Ok to Issue:**

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Lt. McDougall      **Approval Date:** 04/28/2003  
**Note:**      **Ok to Issue:**

- 1) the fire alarm system shall be tested in accordance NFPA 72 standards and the results shall be submitted to the Portland Fire Department
- 2) the sprinkler system shall be installed in accordance with NFPA 13 standards
- 3) the fire alarm system shall be installed in accordance with NFPA 72 standards

**Comments:**

05/05/2003-mjn: need certifications from design professional and statement of special inspections, faxed request to designer, notified builder



# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

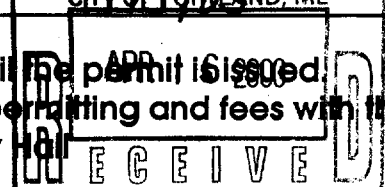
Location/Address of Construction: <u>340 Cumberland Ave Existing Bldg</u>		
Total Square Footage of Proposed Structure <u>4<sup>th</sup> Floor Renov. 5766 SF</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>037</u> Block# <u>F</u> Lot# <u>009</u>	Owner: <u>Neptune Properties 340 Associates LLC</u> <u>120 Exchange St. Portland, Me</u>	Telephone: <u>874-6959</u>
Lessee/Buyer's Name (If Applicable) <u>Verizon GMS</u>	Applicant name, address & telephone: <u>Jon Osgood</u> <u>153 US Rt</u> <u>Scarborough, ME 04604</u>	Cost of Work: <u>Fee for Phase I</u> <u>\$ 90,727. -</u> Fee: \$ <u>667.00</u>
Current use: <u>Vacant</u>	<del>Storage</del> <del>Office</del>	
If the location is currently vacant, what was prior use: <u>Storage</u>		
Approximately how long has it been vacant: <u>1 year</u> <u>Change of Use</u>		
Proposed use: <u>Use of 4<sup>th</sup> Floor for new switching equipment.</u> Project description: <u>Share for communication switches UNMANNED.</u> <u>Share for only, on 4<sup>th</sup> floor, page A1-1 on plans</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Jon Osgood</u>		
Mailing address: <u>153 US Rt. 1</u> <u>Scarborough, ME</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>207-883-4040</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Jon W. Osgood</u>	Date:	DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME
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This is NOT a permit, you may not commence ANY work until the permit is issued.  
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall





# GLOBAL NETWORK SOLUTIONS PORTLAND, ME POP

340 CUMBERLAND AVENUE  
PORTLAND, ME  
BID SET - 03/25/03

PROJECT MANAGEMENT:  
VERIZON PROPERTIES  
1880 CAMPUS COMMONS DR.  
RESTON, VA 20191  
ATTN: GARY ASZTALOS, P.E.  
(703) 295-4188

LOCATION DRAWING

340 CUMBERLAND AVE  
PORTLAND, ME

*Phase 1  
Clean Floor + TOP w/ Lt Wt Coat  
Battery Room Floor + Strip*

### DRAWING INDEX & STATUS

REVISION OR ISSUE NO.	CURRENT DRAFTING ISSUE DATE	DWG. NO.	DRAWING TITLE
1	03-26-2003	T8.1	REFERENCE Title Page, Code Review, & Loose Map
1	03-26-2003	A0.1	ARCHITECTURAL Abbreviations, Legend, Wall Types, Door Schedules, Finish Schedules, & Details
1	03-26-2003	A1.1	Floor Plans: Demolition, New Work, Notes, & Details
1	03-26-2003	A1.2	Construction Plans, Partial Roof Plan, & Details
1	03-26-2003	A2.1	Interior Elevations & Details
1	03-26-2003	S0.1	STRUCTURAL General Structural Notes and Drawing Index
1	03-26-2003	S0.2	Typical Concrete Details
1	03-26-2003	S0.3	Typical Steel and Metal Deck Details
1	03-26-2003	S0.4	Typical Masonry Details
1	03-26-2003	S2.1	Foundation/Slab Plan
1	03-26-2003	S2.2	Roof Framing Plan
1	03-26-2003	S0.1	Details
1	03-26-2003	P0.01	PLUMBING Plumbing Symbols, Notes, & Abbreviations
1	03-26-2003	P2.01	Plumbing Demolition Plan
1	03-26-2003	P3.01	Plumbing Construction Plan
1	03-26-2003	M0.01	MECHANICAL Mechanical Legend, Notes & Abbreviations
1	03-26-2003	M0.02	Title 24
1	03-26-2003	M1.01	Mechanical Schedules
1	03-26-2003	M2.01	Mechanical First Floor Plan
1	03-26-2003	M4.01	Mechanical Details
1	03-26-2003	M5.01	Mechanical Riser Diagrams
1	03-26-2003	ME0.01	CONTROLS Control Details
1	03-26-2003	ME0.02	Control Details
1	03-26-2003	ME0.03	Control Details
1	03-26-2003	ME0.04	Control Details
1	03-26-2003	ME0.05	Control Details
1	03-26-2003	E0.01	ELECTRICAL Electrical Symbols, Abbreviations & Notes
1	03-26-2003	E0.02	Title 24
1	03-26-2003	E1.01	Electrical Panelboard Schedules
1	03-26-2003	E1.02	Electrical Single-Line Diagram
1	03-26-2003	E3.01	Electrical First Floor Power Plan
1	03-26-2003	E3.02	Electrical Lighting and Receptacle Plan
1	03-26-2003	E3.03	Electrical Grounding Plan & Single Line
1	03-26-2003	E3.04	Grounding Single-Line Diagram
1	03-26-2003	E3.05	Electrical Grounding Plan
1	03-26-2003	E3.06	Electrical Security and Alarm Plan
1	03-26-2003	E3.07	Steel Channel Support Plan
1	03-26-2003	E4.01	Electrical Details
1	03-26-2003	E4.02	Grounding Details
1	03-26-2003	F00.01	FIRE ALARM Fire Alarm Symbols, Abbreviations and Notes
1	03-26-2003	F01.01	Fire Alarm First Floor Plan
1	03-26-2003	F01.02	Fire Alarm Details
1	03-26-2003	F01.03	Fire Alarm Riser Diagram

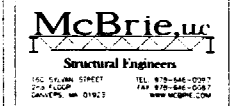
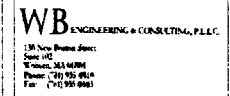
### APPROVED FOR CONSTRUCTION

DESIGN PROFESSIONAL SIGNATURE	(NAME)	(DATE)
VERIZON PROPERTIES SIGNATURE	GARY ASZTALOS, P.E.	(DATE)

### Building Code Summary

ITEM	ALLOWABLE	ACTUAL
USE GROUP FOR EXISTING STRUCTURES	B - BUSINESS	B - BUSINESS
USE GROUP FOR OCCUPANCY CLASSIFICATION TABLE 903 - BOCA	B - BUSINESS	B - BUSINESS
BUILDING AREA TABLE 903 - BOCA	B - NOT LIMITED	NO INCREASE IN AREA
BUILDING HEIGHT TABLE 903 - BOCA	B - NOT LIMITED	NO INCREASE IN HEIGHT
TYPE OF CONSTRUCTION TABLE 907 - BOCA	ASSUMED TO BE TYPE II NON-COMBUSTIBLE	
FIRE PROTECTION SYSTEMS	THE GENERAL CONTRACTOR AND ELECTRICAL CONTRACTOR SHALL CONFORM TO AND COORDINATE WITH THE CITY OF PORTLAND FIRE DEPT FOR ALL FIRE ALARM SYSTEMS REQUIREMENTS PRIOR TO THE WORK.	
ARTICLE 10 - BOCA MEANS OF EGRESS	3404.5-6 MEANS OF EGRESS SUMMARY, TABLE 1008.12 MAX FLOOR AREA/OCCUPANT, TABLE 1008.13 EGRESS W/TA/OCCUPANT PER FLOOR, 1008.14 OCCUPANT LOAD FACTOR, 1008.15 LESS THAN 36 DOORS 36 MIN. CLEARANCE PER PERSON PER LEAF, 1008.16 DOORS AT THE LEVEL OF EXIT DISCHARGE, 1008.17 DOOR CLEARANCE, 1008.18 DOOR CLEARANCE, 1008.19 DOOR CLEARANCE	
FIRE SEPARATION	NOT REQUIRED BECAUSE OF SAME USE GROUPS	
LENGTH OF TRAVEL TABLE 1006.5	100 W/O SPRINKLER SYSTEM / DOES NOT EXCEED 100	
FIRE STOP, DRIFT STOP	FIRE STOPPING DRIFT STOPPING AS PER SECTION 1000 - BOCA	
INTERIOR FINISHES TABLE 903.4	BUSINESS PASSAGEWAYS: CLASS II 1/8" F.L.M.E. SPREAD CORRIDORS: CLASS II 1/8" F.L.M.E. SPREAD ROOMS OR ENC. SPACES: CLASS II 1/8" F.L.M.E. SPREAD ALL FLOORING: CLASS II - PASS DOOR - 1 HOUR TEST	

NOTE: THE CODE SUMMARY ASSUMES A DESIGN BASED ON LANDLORD SUPPLIED INFORMATION FOR USE GROUP AND TYPE OF CONSTRUCTION.



03/25/03 1 ISSUED FOR MD  
03/27/03 1 ISSUED FOR BPS

TITLE SHEET  
DRAWING LIST  
LOCUS MAP

SCALE: AS NOTED  
JOB NUMBER: 03-000000  
DATE: 03/25/03  
DRAWN BY: TR  
SHEET NUMBER:

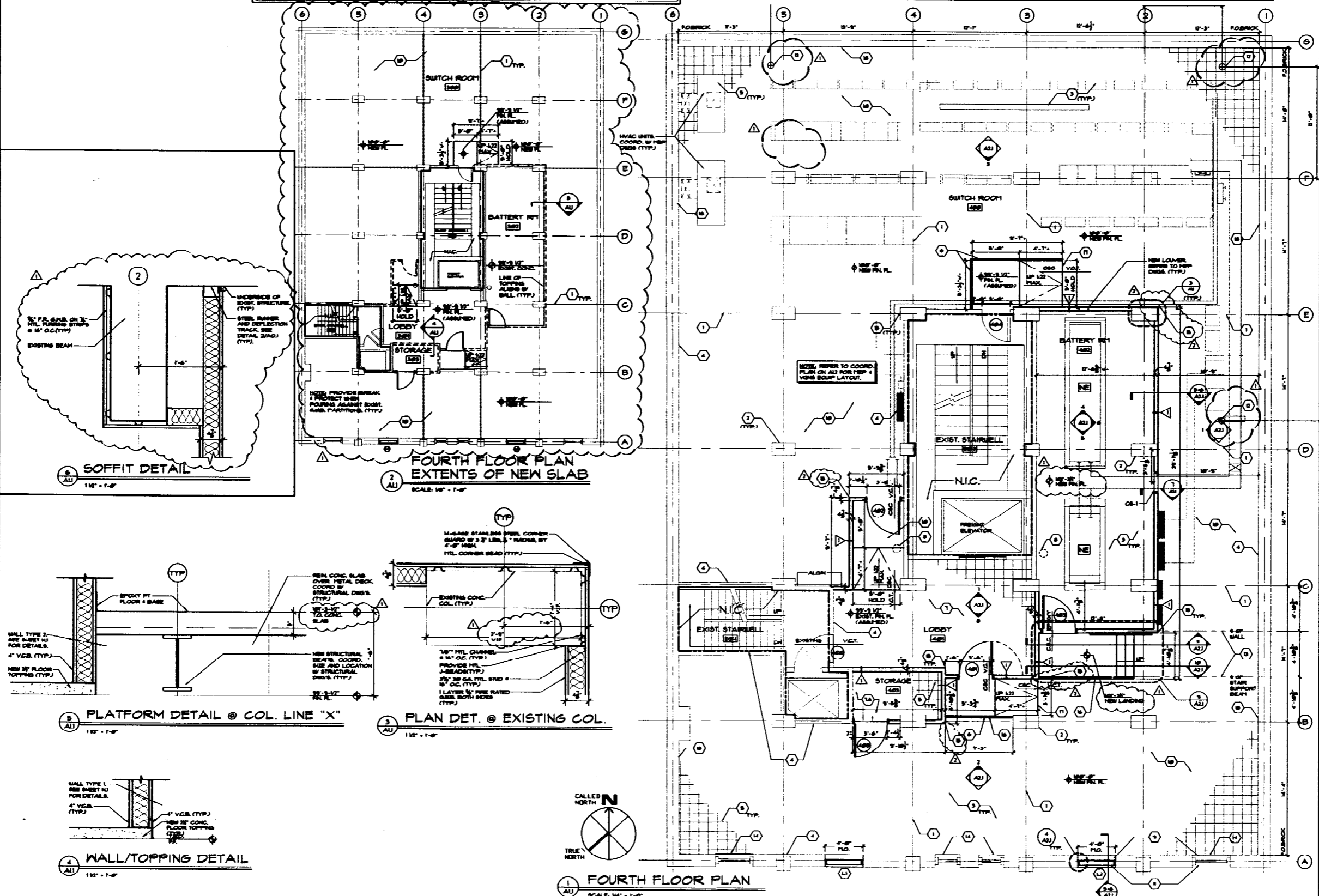
TO-1





- KEYED PLAN NOTES**
1. PROVIDE CONTROL JOINTS, AS DIRECTED BY ARCHITECT OR STRUCTURAL ENGINEER, IN CONCRETE FLOOR TOPPING, ALIGN NEW CONTROL JOINTS BY CONTROL JOINTS IN EXISTING SLAB BELOW (TYP.) REFER TO SHEET 3.
  2. PATCH & REPAIR EXIST. CEILING W/ 2500 PSI GROUT. SCRAPE, PREP, PRIME & PAINT (TYP.).
  3. EXISTING CEILING FINISH TO BE REMOVED BY CHEMICAL, MECH. HAND SCRAPING, BRUSHING, SANDING, OR SAND BLASTING AS NECESSARY TO EXPOSE BASE CONC. PATCH AND REPAIR EXISTING CONC. CEILING W/ 2500 PSI GROUT PRIME, FINISH, AND G.C. PER FRUIT'S SPECIFICATIONS & RECOMMENDATIONS (TYP.).
  4. PATCH AND REPAIR EXISTING WALLS, FINISH PER NEW FINISH. SEE GEN. NOTES 2, 3, & 4 (TYP.).
  5. NEW V.C.T. APERTURES FOR RISER, HOODS, EXHAUST, ETC. (TYP.).
  6. PROVIDE RESILIENT EDGE TERMINATION (TYP.).
  7. 2" X 2" A.C.P. CLS. W/ HOLD DOWN CLIPS @ 8'-0" AFF. SEE FINISH SCHEDULE.
  8. 2" X 2" A.C.P. CLS. W/ HOLD DOWN CLIPS. SEE FINISH SCHEDULE.
  9. DRY-OUT EXIST. ABANDONED RISER LEADERS @ ALL LOCATIONS V.S.P. (TYP.).
  10. DRY-OUT EXIST. WINDOWS, AS INDICATED. PREPARE OPENINGS TO RECEIVE NEW LOWERS. COORD. W/ MEP (TYP.).
  11. NEW 3/4" CONC. FLOORING, COORD. W/ STRUCT. DESIG. OPENINGS AND RISERS (TYP.) REFER TO 2A01 FOR LIMITS. REFER TO GEN. NOTE 3.
  12. NEW LOWERS.
  13. PROVIDE BRASS FLOOR MARKER FOR USE AS A BENCH MARK (TYP.) FOR VERIFICATION EQUIPMENT LAYOUT, COORD. BY VMS (TYP.).
  14. ALIGN LAYOUT W/ LINE OF EXISTING JOISTS BELOW SLAB. COORD. BY STRUCTURAL DESIG. (TYP.).
  15. ADDRESS 3/4" SPA THIN FLDG TO CONC. AT WINDOW OPENINGS (TYP.).
  16. PROVIDE 1/4" DIA. COVER GUARD BY 3/4" LBS. 5" RADIUS BY 2'-0" HIGH @ ALL EXT. CORNERS (TYP.).
  17. PROVIDE REMOVABLE RAIL. SEE RAIL DETS ON SHEET A21.
  18. PROVIDE REDUCER STRIP (TYP.).
  19. CLEAN MASONRY WALL. REMOVE ALL DIRT, DEBRIS, STAIN, EFFLORESCENCE AS OCCURS. PROVIDE A BREATHABLE ELASTOMERIC COATING INSTALLED PER FRUIT'S SPECIFICATIONS AND RECOMMENDATIONS. COORD. LATIC G.A.E. COLOR APPLY BY ARCHITECT.

- GENERAL NOTES**
1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO THE BEGINNING OF WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WHICH MAY ALTER OR PROHIBIT THE EXECUTION OF THE WORK, AS SPECIFIED IN THE CONTRACT DOCUMENTS.
  2. PATCH, REPAIR AND FILL SOLID ALL ABANDONED PENETRATIONS, JUNCTION BOXES, POWER AND TELEPHONE OUTLETS AT ALL SURFACES.
  3. THE ENTIRE FLOOR SHALL LEVEL TO 1" IN 8'-0", 1" OVER THE LENGTH OF THE SPACE, AND 3/4" IN ANY BUILDING BAY. PROVIDE SPOT LEVELING WITH ARDEX K-8.
  4. ALL PLYWOOD, BLOCKING, BACKING AND FURNISH SHALL BE FIRE RETARDANT A.P.A. RATED.
  5. WHERE EXISTING CONSTRUCTION IS AFFECTED PATCH/REPAIR SO THAT ALL NEW FINISHES SHALL MATCH, BLEND AND ALIGN WITH EXISTING ADJACENT SURFACES. THIS IS TYPICAL FOR ALL SURFACES.
  6. PROVIDE PAINTING (ONE (1) PRIME AND TWO (2) FINISH COATS) AND SURFACE PREPARATION FOR ALL UNPAINTED AND PREVIOUSLY PAINTED SURFACES INCLUDING, BUT NOT LIMITED TO ALL ITEMS EXISTING AND NEW WALLS, DOORS, DOOR FRAMES, CABLE SLOT FRAMES, ETC. ALL SURFACES SHALL BE PAINTED WITH A VAPOR RETARDANT PAINT EXCEPT AS NOTED.
  7. THE G.C. SHALL SEAL ALL THRU-WALL & FLOOR PENETRATIONS W/ 3/4" BARRIER CALK & SEALANT ON UEG BARRIS.
  8. THE G.C. SHALL BE RESPONSIBLE FOR DAILY REMOVAL & LEGAL DISPOSAL OF DEBRIS.
  9. DRAWINGS ARE NOT TO BE SCALED. ALL WORK, LINES, AND LEVELS SHALL BE Laid OUT BY WRITTEN DIMENSIONS. GIB DIMENSIONS ARE FROM FACE TO FACE OF FINISH. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. ALL DEVIATIONS SHALL BE CORRECTED BY THE CONTRACTOR BEFORE HE BEGINS HIS PORTION OF THE WORK.
  10. INSTALL A CONTINUOUS SEALANT BEAD ON BACKER-BEAD AT JUNCTIONS OF DISSIMILAR MATERIALS ESP. METAL TO CMU, STEEL TO ALUMINUM, AND ALL NEW MATERIAL JOINTS AS REQUIRED BY THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS, INDUSTRY STANDARDS, AND GOOD PRACTICE.
  11. COORDINATE & INSTALL FRAM BLOCKS FOR ALL WALL MOUNTED EQUIPMENT, PICTURES, ETC.
  12. PROVIDE CONTINUOUS GALVANIZED METAL EDGE AT ALL NEW GIB WORK.



**verizon**  
GLOBAL NETWORK SOLUTIONS, INC.  
340 CAMERLAND AVENUE  
PORTLAND, ME  
POINT OF PRECEDENCE FACILITY

**WB** ENGINEERING & CONSULTING, P.L.L.C.  
1000 Main Street  
Suite 100  
Portland, ME 04101  
Phone (703) 551-1111  
Fax (703) 551-1111

**SK**  
SKA Associates, Inc.  
142 Grosvenor Street  
Providence, RI 02902  
Tel: 401.882.2000  
Fax: 401.882.2000  
e-mail: 1sk@skapro.com

3/25/03	2	ISSUED FOR BID
3/26/03	1	ISSUED FOR BIDS

**FLOOR PLANS, DETAILS**

SCALE: AS NOTED  
JOB NUMBER: CCCC-00-00  
DATE: 03/03  
DRAWN BY: TFM/AM  
SHEET NUMBER:  
**A1-1**

**GENERAL NOTES**

ALL WORK SHALL CONFORM TO THE 1989 BOCA NATIONAL BUILDING CODE.

THE OWNER SHALL RETAIN THE SERVICES OF AN INDEPENDENT TESTING AGENCY TO PERFORM STRUCTURAL INSPECTIONS AS INDICATED ON THE DRAWINGS AND AS REQUIRED/INDICATED BY THE SCHEDULE OF STRUCTURAL TESTS AND INSPECTIONS.

THE CONTRACTOR SHALL EXAMINE ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR VERIFICATION, LOCATION AND DIMENSIONS OF CHANGES, INSERTS, OPENINGS, SLEEVES, DEPRESSIONS AND OTHER PERMIT REQUIREMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS.

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCY BEFORE PROCEEDING WITH THE WORK.

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING & SHORING UNTIL ALL STRUCTURAL WORK IS COMPLETE.

SHOP DRAWINGS, IN ADDITION TO THE SUBMITTALS REQUIRED BY THE PROJECT SPECIFICATIONS, SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION FOR THE FOLLOWING:

- 1) STRUCTURAL STEEL
- 2) CONCRETE BLOCKS AND ADHESIVE ANCHORS

PROVIDE BRACE AT ALL CONTROL JOINTS.

**STRUCTURAL DESIGN NOTES**

DESIGN AGENCY:

BUILDING ENTITY FOR STRUCTURAL ENGINEERING SERVICES, INC.  
FOURTH FLOOR WARE LOAD = 170 PSF  
BATTERY ROOM FRAMING BEAM LOAD = 60 PSF  
BATTERY ROOM FRAMING WARE LOAD = 300 PSF

**STRUCTURAL INSPECTIONS**

AT A MINIMUM, THE FOLLOWING WILL BE INSPECTED:

1. REBAR PLACEMENT/DECK PLACEMENT
2. BRIDGE PLACEMENT
3. STRUCTURAL STEEL

**CONCRETE & REINFORCING**

ALL CONCRETE WORK SHALL CONFORM TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-88)" AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 308).

ALL CONCRETE IN SLABS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. ALL CONCRETE SHALL HAVE BETWEEN 6 TO 8% AIR ENTRAINMENT AND 4" MAXIMUM SLUMP.

REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING:

- (a) ASTM A601, GRADE 60 FOR DEFORMED BARS (F<sub>y</sub> = 60,000 P.S.I.)
- (b) WELDED WIRE FABRIC (WVF) REINFORCEMENT: ASTM A185

**STRUCTURAL STEEL**

STRUCTURAL STEEL SHALL CONFORM TO PART 5 OF THE MANUAL OF STEEL CONSTRUCTION (AISC AISC 1989).

ALL WELDING SHALL CONFORM TO AWS D1.1 AND BE PERFORMED BY APPROVED CERTIFIED WELDERS. ALL WELDS SHALL USE E7018 ELECTRODES BOTH IN THE SHOP AND IN THE FIELD.

SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO FABRICATION.

STRUCTURAL STEEL SHALL CONFORM TO ASTM A992 WITH F<sub>y</sub> = 50ksi FOR ROLLER SHAPES AND ASTM A500 GRADE B (F<sub>y</sub> = 46ksi) FOR STEEL TUBES AND PIPE COLLARS. BOLTED CONNECTIONS SHALL BE MADE USING A MINIMUM OF 3/4" ASTM A500 HIGH STRENGTH BOLTS.

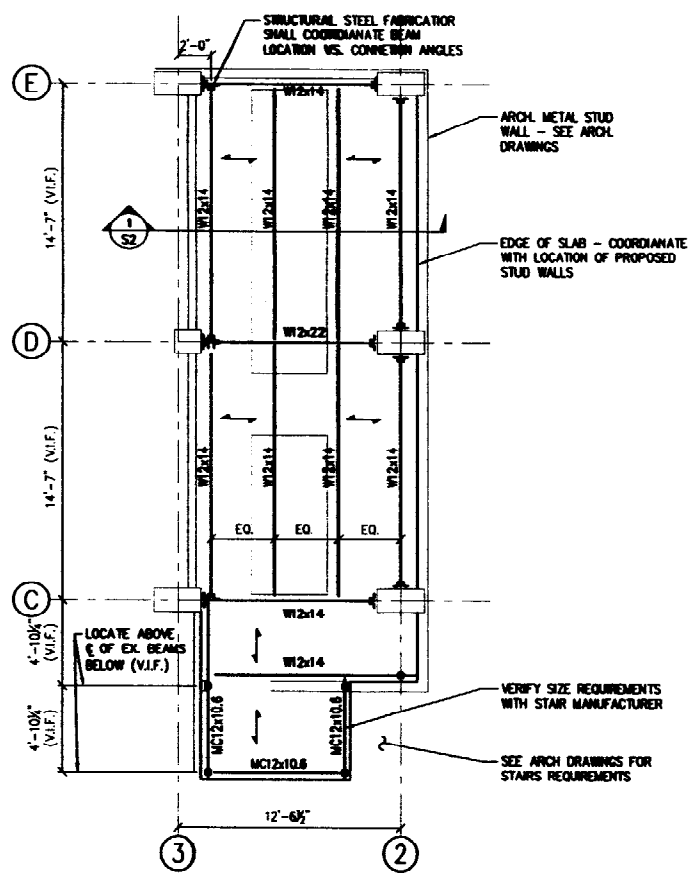
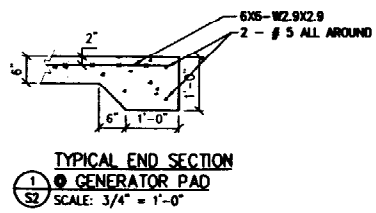
THRU PLATE PIPE CONNECTIONS ARE TO BE USED AT ALL BEAM TO COLUMN CONNECTIONS U.O.C.

ALL INTERIOR STRUCTURAL STEEL TO RECEIVE ONE SHOP COAT OF STANDARD GRAY PRIMER & WHITE PAIN COAT. TOUCH UP ALL BARE AREAS AFTER ERECTION.

ALL STRUCTURAL STEEL FOR THE TWO ACCU'S SUPPORT FRAME SHALL BE HOT DIPPED GALVANIZED. TOUCH UP ALL BARE AREAS AFTER ERECTION WITH APPROVED GALV. TOUCH UP.

**LEGEND / ABBREVIATIONS**

- SECTION #
- SHEET SECTION IS SHOWN ON OR SHEET SECTION IS CUT ON
- SE = STRUCTURAL ENGINEER OF RECORD
- WVF = WELDED WIRE FABRIC
- V.I.F. = VERIFY IN FIELD
- U.O.C. = UNDER OTHER OTHERWISE
- SM = STEEL
- GRALV. = GALVANIZED
- S.S. = STAINLESS STEEL
- EX. = EXISTING
- EL. = ELEVATION

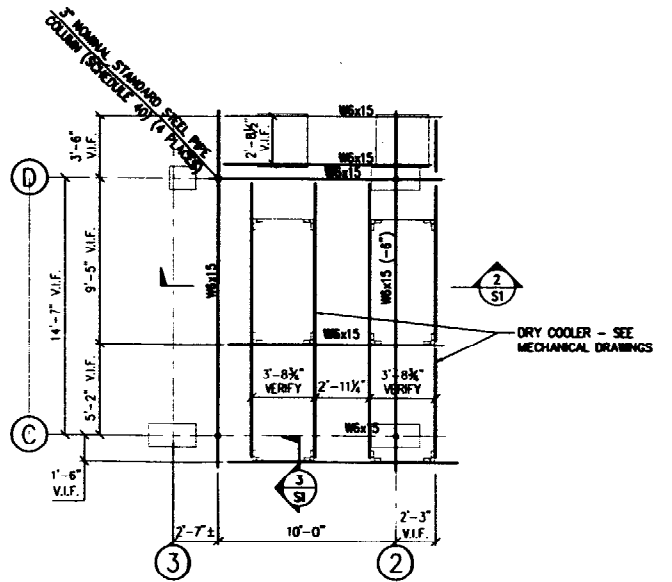


INDICATES SPAN DIRECTION OF 1 1/2" 20 GAUGE COMPOSITE FLOOR DECK & 3/8" NORMAL WEIGHT CONCRETE (5" TOTAL DEPTH) REINFORCED WITH 6x6-WR.4001.4 WVF. FIELD WELD DECK AT EDGE RIBS 6" O/C MAX. AND AT INTERMEDIATE RIBS 12" O/C MAX. TO ALL SUPPORTS. (ALL WELDS TO BE 3/8" PUDDLE WELDS). FASTEN ONE SIDE LAP PER SPAN. NOTE WELL: CONCRETE DECK MUST BE WET CURED FOR 7 DAYS UNLESS HIGH EARLY CONCRETE IS USED WHICH MUST BE WET CURED FOR 3 DAYS.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS INDICATED WITH THE ARCHITECTURAL DRAWINGS AND IN THE FIELD BEFORE COMMENCEMENT OF WORK OR FABRICATION OF MATERIALS. (VERIFY IN FIELD & NOTIFY STRUCTURAL ENGINEER OF RECORD OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK).

**BATTERY ROOM FRAMING PLAN - FOURTH FLOOR**

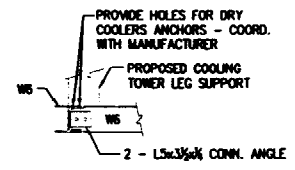
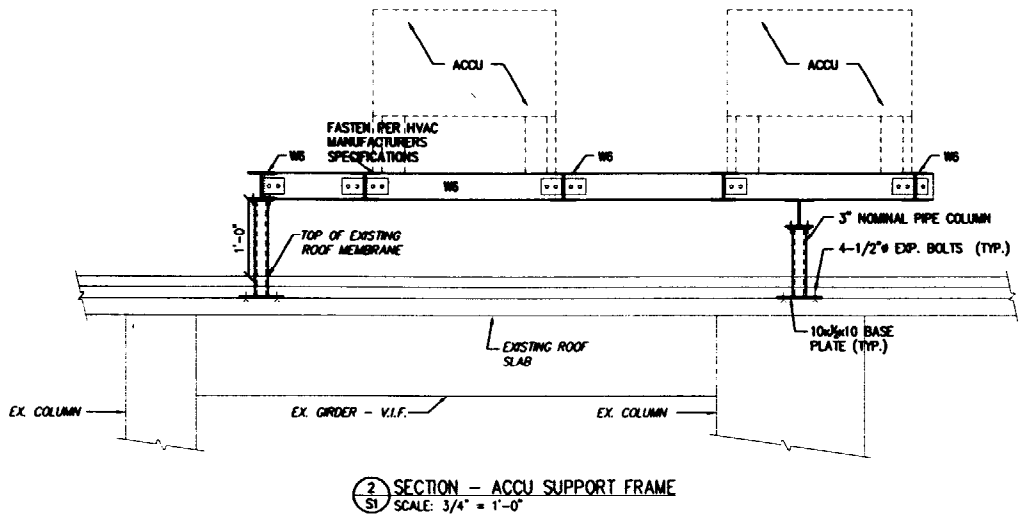
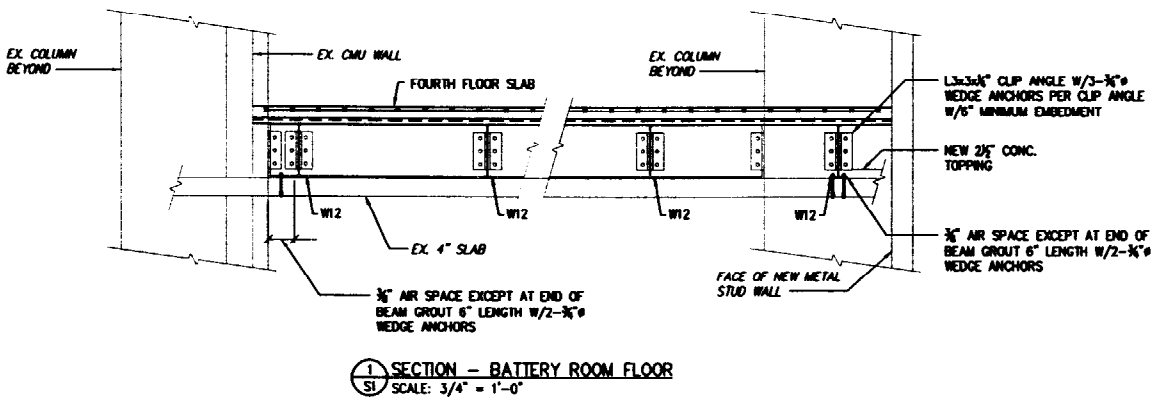
SCALE: 1/4" = 1'-0"



BOTTOM OF STEEL BEAMS SHALL BE 12" FROM FINISHED ROOF MEMBRANE ELEVATION (U.O.C.).

ELEVATIONS AND DIMENSIONS INDICATED SHALL BE VERIFIED BY THE CONTRACTOR AND APPROVED BY THE OWNER/ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.

STRUCTURAL STEEL SHOP DRAWINGS SHALL INCLUDE ALL GEOMETRY ASSOCIATED WITH THE ACCU'S AND THE ATTACHMENT METHOD TO THE STRUCTURAL STEEL.



**verizon**  
GLOBAL NETWORK SOLUTIONS  
340 CUMBERLAND AVENUE  
PORTLAND, ME  
POINT OF PRESENCE FACILITY

**WB** ENGINEERING & CONSULTING, P.C.  
130 King Street  
Portland, ME 04101  
Phone: (703) 755-0000  
Fax: (703) 755-0000

**SK**  
SKA Associates, Inc.  
ARCHITECTURE INTERIORS  
142 Crescent Street  
Beverly, MA 02302  
Tel: (508) 392-1100  
Fax: (508) 392-1101  
www.ska.com

**McBrie, LLC**  
Structural Engineers  
100 State Street  
Portland, ME 04101  
Phone: (207) 774-1100  
Fax: (207) 774-1101  
www.mcbrie.com

**STRUCTURAL NOTES & DETAILS**

SCALE:	AS SHOWN
JOB NUMBER:	VFAM08-04
DATE:	01-24-07
DRAWN BY:	KC-MBP
SHEET NUMBER:	