

**157 HIGH STREET
EASTLAND HOTEL
PLANS**

#2012-11-5386

11-14-12

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-11-5386- ALTCOMM	Date Applied: 11/13/2012	CBL: 037- E-007-001	
Location of Construction: 157 HIGH ST	Owner Name: RB PORTLAND BUILDING LLC	Owner Address: 4100 Regent Street, Ste G COLUMBUS, OH 43219	Phone: 614-246-2400
Business Name: Eastland Park Hotel	Contractor Name: IDC Construction, LLC, Nathan Cork	Contractor Address: 1000 Churchill CT WOODSTOCK, GEORGIA 30188	Phone: (678) 213- 5267
Lessee/Buyer's Name:	Phone:	Permit Type: Building Alt	Zone: B-3
Past Use: Hotel with restaurant(s) and other accessory uses	Proposed Use: Same: Hotel with restaurant(s) and other accessory uses – interior renovations to existing hotel	Cost of Work: \$216,000,000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature:	Inspection: Use Group: Type: Signature:
Proposed Project Description: Renovations of existing facility		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Gayle		Zoning Approval	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building Permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information invalidates a building permit and stop

Special Zone or Reviews
 Shoreland
 Wetlands
 Flood Zone
 Subdivision
 Site Plan

___ Maj ___ Min ___ MM

Date: *11/13/12*

Zoning Appeal
 Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Date:

Historic Preservation
within
 Not in Dist or Landmark
 Does not Require Review
 Requires Review
 Approved
 Approved w/Conditions
 Denied

Date: *any exterior work requires a separate review & approval*

*To Be
Renewed
By
Tammy*

I hereby certify that I am the owner of the property and that I am authorized to make this application. I understand that if the application is issued, I will be responsible for enforcing the provisions of the permit.

SIGNATURE OF APPLICANT

RESPONSIBLE PER

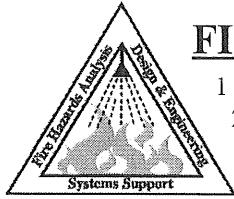
I am authorized by the owner of record and that I have been authorized by applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I am authorized to enter all areas covered by such permit at any reasonable hour.

DATE

PHONE

DATE

PHONE



FIRE RISK MANAGEMENT, INC

1 Front St., Bath, ME 04530
207/442-7200

Date: 23 May, 2013

Memo Report

From: W. Mark Cummings, P.E.
To: Mr. Skip Reske; IDC Construction
Subject: **Review of the Passive Fire and Smoke Barrier Issues**

In response to a couple of recent questions regarding the need for fire and/or smoke barriers within two specific areas of the proposed design for the new Westin Hotel, I have reviewed the details of the areas in question. This review addresses two specific questions;

1. the need for a fire barrier, on all applicable floors, at the interface between the area that provides access to both the Service Elevator and Laundry Chute and the Elevator Lobby in the northeast corner of the hotel's tower; and
2. the need for any fire barriers within the office areas located on the Mezzanine level.

The Service Elevator and Laundry Chute are located in the northeast corner of the "tower" portion of the hotel. Access to both the elevator and laundry chute is provided via a common space. The elevator is required to be enclosed in a 2-hour fire rated shaft. Although the elevator doors are not considered to have a specific fire resistance rating, the associated elevator lobby that provides access to the elevator is not required to be separated from the remainder of the building by any fire rated barriers when the building is fully protected by an automatic sprinkler system(s). The elevator "lobby" is protected by a smoke barrier; albeit there are a number of options to meet this requirement. The laundry chute itself must be enclosed by 2-hour fire rated shaft. The doors that provide access into the laundry chute are not required to have a fire resistance rating, but the rooms into which the laundry chute opens must be separated from the rest of the building by a 1-hour fire rated barrier. As such, it is the laundry chute and not the elevator that is source for the 1-hour fire rated barrier requirement, including having a properly rated fire door assembly, to separate this area from the rest of the building.

It is understood that the architectural floor plans for the Hotel's office area located at the west end of the Mezzanine level may include numerous walls that have been identified as having a fire resistance rating. Due to the fact that this building is fully protected with an automatic sprinkler system(s), none of the walls throughout all portions of the Mezzanine level are required to have any fire resistance rating. The only barriers (walls and ceilings) that must provide some measure of protection are those of the corridor(s). Any exit access corridor must be separated from the remainder of the building by barriers that are smoke resistant. This simply means that all openings in the corridor walls or ceilings must be sealed to restrict the passage of smoke. Doors leading into the corridor should be provided with automatic closing devices. The walls and ceilings, including any doors, can be constructed of any material as long as they continue to meet the "finish" requirements for this occupancy type. All other walls and ceilings separating the offices and associated spaces have no fire resistance requirements.

I have tried to keep this explanation brief and succinct, but should you or anyone within the State or City Governments have any questions regarding this review of the subject issues, please do not hesitate to contact me.

RECEIVED

MAY 28 2013

Dept. of Building Inspections
City of Portland Maine

W. Mark Cummings, P.E.
Principal Fire Protection Engineer

will email
electronic plans

2012 11 5386



General Building Permit Application

Plans w/ building

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>157 High Street Portland, Maine</u>		
Total Square Footage of Proposed Structure/Area <u>254,268 SF</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>037 E 007</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>R-B PORTLAND BUILDING LLC</u> Address <u>4100 REGENT STREET, SUITE 6</u> City, State & Zip <u>COLUMBUS, OH 43219</u>	Telephone: <u>614-246-2400</u>
Lessee/DBA (if Applicable) <u>RECEIVED</u> <u>NOV 13 2012</u> Dept. of Building Inspections City of Portland Maine	Owner: (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>215,450⁰⁰</u> C of O Fee: \$ _____ Total Fee: \$ <u>215,450⁰⁰</u>
Current legal use (i.e. single family) <u>Hotel</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>Hotel</u> Is property part of a subdivision? <u>N/A</u> If yes, please name <u>N/A</u> Project description: <u>Renovation of existing facilities of The Eastland Park Hotel.</u> <u>for building</u>		
Contractor's name: <u>IDC Construction, LLC</u> Address: <u>1000 Churchill Court</u> City, State & Zip: <u>Woodstock, GA 30188</u> Telephone: <u>678.213.1110</u> Who should we contact when the permit is ready: <u>Nathan Cork</u> Telephone: <u>678.213.5267</u> Mailing address: <u>Same</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 11/13/12

This is not a permit; you may not commence ANY work until the permit is issue



Certificate of Design Application

From Designer: _____
 Date: September 17, 2012
 Job Name: Eastland Park Hotel Renovation
 Address of Construction: 157 High Street, Portland, Maine

~~2003~~ **2009 International Building Code**
 Construction project was designed to the building code criteria listed below:

Building Code & Year 2009 Use Group Classification (s) A-2 / R-1

Type of Construction 1A

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Yes

Is the Structure mixed use? Yes If yes, separated or non separated or non separated (section 302.3) N/A

Supervisory alarm System? Faraday Geotechnical/Soils report required? (See Section 1802.2) NO

Structural Design Calculations

Completed submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.1.1, 1807)

Floor Area Use	Loads Shown
Public spaces	100 psf
Stairs/corridors	100 psf
Privit Rooms & Corridors serving	40 psf
Top of East	100 psf

Wind loads (1603.1.4, 1609)

Mthd 2 Design option utilized (1609.1.3, 1609.6)
100 mph Basic wind speed (1809.3)
1.0 Building category and wind importance Factor, I_w (table 1604.5, 1609.5)
C Wind exposure category (1609.4)
+/- 0.18 Internal pressure coefficient (ASCE 7)

Per ASCE ~~7-05~~ 7-05 Component and cladding pressures (1609.1.1, 1609.6.2.2)

Per ASCE 7-05 Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

Equiv. Lat Force Design option utilized (1614.1)
Occ. Cat. II Seismic use group ("Category")
0.324, 0.123 Spectral response coefficients, S_D s & S_D1 (1615.1)
D Site class (1615.1.5)

N/A Live load reduction
20 PSF Roof *live* loads (1603.1.2, 1607.11)
42 psf Roof snow loads (1603.7.3, 1608)
60 psf Ground snow load, P_g (1608.2)
42 psf If $P_g > 10$ psf, flat-roof snow load P_f
0.9 If $P_g > 10$ psf, snow exposure factor, C_e
1.0 If $P_g > 10$ psf, snow load importance factor, I_s
1.1 Roof thermal factor, C_t (1608.4)
N/A Sloped roof snowload, P_s (1608.4)
B Seismic design category (1616.3)
Exist. or R=3 Basic seismic force resisting system (1617.6.2)
3.0, 3.0 Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)

Per ASCE 7-05 Analysis procedure (1616.6, 1617.5)

Per ASCE 7-05 Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)

N/A Elevation of structure

Other loads

N/A Concentrated loads (1607.4)
N/A Partition loads (1607.5)
N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



New Commercial Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete Set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/ framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Foundation plans with rebar specifications and required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separations
- Insulation R-factors of walls, ceilings, floors and U-factors of windows as per the IEBC 2003
- Complete the Accessibility Certificate and The Certificate of Design
- A statement of special inspections as required per the IBC 2003
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal & external plumbing, HVAC and electrical installations.

Nine (9) copies of the minor (< 10,000 sf) or major (> 10,000 sf) site plan application is required that includes:

- A stamped boundary survey to scale showing north arrow, zoning district and setbacks to a scale of $\geq 1" = 20'$ on paper $\geq 11" \times 17"$
- The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines. Photocopies of the plat or hand draw footprints not to scale will not be accepted.
- Location and dimensions of parking areas and driveways, street spaces and building frontage
- Finish floor or sill elevation (based on mean sea level datum)
- Location and size of both existing utilities in the street and the proposed utilities serving the building
- Existing and proposed grade contours
- Silt fence (erosion control) locations

Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant and the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
 - a) Suppression system
 - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



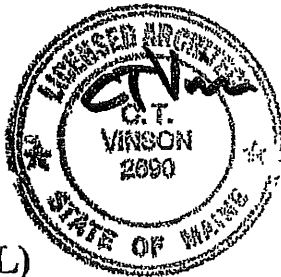
Accessibility Building Code Certificate

Designer: Clarence T. Vinson

Address of Project: 157 High Street, Portland, Maine

Nature of Project: Renovation

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



(SEAL)

Signature: *CTVinson*

Title: Architect

Firm: PFVS Architecture

Address: 5755 Dupree Drive

Atlanta, GA 30327

Phone: 404-503-5000

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

Date: September 17, 2012

From: Clarence T. Vinson

These plans and / or specifications covering construction work on:

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.

(SEAL)



Signature: CTV

Title: Architect

Firm: PFVS Architecture

Address: 5755 Dupree Drive

Atlanta, GA 30327

Phone: 404-503-5000

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Eastland Park- BUILDING PERMIT COST CALCULATION

City of Portland Calculation Requirements.

\$30 for the 1st \$1,000 worth of work.

\$10 for every additional \$1,000 work of work. 1%

\$50 Fee for Historical Permit Fee

Total Project Budget	\$	30,302,571.00	
Less Demolition Costs	\$	(870,000.00)	\$8,720.00 + \$50.00 already paid previously
Less Fire Alarm & Electrical	\$	(5,373,588.00)	Separate Permit(s)
Less Fire Sprinkler	\$	(456,212.00)	Separate Permit
Plumbing Cost	\$	1,863,671.00	
Less Mechanical & Plumbing	\$	(3,930,032.00)	Separate Permit
Total Construction Costs	\$	21,536,410.00	

Construction Costs Rounded Up to

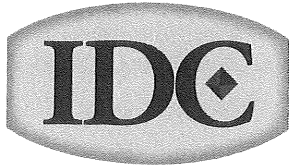
Nearest thousand \$ 21,537,000.00

Construction Costs x 1% \$ 215,370.00

Plus Historical \$50 Fee \$ 50.00

Plus \$30 for the 1st \$1,000/work \$ 30.00

PERMIT COSTS **\$ 215,450.00**



1000 Churchill Court, Suite 1000
 Woodstock, GA 30188-6844
 Ph : (678) 213-1110

Letter of Transmittal

To: Munson; Tammy
 City of Portland Plan Review

Transmittal #: 117

Date: 10/30/2012

Job: 1056-01 Eastland Hotel Portland ME

Subject: Building permit

WE ARE SENDING YOU

- Attached Under separate cover via None the following items:
- Shop drawings Prints Plans Samples
- Copy of letter Change order Specifications Other

Document Type	Copies	Date	No.	Description

THESE ARE TRANSMITTED as checked below:

- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> For approval | <input type="checkbox"/> Approved as submitted | <input type="checkbox"/> Resubmit ___ copies for approval |
| <input type="checkbox"/> For your use | <input type="checkbox"/> Approved as noted | <input type="checkbox"/> Submit ___ copies for distribution |
| <input type="checkbox"/> As requested | <input type="checkbox"/> Returned for corrections | <input type="checkbox"/> Return ___ corrected prints |
| <input type="checkbox"/> For review and comment | <input type="checkbox"/> Other | |
| <input type="checkbox"/> FOR BIDS DUE | <input type="checkbox"/> PRINTS RETURNED AFTER LOAN TO US | |

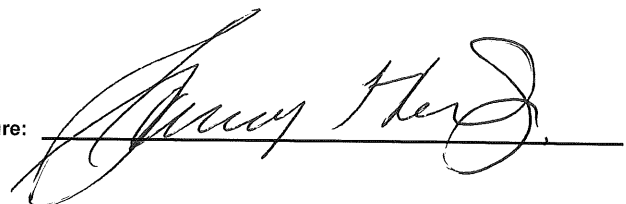
Remarks: Plans submitted for building permit

- G-000 through A-801 (Architectural) (2 sets)
- S-100 through S1-PI (Structural) (2 sets)
- Laundry, FS1 through FS-7.1 (Food service) (1 set)
- M1 through M-19 (Mechanical) (2 sets)
- FP1 through FP9 (Fire Protection) (2 sets)
- P1 through P-17 (Plumbing) (2 sets)
- E0.01 through LP1.01 (Electrical) (2 sets)

Copy To: Dobson; Lannie (City.Portland)

From: Reske; Skip (IDC Construction, LLC)

Signature:





PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Receipts Details:

Tender Information: Check , BusinessName: IDC Construction LLC, Check Number: 111341\$215,450.00

Tender Amount: 215450.00

Receipt Header:

Cashier Id: gguertin

Receipt Date: 11/14/2012

Receipt Number: 50192

Receipt Details:

Referance ID:	8713	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	215390.00	Charge Amount:	215390.00
Job ID: Job ID: 2012-11-5386-ALTCOMM - Renovations of existing facility			
Additional Comments:			

Thank You for your Payment!



PORTLAND MAINE

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Receipts Details:

Tender Information: Check , BusinessName: IDC Construction LLC, Check Number: 111341\$215,450.00

Tender Amount: 215450.00

Receipt Header:

Cashier Id: gguertin

Receipt Date: 11/14/2012

Receipt Number: 50201

Receipt Details:

Referance ID:	8713	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	215390.00	Charge Amount:	215390.00
Job ID: Job ID: 2012-11-5386-ALTCOMM - Renovations of existing facility			
Additional Comments:			

Thank You for your Payment!



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Receipts Details:

Tender Information: Check , BusinessName: IDC Construction LLC, Check Number: 111341\$60.00

Tender Amount: 60.00

Receipt Header:

Cashier Id: gguertin

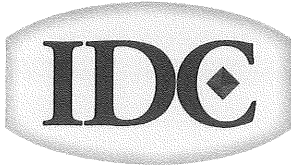
Receipt Date: 11/14/2012

Receipt Number: 50202

Receipt Details:

Referance ID:	547	Fee Type:	BP-Copies
Receipt Number:	0	Payment Date:	
Transaction Amount:	60.00	Charge Amount:	60.00
Job ID: Miscellaneous charges			
Additional Comments: 157 HighSt.			

Thank You for your Payment!



037 E 009
2012 11 5386

1000 Churchill Court, Suite 1000
Woodstock, GA 30188-6844
Ph : (678) 213-1110

Letter of Transmittal

678-2135267

interior

To: Dobson; Lannie (City.Portland)

Transmittal #: 123

Date: 11/14/2012

Job: 1056-01 Eastland Hotel Portland ME

Subject: Spec books for Eastland Hotel Renovation

- WE ARE SENDING YOU**
- Attached
 - Under separate cover via None the following items:
 - Shop drawings
 - Prints
 - Plans
 - Samples
 - Copy of letter
 - Change order
 - Specifications
 - Spec books

Document Type	Copies	Date	No.	Description

THESE ARE TRANSMITTED as checked below:

- For approval
- For your use
- As requested
- For review and comment
- FOR BIDS DUE
- Approved as submitted
- Approved as noted
- Returned for corrections
- Other
- PRINTS RETURNED AFTER LOAN TO US
- Resubmit ___ copies for approval
- Submit ___ copies for distribution
- Return ___ corrected prints

Remarks: We are sending you spec books;

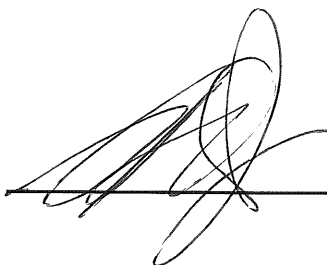
"PFVS Architectural Spec, PFVS Interiors Spec, Structural Spec"

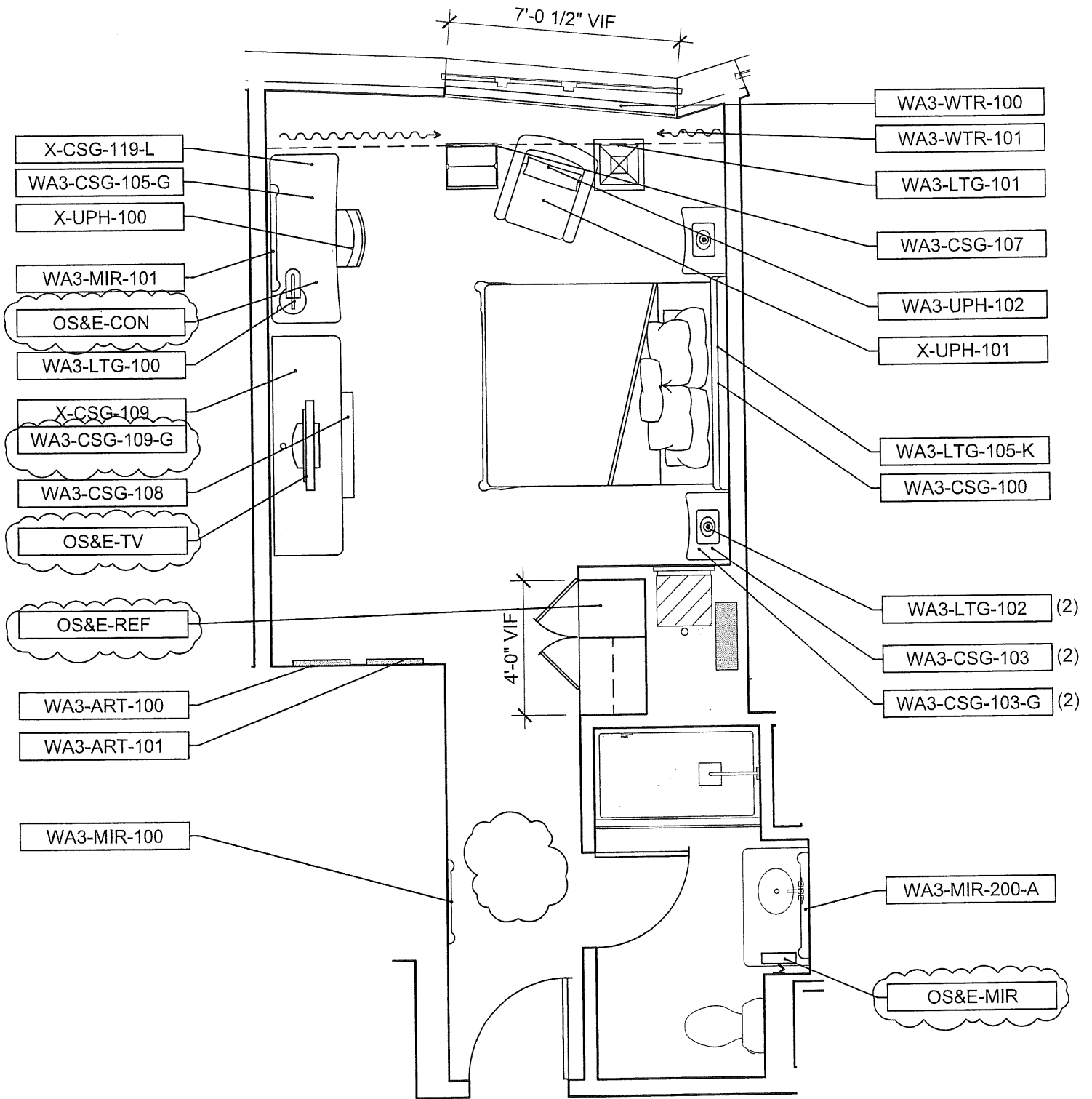
"Moncur Design Associates. Base Building Spec, FF&E Spec, Decorative Lighting Spec, Art Package"

Copy To:

12/15/12
called for electronic plans

From: H.F. "Skip" Robke Jr.

Signature: 



Westin Eastland Park - Portland, Maine

Preliminary Furniture Schedule: K-1A

Prepared for RockBridge Capital and New Castle Hotels and Resorts

Issue Date: 12.23.2011

Revision Date: 03.27.2012

Item Number	Description	Notes	Quantity
GUESTROOM			
ACCESSORIES:			
X-ACC-100	Accessories		
ART:			
WA3-ART-100	Artwork		1
WA3-ART-101	Artwork		1
X-ART-102	Artwork		
X-ART-103	Artwork		
CASEGOODS:			
WA3-CSG-100	King Headboard		1
WA3-CSG-102	Double Headboard		
WA3-CSG-103	24" King Nightstand		2
WA3-CSG-103-G	24" Glass Top		2
WA3-CSG-103-A	36" Nightstand		
WA3-CSG-103-A-G	36" Glass Top		
WA3-CSG-105	Desk (ADA Compliant)		
WA3-CSG-105-G	Glass Top at Desk		1
WA3-CSG-105-R-LEFT	Desk Return Left		
X-CSG-106	TV Console		
X-CSG-106-G	Glass Top at TV Console		
WA3-CSG-107	Accent / Side Table		1
WA3-CSG-108	Luggage Bench		1
X-CSG-109	TV Console with Drawers		1
X-CSG-109-G	Glass Top at TV Console with Drawers		1
X-CSG-110	Suite TV Console		
X-CSG-111	Suite TV Console Small		
X-CSG-112	Cocktail Table		
X-CSG-113	30" Nightstand		
X-CSG-113-G	30" Glass Top		
X-CSG-114	Round Side Table		
X-CSG-115-L	48" Desk Left		
X-CSG-115-R	48" Desk Right		
X-CSG-115-G	48" Glass at Desk Top		
X-CSG-116	54" TV Console		
X-CSG-116-G	Glass at 54" TV Console		
X-CSG-117	Square Side Table		
X-CSG-118	Entry Console		
X-CSG-119-L	Desk Left		1
X-CSG-119-R	Desk Right		
X-CSG-129	Entry Console		
X-CSG-130-R	ADA Desk		

Westin Eastland Park - Portland, Maine

Preliminary Furniture Schedule: K-1A

Prepared for RockBridge Capital and New Castle Hotels and Resorts

Issue Date: 12.23.2011

Revision Date: 03.27.2012

Item Number	Description	Notes	Quantity
LIGHTING:			
WA3-LTG-100	Desk Lamp		1
WA3-LTG-101	Floor Lamp		1
WA3-LTG-102	Nightstand Lamp		2
X-LTG-103-A	Ceiling Light - Not Used		
WA3-LTG-104	Wall Sconce		
WA3-LTG-105-K	King Headboard Lighting		1
WA3-LTG-105-D	Double Headboard Lighting		
X-LTG-106	Table Lamp		
X-LTG-112	Console Table Lamp		
MIRRORS:			
WA3-MIR-100	Full Length Mirror		1
WA3-MIR-101	Desk Mirror		1
X-MIR-102	Mirror		
X-MIR-103	Mirror		
X-MIR-104	Floor Mirror		
UPHOLSTERED GOODS / SEATING:			
X-UPH-100	Task Chair		1
X-UPH-101	Lounge Chair		1
WA3-UPH-102	Throw Pillow at Lounge Chair		1
X-UPH-103	Sofa		
X-UPH-105	42" Bench		
X-UPH-106	60" Bench		
X-UPH-107	Lounge Chair		
X-UPH-108-A	Pillow at Sofa		
X-UPH-108-B	Pillow at Lounge Chair		
WINDOW TREATMENTS:			
WA3-WTR-100	Roller Shade	Fabricator to Field Verify	1 LOT
WA3-WTR-101	Drapery Fabrication	Fabricator to Field Verify	1 LOT
OS&E ITEMS:			
OS&E-CON	Connectivity Panel	Installed in Desk	1
OS&E-MIR	Make-up Mirror		1
OS&E-REF	Refrigerator		1
OS&E-TV	Television		1
FINISHES:			
WA3-CPT-100	Carpet		1 LOT
WA3-VWC-100	Vinyl Wallcovering		1 LOT

Westin Eastland Park - Portland, Maine

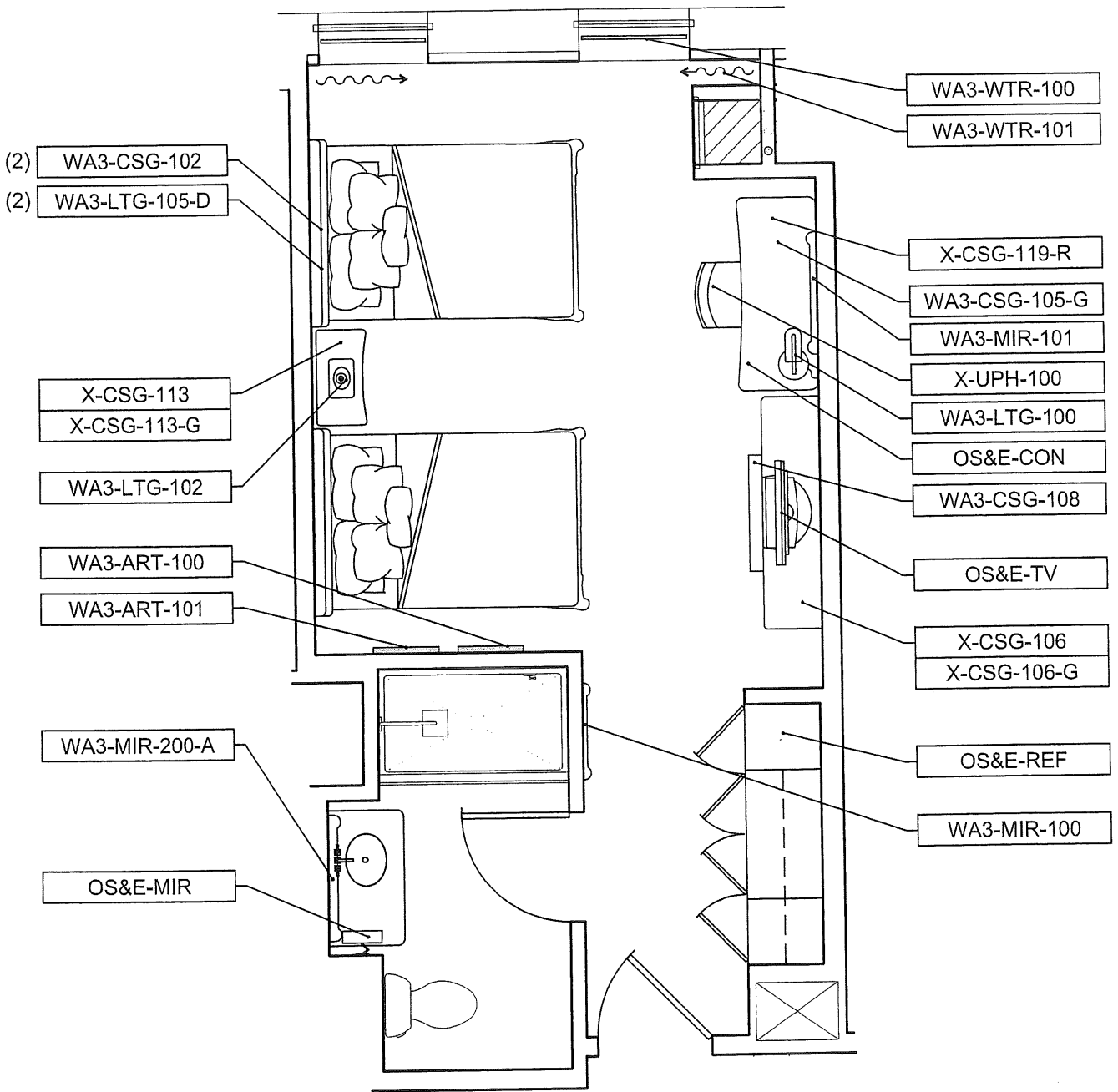
Preliminary Furniture Schedule: K-1A

Prepared for RockBridge Capital and New Castle Hotels and Resorts

Issue Date: 12.23.2011

Revision Date: 03.27.2012

Item Number	Description	Notes	Quantity
GUEST BATH			
BATH MIRRORS:			
WA3-MIR-200-A	Heavenly Mirror 36"x36"		1
X-MIR-203	Heavenly Mirror 48"x36"		
X-MIR-204	Heavenly Mirror 48"x42"		
X-MIR-205	Heavenly Mirror 30"x42"		
BATH FINISHES:			
WA3-VWC-200	Vinyl Wallcovering		1 LOT



Westin Eastland Park - Portland, Maine

Preliminary Furniture Schedule: DD-6A

Prepared for RockBridge Capital and New Castle Hotels and Resorts

Issue Date: 03.27.2012

Item Number	Description	Notes	Quantity
GUESTROOM			
ACCESSORIES:			
X-ACC-100	Accessories		
ART:			
WA3-ART-100	Artwork		1
WA3-ART-101	Artwork		1
X-ART-102	Artwork		
X-ART-103	Artwork		
CASEGOODS:			
WA3-CSG-100	King Headboard		
WA3-CSG-102	Double Headboard		2
WA3-CSG-103	24" King Nightstand		
WA3-CSG-103-G	24" Glass Top		
WA3-CSG-103-A	36" Nightstand		
WA3-CSG-103-A-G	36" Glass Top		
WA3-CSG-105	Desk (ADA Compliant)		
WA3-CSG-105-G	Glass Top at Desk		1
WA3-CSG-105-R-LEFT	Desk Return Left		
X-CSG-106	TV Console		1
X-CSG-106-G	Glass Top at TV Console		1
WA3-CSG-107	Accent / Side Table		
WA3-CSG-108	Luggage Bench		1
X-CSG-109	TV Console with Drawers		
X-CSG-109-G	Glass Top at TV Console with Drawers		
X-CSG-110	Suite TV Console		
X-CSG-111	Suite TV Console Small		
X-CSG-112	Cocktail Table		
X-CSG-113	30" Nightstand		1
X-CSG-113-G	30" Glass Top		1
X-CSG-114	Round Side Table		
X-CSG-115-L	48" Desk Left		
X-CSG-115-R	48" Desk Right		
X-CSG-115-G	48" Glass at Desk Top		
X-CSG-116	54" TV Console		
X-CSG-116-G	Glass at 54" TV Console		
X-CSG-117	Square Side Table		
X-CSG-118	Entry Console		
X-CSG-119-L	Desk Left		
X-CSG-119-R	Desk Right		1
X-CSG-129	Entry Console		
X-CSG-130-R	ADA Desk		

Westin Eastland Park - Portland, Maine

Preliminary Furniture Schedule: DD-6A

Prepared for RockBridge Capital and New Castle Hotels and Resorts

Issue Date: 03.27.2012

Item Number	Description	Notes	Quantity
LIGHTING:			
WA3-LTG-100	Desk Lamp		1
WA3-LTG-101	Floor Lamp		
WA3-LTG-102	Nightstand Lamp		1
X-LTG-103-A	Ceiling Light - Not Used		
WA3-LTG-104	Wall Sconce		
WA3-LTG-105-K	King Headboard Lighting		
WA3-LTG-105-D	Double Headboard Lighting		2
X-LTG-106	Table Lamp		
X-LTG-112	Console Table Lamp		
MIRRORS:			
WA3-MIR-100	Full Length Mirror		1
WA3-MIR-101	Desk Mirror		1
X-MIR-102	Mirror		
X-MIR-103	Mirror		
X-MIR-104	Floor Mirror		
UPHOLSTERED GOODS / SEATING:			
X-UPH-100	Task Chair		1
X-UPH-101	Lounge Chair		
WA3-UPH-102	Throw Pillow at Lounge Chair		
X-UPH-103	Sofa		
X-UPH-105	42" Bench		
X-UPH-106	60" Bench		
X-UPH-107	Lounge Chair		
X-UPH-108-A	Pillow at Sofa		
X-UPH-108-B	Pillow at Lounge Chair		
WINDOW TREATMENTS:			
WA3-WTR-100	Roller Shade	Fabricator to Field Verify	1 LOT
WA3-WTR-101	Drapery Fabrication	Fabricator to Field Verify	1 LOT
OS&E ITEMS:			
OS&E-CON	Connectivity Panel		1
OS&E-MIR	Make-up Mirror		1
OS&E-REF	Refrigerator		1
OS&E-TV	42" Television		1
FINISHES:			
WA3-CPT-100	Carpet		1 LOT
WA3-VWC-100	Vinyl Wallcovering		1 LOT

Westin Eastland Park - Portland, Maine

Preliminary Furniture Schedule: DD-6A

Prepared for RockBridge Capital and New Castle Hotels and Resorts

Issue Date: 03.27.2012

Item Number	Description	Notes	Quantity
GUEST BATH			
BATH MIRRORS:			
WA3-MIR-200-A	Heavenly Mirror 36"x36"		1
X-MIR-203	Heavenly Mirror 48"x36"		
X-MIR-204	Heavenly Mirror 48"x42"		
X-MIR-205	Heavenly Mirror 30"x42"		
BATH FINISHES:			
WA3-VWC-200	Vinyl Wallcovering		1 LOT

Westin Eastland Park, Guest Tower - 11009.50

Prepared for RockBridge Capital and New Castle Hotels and Resorts

Issue Date: 12.23.2011

Revision Date: 03.27.2012

X-CSG-106

TV CONSOLE - TYPICAL

Location: Guestrooms

SPECIFICATIONS:

Description: TV console with two pull-out drawers, center cut-out and back panel

Style: Custom

Dimensions: 72" W x 18" D x 35 1/2" H

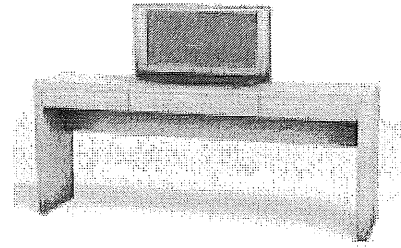
Construction: Constructed of first quality hardwood solids with grade "A" walnut veneers over MDF and/or particle board. When using particle board, all elements must be balanced using 5-ply balance construction. All structural joints are reinforced with corner blocks, glued and screwed to rail. Rail and posts to be double doweled, glued and screwed in place. Hardwoods to be kiln-dried to a minimum of 6% moisture content. No exposed wood. All finished and/or banded for moisture barrier. Drawers are all five-sided; all hardwood (sanded and finished) drawer construction with removable face for replacement in field. English dovetail drawers front and back. All drawer bottoms are fully sanded and finished veneer with reinforced glue blocks. Power coated extension ball bearing drawer glides. Console includes wall cleat, 2" dia hole for wires, cut-out for TV mounting bracket, nylon carpet glides and wire clips for cord management.

Finish: Wood / Westin A3 Dark Wood
FPC753A1 - China Walnut VR - 10 Sheen

Installation: TV console must be wall mounted. Add appropriate wall blocking where necessary.

TV Mounting: TV to be mounted to glass top using 3M VHB Tape

Glass Top: See X-CSG-106-G for glass top information.



NOTES:

1. Manufacturer to provide all required hardware for proper installation and instructions.
2. Interior hardware to be contract quality.
3. Interior hardware (hinges, bolts, screws, anchors, etc.) to be non-corrosive.
4. All wood must comply with AWI "Custom Grade" or better quality standards. Wood construction is to be selected, seasoned, free of knots, free of worms and vermin, and kiln-dried to a moisture content not to exceed 7%. If imported, fumigation may be required depending on country of origin and certificate.
5. All images, photographs, renderings of specified items contained in this specification package are for general design intent and reference only. Do not use items as a final submittal.
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 Fax 714-562-1534
 FDHG@fairmontdesigns.com

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Westin Eastland Park, Guest Tower - 11009.50

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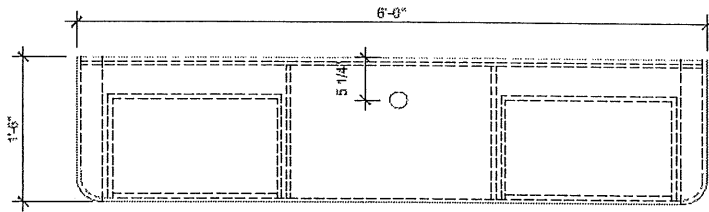
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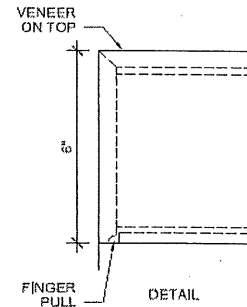
X-CSG-106

TV CONSOLE - TYPICAL

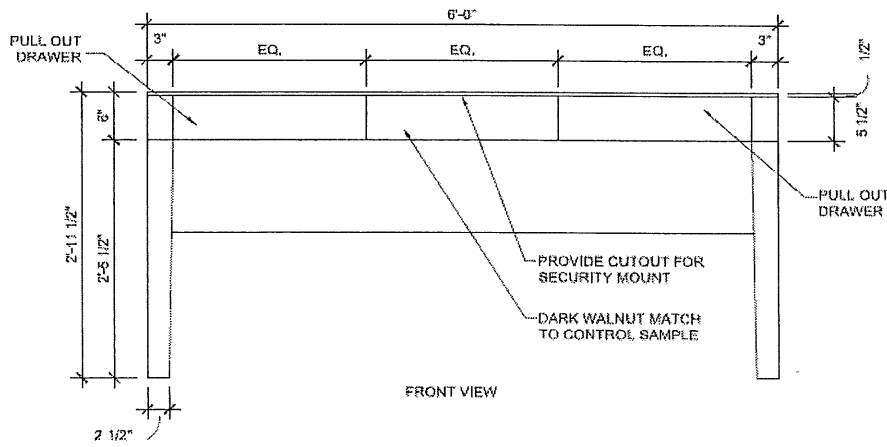
Location: Guestrooms



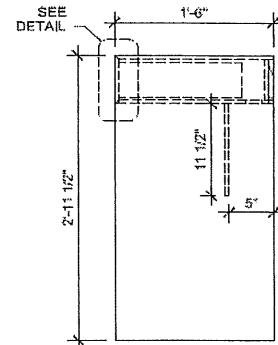
TOP VIEW



DETAIL



FRONT VIEW



SIDE VIEW

Westin Eastland Park, Guest Tower - 11009.50

Prepared for RockBridge Capital and New Castle Hotels and Resorts

Issue Date: 03 27 2012

X-CSG-106-G

GLASS TOP AT TV CONSOLE

Location: Guestrooms

SPECIFICATIONS:

Description: Glass Top at TV Console
Style: Custom Glass Top at TV Console
Dimensions: 72" W x 18" D x 1/2" thick
Content/ Construction: 1/2" thick tempered "diamant" low iron glass with flat polished edges.
Reference: For use on TV Console - X-CSG-106
Finish: Heavy Sandblast on one side with Diamond Fusion protective surface on both sides.

NOTES:

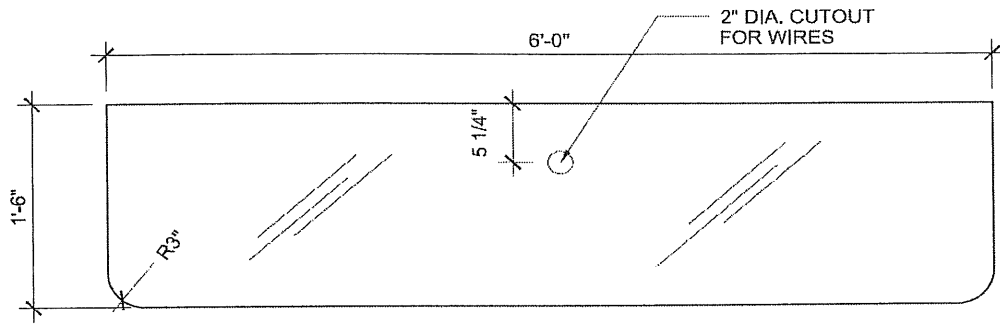
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5. Purchasing agent to submit all new substitutions to PFVS design team for written approval prior to manufacturing and purchasing. If the substitution is executed without written approval, PFVS Interiors, Inc. takes no responsibility or liability for the new selection or specification.

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www.glasswerks.com

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tom@resourcenorth.net



Westin Eastland Park, Guest Tower - 11009.50

Prepared for RockBridge Capital and New Castle Hotels and Resorts

Issue Date: 12.23.2011

Revision Date: 03.27.2012

X-CSG-109

TV CONSOLE - STORAGE

Location: Guestrooms

SPECIFICATIONS:

Description: TV console with three pull-out drawers, center cut-out and back panel

Style: Custom

Dimensions: 78" W x 25" D x 34" H

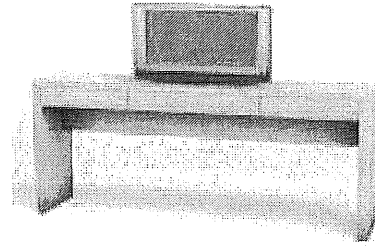
Construction: Constructed of first quality hardwood solids with grade "A" walnut veneers over MDF and/or particle board. When using particle board, all elements must be balanced using 5-ply balance construction. All structural joints are reinforced with corner blocks, glued and screwed to rail. Rail and posts to be double doweled, glued and screwed in place. Hardwoods to be kiln-dried to a minimum of 6% moisture content. No exposed wood. All finished and/or banded for moisture barrier. Drawers are all five-sided; all hardwood (sanded and finished) drawer construction with removable face for replacement in field. English dovetail drawers front and back. All drawer bottoms are fully sanded and finished veneer with reinforced glue blocks. Power coated extension ball bearing drawer glides. Console includes wall cleat, 2" dia hole for wires, cut-out for TV mounting bracket, nylon carpet glides and wire clips for cord management.

Finish: Wood / Westin A3 Dark Wood
FPC753A1 - China Walnut VR - 10 Sheen

Installation: TV console must be wall mounted. Add appropriate wall blocking where necessary.

TV Mounting: TV to be mounted to glass top using 3M VHB Tape

Glass Top: See X-CSG-109-G for glass top information.



NOTES:

1. Manufacturer to provide all required hardware for proper installation and instructions.
2. Interior hardware to be contract quality.
3. Interior hardware (hinges, bolts, screws, anchors, etc.) to be non-corrosive.
4. All wood must comply with AWI "Custom Grade" or better quality standards. Wood construction is to be selected, seasoned, free of knots, free of worms and vermin, and kiln-dried to a moisture content not to exceed 7%. If imported, fumigation may be required depending on country of origin and certificate.
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Westin Eastland Park, Guest Tower - 11009.50

Prepared for RockBridge Capital and New Castle Hotels and Resorts

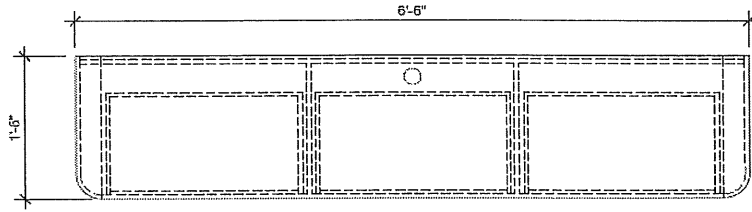
Issue Date: 12.23.2011

Revision Date: 03.27.2012

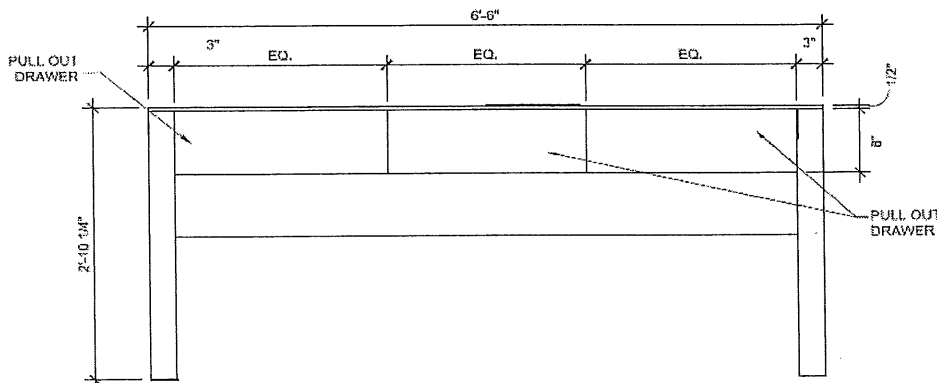
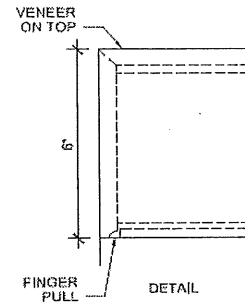
X-CSG-109

TV CONSOLE - STORAGE

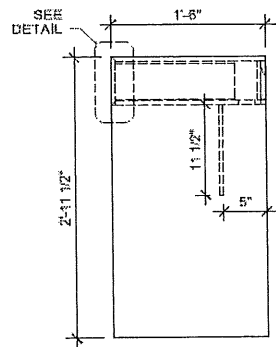
Location: Guestrooms



TOP VIEW



FRONT VIEW



SIDE VIEW

Westin Eastland Park, Guest Tower - 11009.50

Prepared for RockBridge Capital and New Castle Hotels and Resorts

Issue Date: 03.27.2012

X-CSG-109-G

GLASS TOP AT TV CONSOLE

Location: Guestrooms

SPECIFICATIONS:

Description: Glass Top at TV Console
Style: Custom Glass Top at TV Console
Dimensions: 78" W x 25" D x 1/2" thick
Content/ Construction: 1/2" thick tempered "diamant" low iron glass with flat polished edges.
Reference: For use on TV Console - X-CSG-109
Finish: Heavy Sandblast on one side with Diamond Fusion protective surface on both sides.

NOTES:

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Westin Eastland Park, Guest Tower - 11009.50

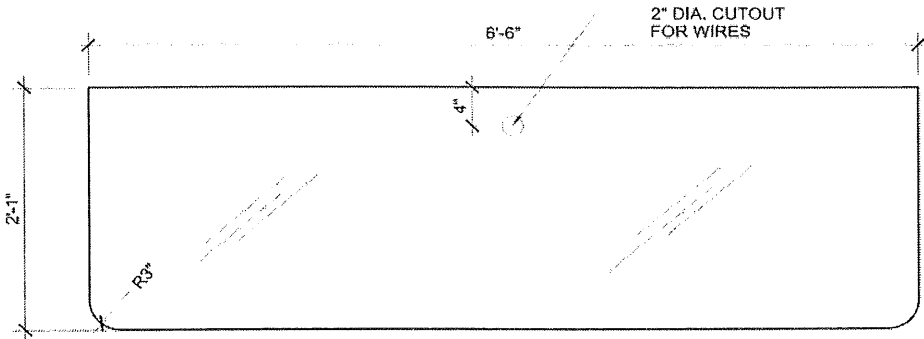
Prepared for RockBridge Capital and New Castle Hotels and Resorts

Issue Date: 03/27/2012

X-CSG-109-G

GLASS TOP AT TV CONSOLE

Location: Guestrooms



Westin Eastland Park, Guest Tower - 11009.50

Prepared for RockBridge Capital and New Castle Hotels and Resorts

Issue Date: 12.23.2011

Revision Date: 03.27.2012

X-CSG-116

TV CONSOLE - SMALL

Location: Guestrooms

SPECIFICATIONS:

Description: TV console with two pull-out drawers, center cut-out and back panel

Style: Custom

Dimensions: 54" W x 18" D x 35 1/2" H

Construction: Constructed of first quality hardwood solids with grade "A" walnut veneers over MDF and/or particle board. When using particle board, all elements must be balanced using 5-ply balance construction. All structural joints are reinforced with corner blocks, glued and screwed to rail. Rail and posts to be double doweled, glued and screwed in place. Hardwoods to be kiln-dried to a minimum of 6% moisture content. No exposed wood. All finished and/or banded for moisture barrier. Drawers are all five-sided; all hardwood (sanded and finished) drawer construction with removable face for replacement in field. English dovetail drawers front and back. All drawer bottoms are fully sanded and finished veneer with reinforced glue blocks. Power coated extension ball bearing drawer glides. Console includes wall cleat, 2" dia hole for wires, cut-out for TV mounting bracket, nylon carpet glides and wire clips for cord management.

Finish: Wood / Westin A3 Dark Wood
FPC753A1 - China Walnut VR - 10 Sheen

Installation: TV console must be wall mounted. Add appropriate wall blocking where necessary.

TV Mounting: TV to be mounted to glass top using 3M VHB Tape

Glass Top: See X-CSG-116-G for glass top information.

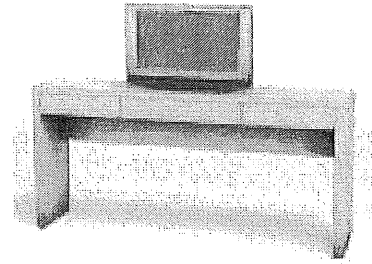


Image for Reference Only
May Not Reflect Actual Color or Finish

NOTES:

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3. Interior hardware (hinges, bolts, screws, anchors, etc.) to be non-corrosive.
4. All wood must comply with AWI "Custom Grade" or better quality standards. Wood construction is to be selected, seasoned, free of knots, free of worms and vermin, and kiln-dried to a moisture content not to exceed 7%. If imported, fumigation may be required depending on country of origin and certificate.
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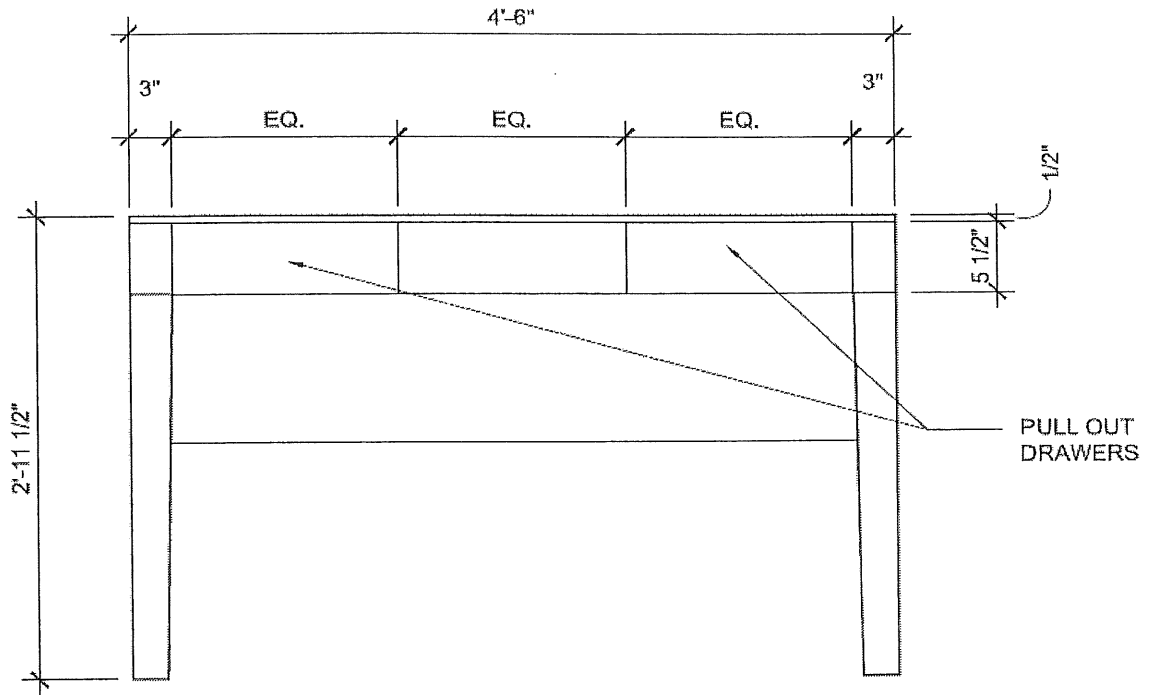
Issue Date: 12.23.2011

Revision Date: 03.27.2012

X-CSG-116

TV CONSOLE - SMALL

Location: Guestrooms



Westin Eastland Park, Guest Tower - 11009.50

Prepared for RockBridge Capital and New Castle Hotels and Resorts

Issue Date: 03/27/2012

X-CSG-116-G

GLASS TOP AT TV CONSOLE

Location: Guestrooms

SPECIFICATIONS:

Description: Glass Top at TV Console
Style: Custom Glass Top at TV Console
Dimensions: 54" W x 18" D x 1/2" thick
Content/
Construction: 1/2" thick tempered "diamant" low iron glass with flat polished edges.
Reference: For use on TV Console - X-CSG-116
Finish: Heavy Sandblast on one side with Diamond Fusion protective surface on both sides.

NOTES:

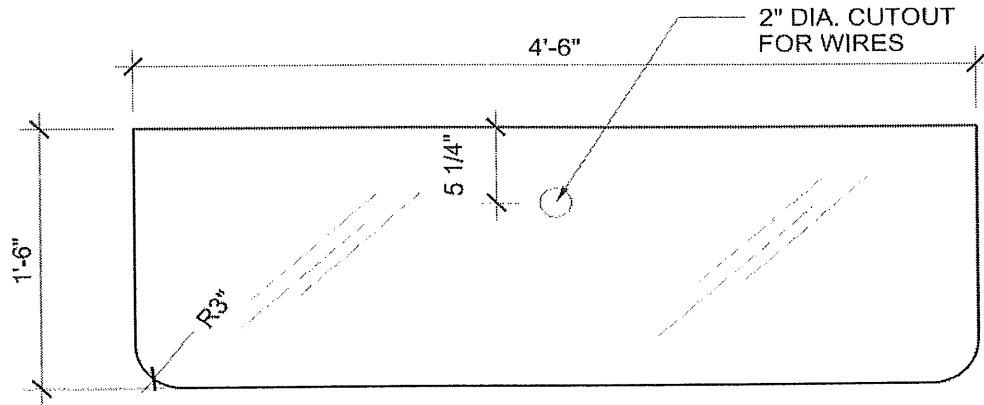
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Prepared for RockBridge Capital and New Castle Hotels and Resorts

Issue Date: 12.23.2011

Revision Date: 03.27.12

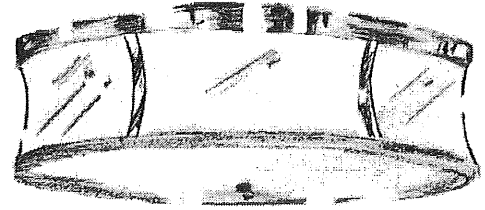
X-LTG-103-A (CFL Option)

Foyer Ceiling Fixture

Location: Guestrooms & King Suites

SPECIFICATIONS:

Description: Circular Foyer Ceiling Fixture
 Style: WA3-LTG-103A -WEP/CFL
 Dimensions: 12" Dia x 4" H
 Finish: Metal - Polished Nickel
 Body - Frosted White Glass
 Diffuser - Frosted White Glass
 Lamp Source: (2) 26W Compact Fluorescent Bulbs
 Switch Type: No Switch - Hardwired
 Switch Location: Remote Switch Required
 Installation: To be ceiling mounted at existing foyer fixture junction
 box location.
 Note: CFL Option
 Ratings: UL & CUL Listed, Labeled, and Stickered



NOT USED

NOTES:

1. Manufacturer to provide all required hardware to ensure proper installation.
2. Metal grade and thickness must be commercial grade and withstand heavy hospitality usage.
3. Metal finishes to have clear enamel matte coating, rust inhibit or primer, baked enamel or powdercoat finish for protection to prevent rust and corrosion. Manufacturer to ensure materials are non-corrosive and suitable for use in high humidity and salt air loactions.
4. Lamps (bulbs) not included. Property owner is responsible for the purchasing, coordination, and installation of all lamps (bulbs).
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8. Submittal of shop drawings, finish samples, and/or prototype to PFVS design team for review and written approval is required prior to
9. Must meet applicable ADA guidelines.

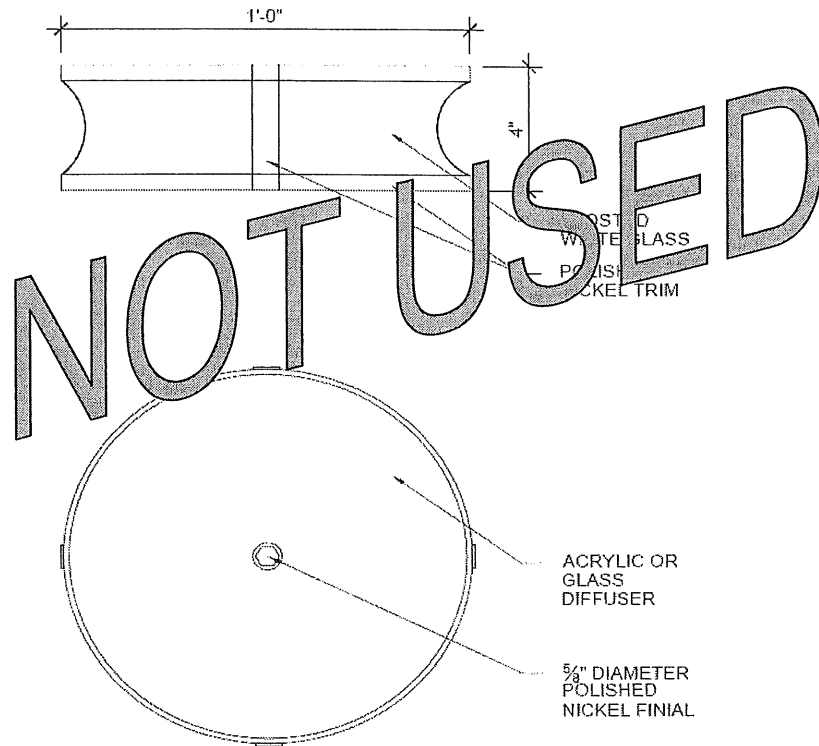
MANUFACTURER:

Genesis Lighting
 107 Trumbull Street
 Elizabeth, NJ 07206
 Tel 908-352-6720
 Fax 908-352-9571

CONTACT / REP:

Lisa Waschak
 DesignSpec, Inc.
 3005 Compass Pointe Walk
 Alpharetta, GA 30005
 Tel 770-663-0529
 Fax 678-393-8176
 designspec@bellsouth.net





Westin Eastland Park, Guest Tower - 11009.50

Prepared for RockBridge Capital and New Castle Hotels and Resorts

Issue Date: 12.23.2011

Revision Date: 03.27.12

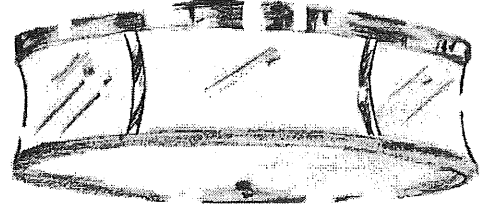
X-LTG-103-A (LED Option)

Foyer Ceiling Fixture

Location: Guestrooms & King Suites

SPECIFICATIONS:

- Description: Circular Foyer Ceiling Fixture
- Style: WA3-LTG-103A -WEP/LED
- Dimensions: 12" Dia x 4" H
- Finish: Metal - Polished Nickel
Body - Frosted White Glass
Diffuser - Frosted White Glass
- Lamp Source: (1) Board of (60) 1 watt LEDs
- Switch Type: No Switch - Hardwired
- Switch Location: Remote Switch Required
- Installation: To be ceiling mounted at existing foyer fixture junction box location.
- Note: LED Option
- Ratings: UL & CUL Listed, Labeled, and Stickered



NOT USED

NOTES:

1. Manufacturer to provide all required hardware to ensure proper installation.
2. Metal grade and thickness must be commercial grade and withstand heavy hospitality usage.
3. Metal finishes to have clear enamel matte coating, rust inhibit or primer, baked enamel or powdercoat finish for protection to prevent rust and corrosion. Manufacturer to ensure materials are non-corrosive and suitable for use in high humidity and salt air loactions.
4. Lamps (bulbs) not included. Property owner is responsible for the purchasing, coordination, and installation of all lamps (bulbs).
5. All images, photographs, renderings of specified items contained in this specification package are for general design intent and reference only. Do not use items as a final submittal.
6. Refer to preamble for terms, conditions, abbreviations, definitions, responsibilities, and general guidelines for all specified items.
7. Refer to drawings for exact locations and/or mounting heights of furniture, fixtures, and equipment. In the event of a discrepancy between drawings and specifications, please contact PFVS immediately for written clarification.
8. Submittal of shop drawings, finish samples, and/or prototype to PFVS design team for review and written approval is required prior to
9. Must meet applicable ADA guidelines.

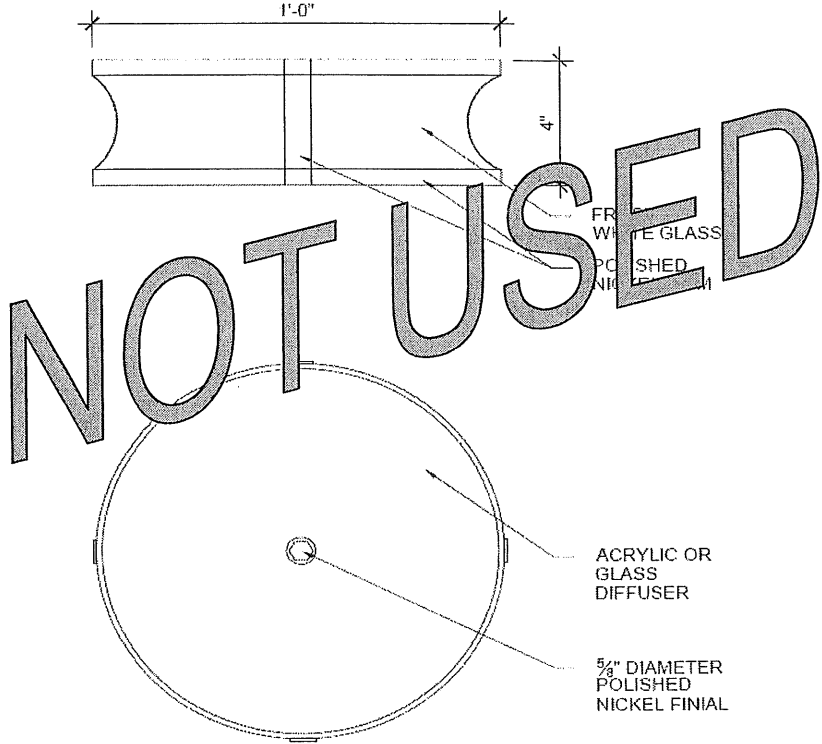
MANUFACTURER:

Genesis Lighting
 107 Trumbull Street
 Elizabeth, NJ 07206
 Tel 908-352-6720
 Fax 908-352-9571

CONTACT / REP:

Lisa Waschak
 DesignSpec, Inc.
 3005 Compass Pointe Walk
 Alpharetta, GA 30005
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 designspec@bellsouth.net





Westin Eastland Park, Guest Tower - 11009.50

Prepared for RockBridge Capital and New Castle Hotels and Resorts

Issue Date: 12.23.2011

Revision Date: 03.27.2012

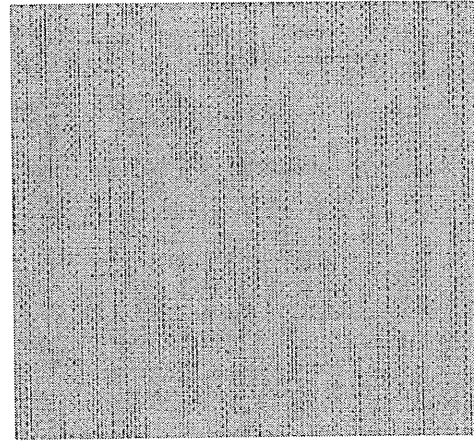
X-UPH-100-F

Vinyl at Task Chair

Location: Guestroom

SPECIFICATIONS:

Description: Vinyl at Task Chair
 Style: Metallic Vision 2
 Color: 654-AAW
 Width: 54"
 Contents: 65% polyurethane, 35% post-consumer recycled polyester
 Ratings: Meets or exceeds NFPA 260
 Reference: X-UPH-100



NOTES:

1. Manufacturer to submit sample of C.O.M. for designer's written approval prior to purchasing and fabrication of total quantity.
2. All images, photographs, renderings of specified items contained in this specification package are for general design intent and reference only. Do not use items as a final submittal.
3. Refer to preamble for terms, conditions, abbreviations, definitions, responsibilities, and general guidelines for all specified items.
4. Refer to drawings for exact locations and/or mounding heights of all furniture, fixtures, and equipment. In the event of a discrepancy between drawings and specifications, please contact PFVS Interiors, Inc. immediately for written clarification.
5. Submittal of shop drawings, finish samples, and/or prototype to PFVS design team for review and written approval is required prior to manufacturing and purchasing.
6. Purchasing Agent to submit all new substitutions to PFVS design team for written approval prior to manufacturing and purchasing.

NOTE: PURCHASING AGENT TO ESTABLISH ADEQUATE "ATTIC STOCK" QUANTITY DESIRED. QUANTITY IS TO BE ORDERED WITH ORIGINAL NET ORDER AND SHALL BE SIDE-MARKED "ATTIC STOCK".

MANUFACTURER:

Valley Forge Fabrics, Inc.
 2981 Gateway Drive
 Pompano Beach, FL 33069
 Phone: 800.223.7979
 Fax: 954.968.1775

CONTACT / REP:

Alyssa Weiss
 Cell: 954.647.6839
 aweiss@valleyforge.com

Westin Eastland Park, Guest Tower - 11009.50

Prepared for RockBridge Capital and New Castle Hotels and Resorts

Issue Date: 03.27.2012

OS&E-TV

42" Television

Location: Guestrooms & King Suites

SPECIFICATIONS:

Description: 42" Television
Class 1080p Hospitality LCD HDTV
Style: TH-42LRU30
Installation: To be mounted to glass top on TV console with 3m VHB
Tape

NOTES:

1. Manufacturer to provide all required hardware to ensure proper installation.
2. All images, photographs, renderings of specified items contained in this specification package are for general design intent and reference only. Do not use items as a final submittal.
3. Refer to preamble for terms, conditions, abbreviations, definitions, responsibilities, and general guidelines for all specified items.
4. Refer to drawings for exact locations and/or mounting heights of furniture, fixtures, and equipment. In the event of a discrepancy between drawings and specifications, please contact PFVS immediately for written clarification.
5. Must meet applicable ADA guidelines.

MANUFACTURER:

Panasonic Corporation

CONTACT / REP:

Marco Serrano
Account Manager
Panasonic Solutions Company
Cell: 201-427-0636
Office: 410-569-1371
marco.serrano@us.panasonic.com

Westin Eastland Park, Guest Tower - 11009.50

Prepared for RockBridge Capital and New Castle Hotels and Resorts

Issue Date: 03.27.2012

OS&E-REF

Refrigerator

Location: Guestrooms & King Suites

SPECIFICATIONS:

Description: Refreshment Center / Refrigerator
Style: RH456LDE

NOTES:

1. Manufacturer to provide all required hardware to ensure proper installation.
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3. Refer to preamble for terms, conditions, abbreviations, definitions, responsibilities, and general guidelines for all specified items.
4. Refer to drawings for exact locations and/or mounting heights of furniture, fixtures, and equipment. In the event of a discrepancy between drawings and specifications, please contact PFVS immediately for written clarification.
5. Must meet applicable ADA guidelines.

MANUFACTURER:

Dometic Corporation
Phone: 219-294-8665

CONTACT / REP:

Peter Kuzyk
Phone: 574.294.8665
peter.kuzyk@domecusa.com

Westin Eastland Park, Guest Tower - 11009.50

Prepared for RockBridge Capital and New Castle Hotels and Resorts

Issue Date: 03.27.2012

OS&E-MIR

Make-up Mirror

Location: Guestrooms & King Suites

SPECIFICATIONS:

Description: Make-up Mirror
Style: EMHL8500
Specs: 5"x8" Square Mirror
3x Magnification
Polished Chrome

NOTES:

1. Manufacturer to provide all required hardware to ensure proper installation.
2. All images, photographs, renderings of specified items contained in this specification package are for general design intent and reference only. Do not use items as a final submittal.
3. Refer to preamble for terms, conditions, abbreviations, definitions, responsibilities, and general guidelines for all specified items.
4. Refer to drawings for exact locations and/or mounting heights of furniture, fixtures, and equipment. In the event of a discrepancy between drawings and specifications, please contact PFVS immediately for written clarification.
5. Must meet applicable ADA guidelines.

MANUFACTURER:

Electric Mirror

CONTACT / REP:

John Goodelman
Phone: 917-463-0041
11831 Beverly Park Rd, Bldg D,
Everett, WA 98204 USA
jonathan.goodelman@gmansales.com

Westin Eastland Park, Guest Tower - 11009.50

Prepared for RockBridge Capital and New Castle Hotels and Resorts

Issue Date: 03.27.2012

OS&E-CON

Connectivity Panel

Location: Guestrooms & King Suites

SPECIFICATIONS:

Description: Connectivity Panel
Style: TA-7730R-US-B03
Specs: Connectivity Panel with 2 AC power outlets

NOTES:

1. Manufacturer to provide all required hardware to ensure proper installation.
2. All images, photographs, renderings of specified items contained in this specification package are for general design intent and reference only. Do not use items as a final submittal.
3. Refer to preamble for terms, conditions, abbreviations, definitions, responsibilities, and general guidelines for all specified items.
4. Refer to drawings for exact locations and/or mounting heights of furniture, fixtures, and equipment. In the event of a discrepancy between drawings and specifications, please contact PFVS immediately for written clarification.
5. Must meet applicable ADA guidelines.

MANUFACTURER:

TeleAdapt

CONTACT / REP: