

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 375 Fore Street		Owner: Monoply INC.		Phone: 773-3333		Permit No: <b>000201</b>	
Owner Address: SAA		Lessee/Buyer's Name: Old Chicago		Phone: N/A		Business Name: N/A	
Contractor Name: **Burr Signs Craig Currier		Address: 10 Buttonwood St. S.Ptld, ME 04106		Phone: 799-1183		Permit Issued: MAR 17 2000	
Past Use: Restaurant <i>old seaman's club</i>		Proposed Use: Same		COST OF WORK: \$ <del>XXXX</del> 0		PERMIT FEE: \$ 34.20	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: <i>U</i> Use Group: Type: <i>Boc 99</i>	
Proposed Project Description: Install neo projecting signs. Install pin mounted letters.				Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>	
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zoning Appeal: <i>ok with conditions</i>	
Permit Taken By: GD & MN				Date Applied For: 3-1-00		Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
				Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	
				Signature: Date:		Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input checked="" type="checkbox"/> Requires Review	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Send To: Burr Signs  
Craig Currier  
10 Buttonwood Street  
South Portland, ME 04106

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT	ADDRESS:	DATE: 3-1-00	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

PERMIT ISSUED  
WITH REQUIREMENTS  
CEO DISTRICT  
**1**

BUILDING PERMIT REPORT

DATE: 2 MARCH 2000 ADDRESS: 375 Fore St. CBL: 037-F-008

REASON FOR PERMIT: SIGN

BUILDING OWNER: Monophy Inc.

PERMIT APPLICANT: CONTRACTOR Burr Sign

USE GROUP: A-3 CONSTRUCTION TYPE: CONSTRUCTION COST: PERMIT FEES: \$84.20

The City's Adopted Building Code (The BOCA National Building code/1996 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: \*1, \*35 #31

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing. Section 1908.0
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
16. Each apartment shall have access to two (2) separate, remote and approved means of egress.
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall maintained to NFPA #72 Standard.
22. The Sprinkler System shall maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
28. All requirements must be met before a final Certificate of Occupancy is issued.
29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements. *① shall be able to obtain liquor license thru City Cl*
32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code. *② shall be able to obtain occupancy permit thru inspect*
33. Bridging shall comply with Section 2305.16.
34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2405.0)
- \*35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1996).

*[Signature]*  
 P. Samuel Hoopes, Building Inspector  
 Cc: K. McDougall, PFD  
 Marge Schmuckal, Zoning Administrator

PSH 11/25/99

**\*\*On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.**

**\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.**

**\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00**

SIGNAGE PRE-APPLICATION

PLEASE ANSWER ALL QUESTIONS

ADDRESS: 375 Fore St. ZONE: B-3

OWNER: Monopoly Inc.

APPLICANT: Old Chicago / Beer Signs

ASSESSOR NO. \_\_\_\_\_

SINGLE TENANT LOT? YES  NO

MULTI TENANT LOT? YES  NO

FREESTANDING SIGN? YES  NO  DIMENSIONS \_\_\_\_\_

(ex. pole sign...)

MORE THAN ONE SIGN? YES  NO  DIMENSIONS \_\_\_\_\_

BLDG. WALL SIGN? YES  NO  DIMENSIONS SEE ATTACHED

(attached to bldg)

MORE THAN ONE SIGN? YES  NO  DIMENSIONS SEE ATTACHED

LIST ALL EXISTING SIGNAGE AND THEIR DIMENSIONS: NONE

LOT FRONTAGE (FEET): \_\_\_\_\_

BLDG FRONTAGE (FEET): 35'-0"

AWNING YES  NO  IS AWNING BACKLIT? YES  NO

HEIGHT OF AWNING: \_\_\_\_\_

IS THERE ANY COMMUNICATION, MESSAGE, TRADEMARK OR SYMBOL ON IT? \_\_\_\_\_

\*\*\* TENANT BLDG. FRONTAGE (IN FEET) 35'-0" x 2 = 70 #MAX

\*\*\* REQUIRED INFORMATION

AREA FOR COMPUTATION

over sidewalk -  $\begin{cases} 2.25 \times 2.25 = 4.5 \\ 5 \times 1 = 5 \\ \hline 9.5 \# \end{cases}$

$\begin{array}{r} 10.42 \\ 9.50 \\ \hline 19.92 \# \end{array}$

"Pizza Parfa - 110 Brews" =  $.46 \times 8.5 = 5.61$   
Old Chicago =  $.03 \times 7 = 5.81$   
10.42

A SITE SKETCH AND BUILDING SKETCH SHOWING EXACTLY WHERE EXISTING AND NEW SIGNAGE IS LOCATED MUST BE PROVIDED. SKETCHES AND/OR PICTURES OF PROPOSED ARE ALSO REQUIRED.

SIGNATURE OF APPLICANT: [Signature] DATE: 030100

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

Sign Permit Pre-Application

Attached Single Family Dwellings/Two-Family Dwelling  
Multi-Family or Commercial Structures and Additions Thereto

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction (include Portion of Building):	375 Fore St
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Total Square Footage of Proposed Structure	204	Square Footage of Lot	
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Tax Assessor's Chart, Block & Lot Number Chart# 37 Block# F Lot# 008	Owner: Menoply Inc	Telephone#: 773.3333 <del>773.3333</del>
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Owner's Address: 375 Fore St. A/B	Lessee/Buyer's Name (If Applicable) Old Chicago	Total Sq. Ft. of Signs Fee 204 \$34.20
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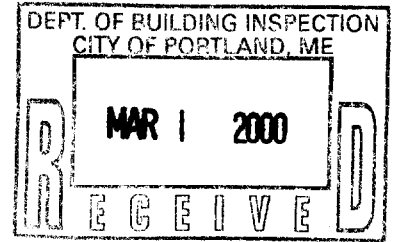
Proposed Project Description:(Please be as specific as possible) Install neon project sign Install illuminated letters 799-1183
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Contractor's Name, Address & Telephone Burr Signs / Craig Currie 10 Bitternood St S. Portland, ME 04106	Rec'd By: JLD MAN
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Current Use: restaurant	Proposed Use: restaurant
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Signature of applicant: <i>Craig Currie</i>	Date: 03.01.00
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Signage Permit Fee: \$30.00 plus .20 per square foot of signage



FEB-16-00 WED 10:35

WESTERN SIGN COMPANY

FAX NO. 7194813933

P.03

02/15/00 11:09 FAX 207735480

THE DUNHAM GROUP

002

02/14/00 05:05 FAX 2077812223

JLEAD

PAGE 31

02/14/00 18:34 FAX 2077788480

THE DUNHAM GROUP

002

002

02/14/00 MON 09:37 FAX 303 848 2180

Jessica Perkins Markshire

FEB-14-00 MON 09:55

WESTERN SIGN COMPANY

FAX NO. 7194813933

P.02

FROM : WEST SIGN

FAX NO. : 207 788 1384

Feb. 09 2000 03:50 PM PA

OWNER CONSENT AND AGREEMENT

I, Joe Foley, being the owner of the premises located at  
 (OWNER PROPERTY OWNERS NAME)  
375 Fore St in Portland, Maine, hereby give consent to the  
 (OWNER PROPERTY ADDRESS)  
 erection of a certain sign/awning/banner owned by Perkins old Chicago Inc.  
 (OWNER LESSEE'S NAME)  
 over the sidewalk or on building from said premises as described in  
 application to the Division of Inspection Services.

and in consideration of the issuance of said permit, owner of said premises,  
 in event said sign shall cease to serve the purpose for which it was erected  
 or shall become dangerous and in event the owner of said sign shall fail to  
 remove said sign or make it permanently safe in case the sign shall serve  
 the purpose for which it was erected, hereby agrees for himself or itself,  
 for his heirs, his successors, and his or his assigns, to completely remove  
 said sign.

MONOPOLY, Inc.  
 X [Signature] PRESIDENT  
 Signature of Property Owner  
2/14/2000  
 Date

X [Signature]  
 Signature of Lessee  
2-14-00  
 Date

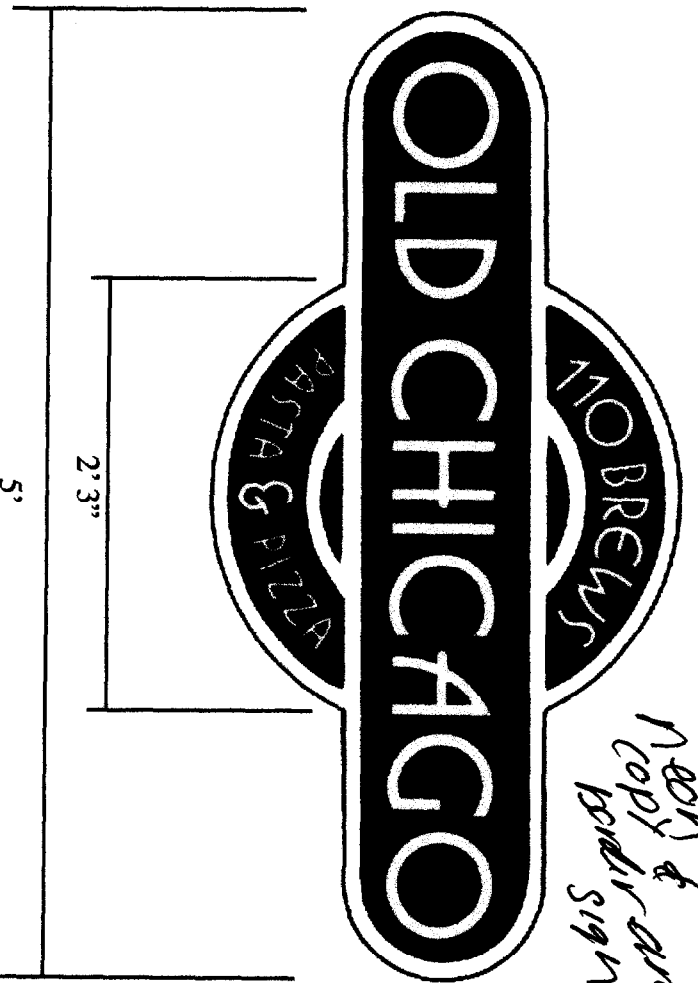
<b>PRODUCER</b> Flood & Peterson Insurance Inc. 6662 Gunpark Drive, Suite 200 Boulder, CO 80301 303 516-9295	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.
<b>INSURED</b> Old Chicago Franchising, Inc. A Division of Rock Bottom Restaurants 248 Centennial Parkway, Suite 100 Louisville, CO 80027	<b>INSURERS AFFORDING COVERAGE</b> INSURER A: Fireman's Fund National Accounts INSURER B: INSURER C: INSURER D: INSURER E:

**COVERAGES**  
 THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

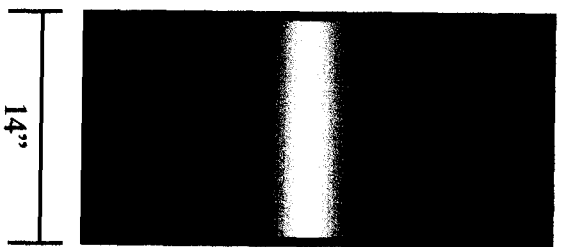
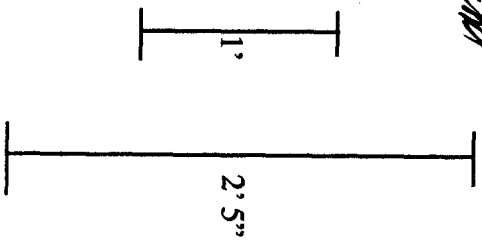
NAI	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJ <input type="checkbox"/> LOC	DXX80755282	03/10/00	03/10/01	EACH OCCURRENCE \$1,000,000 FIRE DAMAGE (Any one fire) \$50,000 MED EXP (Any one person) \$5,000 PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS-COMP/OP AGG \$2,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (EA accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY- EA ACCIDENT \$ OTHER THAN EA AGG \$ AUTO ONLY: AGG \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATU- TORY LIMITS OYH- ER E.L. EACH ACCIDENT \$ E.L. DISEASE-EA EMPLOYEE \$ E.L. DISEASE-POLICY LIMIT \$
	OTHER				

**DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS**  
 Location: 375 Fore Street, Portland, Maine 04101  
 Re: Sign Permit  
 Certificate holder is named as an Additional Insured, but only as respects liability arising from the operations of Old Chicago at the above location.  
 - Named Insured includes Perkins Old Chicago, dba Old Chicago.

<b>CERTIFICATE HOLDER</b> City of Portland 389 Congress Street Portland, ME 04101	<b>ADDITIONAL INSURED: INSURER LETTERS</b>	<b>CANCELLATION</b> SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE <i>Flood &amp; Peterson Insurance, Inc.</i>
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*Need to award copy & award border sign*



*less than 14"*

*Sign  
BY  
LXB  
WHL*

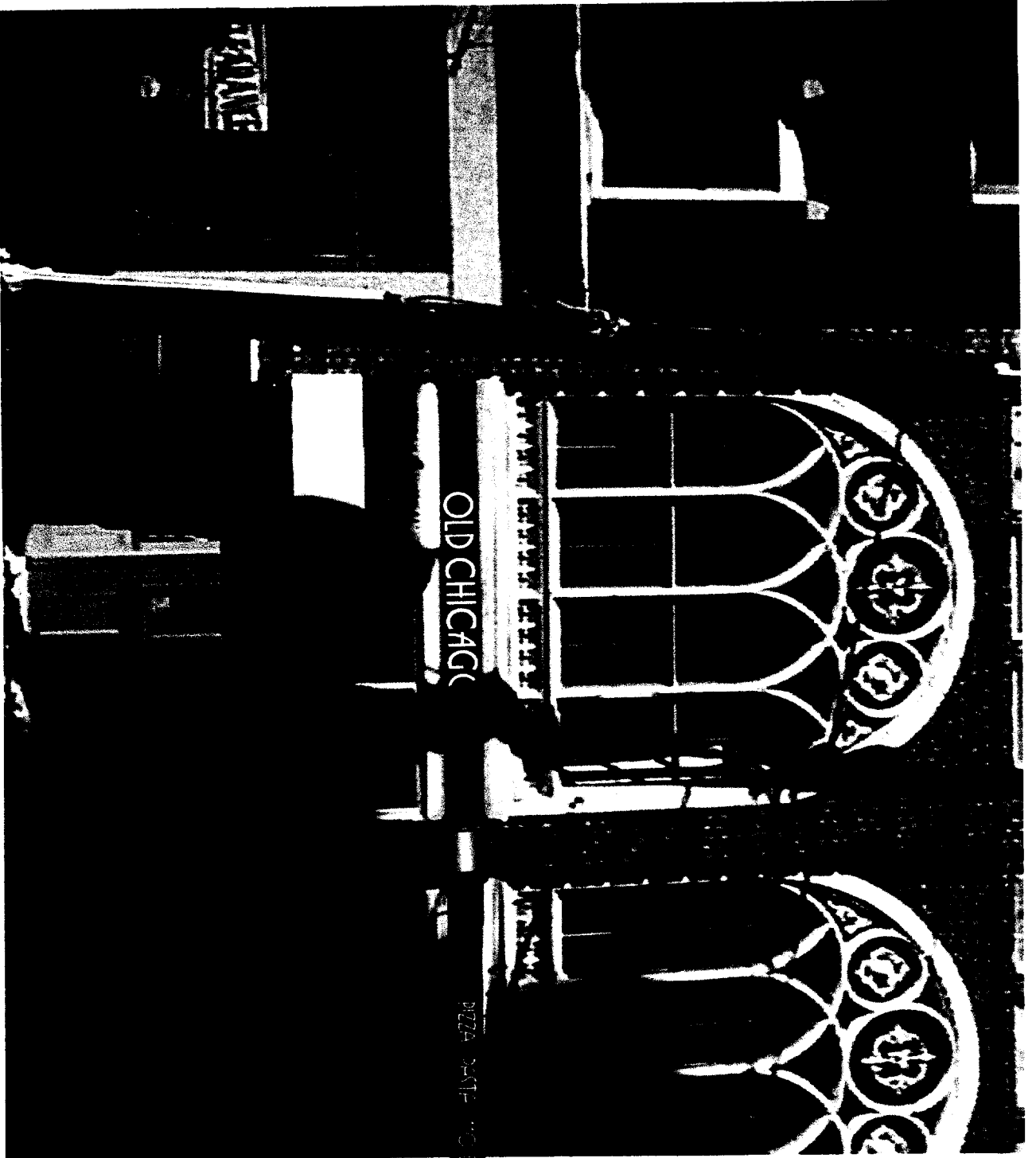
OLD CHICAGO 110 BREWS  
 PASTA PIZZA 8"

*5.47  
STUD  
SUCRAN*

WESTERN SIGN COMPANY WILL ENDEAVOR TO CLOSELY MATCH COLORS INCLUDING PMS WHERE SPECIFIED. WE CANNOT GUARANTEE EXACT MATCHES DUE TO VARYING COMPATIBILITY OF SURFACE MATERIALS AND PAINTS USED. THIS DESIGN IS THE EXCLUSIVE PROPERTY OF WESTERN SIGN COMPANY AND CANNOT BE REPRODUCED EITHER IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT.

SCALE: 1" = 1'	DATE: 2/16/00	DRAWN BY: JP	DRAWING: WS-00-0003
CLIENT: Old Chicago-Portland		JENSON	





WESTERN SIGN COMPANY WILL endeavor to closely match colors including PMS where specified. We cannot guarantee exact matches due to varying compatibility of surface materials and paints used. THIS DESIGN IS THE EXCLUSIVE PROPERTY OF WESTERN SIGN COMPANY AND CANNOT BE REPRODUCED EITHER IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT.

SCALE:

DATE:

2/16/00

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