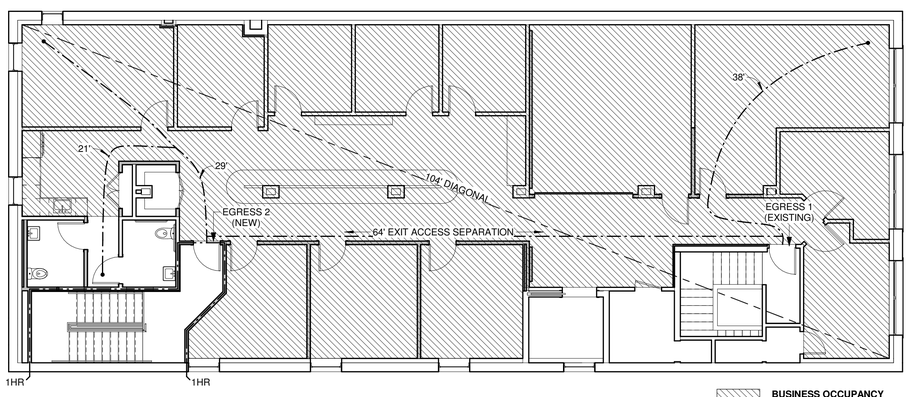
24 PREBLE STREET - 4TH FLOOR & LOBBY RENOVATIONS

24 PREBLE STREET



1 LEVEL 4 PLAN - CODE DIAGRAM
1/8" = 1'-0"

BUSINESS OCCUPANCY
2,928 SF
100SF/PERSON
TOTAL = 29 PEOPLE

PROJECT SUMMARY

INTERIOR OFFICE TENANT FIT-UP CONSITING OF RENOVATION OF EXISTING OFFICE SUITE ON FOURTH FLOOR OF FOUR LEVEL BUILDING & RENOVATIONS OF FIRST FLOOR LOBBY

RENOVATED AREA - 4TH FLOOR: 2,982 SQFT/1ST FLOOR: 240 SF

NEW SPRINKLER SYSTEM WILL BE ADDED TO COMPLY WITH NFPA 13 AS REQUIRED AT PHASE 1 RENOVATED AREAS AND STUBBED IN FOR FUTURE EXPANSION ON FLOORS 2, 3, AND NON-COMMON AREAS OF 1ST FLOOR

IBC 2009 CODE REVIEW SUMMARY

CONSTRUCTION TYPE: III-B

USE & OCCUPANCY CLASSIFICATION (304.1)
BUSINESS GROUP B

OCCUPANCY LOAD (1016.1)
BUSINESS 100 SF/PERSON GROSS
ACCESSORY STORAGE 300 SF/PERSON GROSS

EXIT TRAVEL DISTANCE (1016.1)
300' WITH SPRINKLER SYSTEM

NUMBER OF EXITS (1021.1)
OCCUPANT LOAD 1-500 PER STORY; 2 INDEPENDENT EXITS

NFPA 101 CODE REVIEW SUMMARY

CONSTRUCTION TYPE (NFPA 220)
TYPE III 200

OCCUPANCY CLASSIFICATION (NFPA 101 6.1.11)
BUSINESS

SPRINKLER SYSTEM
FULLY SPRINKLED, SUPERVISED

OCCUPANT LOAD FACTORS (7.3.1.2)
BUSINESS 100 SF/PERSON

NUMBEROF MEANS OF EGRESS (7.4)
2

COMMON PATH OF TRAVEL (39.2.5.3.3)
SINGLE TENENAT SPACE WITH OCCUPANT LOAD NOT TO EXCEED 30 PEOPLE: NO COMMON PATH OF TRAVEL LIMIT

TRAVEL DISTANCE (39.2.6.3)
300' WITH SPRINKLER SYSTEM

EGRESS DOOR CAPACITY FACTOR
0.2

SYMBOL LEGEND

1 A101 SIM	DETAIL NUMBER **BUILDING SECTION** DRAWING NUMBER
1 A101 SIM	DETAIL NUMBER **CALL OUT** DRAWING NUMBER
℄	CENTERLINE
101	DOOR TAG
	ELEVATION INDICATOR
Ref 1 Ref A101 Ref 1 Ref	ELEVATION TAG
1	ELEVATION TAG
	NORTH ARROW
1	REVISION
Room name 101	ROOM TAG WITH NUMBER
0	STRUCTURAL GRID BUBBLE
1i	WALL TAG
1t	WINDOW TAG

DRAWING LIST

NUMBER	SHEET TITLE
A001	COVER SHEET
A101	FIRST FLOOR PLANS
A104	FOURTH FLOOR PLANS
A111	ELECTRICAL/ LIGHTING PLANS
A401	ENLARGED STAIR PLANS & SECTIONS
A402	STAIR SECTIONS & DETAILS
A501	INTERIOR ELEVATIONS AND DETAILS
A502	PLAN & SECTION DETAILS

LICENSED ARCHITECT
CHRISTOPHE R M. BRILEY
No. 2788
STATE OF MAINE

24 PREBLE STREET
24 PREBLE STREET
PORTLAND, MAINE 04101

BRIBURN architecture for life
28 Maple St. Suite 202 Portland, ME 04101
207-774-9452

CONSULTANTS:

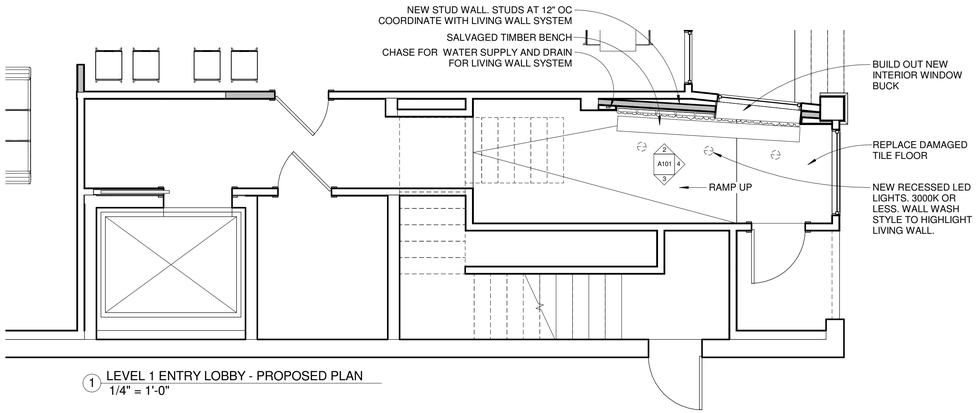
REVISIONS:

No.	Name	Date

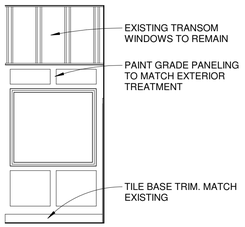
ISSUED:	09-14-16
PROJECT No:	1606
DRAWN BY:	LBB
CHECKED BY:	CMB

SHEET TITLE:
COVER SHEET

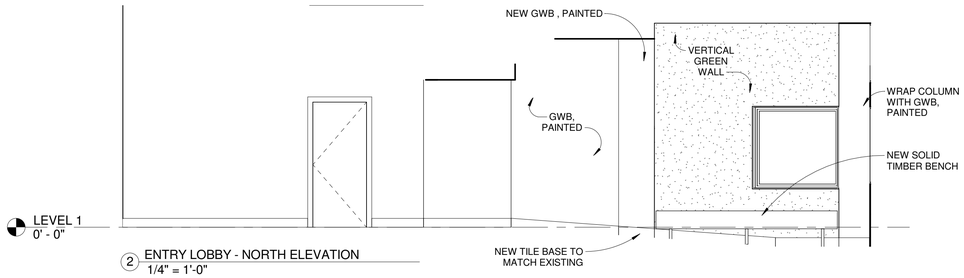
A001



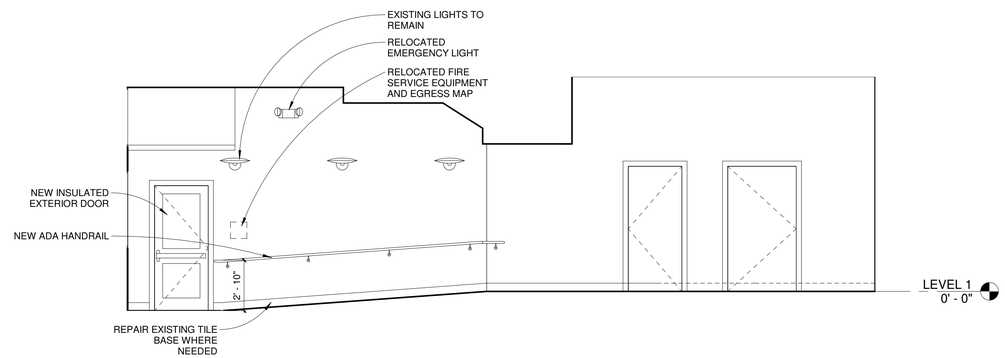
1 LEVEL 1 ENTRY LOBBY - PROPOSED PLAN
1/4" = 1'-0"



4 ENTRY LOBBY - EAST ELEVATION
1/4" = 1'-0"



2 ENTRY LOBBY - NORTH ELEVATION
1/4" = 1'-0"



3 ENTRY LOBBY - SOUTH ELEVATION
1/4" = 1'-0"

24 PREBLE STREET

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CONSULTANTS:

REVISIONS:

No.	Name	Date
1	Revision 1	Date 1

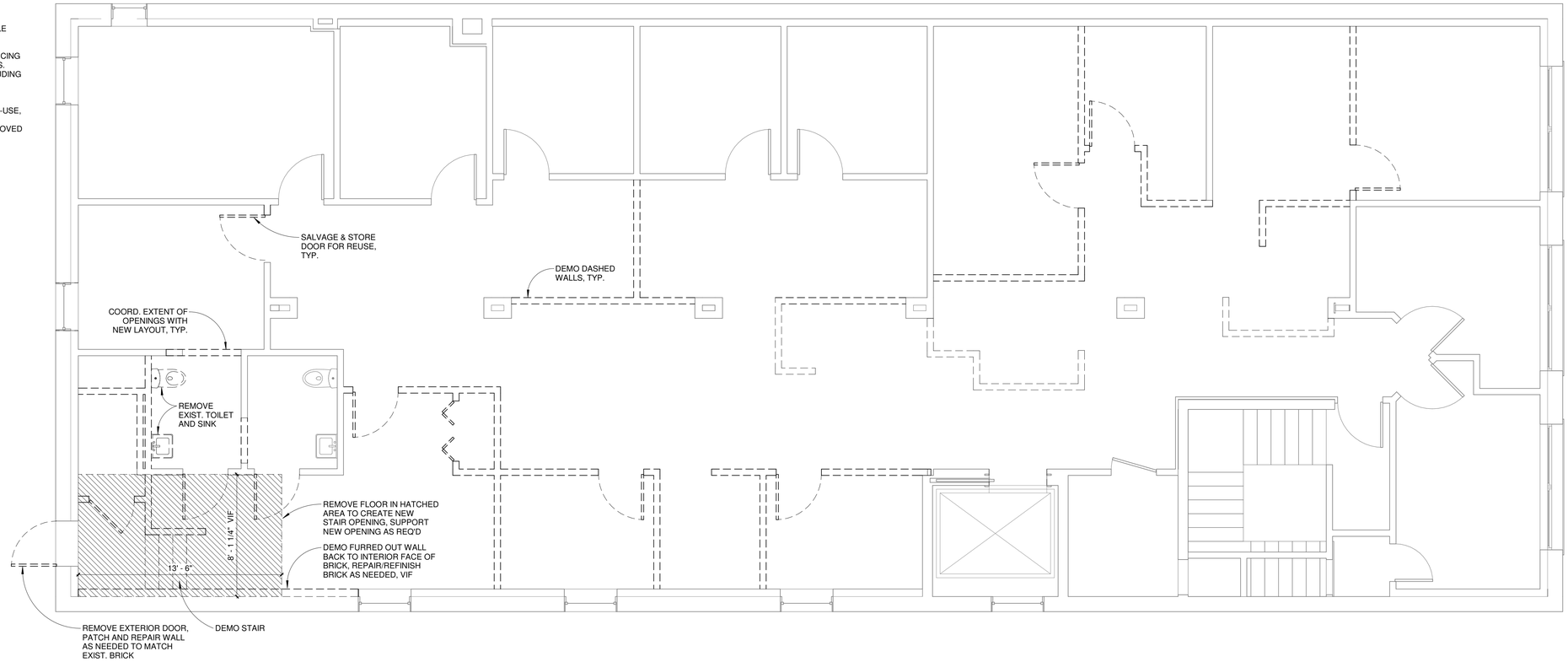
ISSUED: 09-14-16
PROJECT No: 1606
DRAWN BY: CMB,AK
CHECKED BY: CMB

SHEET TITLE:
FIRST FLOOR PLANS

A101

GENERAL DEMO NOTES

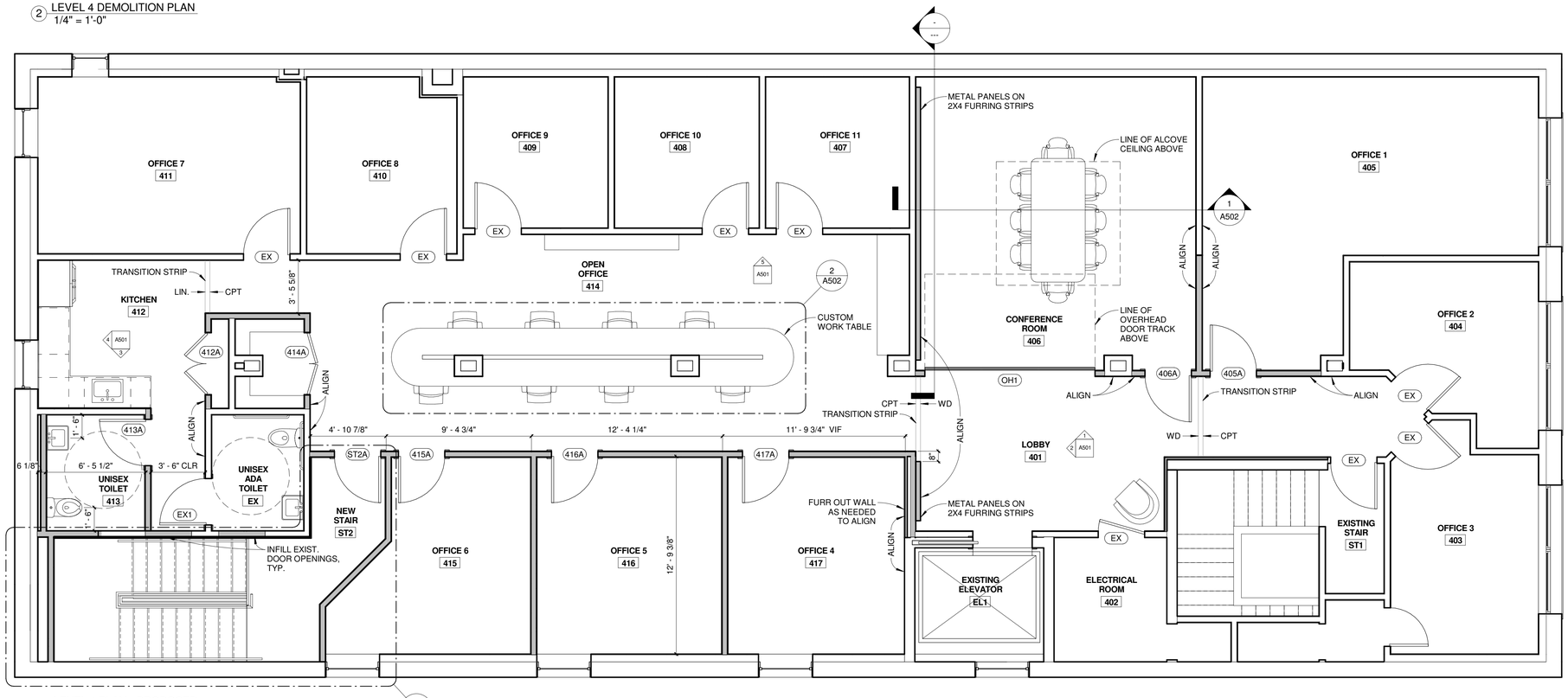
1. RETAIN AND RELOCATE LIFE SAFETY DEVICES PER APPLICABLE CODES AND REGULATIONS, INCLUDING HORN/STROBE AND EMERGENCY LIGHTING.
2. GC TO VERIFY EXTANT FIELD CONDITIONS PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OF VARIANCES OR DISCREPENCIES.
3. GC TO MAINTAIN STRUCTURAL INTEGRITY OF BUILDING, INCLUDING TEMPORARY SHORING, ETC. AS NECESSARY.
4. GC TO MAINTAIN WEATHER TIGHT CONDITIONS OF AFFECTED BUILDING AS NECESSARY.
5. DOORS SCHEDULED FOR REMOVAL TO BE SALVAGED FOR RE-USE, EITHER IN THIS PROJECT OR BY OWNER ELSEWHERE.
6. ELECTRICAL, MECHANICAL AND PLUMBING NOTED TO BE REMOVED SHALL BE REMOVED TO THE GREATEST EXTENT POSSIBLE WITHOUT CAUSING DISRUPTION TO OTHER SERVICES.
7. MATERIALS NOTED TO BE REMOVED SHALL BE PROPERLY DISPOSED OF BY GC UNLESS NOTED OTHERWISE.



2 LEVEL 4 DEMOLITION PLAN
1/4" = 1'-0"

GENERAL PLAN NOTES

1. BUILDER TO VERIFY DIMENSIONS IN FIELD.
2. ANNOTATED DIMENSIONS TO FACE OF EXISTING FINISH &/OR FACE OF NEW FRAMING UNLESS NOTED OTHERWISE.
3. PATCH AND PAINT WHERE NECESSARY, TYPICAL
4. PAINT EXPOSED SPRINKLER PIPING TO MATCH CEILING FINISH.
5. RELOCATED AND NEW DEVICES TO BE INSTALLED PER REQUIREMENTS OF APPLICABLE CODES AND REGULATIONS. VERIFY COMPLIANCE OF EXISTING DEVICES TO REMAIN PER SAID CODES AND REGULATIONS.
6. COORDINATE FINAL LOCATIONS OF ELECTRICAL AND DATA SERVICE OUTLET LOCATIONS WITH OWNER.
7. DOCUMENTS ARE PREPARED TO "PLAN NORTH." NOTE "PLAN NORTH" VARIES FROM TRUE AND MAGNETIC NORTH.
8. MECHANICAL, PLUMBING, AND ELECTRICAL TO BE PROVIDED PER APPLICABLE CODES. CONTRACTOR TO SEEK APPLICABLE PLUMBNG AND ELECTRICAL PERMITS AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
9. PROVIDE LIGHT FIXTURES WITH LED LAMPING, TYPICAL.
10. ALL NEW NON RATED WALLS TO BE 2X4 STUD FRAMING WITH (1) LAYER 5/8" GWB ONE, OR BOTH, SIDES AS REQUIRED.
11. ALL NEW RATED WALLS TO BE 2X4 STUD FRAMING WITH (1) LAYER 5/8" TYPE X GWB BOTH SIDES, OR (2) LAYERS 5/8" TYPE X GWB ONE SIDE AS REQUIRED.



1 LEVEL 4 PLAN - PROPOSED
1/4" = 1'-0"

LICENSED ARCHITECT
CHRISTOPHE R M. BRILEY
No. 2788
STATE OF MAINE

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CONSULTANTS:

REVISIONS:

No.	Name	Date

ISSUED:	09-14-16
PROJECT No:	1606
DRAWN BY:	LLB/CMB
CHECKED BY:	CMB

SHEET TITLE:
FOURTH FLOOR PLANS

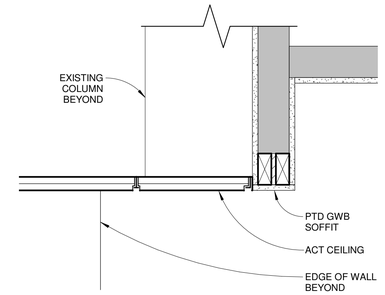
A104

ELECTRICAL/LIGHTING SYMBOL LEGEND

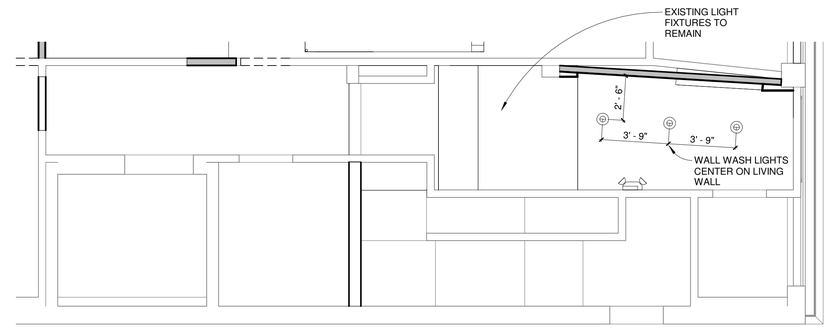
	DUPLEX OUTLET		SURFACE MOUNTED LIGHT FIXTURE
GFI	DUPLEX OUTLET - GFI		RECESSED LIGHT FIXTURE
USB	COMBINATION RECEPTACLE AND DUAL USB CHARGER		WALL MOUNTED LIGHT FIXTURE
EXT	DUPLEX OUTLET FOR EXTERIOR INSTALLATION		EXHAUST FAN/LIGHT
D	240V DRYER OUTLET		GARAGE DOOR OPENER
R	240V RANGE OUTLET		4' SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
240	240V OUTLET		UNDER-CABINET LIGHT FIXTURE
	2-GANG OUTLET		PENDANT LIGHT FIXTURE
S	SINGLE SWITCH		WALL MOUNTED STRIP LIGHT
S 3	3 OR 4-WAY SWITCH		CEILING FAN/LIGHT
X	STRUCTURED WIRING OUTLET: 2X CAT6, 1X COAX, 1X FIBER OPTIC		CENTRAL VACUUM INTLET
	FLOOR MOUNTED DUPLEX OUTLET	DMS	WALL MOUNTED DUCTLESS MINI SPLIT UNIT
		HTB	ELECTRIC HEATED TOWEL BAR/RADIATOR
			2X2 LED TROFFER LIGHT FOR ACT INSTALLATION

GENERAL RCP NOTES

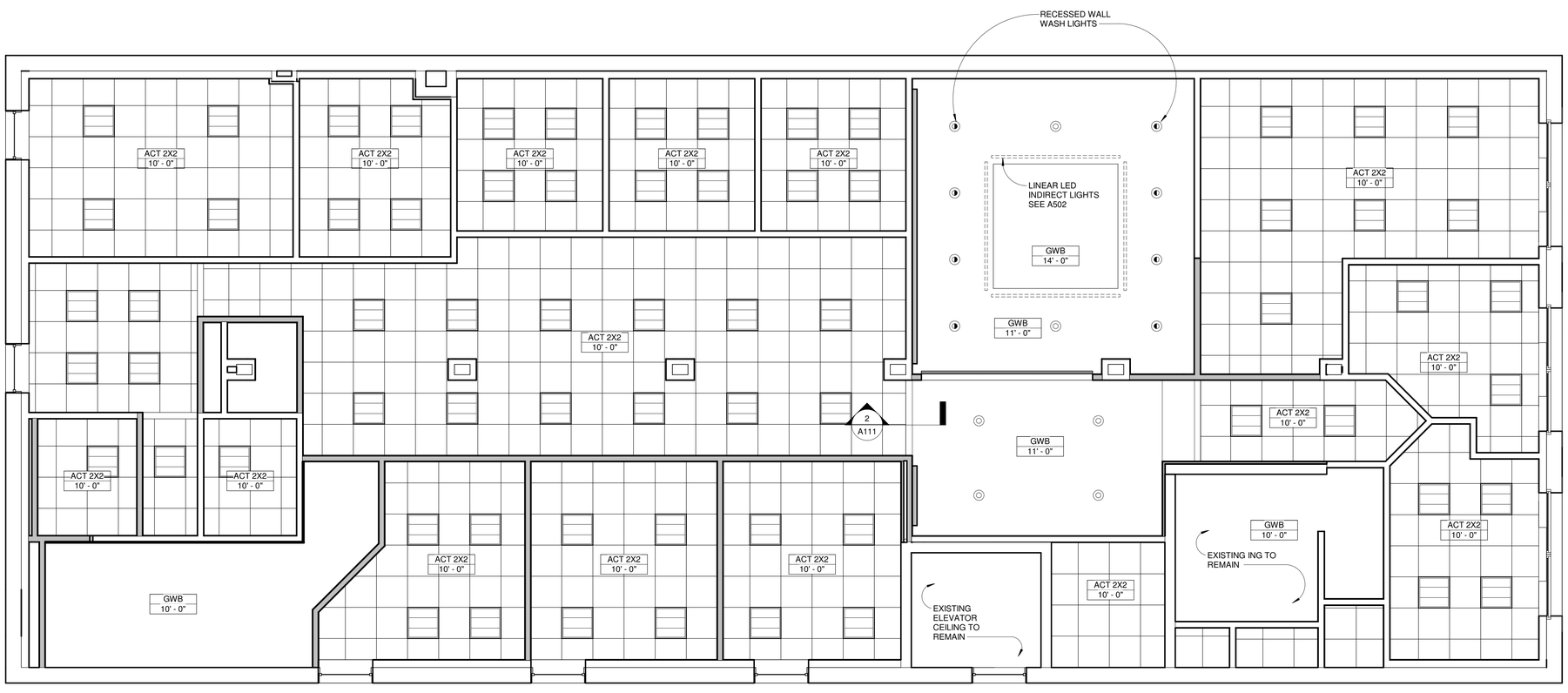
1. REMOVE XSITING ACT TILE TO INSTALL SPRINKLER SYTEM THROUGHOUT 4TH FLOOR, SALVAGE EXISTING TILE GRID TO EXTENT POSSIBLE, NEW CEILING TILE THROUGHOUT, TYP.
2. MAINTAIN EXISTING CLG HEIGHT AT ALL ACT AREAS, 10'-0" +/-, VIF.
3. AT NEW GWB CEILINGS EXTEND HEIGHT OF BORDERING WALLS AS NEEDED FOR HIGHER CEILING. TYP.
4. MECHANICAL DIFFUSERS NOT SHOWN. GC COORDINATE WITH DESIGN - BUILD MECHANICAL CONTRACTOR
5. SPRINKLER SYSTEM NOT SHOWN. GC COORDINATE WITH SPRINKLER MANUFACTURE FOR NFPA 13 COMPLIANT SPRINKLER SYSTEM



2 CEILING TRANSITION DETAIL
1 1/2" = 1'-0"



3 ENTRY LOBBY - RCP
1/4" = 1'-0"



1 LEVEL 4 - RCP
1/4" = 1'-0"

LICENSED ARCHITECT CHRISTOPHE R M. BRILEY No. 2788 STATE OF MAINE

24 PREBLE STREET

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CONSULTANTS:

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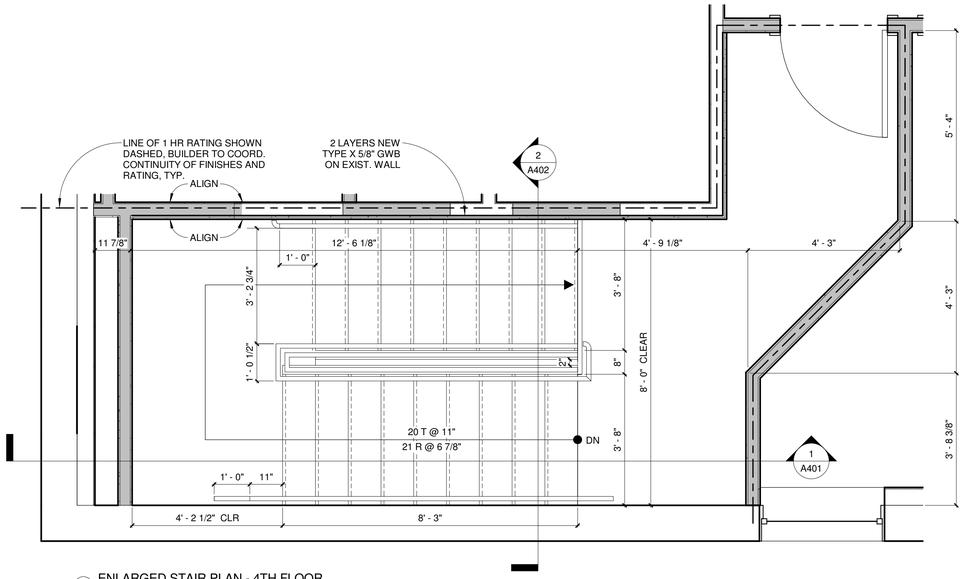
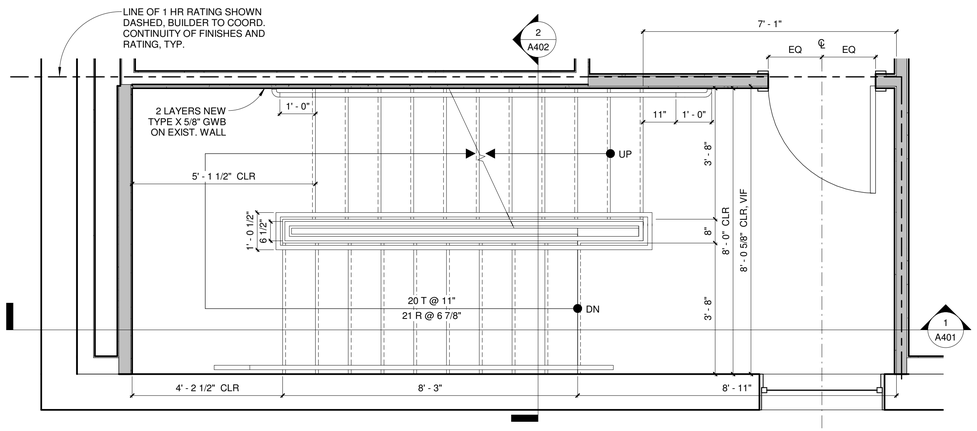
No.	Name	Date

ISSUED: 09-14-16
PROJECT No: 1606
DRAWN BY: LLB/CMB
CHECKED BY: CMB
SHEET TITLE: ELECTRICAL/ LIGHTING PLANS

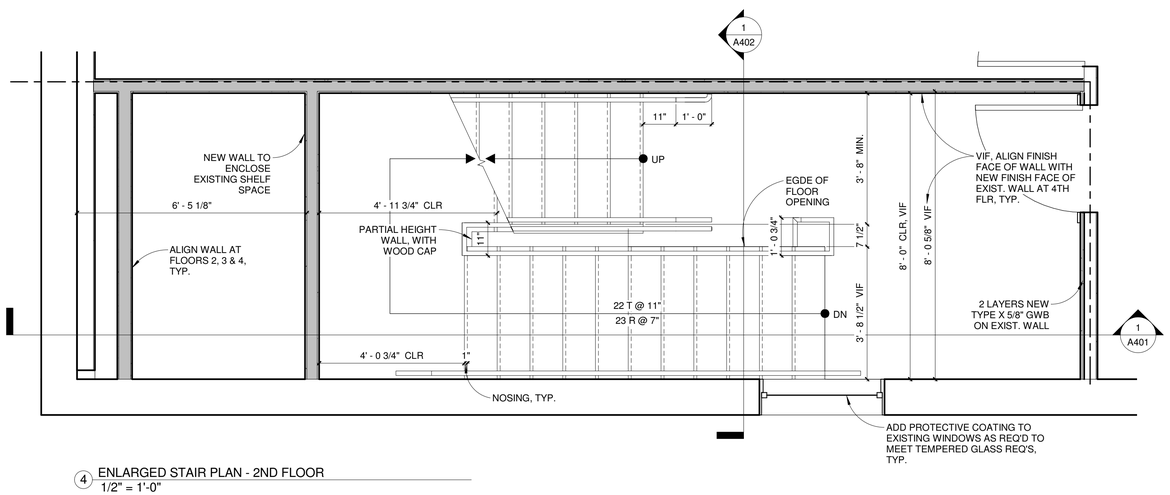
A111



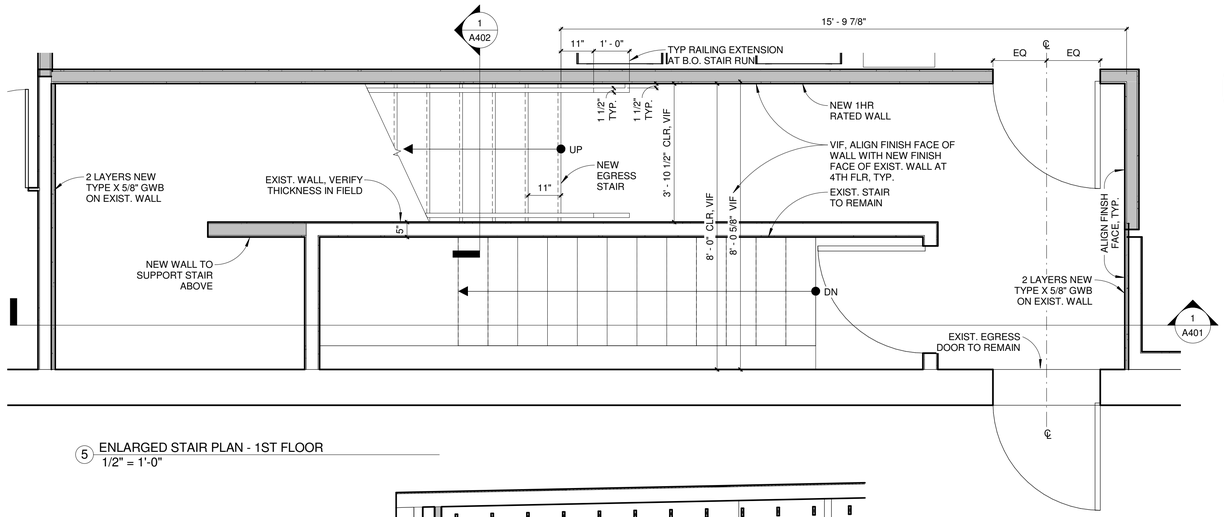
2 ENLARGED STAIR PLAN - 4TH FLOOR
1/2" = 1'-0"



3 ENLARGED STAIR PLAN - 3RD FLOOR
1/2" = 1'-0"



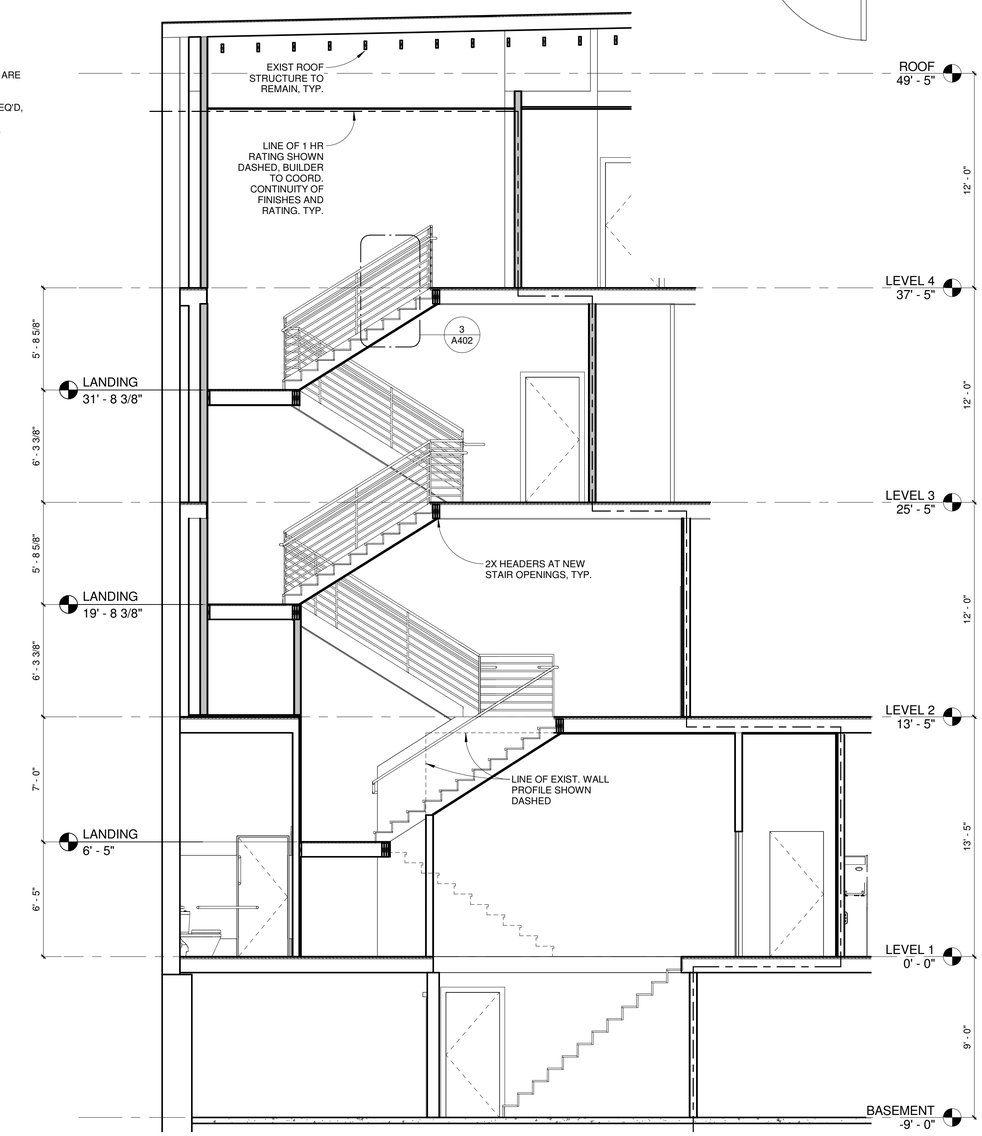
4 ENLARGED STAIR PLAN - 2ND FLOOR
1/2" = 1'-0"



5 ENLARGED STAIR PLAN - 1ST FLOOR
1/2" = 1'-0"

GENERAL NOTES:

1. ALIGN FACE OF FINSHES WHERE NEW WALLS ARE ADJACENT TO EXIST., TYP.
2. 1 HR RATING TO BE CONTINUSOUSE AT NEW EGRESS STAIR, MODIFY EXIST. FINISHES AS REQ'D, TYP.
3. COORDINATE RELOCATION OF EXIST. WIRING, PLUMBING, ROOF LEADERS, ETC. AS REQ'D IN FIELD.



1 STAIR SECTION
1/4" = 1'-0"

LICENSED ARCHITECT
CHRISTOPHER M. BRILEY
No. 2788
STATE OF MAINE

24 PREBLE STREET

24 PREBLE STREET
PORTLAND, MAINE 04101

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28 Maple St. Suite 202 Portland, ME 04101
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CONSULTANTS:

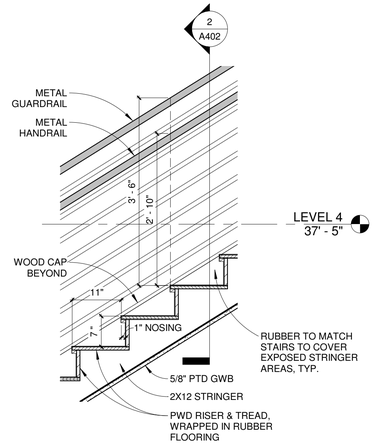
REVISIONS:

No.	Name	Date

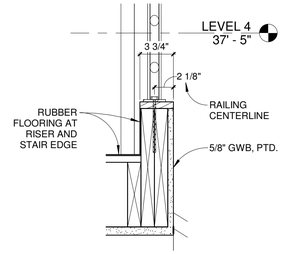
ISSUED:	09-14-16
PROJECT No:	1606
DRAWN BY:	XXX
CHECKED BY:	XXX

SHEET TITLE:
ENLARGED STAIR PLANS & SECTIONS

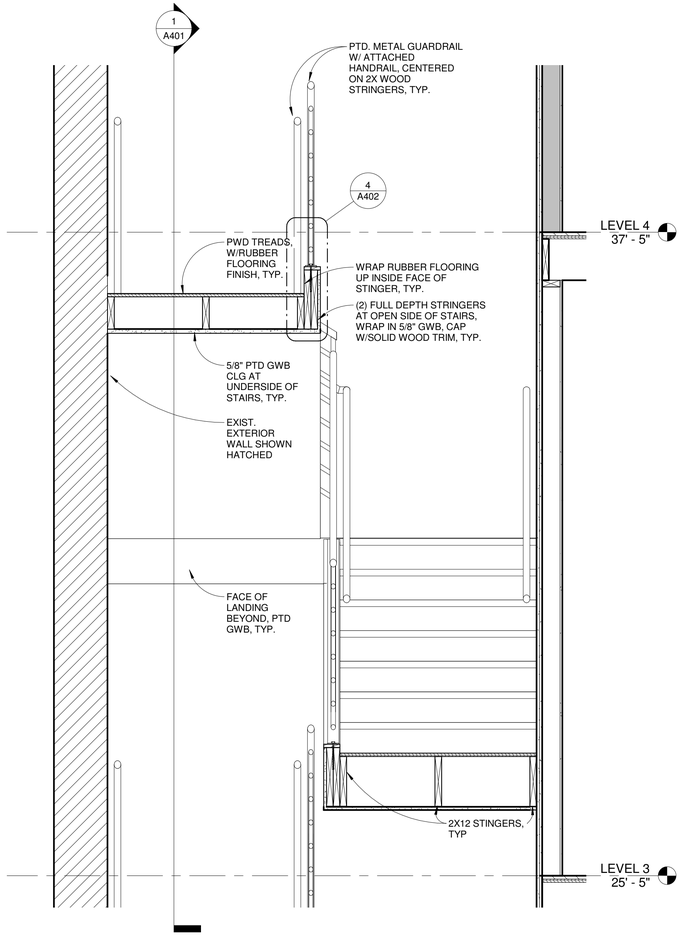
A401



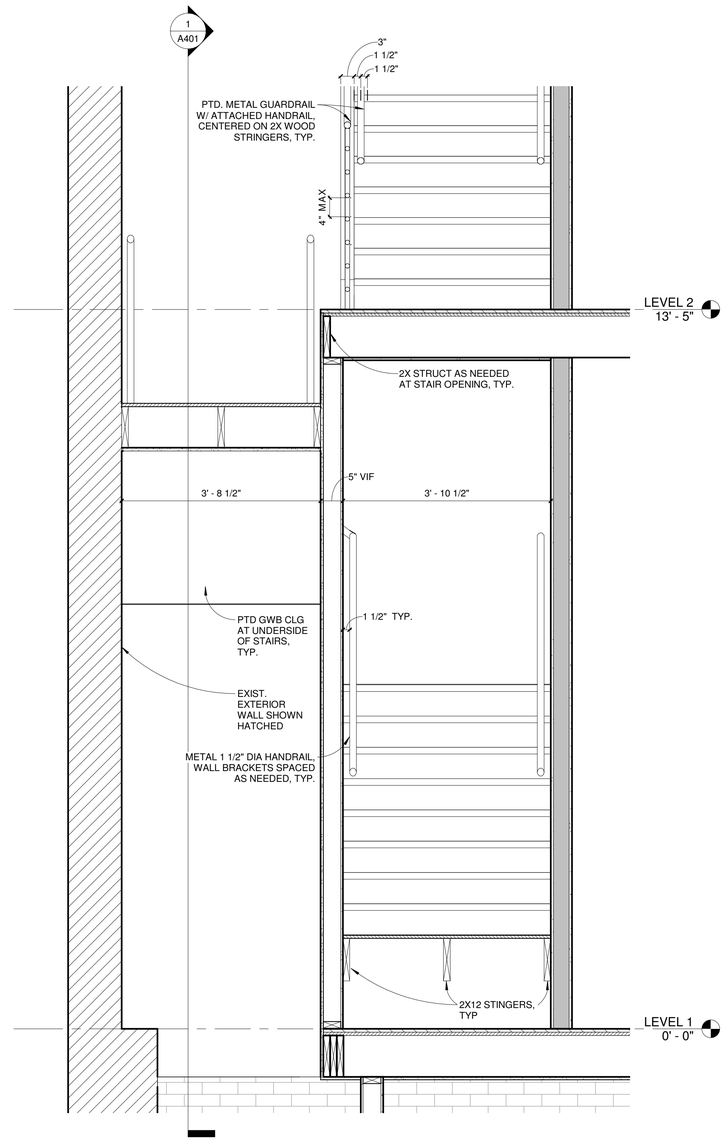
3 TYPICAL STAIR SECTION
3/4" = 1'-0"



4 SECTION DETAIL - CENTER STAIR STRINGER
1 1/2" = 1'-0"



2 STAIR SECTION - LEVELS 3 & 4
3/4" = 1'-0"



1 STAIR SECTION - LEVELS 1 & 2
3/4" = 1'-0"

LICENSED ARCHITECT
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CONSULTANTS:

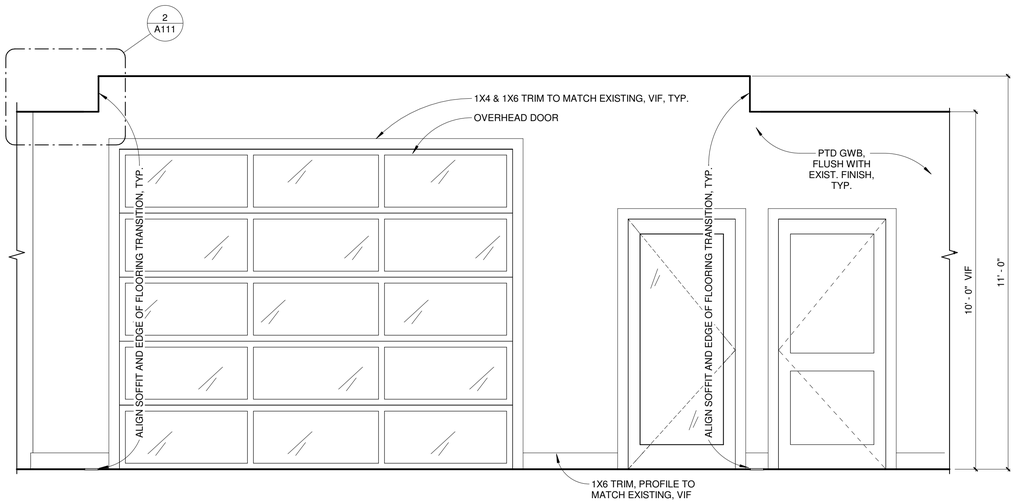
REVISIONS:

No.	Name	Date

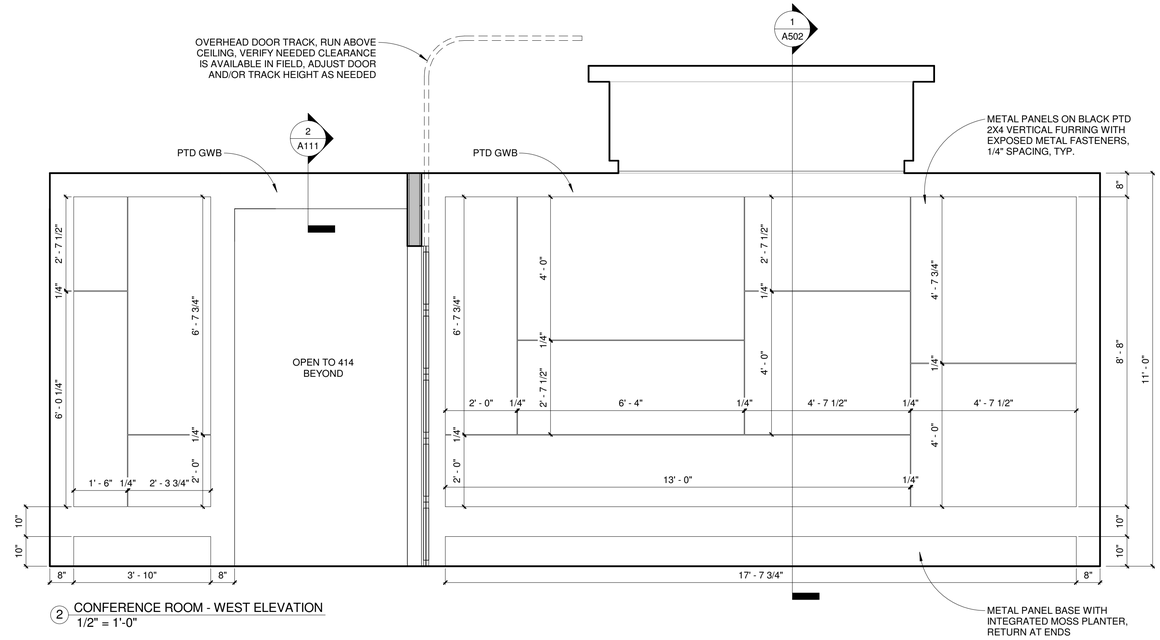
ISSUED:	09-14-16
PROJECT No:	1606
DRAWN BY:	LLB
CHECKED BY:	CMB

SHEET TITLE:
STAIR SECTIONS & DETAILS

A402



1 LOBBY - NORTH ELEVATION
1/2" = 1'-0"

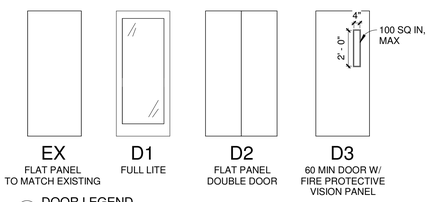


2 CONFERENCE ROOM - WEST ELEVATION
1/2" = 1'-0"

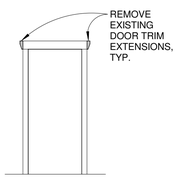
DOOR SCHEDULE						
Mark	Type	Width	Height	Operation	Hardware	Comments
405A	EX	3' - 0"	7' - 0"	SWING	PRIVACY	EXISTING DOOR IN NEW LOCATION
406A	D1	3' - 0"	7' - 0"	SWING	PASSAGE	NEW FULL LITE GLASS DOOR
412A	D2	4' - 0"	7' - 0"	SWING	DUMMY	
413A	EX	3' - 0"	7' - 0"	SWING	PRIVACY	EXISTING DOOR IN NEW LOCATION
414A	D2	4' - 0"	7' - 0"	SWING	DUMMY	
415A	EX	3' - 0"	7' - 0"	SWING	PRIVACY	EXISTING DOOR IN NEW LOCATION
416A	EX	3' - 0"	7' - 0"	SWING	PRIVACY	EXISTING DOOR IN NEW LOCATION
417A	EX	3' - 0"	7' - 0"	SWING	PRIVACY	EXISTING DOOR IN NEW LOCATION
EX	EX	3' - 0"	7' - 0"	SWING	VARIES, SEE NOTES	EXISTING TO REMAIN
EX1	EX	3' - 0"	7' - 0"	SWING	PRIVACY	EXISTING DOOR IN NEW LOCATION
OH1	OH	11' - 0"	8' - 11 1/2"	OVERHEAD DOOR	ELECTRIC OPERATOR	
ST2A	D3	3' - 0"	7' - 0"	SWING	POSITIVE LATCHING	60 MIN RATED
T02	CCC	2' - 9"	6' - 8"			

GENERAL DOOR NOTES

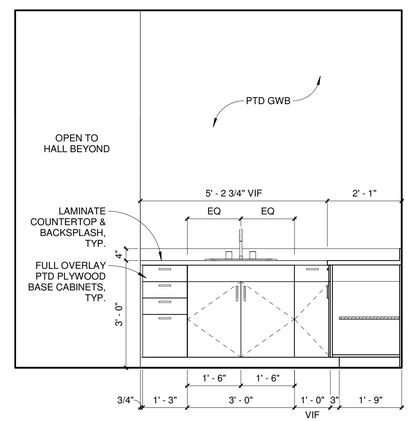
1. ALL GLASS TO BE TEMPERED AND/OR RATED AS REQ'D BY CODE
2. AT EXISTING DOORS TO REMAIN (TYPE EX), NEW HARDWARE AS FOLLOWS:
   - ALL OFFICE SPACES: PRIVACY
   - ELECTRICAL: STORAGE
   - EGRESS STAIR: MATCH NEW STAIR, POSITIVE LATCHING
3. SEE 5/A501 FOR TYPICAL MODIFICATIONS TO EXIST. DOOR TRIM



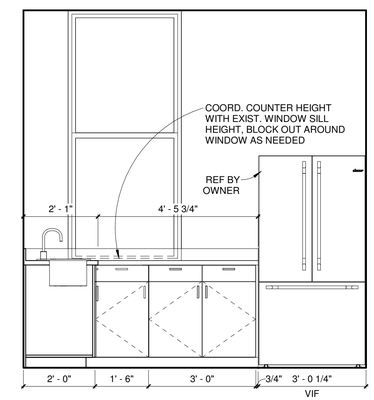
DOOR LEGEND
1/4" = 1'-0"



5 EXIST. TRIM MODIFICATION
1/4" = 1'-0"

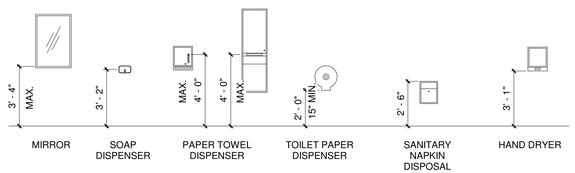


3 KITCHENETTE - SOUTH ELEVATION
1/2" = 1'-0"

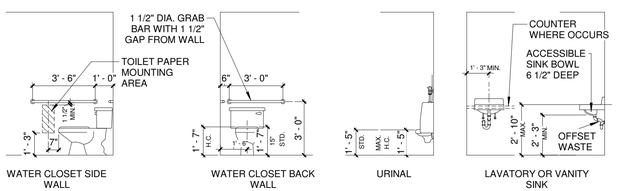


4 KITCHENETTE - WEST ELEVATION
1/2" = 1'-0"

FINISH SCHEDULE								
Room #	Name	Floor	Base	Wall Finish				Ceiling
				North	East	South	West	
401	LOBBY	WD	EXIST./MATCH EXIST/METAL	GWB, PTD	GWB, PTD	EXIST GWB, PTD	GWB, PTD/METAL PANELS	GWB, PTD
402	ELECTRICAL ROOM	EXIST.	EXIST	EXIST	EXIST	EXIST	EXIST	ACT
403	OFFICE 3	CPT	EXIST	EXIST GWB, PTD	EXIST GWB, PTD	EXIST GWB, PTD	EXIST GWB, PTD	ACT
404	OFFICE 2	CPT	EXIST	EXIST GWB, PTD	EXIST GWB, PTD	EXIST GWB, PTD	EXIST GWB, PTD	ACT
405	OFFICE 1	CPT	EXIST./MATCH EXIST	EXIST GWB, PTD	EXIST GWB, PTD	NEW/EXIST GWB, PTD	NEW/EXIST GWB, PTD	ACT
406	CONFERENCE ROOM	WD	EXIST./MATCH EXIST	NEW/EXIST GWB, PTD	NEW/EXIST GWB, PTD	NEW/EXIST GWB, PTD	GWB, PTD/METAL PANELS	GWB, PTD
407	OFFICE 11	CPT	EXIST	EXIST GWB, PTD	EXIST GWB, PTD	EXIST GWB, PTD	EXIST GWB, PTD	ACT
408	OFFICE 10	CPT	EXIST	EXIST GWB, PTD	EXIST GWB, PTD	EXIST GWB, PTD	EXIST GWB, PTD	ACT
409	OFFICE 9	CPT	EXIST	EXIST GWB, PTD	EXIST GWB, PTD	EXIST GWB, PTD	EXIST GWB, PTD	ACT
410	OFFICE 8	CPT	EXIST	EXIST GWB, PTD	EXIST GWB, PTD	EXIST GWB, PTD	EXIST GWB, PTD	ACT
411	OFFICE 7	CPT	EXIST	EXIST GWB, PTD	EXIST GWB, PTD	EXIST GWB, PTD	EXIST GWB, PTD	ACT
412	KITCHEN	MCT	EXIST./MATCH EXIST	EXIST GWB, PTD	GWB, PTD	NEW/EXIST GWB, PTD	EXIST GWB, PTD	ACT
413	UNISEX TOILET	MCT	EXIST./MATCH EXIST	EXIST GWB, PTD	GWB, PTD	NEW/EXIST GWB, PTD	GWB, PTD	ACT
414	OPEN OFFICE	CPT	EXIST./MATCH EXIST	EXIST GWB, PTD	EXIST GWB, PTD	GWB, PTD	NEW/EXIST GWB, PTD	ACT
415	OFFICE 6	CPT	EXIST./MATCH EXIST	GWB, PTD	GWB, PTD	EXIST GWB, PTD	GWB, PTD	ACT
416	OFFICE 5	CPT	EXIST./MATCH EXIST	GWB, PTD	GWB, PTD	EXIST GWB, PTD	GWB, PTD	ACT
417	OFFICE 4	CPT	EXIST./MATCH EXIST	GWB, PTD	NEW/EXIST GWB, PTD	EXIST GWB, PTD	GWB, PTD	ACT
EL1	EXISTING ELEVATOR	EXIST	- - -	EXIST	EXIST	EXIST	EXIST	ACT
EX	UNISEX ADA TOILET	MCT	EXIST./MATCH EXIST	EXIST GWB, PTD	EXIST GWB, PTD	NEW/EXIST GWB, PTD	EXIST GWB, PTD	ACT
ST1	EXISTING STAIR	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	ACT
ST2	NEW STAIR	RUBBER	RUBBER	NEW/EXIST GWB, PTD	GWB, PTD	EXIST BRICK, REFINISHED AS REQ'D	GWB, PTD	ACT



TYPICAL TOILET ACCESSORIES MOUNTING HEIGHTS



TYPICAL PLUMBING FIXTURES AND ACCESSORIES MOUNTING HEIGHTS

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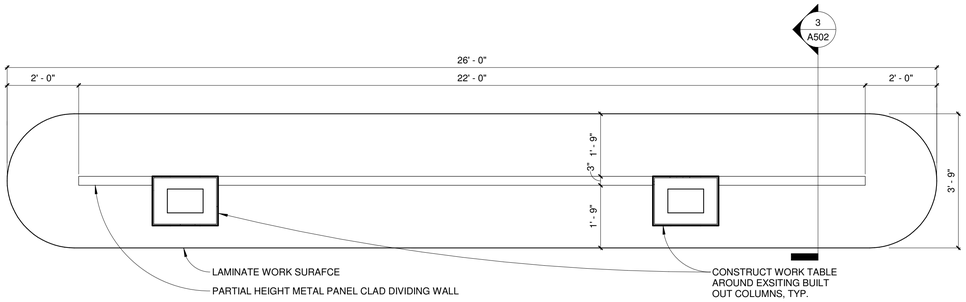
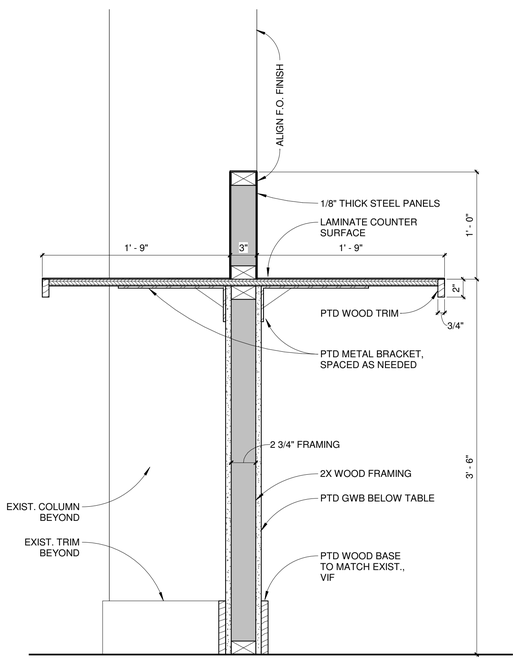
DRAWN BY: LLB
CHECKED BY: CMB
SHEET TITLE: INTERIOR ELEVATIONS AND DETAILS

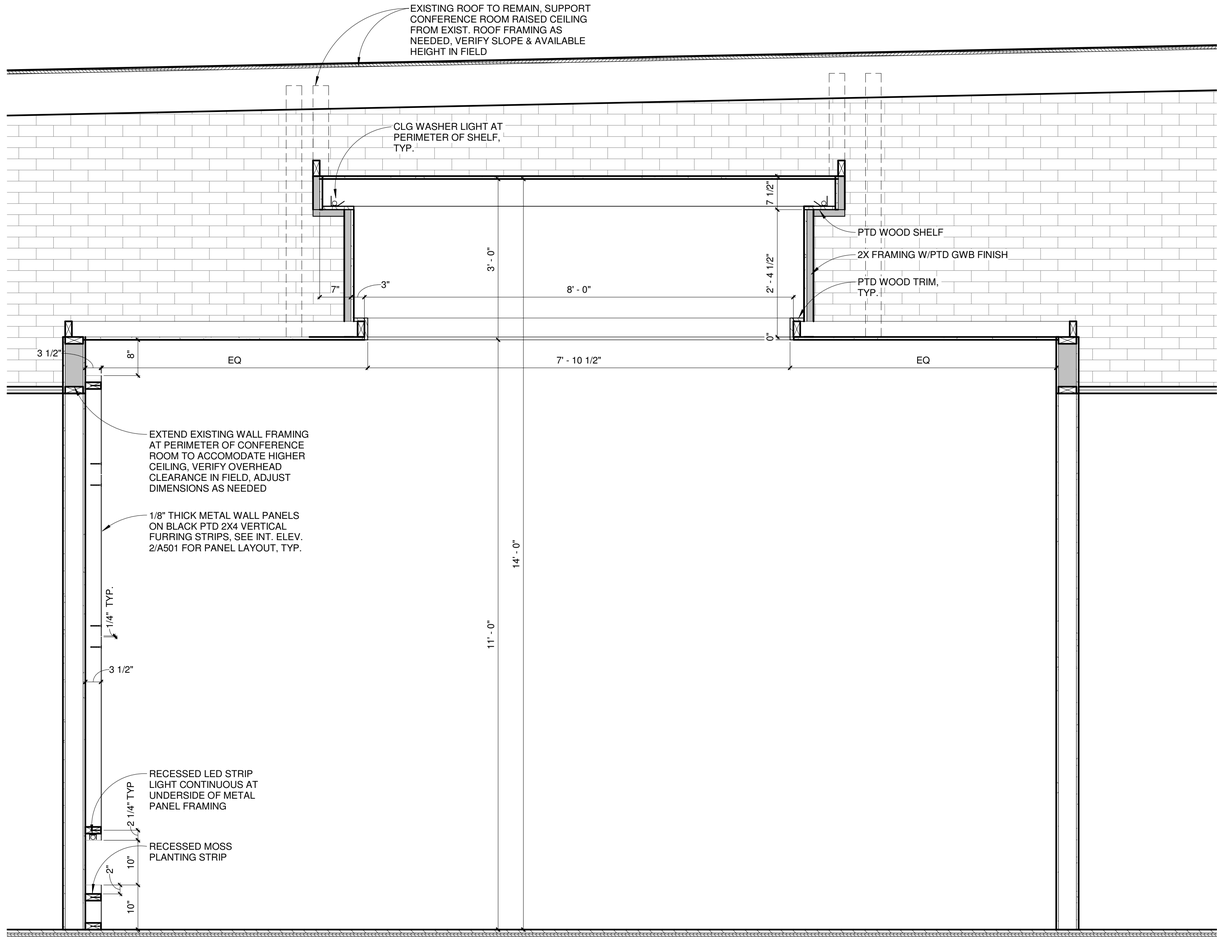
A501



2 ENLARGED PLAN - WORK TABLE
1/2" = 1'-0"



3 WORK COUNTER SECTION DETAIL
1 1/2" = 1'-0"



1 CONFERENCE ROOM SECTION
3/4" = 1'-0"

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PROJECT No:	1606
DRAWN BY:	Author
CHECKED BY:	Checker

SHEET TITLE:
PLAN & SECTION DETAILS

A502