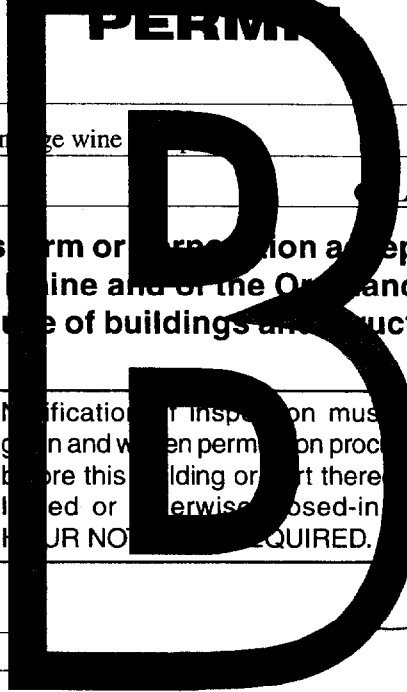


DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

Permit Number: 040206

Please Read Application And Notes, If Any, Attached



This is to certify that Pennesseewasee Llc/n/a

has permission to Removing interior wall to enlarge wine

AT 24 Preble St 037 F007001

provided that the person or persons who apply for or accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procedure before this building or part thereof is closed or otherwise closed-in 24 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]

Health Dept. _____

Appeal Board _____

Other _____
Department Name

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 04-0206	Issue Date: MAR 16 2004	EBL: 037 F007001
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Location of Construction: 24 Preble St	Owner Name: Pennesseewasee Llc	Owner Address: 24 Preble St Ste 400 CITY OF PORTLAND	Phone: 207-773-5661
Business Name: n/a	Contractor Name: n/a	Contractor Address: n/a Portland	Phone:
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Change of Use - Commercial	Zone: B3

Past Use: Retail	Proposed Use: Wine shop and wine bar / removing interior wall to enlarge wine bar space.	Permit Fee: \$30.00	Cost of Work: \$200.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: BOA 99	

Proposed Project Description: Removing interior wall to enlarge wine bar space.	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: gg	Date Applied For: 03/05/2004	Zoning Approval	
------------------------	---------------------------------	------------------------	--

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>3/12/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	<i>Separate permits are required for any new signage</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0206	Date Applied For: 03/05/2004	CBL: 037 F007001
------------------------------	--	----------------------------

Location of Construction: 24 Preble St	Owner Name: Pennesseewasee Llc	Owner Address: 24 Preble St Ste 400e	Phone: 207-773-5661
Business Name: n/a	Contractor Name: n/a	Contractor Address: n/a Portland	Phone:
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Change of Use - Commercial	

Proposed Use: Wine shop and wine bar / removing interior wall to enlarge wine bar space.	Proposed Project Description: Removing interior wall to enlarge wine bar space.
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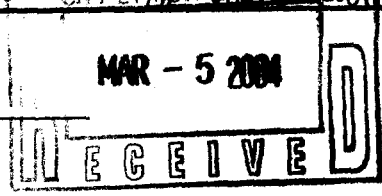

Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 03/12/2004
Note:			Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Approved	Reviewer: Tammy Munson	Approval Date: 03/12/2004
Note:			Ok to Issue: <input checked="" type="checkbox"/>
Dept: Fire	Status: Approved	Reviewer: Lt. MacDougal	Approval Date: 03/15/2004
Note:			Ok to Issue: <input checked="" type="checkbox"/>

We owe \$75.00 for COFO

40006

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>24 Preble St, 1st floor</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>037</u> Block# <u>F</u> Lot# <u>007</u>	Owner: <u>OLLC/Scott Dow</u>	Telephone: <u>773-5661</u>
Lessee/Buyer's Name (if Applicable) <u>Thomas Hansen</u> <u>TPH, Inc dba Meritage</u>	Applicant name, address & telephone: <u>24 Preble St, Portland</u> <u>828-0908</u>	Cost Of Work: \$ <u>200</u> Fee: \$ <u>105.00</u>
Current use: <u>Wine Shop / Wine bar</u>	<u>Bldg. Fee 30.00</u>	
If the location is currently vacant, what was prior use:	<u>COFO 75.00</u>	
Approximately how long has it been vacant: <u>Capacity has changed</u>	<u>Detail to 105.00</u>	
Proposed use: <u>Wine Shop / wine bar</u>	<u>Change of use</u>	
Project description: <u>Remove one interior wall separating both spaces for</u>	<u>Wine bar & wine shop spaces to increase space</u>	
Contractor's name, address & telephone: <u>none</u>		
Who should we contact when the permit is ready: <u>Tom Hansen</u>		
Mailing address: <u>10 Market Wines</u> <u>24 Preble St.</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>828-0908</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

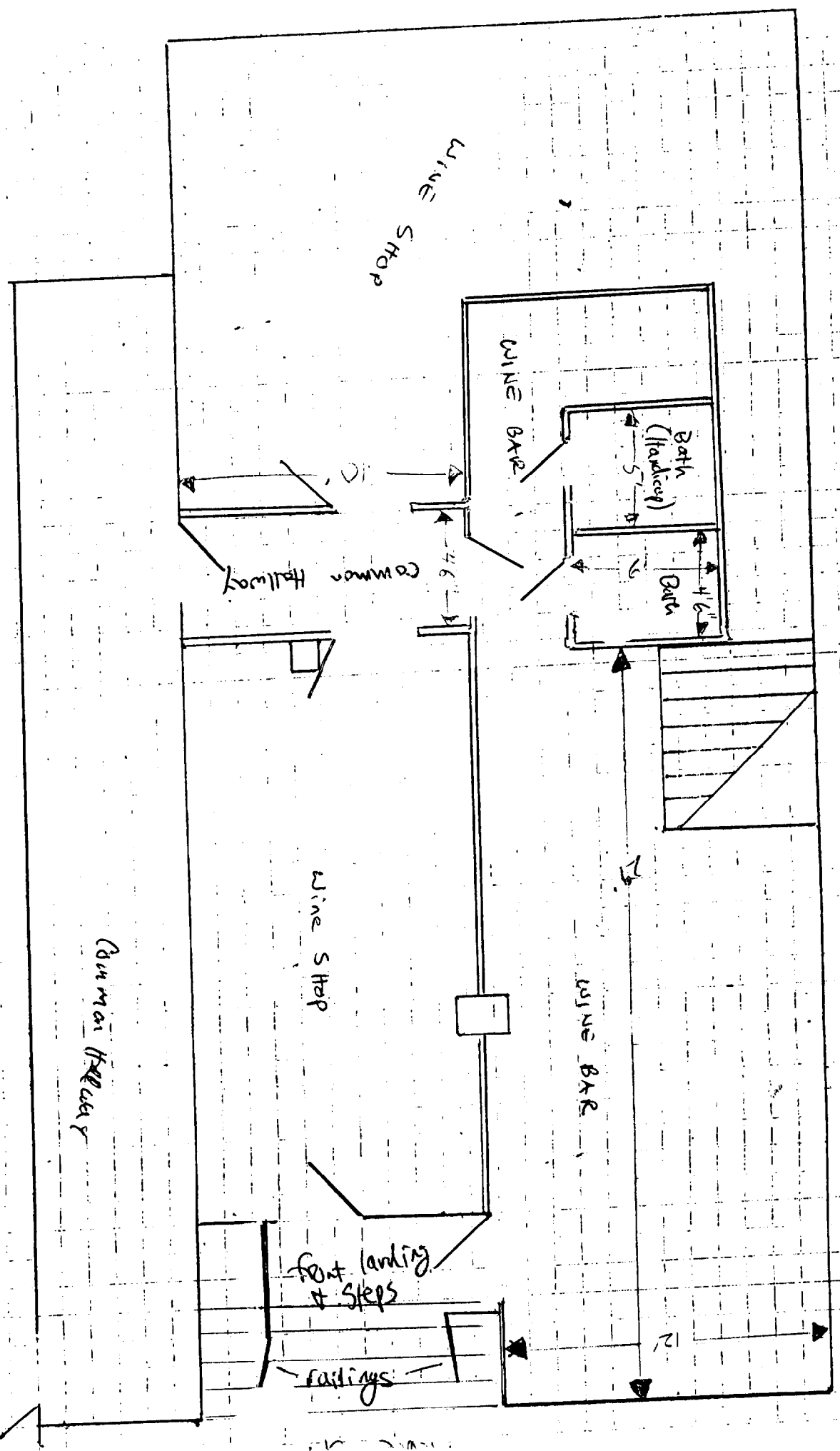
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>3/5/04</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

MERITAGE AND MARKET WIVES

EXISTING - ~~EXISTING~~ UP-TOUR ~~(highlighted walls are new construction)~~





24 Preble Street Portland, ME 04101 *phone: 207-828-0900 fax: 207-553-2350*

March 4, 2004

To whom it may concern:

This document shall serve as a letter of intent for proposed changes at Market Wines and Meritage Wine Bar, 24 Preble Street, Portland, Maine. All changes will take place within current existing leased space, and are done so with the permission of the landlord and building owner, Scott Dow. Changes are also done in accordance with the Maine State Liquor Laws.

PURPOSE: To expand the wine bar space so lounge seating can be added.

One wall separating the wine bar and the retail wine shop will be removed. This is a free standing 8-ft wall that was constructed last June. This will give the wine bar 210 sq. ft. of added space, and will reduce the retail wine shop sq. footage by the same amount.

Maximum seating will be 40 people.

Hours of operation will be Tuesday through Saturday, 4 p.m. – 11 p.m.

The operation of the wine shop will remain unchanged.

Thomas Hawes

MERTAGE AND MARKET WINE PROPOSED 4-YEAR

(Highlighted walls are new construction)

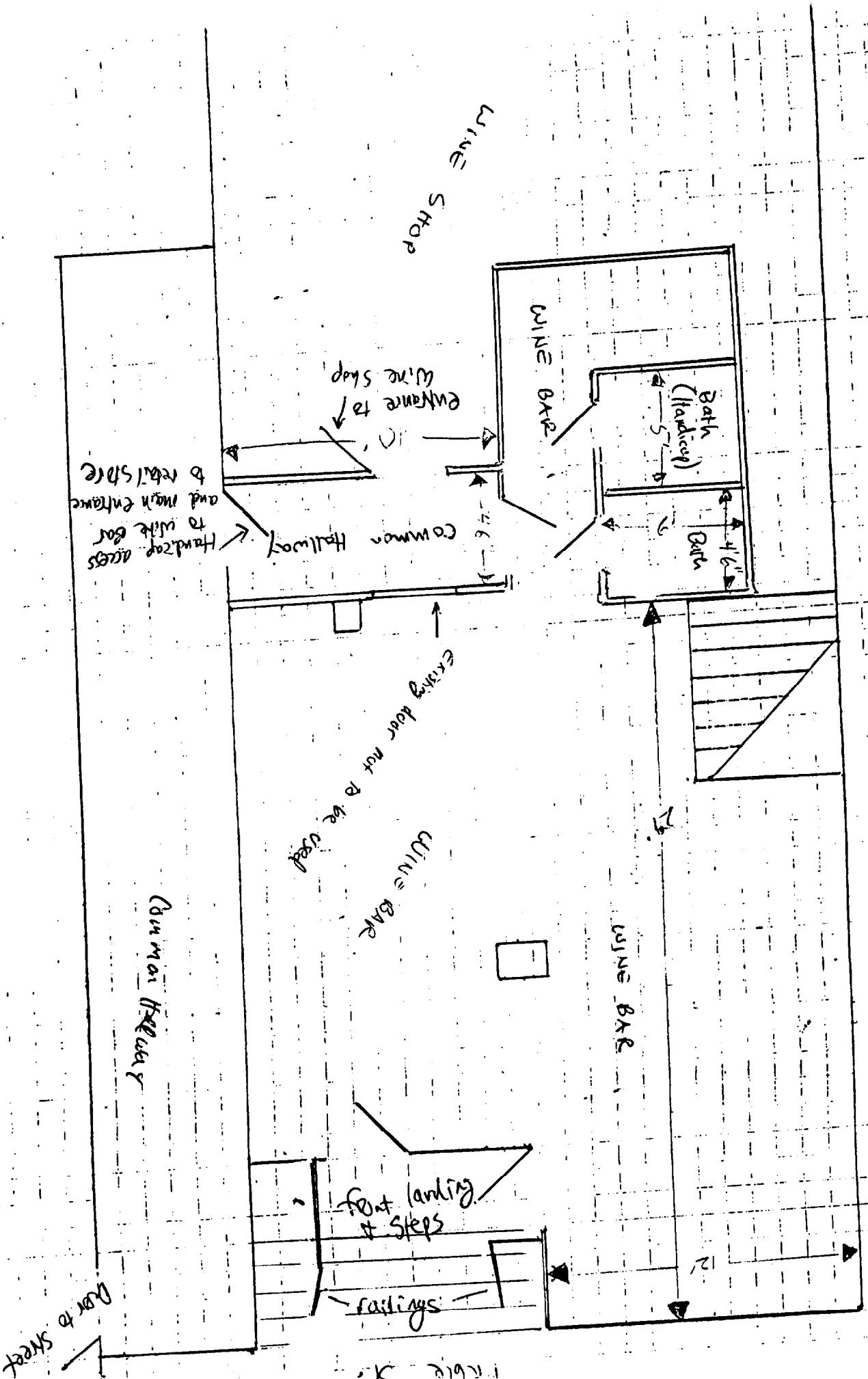


TABLE 1