

## EASTLAND PARK HOTEL RENOVATION

PORTLAND, MAINE

### DEMOLITION PHASE

5755 DUPREE DRIVE  
ATLANTA, GA. 30327 404.503.5000



Issue Dates:  
MARCH 16, 2012  
ISSUE FOR PERMIT

#### PROJECT DIRECTORY

##### OWNER

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#### BUILDING INFORMATION

##### ADDRESS

157 HIGH STREET  
PORTLAND, MAINE 04101-2814  
207.775.5411

##### USE/OCCUPANCY

R-1 EXISTING TO REMAIN  
A-2 EXISTING TO REMAIN

##### GOVERNING CODES

CODE ANALYSIS:  
APPLICABLE CODES:  
NFPA 101 LIFE SAFETY CODE, EDITION 2009  
NFPA - 241  
NFPA - CHAPTER 16  
CITY OF PORTLAND CODE OF ORDINANCES - CHAPTER 10  
2009 INTERNATIONAL BUILDING CODE (IBC)  
2009 INTERNATIONAL EXISTING BUILDING CODE (IEBC)

##### CODE SUMMARY

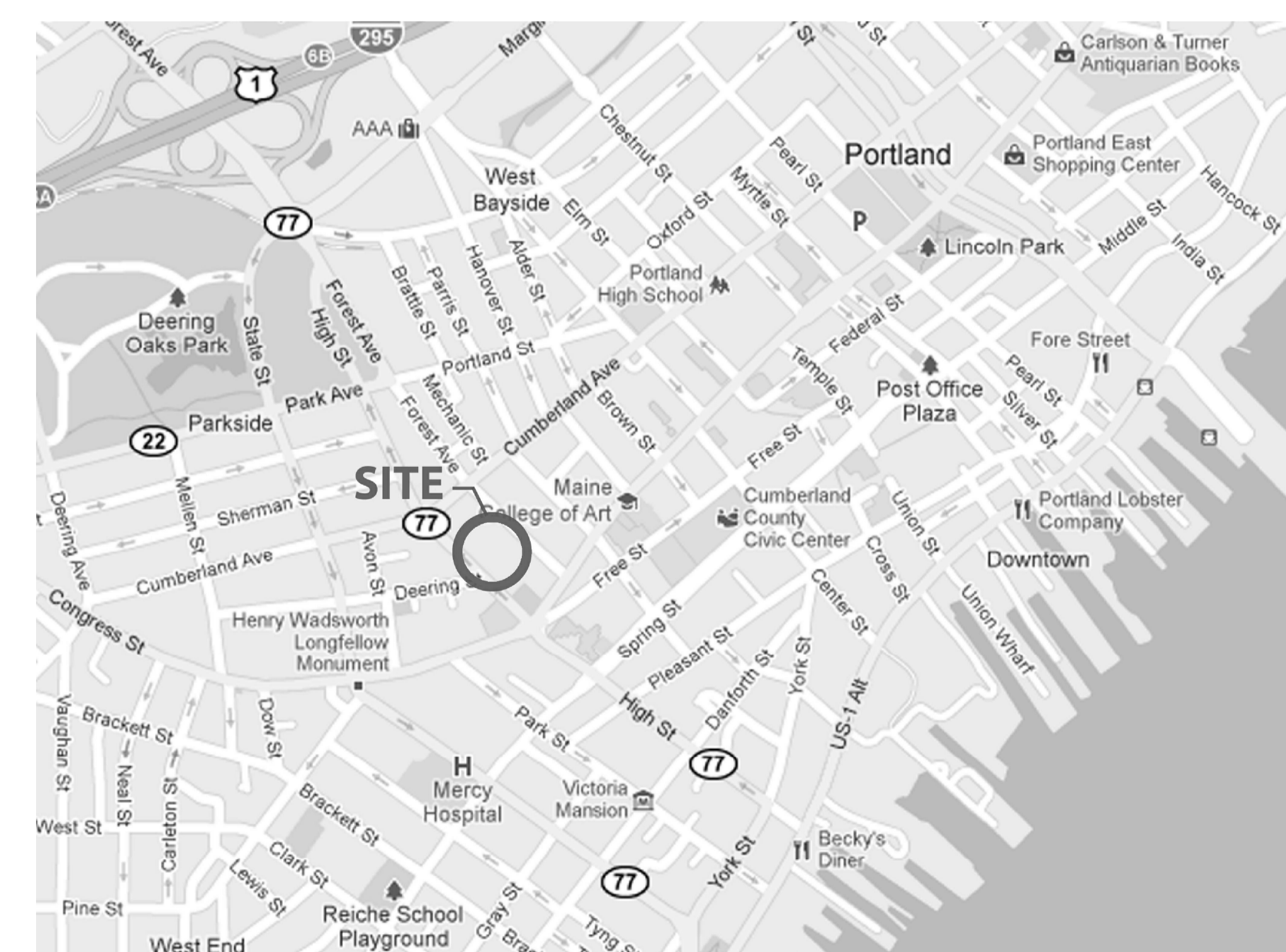
TYPE OF CONSTRUCTION  
NUMBER OF STORIES  
HEIGHT  
HIGH RISE SPRINKLED / NONCOMBUSTIBLE / PROTECTED

EXISTING  
1A / IV - Heavy Timber  
13  
130'-0" APPROXIMATELY

NOTE:  
HEAVY TIMBER AREAS ARE ONLY BEING USED AS INDICATED BELOW:

- AS PART OF AN EGRESS PATH FOR THIS CONDITION APPROPRIATE MEASURES TO PROVIDE AT LEAST 1 HR. PROTECTION HAVE BEEN ADDRESSED. IT MAY INCLUDE, DEPENDING ON EXISTING CONDITIONS, THE CONSTRUCTION / UPGRADE OF EXISTING WALLS AND CEILING.
- ABANDONED AREAS THESE AREAS TO BE ACCESSED FOR MAINTENANCE REASONS ONLY. THESE SPACES ARE BEING SPRINKLERED AND ARE TIED INTO THE NEW FIRE ALARM SYSTEM.

#### AREA MAP - NOT TO SCALE



NOTE: INFORMATION CONTAINED HEREIN HAS BEEN PROVIDED FOR LIMITED ORIGINAL CONSTRUCTION DOCUMENTS. THE REVISIONS OF THE ATTACHED DOCUMENTS AND ANY ACTUAL FIELD CONDITIONS. THE CONTRACTOR AND ALL ASSOCIATED PERSONNEL SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL EXISTING CONDITIONS.

Project:  
**WESTIN  
EASTLAND PARK  
HOTEL RENOVATION**  
FOR  
**ROCKBRIDGE CAPITAL, LLC.**  
157 HIGH STREET  
PORTLAND, ME

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#### COVER SHEET & PROJECT INFORMATION

Job Number: 11009  
Scale: NONE  
Drawn: IP  
Checked: ARR  
Date: 03-16-2012

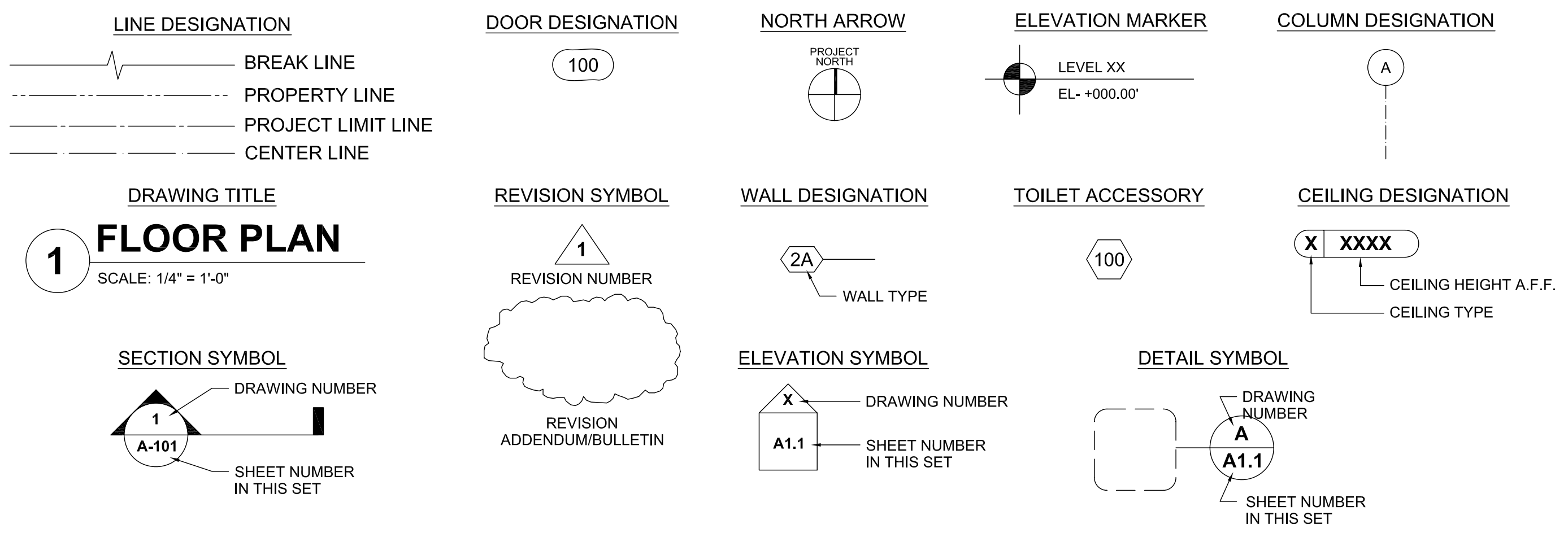
**G-000**

PERMIT SET - RELEASED FOR CONSTRUCTION

ABBREVIATIONS

ACT.	ACOUSTICAL CEILING TILE	E.I.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM	JT.	JOINT	REQD.	REQUIRED
ADJ.	ADJACENT			LAM.	LAMINATE	RES.	RESILIENT
A.F.F.	ABOVE FINISH FLOOR	E.J.	EXPANSION JOINT	M.O.	MASONRY OPENING	RM.	ROOM
ALT.	ALTERNATE	ELEC.	ELECTRICITY	MACH.	MACHINE	R.O.	ROUGH OPENING
ALUM	ALUMINUM	ELEV.	ELEVATOR	MANUF.	MANUFACTURE / MANUFACTURER	S.C.	SOLID CORE
APPROX.	APPROXIMATE	E.O.S.	EDGE OF SLAB			S.F.	SQUARE FEET
ARCH.	ARCHITECT	E.Q.	EQUAL	MAX.	MAXIMUM	SHT.	SHEET
BD.	BOARD	EXIST.	EXISTING	MECH.	MECHANICAL	SIM.	SIMILAR
BLDG.	BUILDING	EXP.	EXPANSION	MIN. or MN.	MINIMUM	ST.	STAIR
C.A.	CLEAR ANODIZED	EXT.	EXTERIOR	MISC.	MISCELLANEOUS	STD.	STANDARD
CEM.	CEMENT	F.D.	FLOOR DRAIN	MNT.	MOUNT, or MOUNTED	STG.	STAGGER
CER.	CERAMIC	F.E.	FIRE EXTINGUISHER	N.T.L.	METAL	STL.	STEEL
C.G.	CORNER GUARD	F.E.C.	FIRE EXTINGUISHER CABINET	N.I.C.	NOT IN CONTRACT	STOR.	STORAGE
C.J.	CONTROL JOINT	F.H.C.	FIRE HOSE CABINET	NO.	NUMBER	STRUCT.	STRUCTURE
CLG.	CEILING	FIN.	FINISH	NOM.	NOMINAL	SUSP.	SUSPENDED
C.M.U.	CONCRETE MASONRY UNIT	FL.	FLOOR	N.S.F.S.	NEAR SIDE AND FAR SIDE	T.O.S.	TOP OF STEEL
C.F.M.F.	COLD FORMED METAL FRAMING	F.O.B.	FACE OF BRICK	N.T.S.	NOT TO SCALE	TEL.	TELEPHONE
		F.O.S.	FACE OF STUD	O.C.	ON CENTER	THK.	THICKNESS
		F.R.P.	FIBERGLASS REINFORCED PANEL	OD.	OUTSIDE DIAMETER	TYP.	TYPICAL
COL.	COLUMN			O.F.C.I.	OWNER FURNISHED	U.O.N. or U.N.O.	UNLESS OTHERWISE NOTED
CONC.	CONCRETE					UTIL.	UTILITY
CONT.	CONTINUOUS	F.R.T.	FIRE RETARDENT TREATED			V.C.T.	VINYL COMPOSITION TILE
CORR.	CORRIDOR	F.S.	FLOOR SINK	OPP.	OPPOSITE	VERT.	VERTICAL
C.S.M.U.	CALCIUM SILICATE MASONRY UNIT	GALV.	GALVANIZED	O.R.D.	OVERFLOW ROOF DRAIN	V.W.C.	VINYL WALL COVERING
C.T.	CERAMIC TILE	GW.B.	GYPSUM WALL BOARD	P.L. or PLAM	PLASTIC LAMINATE	W.C.	WATER CLOSET
DET.	DETAIL	GYP.	GYPSUM	PLYWD.	PLYWOOD	WD.	WOOD
DF.	DRINKING FOUNTAIN	HGT.	HEIGHT	PNT.	PAINT	W.P.	WATER PROOFING
DIA.	DIAMETER	HORIZ.	HORIZONTAL	P.T.	PRESSURE TREATED	WT.	WEIGHT
DN.	DOWN	HR.	HOUR	Q.T.	QUARRY TILE	W.W.F.	WELDED WIRE FABRIC
D.S.	DOWN SPOUT	ID.	INSIDE DIAMETER	RAD.	RADIUS	W.	WITH
DWG.	DRAWING	INSUL.	INSULATION	R.D.L.	ROOF DRAIN LEADER	W/O	WITHOUT
EA.	EACH	JST.	JOIST	REINF.	REINFORCEMENT		

SYMBOL LEGEND



GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH APPLICABLE CODES, ORDINANCES, AND REGULATIONS. ALL NECESSARY LICENSES, GENERAL CERTIFICATES, ETC. REQUIRED BY AUTHORITY HAVING JURISDICTION SHALL BE PROCURED AND PAID FOR BY THE GENERAL CONTRACTOR.
2. DEMOLITION TECHNIQUES, PROCEDURES, SEQUENCING AND SCHEDULING ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
3. ALL PENETRATIONS IN RATED CONSTRUCTION ARE TO BE SEALED WITH APPROPRIATE MATERIALS OR OTHERWISE REQUIRED BY INSPECTORS OR APPLICABLE CODES AND ORDINANCES.
4. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AT THE JOB SITE PRIOR TO BIDDING THE PROJECT. NO CLAIMS FOR EXTRA COMPENSATION FOR WORK WHICH COULD HAVE BEEN FORESEEN BY AN INSPECTION WHETHER SHOWN ON THE CONTRACT DOCUMENTS OR NOT WILL BE ACCEPTED OR PAID FOR.
5. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING DIMENSIONS AND CONDITIONS AT THE JOB SITE WHICH COULD AFFECT THE WORK UNDER THIS CONTRACT. ALL MANUFACTURERS' RECOMMENDED SPECIFICATIONS, EXCEPT THOSE SPECIFICATIONS HEREIN WHERE MORE STRINGENT, SHALL BE COMPLIED WITH.
6. DO NOT SCALE THE DRAWINGS. DIMENSIONS ARE TO THE FACE OF FINISHED ELEMENTS UNLESS NOTED OTHERWISE. CRITICAL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR WITH THE ARCHITECT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEANUP OF ALL TRADES AND REMOVE ALL DEBRIS FROM THE CONSTRUCTION SITE. AT THE COMPLETION OF PROJECT, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE BUILDING AND SITE TO NEW CONDITION.
8. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING DEMOLITION AGAINST DAMAGE, BREAKAGE, COLLAPSE, ETC., ACCORDING TO APPLICABLE CODES, STANDARDS, AND AS PER NORMAL CONSTRUCTION PRACTICES.
9. THE CONTRACTOR SHALL MEET ALL OSHA REQUIREMENTS FOR ALL INSTALLATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING CONSTRUCTION AND REPAIR ALL DAMAGES TO NEW CONSTRUCTION STANDARDS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DAMAGE TO THE BUILDING SITE OR ADJACENT STRUCTURES AROUND THE PROJECT.
11. THE CONTRACTOR SHALL MODIFY THE EXISTING FLOORS, WALL, CEILING, AND OTHER CONSTRUCTION AS REQUIRED TO GAIN ACCESS TO AREAS FOR ALL MECHANICAL, PLUMBING, ELECTRICAL, OR STRUCTURAL MODIFICATIONS. WHERE THE EXISTING CONSTRUCTION, DOORS, PARTITIONS, CEILINGS, ETC. ARE TO BE REMOVED, MODIFIED, REARRANGED, OR WHERE THE EXPOSED OR HIDDEN MECHANICAL, ELECTRICAL, OR OTHER SYSTEMS ARE ADDED OR MODIFIED, THE GENERAL CONTRACTOR SHALL REPAIR, PATCH, AND MATCH ALL EXISTING CONSTRUCTION AND FINISHES OF ALL FLOORS, WALLS, AND CEILINGS.
12. WHERE MASONRY CONSTRUCTION IS MODIFIED, THE CONTRACTOR SHALL TOOTH IN ALL NEW CONSTRUCTION TO MATCH THE EXISTING BOND. WHERE CONCRETE CONSTRUCTION IS MODIFIED, THE CONTRACTOR SHALL VERIFY THE EXACT DETAILS TO BE USED FOR CONSTRUCTION. ALL WORK SHALL BE COVERED UNDER THE GENERAL CONTRACT.
13. ALL ABBREVIATIONS, MATERIALS AND SYMBOLS IN LEGENDS MAY OR MAY NOT BE USED.

DEMOLITION NOTES

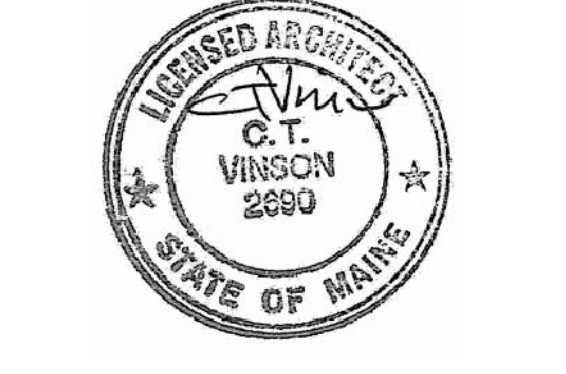
1. DEMO WORK ON EXTERIOR WALLS TO BE COMPLETED AFTER BUILDING IS DRIED IN AND CONDITIONED ENVIRONMENTALLY.
2. PROVIDE A TEMPORARY SEALED DUST PARTITION DOOR WHERE ACCESS IS REQUIRED. PROVIDE A METAL DOOR WITH GLASS LITE AND FRAME. PROVIDE 4" HIGH STRIP OF RUBBER BASE AT DOOR BOTTOM AS SEAL STRIP. PROVIDE 2X4 TO SERVE AS A SEAL AT BASE OF DOOR. PROVIDE BUTTS AND LATCH TO KEEP DOOR CLOSED AND SEALED.
3. AIR DISTRIBUTION SYSTEM PROTECTION. REGISTERS SHALL HAVE 1" THICK THROW AWAY FILTERS WITH JOINTS SEALED IF REMAINING IN SERVICE DURING CONSTRUCTION. IN EXISTING PARTITIONS AND CEILINGS THESE SHALL BE COVERED WITH FILTER AIRGARD, PLEATED TYPE "DP" 2-400 MAX. 2" THICK. JOINTS AND EDGES SEALED. RETURN AIR FILTERS AT EXISTING EQUIPMENT SHOULD BE CHANGED A MINIMUM OF ONCE A WEEK AS WELL AS MONITORED DAILY.
4. SEE GENERAL NOTES AND PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
5. ALL DEMOLITION PROCEDURE SHALL FOLLOW NFPA 241, NFPA CHAPTER 16 AND PORTLAND CITY ORDINANCES CHAPTER 10 STANDARDS FOR SAFEGUARDING CONSTRUCTION, ALTERATIONS, AND DEMOLITION OPERATIONS 2009 EDITION.
6. PROTECT ALL AREAS FROM CONSTRUCTION DUST.
7. NOTIFY IMMEDIATELY THE G.C. AND THE STRUCTURAL ENGINEER IN THE EVENT OF FINDING ANY MASONRY OR TERRAZCOTTA WALL DURING THE DEMOLITION PROCESS AT ANY FLOOR LEVEL.

PHASING NOTES

1. THE LOCATION AND PROTECTION OF ALL UTILITIES ABOVE AND UNDERGROUND ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
2. THE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNERS WHEN ACCESS THROUGH THESE OWNERS' PROPERTIES IS REQUIRED.
3. THE OWNERS MAY HAVE OTHER CONSTRUCTION WORK AND MODIFICATIONS BEING CONDUCTED DURING THE BUILDING CONSTRUCTION PROCESS. THE CONTRACTOR SHALL COORDINATE AND FACILITATE THESE CONSTRUCTION PROJECTS AS REQUIRED.

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C-1	ALTA/ACSM SURVEY	03-15-12		
LIFE SAFETY PLANS FOR DEMOLITION				
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DLS-101	DEMOLITION LIFE SAFETY PLANS GROUND PLAN & MEZZANINE LEVELS	03-15-12		
DLS-102	DEMOLITION LIFE SAFETY PLANS GUESTROOM LEVELS	03-15-12		
DLS-103	DEMOLITION LIFE SAFETY PLANS GUESTROOM LEVELS & TOTE	03-15-12		
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AD-100	GROUND LEVEL DEMOLITION PLAN	03-15-12		
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AD-107	11TH LEVEL DEMOLITION PLAN	03-15-12		
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AD-109	TOP OF THE EAST DEMOLITION PLAN	03-15-12		
STRUCTURAL - SUPPLEMENTAL			ISSUE DATE	REVISION DATE NO.
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DETAILS				
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S103	LOW ROOF FRAMING PLAN	03-15-12		
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S1-PI	POOL INFILL & DEMO PLAN NOTES & DETAILS	03-15-12		



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NOTE: THE DRAWINGS CONTAINED HEREIN HAVE BEEN PROVIDED TO THE CONTRACTOR AND ALL ASSOCIATED FIELD CONDITIONS. THE CONTRACTOR AND ALL ASSOCIATED FIELD CONDITIONS SHALL VERIFY THE ACCURACY OF ALL INFORMATION AND CONDITIONS OF THE ATTACHED DOCUMENTS AND ALL ASSOCIATED FIELD CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL EXISTING CONDITIONS.

Project:  
 WESTIN EASTLAND PARK HOTEL RENOVATION FOR ROCKBRIDGE CAPITAL, LLC.  
 157 HIGH STREET PORTLAND, ME

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Sheet Title: INDEX OF DRAWINGS, LEGENDS & NOTES

Job Number:	11009
Scale:	NONE
Drawn:	IP
Checked:	ARR
Date:	03-16-2012
PERMIT SET - RELEASED FOR CONSTRUCTION	



**CODE ANALYSIS:**  
 APPLICABLE CODES:  
 2009 INTERNATIONAL BUILDING CODE (IBC)  
 2009 INTERNATIONAL EXISTING BUILDING CODE (IEBC)  
 NFPA 101 LIFE SAFETY CODE, EDITION 2009

**A. FIRE CONSTRUCTION PROTECTION REQUIREMENTS:**  
 -BUILDING TYPE: IA, FULLY SPRINKLED; VB, FULLY SPRINKLED-AS INDICATED ON DRAWINGS  
 STRUCTURAL FRAME 3H REDUCED TO 1H WHEN SUPPORTS ROOF ABOVE ONLY  
 FLOOR CONSTRUCTION 2H, PROTECTED STRUCTURE  
 ROOF CONSTRUCTION 1 1/2H  
 -BUILDING USE: OCCUPANCY GROUP R-1,  
 A-2, (BALLROOM, DINING)  
 A-3, (MEETING)

**B. CITY OF PORTLAND DESIGN CRITERIA**  
 GROUND SNOW LOAD 30 PSF  
 WIND SPEED 100-120 MPH BASED ON 3 SEC. GUST  
 SEISMIC DESIGN CATEGORY B  
 WINTER DESIGN TEMP 7 DEGREE F.  
 AIR FREEZING INDEX 532  
 ICE BARRIER UNDERLAYMENT REQUIRED NO  
 ACCUMULATED SNOW LEVEL 12"

**IBC COMPLIANCE:**

**C. COMMON PATH OF TRAVEL: LSC TABLE A.7.6.1**  
 ASSEMBLY SPRINKLED: 20' > 50 PERSONS, OR 75' < 50 PERSONS.  
 BUSINESS SPRINKLED: 100 FEET  
 HOTELS (NEW) SPRINKLED: 50 FEET

**D. MAXIMUM TRAVEL DISTANCES: LSC TABLE A.7.6.1**  
 ASSEMBLY SPRINKLED: 200 FT.  
 BUSINESS SPRINKLED: 300 FT  
 HOTELS R-1 SPRINKLED: 325 FT.

**E. OCCUPANT LOAD: LSC TABLE 7.3.1.2 (IBC TABLE 1004.1.2)**  
 OCCUPANT LOAD WILL VARY DURING THE DEMOLITION PHASE THROUGHOUT THE PROPERTY. ACTUAL EXIT CAPACITY WILL BE MAINTAINED DURING THE DEMOLITION PHASE. THE AMOUNT OF WORKERS PERFORMING DEMOLITION WORK SHALL BE BELOW THE EXIT CAPACITY AT ANY GIVEN TIME DURING THIS PHASE.

**F. EXIT WIDTH: LSC TABLE 7.2.2.2(A) AND CHAPTER 14**

- CORRIDORS / AISLES WIDTH: 44" MIN; 36 IN. (<50 OCCUP.) (IBC 1004.3.2.2)
- STAIRS/ RAMP WIDTH: 44" MIN; 36 IN. (<50 OCCUP.). (IBC 1003.2.13.2 REQUIRES A MINIMUM OF 48" CLEAR WIDTH FOR NON-SPRINKLED BUILDINGS)
- ASSEMBLY AISLE WIDTH FOR SEATING: REFER TO LSC CHAPTER 12.
- HEADROOM: 7'-6" WITH PROJECTIONS FROM THE CEILING AT LEAST 6'-8" NOMINAL HEIGHT ABOVE FLOOR. (IBC 1003.2.4 LIMITS CEILING HEIGHT WITHIN MEANS OF EGRESS TO 7'-0")
- STAIR HEADROOM: 6'-8" MEASURED VERTICALLY ABOVE A PLANE PARALLEL TO AND TANGENT WITH THE MOST FORWARD PROJECTION OF THE TREAD. (IBC 1003.3.3.2)

**G. CAPACITY OF MEANS OF EGRESS: LSC TABLE 7.3.3.1**  
 STAIRS: 0.300" INCH OF CLEAR WIDTH PER PERSON  
 PASSAGEWAYS, RAMPS, AND DOORWAYS: 0.20" INCH OF CLEAR WIDTH PER PERSON.

**H. ELEVATOR**  
 EMERGENCY SIGNS SHALL BE POSTED ADJACENT TO EACH ELEVATOR PER ADA AND IBC CHAPTER 30 REQUIREMENTS.  
 SERVICE ELEVATOR TO ACCOMMODATE AMBULANCE STRETCHER. PER SECTION 3002.4

**1003.3.1, IBC HEADROOM:** PROTRUDING OBJECTS ARE PERMITTED TO EXTEND BELOW THE MINIMUM CEILING HEIGHT REQUIRED BY SECTION 1003.2 PROVIDED A MINIMUM HEADROOM OF 80 INCHES (2032 MM) SHALL BE PROVIDED FOR ANY WALKING SURFACE, INCLUDING WALKS, CORRIDORS, AISLES AND PASSAGEWAYS. NOT MORE THAN 50 PERCENT OF THE CEILING AREA OF A MEANS OF EGRESS SHALL BE REDUCED IN HEIGHT BY PROTRUDING OBJECTS.  
 EXCEPTION: DOOR CLOSERS AND STOPS SHALL NOT REDUCE HEADROOM TO LESS THAN 78 INCHES (1981 MM).  
 A BARRIER SHALL BE PROVIDED WHERE THE VERTICAL CLEARANCE IS LESS THAN 80 INCHES (2032 MM) HIGH. THE LEADING EDGE OF SUCH A BARRIER SHALL BE LOCATED 27 INCHES (686 MM) MAXIMUM ABOVE THE FLOOR.

**1007.6.4, IBC INSTRUCTIONS:** IN AREAS OF REFUGE THAT HAVE A TWO-WAY EMERGENCY COMMUNICATIONS SYSTEM, INSTRUCTIONS ON THE USE OF THE AREA UNDER EMERGENCY CONDITIONS SHALL BE POSTED ADJOINING THE COMMUNICATIONS SYSTEM. THE INSTRUCTIONS SHALL INCLUDE ALL OF THE FOLLOWING:  
 1. DIRECTIONS TO FIND OTHER MEANS OF EGRESS.  
 2. PERSONS ABLE TO USE THE EXIT STAIRWAY DO SO AS SOON AS POSSIBLE, UNLESS THEY ARE ASSISTING OTHERS.  
 3. INFORMATION ON PLANNED AVAILABILITY OF ASSISTANCE IN THE USE OF STAIRS OR SUPERVISED OPERATION OF ELEVATORS AND HOW TO SUMMON SUCH ASSISTANCE.  
 4. DIRECTIONS FOR USE OF THE EMERGENCY COMMUNICATIONS SYSTEM.

**1110.2, IBC DIRECTIONAL SIGNAGE:** DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST LIKE ACCESSIBLE ELEMENT SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:  
 1. INACCESSIBLE BUILDING ENTRANCES.  
 2. ELEVATORS NOT SERVING AN ACCESSIBLE ROUTE.  
 3. AT EXITS AND ELEVATORS SERVING A REQUIRED ACCESSIBLE SPACE, BUT NOT PROVIDING AN APPROVED ACCESSIBLE MEANS OF EGRESS, SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1007.23.

**NOTE:**  
 THE ABOVE INFORMATION PROVIDED IS INTENDED AS A BASIC/GENERAL REFERENCE AS PER THE CORRESPONDING APPLICABLE CODES FOR THE PROJECT. G.C. IS RESPONSIBLE FOR VERIFYING THE APPLICABLE CODES REGARDING DEMOLITION SAFETY PRACTICES TO ENSURE COMPLIANCE AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION.

Issue Dates:  
 MARCH 16, 2012  
 ISSUE FOR PERMIT

**WESTIN**  
 HOTELS & RESORTS

ROCKBRIDGE CAPITAL

**NEW CASTLE HOTELS & RESORTS**

CONTRACTOR  
**IDC**  
 IDC CONSTRUCTION, LLC

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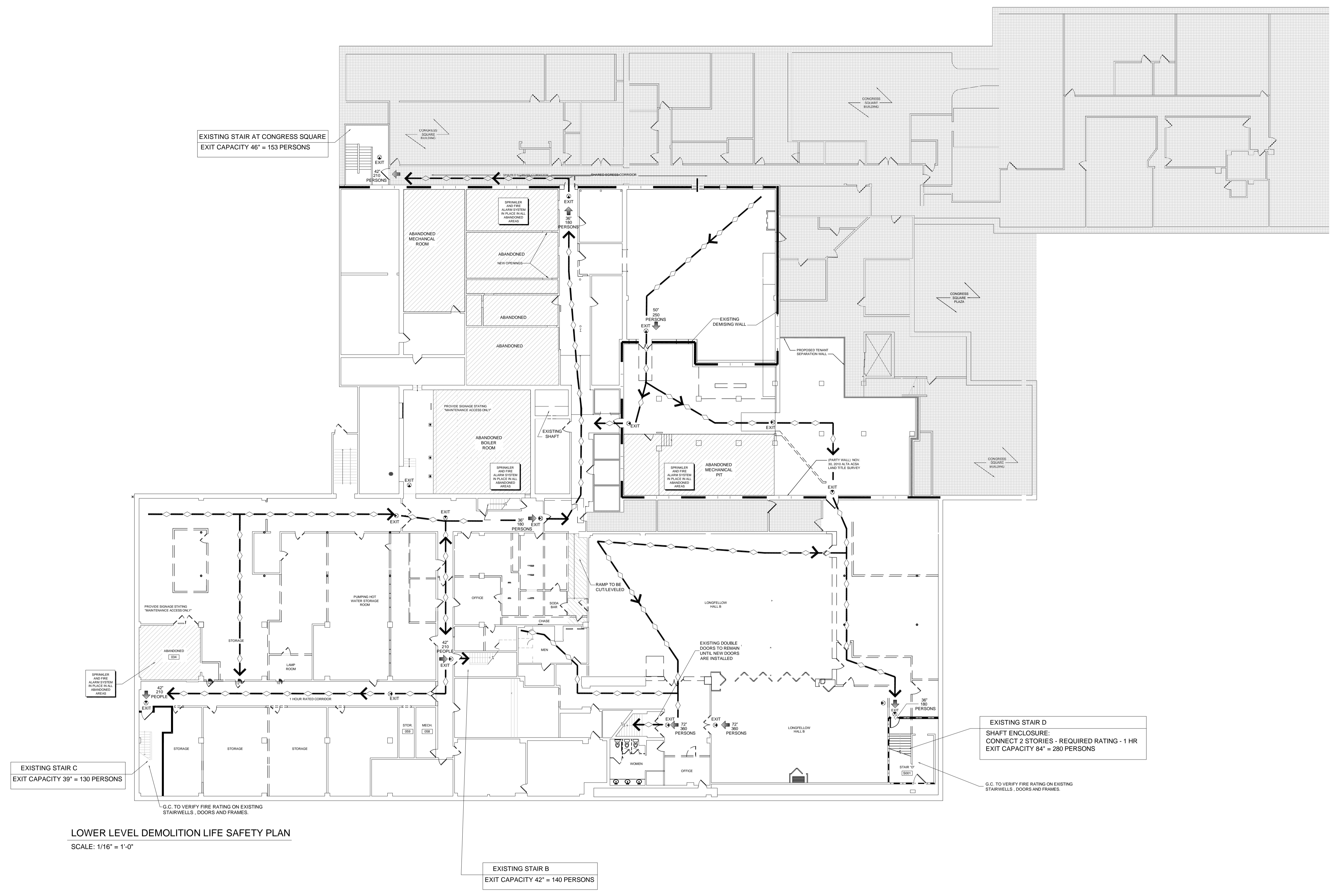
Project:  
**WESTIN EASTLAND PARK HOTEL RENOVATION**  
 FOR  
**ROCKBRIDGE CAPITAL, LLC.**  
 157 HIGH STREET  
 PORTLAND, ME

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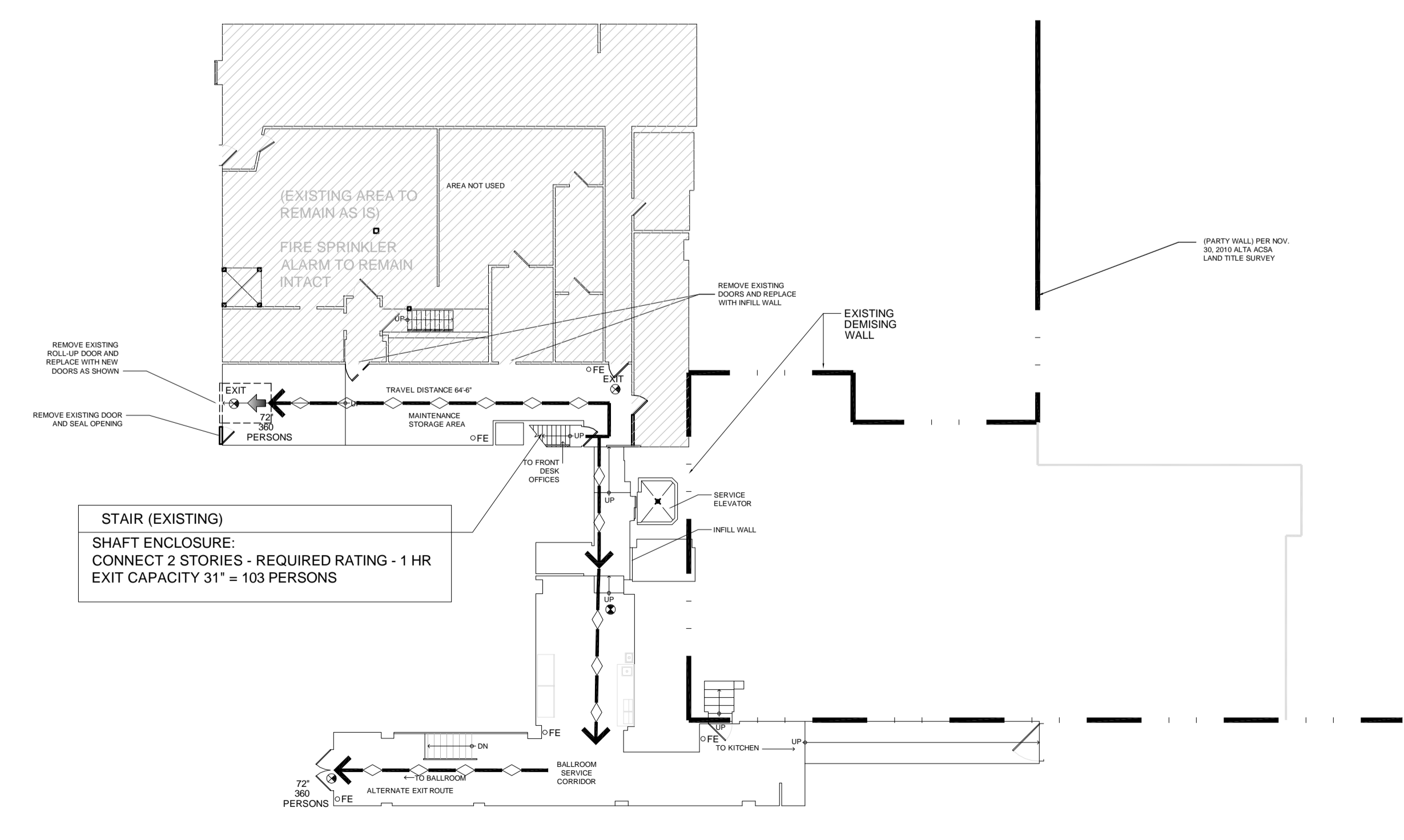
Sheet Title:  
**DEMOLITION LIFE SAFETY PLANS LOWER & SUB-GROUND LVL.**

Job Number: 11009  
 Scale: 1/16" = 1'-0"  
 Drawn: JP  
 Checked: AR  
 Date: 03-16-2012

PERMIT SET - RELEASED FOR CONSTRUCTION



**LOWER LEVEL DEMOLITION LIFE SAFETY PLAN**  
 SCALE: 1/16" = 1'-0"



**SUB-GROUND LEVEL DEMOLITION LIFE SAFETY PLAN**  
 SCALE: 1/16" = 1'-0"

**LEGEND**

TO BE DEMOLISHED: [Symbol]

ONE HOUR WALL: [Symbol]

TWO HOUR WALL: [Symbol]

PATH OF TRAVEL: [Symbol]

DEMISING WALL: [Symbol]

**NOTES:**

- FIRE ALARM SYSTEMS WILL REMAIN OPERATIONAL AT ALL TIMES, IN THE EVENT OF HAVING TO DISCONNECT. PROPER COORDINATION BETWEEN FIRE DEPARTMENT AND/OR ANY OTHER AGENCY HAVING JURISDICTION SHALL BE MADE PRIOR TO PROCEEDING IN ACCORDANCE WITH NFPA 2009, CHAPTER 16 SECTION 16.4.4.
- THE SPRINKLER SYSTEM SHALL BE OPERATIONAL AT ALL TIMES IN ACCORDANCE WITH NFPA 2009, CHAPTER 16 SECTION 16.5.
- A MINIMUM OF ONE FIRE EXTINGUISHER SHALL BE PROVIDED FOR ENCLOSED AREAS SUBJECT FOR ALL CLASSIFICATION OF FIRES, IN ACCORDANCE WITH NFPA 2009, CHAPTER 241 SECTION 4.3.4 AND 7.7.
- SMOKING SHALL BE PROHIBITED THROUGHOUT THE DEMOLITION AREAS IN ACCORDANCE WITH NFPA 2009, CHAPTER 241 SECTION 10.4
- G.C. TO SUBMIT A TRASH CHUTE SAFETY PLAN FOR APPROVAL PRIOR TO THE DEMOLITION PROCESS. CONSTRUCTION SHALL BE NON-COMBUSTIBLE OR SPRINKLER PROTECTED.
- ALL STAIRS SHALL REMAIN PROTECTED AND AVAILABLE FOR EMERGENCY EGRESS AT ALL TIMES.



**CODE ANALYSIS:**  
APPLICABLE CODES:  
2009 INTERNATIONAL BUILDING CODE (IBC)  
2009 INTERNATIONAL EXISTING BUILDING CODE (IEBC)  
NFPA 101 LIFE SAFETY CODE, EDITION 2009

**A. FIRE CONSTRUCTION PROTECTION REQUIREMENTS:**  
- BUILDING TYPE: IA, FULLY SPRINKLED; VB, FULLY SPRINKLED-AS INDICATED ON DRAWINGS  
- STRUCTURAL FRAME: 3H REDUCED TO 1H WHEN SUPPORTS ROOF ABOVE ONLY  
- FLOOR CONSTRUCTION: 2H1 PROTECTED STRUCTURE  
- ROOF CONSTRUCTION: 1 1/2H  
- BUILDING USE: OCCUPANCY GROUP R-1,  
A-2, (BALLROOM, DINING)  
A-3, (MEETING)

**B. CITY OF PORTLAND DESIGN CRITERIA**  
GROUND SNOW LOAD: 30 PSF  
WIND SPEED: 100-120 MPH BASED ON 3 SEC. GUST  
SEISMIC DESIGN CATEGORY: B  
WINTER DESIGN TEMP: 1 DEGREE F.  
AIR FREEZING INDEX: 532  
ICE BARRIER UNDERLAYMENT REQUIRED: NO  
ACCUMULATED SNOW LEVEL: 12"

**IBC COMPLIANCE:**

**C. COMMON PATH OF TRAVEL:** LSC TABLE A.7.6.1  
ASSEMBLY SPRINKLED: 20' x 50 PERSONS, OR 75' x 50 PERSONS.  
BUSINESS SPRINKLED: 100 FEET  
HOTELS (NEW) SPRINKLERED: 50 FEET

**D. MAXIMUM TRAVEL DISTANCES:** LSC TABLE A.7.6.1  
ASSEMBLY SPRINKLERED: 200 FT.  
BUSINESS SPRINKLERED: 300 FT.  
HOTELS R-1 SPRINKLERED: 325 FT.

**E. OCCUPANT LOAD:** LSC TABLE 7.3.1.2 (IBC TABLE 1004.1.2)  
OCCUPANT LOAD WILL VARY DURING THE DEMOLITION PHASE THROUGHOUT THE PROPERTY. ACTUAL EXIT CAPACITY WILL BE MAINTAINED DURING THE DEMOLITION PHASE. THE AMOUNT OF WORKERS PERFORMING DEMOLITION WORK SHALL BE BELOW THE EXIT CAPACITY AT ANY GIVEN TIME DURING THIS PHASE.

**F. EXIT WIDTH:** LSC TABLE 7.2.2.2(A) AND CHAPTER 14

- CORRIDORS / AISLES WIDTH: 44" MIN; 36" IN (-50 OCCUP.) (IBC 1004.3.2.2)
- STAIRS / RAMPS WIDTH: 44" MIN; 36" IN (-50 OCCUP.). (IBC 1003.2.13.2) REQUIRES A MINIMUM OF 48" CLEAR WIDTH FOR NON-SPRINKLERED BUILDINGS.
- ASSEMBLY AISLE WIDTH FOR SEATING: REFER TO LSC CHAPTER 12.
- HEADROOM: 7'-0" WITH PROJECTIONS FROM THE CEILING AT LEAST 6'-8" NOMINAL HEIGHT ABOVE FLOOR. (IBC 1003.2.4 LIMITS CEILING HEIGHT WITHIN MEANS OF EGRESS TO 7'-0")
- STAIR HEADROOM: 6'-8" MEASURED VERTICALLY ABOVE A PLANE PARALLEL TO AND TANGENT WITH THE MOST FORWARD PROJECTION OF THE TREAD. (IBC 1003.3.3.2)

**G. CAPACITY OF MEANS OF EGRESS:** LSC TABLE 7.3.3.1

STAIRS: 0.300" INCH OF CLEAR WIDTH PER PERSON  
PASSAGEWAYS, RAMPS, AND DOORWAYS: 0.20" INCH OF CLEAR WIDTH PER PERSON.

**H. ELEVATOR**  
EMERGENCY SIGNS SHALL BE POSTED ADJACENT TO EACH ELEVATOR PER ADA AND IBC CHAPTER 30 REQUIREMENTS.  
SERVICE ELEVATOR TO ACCOMMODATE AMBULANCE STRETCHER. PER SECTION 3002.4

1003.3.1. IBC HEADROOM: PROTRUDING OBJECTS ARE PERMITTED TO EXTEND BELOW THE MINIMUM CEILING HEIGHT REQUIRED BY SECTION 1003.2 PROVIDED A MINIMUM HEADROOM OF 80 INCHES (2032 MM) SHALL BE PROVIDED FOR ANY WALKING SURFACE, INCLUDING WALKS, CORRIDORS, AISLES AND PASSAGEWAYS. NOT MORE THAN 50 PERCENT OF THE CEILING AREA OF A MEANS OF EGRESS SHALL BE REDUCED IN HEIGHT BY PROTRUDING OBJECTS.  
EXCEPTION: DOOR CLOSERS AND STOPS SHALL NOT REDUCE HEADROOM TO LESS THAN 78 INCHES (1981 MM).  
A BARRIER SHALL BE PROVIDED WHERE THE VERTICAL CLEARANCE IS LESS THAN 80 INCHES (2032 MM) HIGH. THE LEADING EDGE OF SUCH A BARRIER SHALL BE LOCATED 27 INCHES (686 MM) MAXIMUM ABOVE THE FLOOR.

1007.6.4. IBC INSTRUCTIONS: IN AREAS OF REFUGE THAT HAVE A TWO-WAY EMERGENCY COMMUNICATIONS SYSTEM, INSTRUCTIONS ON THE USE OF THE AREA UNDER EMERGENCY CONDITIONS SHALL BE POSTED ADJOINING THE COMMUNICATIONS SYSTEM. THE INSTRUCTIONS SHALL INCLUDE ALL OF THE FOLLOWING:  
1. DIRECTIONS TO FIND OTHER MEANS OF EGRESS  
2. PERSONS ABLE TO USE THE EXIT STAIRWAY DO SO AS SOON AS POSSIBLE, UNLESS THEY ARE ASSISTING OTHERS.  
3. INFORMATION ON PLANNED AVAILABILITY OF ASSISTANCE IN THE USE OF STAIRS OR SUPERVISED OPERATION OF ELEVATORS AND HOW TO SUMMON SUCH ASSISTANCE.  
4. DIRECTIONS FOR USE OF THE EMERGENCY COMMUNICATIONS SYSTEM.

1110.2. IBC DIRECTIONAL SIGNAGE: DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST LIKE ACCESSIBLE ELEMENT SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:  
1. INACCESSIBLE BUILDING ENTRANCES.  
2. ELEVATORS NOT SERVING AN ACCESSIBLE ROUTE.  
3. AT EXITS AND ELEVATORS SERVING A REQUIRED ACCESSIBLE SPACE, BUT NOT PROVIDING AN APPROVED ACCESSIBLE MEANS OF EGRESS, SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1007.23.

**NOTE:**  
THE ABOVE INFORMATION PROVIDED IS INTENDED AS A BASIC/GENERAL REFERENCE AS PER THE CORRESPONDING APPLICABLE CODES FOR THE PROJECT. G.C. IS RESPONSIBLE FOR VERIFYING THE APPLICABLE CODES REGARDING DEMOLITION SAFETY PRACTICES TO ENSURE COMPLIANCE AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION.

Issue Dates:  
MARCH 16, 2012  
ISSUE FOR PERMIT



CONTRACTOR  
**IDC**  
IDC CONSTRUCTION, LLC

NOTE: ALL INFORMATION CONTAINED HEREIN HAS BEEN PROVIDED FROM LIMITED ORIGINAL CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE APPLICABLE CODES REGARDING DEMOLITION SAFETY PRACTICES TO ENSURE COMPLIANCE AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION.

Project:

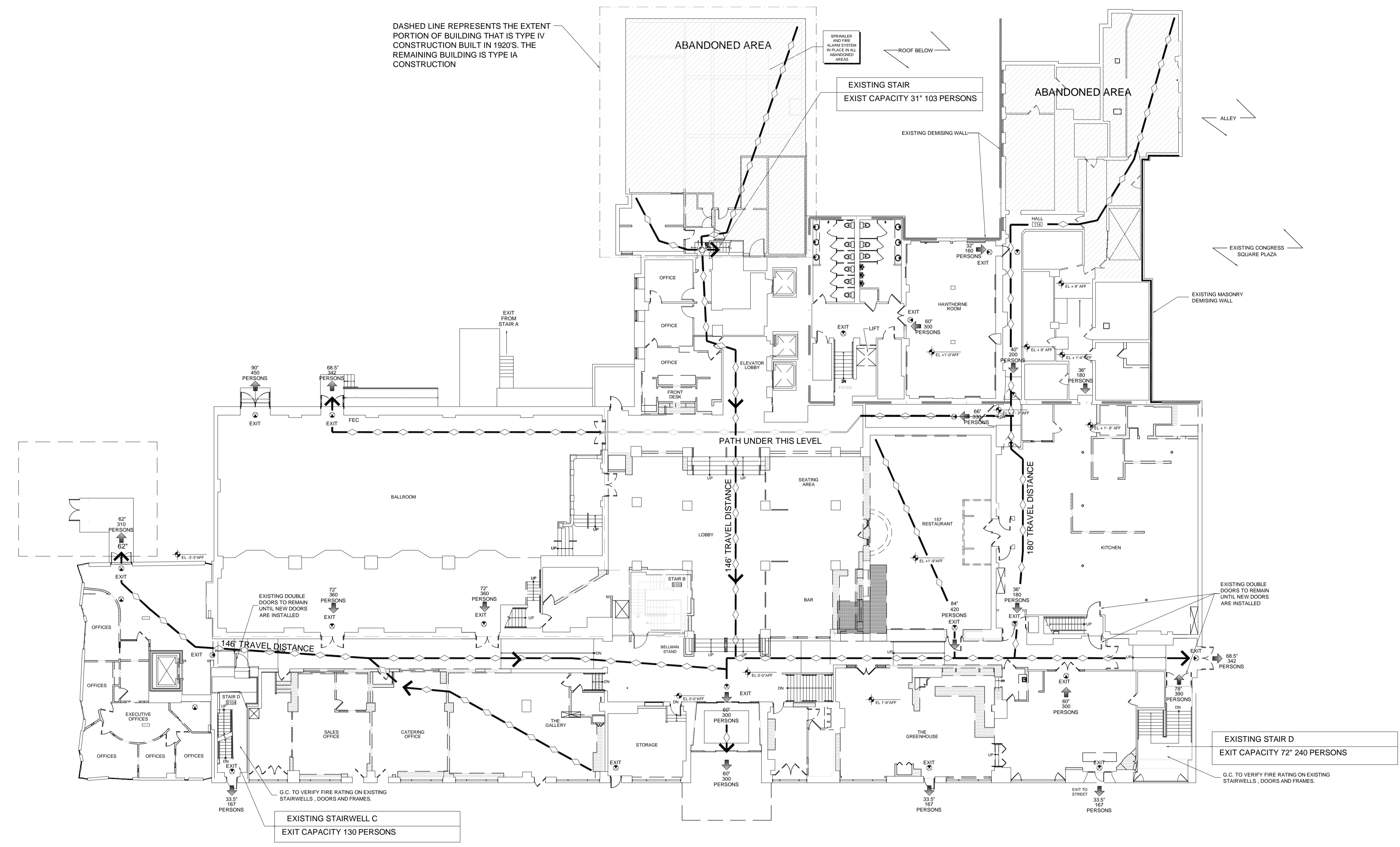
**WESTIN  
EASTLAND PARK  
HOTEL RENOVATION  
FOR  
ROCKBRIDGE CAPITAL, LLC.  
157 HIGH STREET  
PORTLAND, ME**

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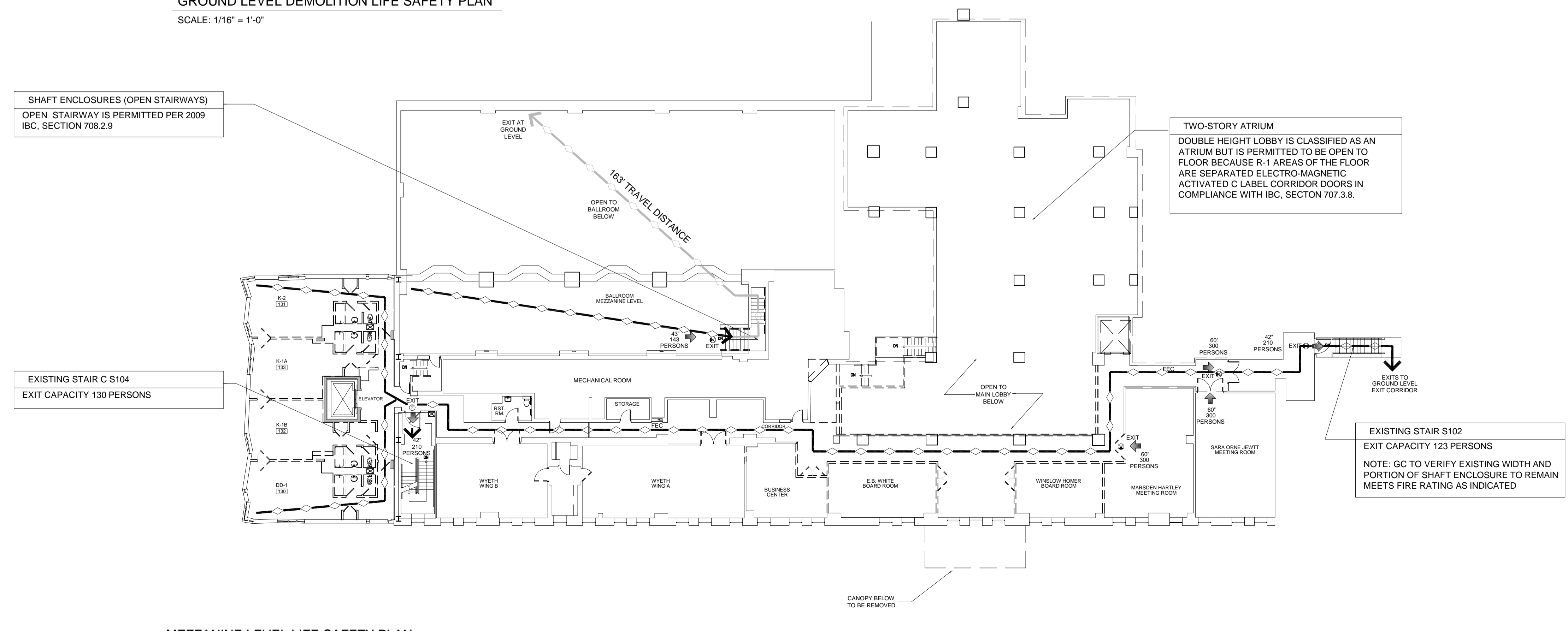
Sheet Title:

**DEMOLITION  
LIFE SAFETY  
PLANS GROUND &  
MEZZANINE LVLS.**

Job Number: 11009  
Scale: 1/16" = 1'-0"  
Drawn: IP  
Checked: AR  
Date: 03-16-2012  
PERMIT SET - RELEASED FOR CONSTRUCTION



**GROUND LEVEL DEMOLITION LIFE SAFETY PLAN**  
SCALE: 1/16" = 1'-0"



**MEZZANINE LEVEL LIFE SAFETY PLAN**  
SCALE: 1/16" = 1'-0"

**LEGEND**

TO BE DEMOLISHED	---
ONE HOUR WALL	— — — — —
TWO HOUR WALL	— — — — —
PATH OF TRAVEL	— — — — —
DEMISING WALL	— — — — —

- NOTES:**
- FIRE ALARM SYSTEMS WILL REMAIN OPERATIONAL AT ALL TIMES. IN THE EVENT OF HAVING TO DISCONNECT, PROPER COORDINATION BETWEEN FIRE DEPARTMENT AND/OR ANY OTHER AGENCY HAVING JURISDICTION SHALL BE MADE PRIOR TO PROCEEDING. IN ACCORDANCE WITH NFPA 2009, CHAPTER 16 SECTION 16.4.4.
  - THE SPRINKLER SYSTEM SHALL BE OPERATIONAL AT ALL TIMES IN ACCORDANCE WITH NFPA 2009, CHAPTER 16 SECTION 16.5.
  - A MINIMUM OF ONE FIRE EXTINGUISHER SHALL BE PROVIDED FOR ENCLOSED AREAS SUITABLE FOR ALL CLASSES OF FIRES. IN ACCORDANCE WITH NFPA 2009, CHAPTER 241 SECTION 4.3.4 AND 7.7.
  - SMOKING SHALL BE PROHIBITED THROUGHOUT THE DEMOLITION AREAS IN ACCORDANCE WITH NFPA 2009, CHAPTER 241 SECTION 10.4.
  - G.C. TO SUBMITT A TRASH CHUTE SAFETY PLAN FOR APPROVAL PRIOR TO THE DEMOLITION PROCESS. CONSTRUCTION SHALL BE NON-COMBUSTIBLE OR SPRINKLER PROTECTED.
  - ALL STAIRS SHALL REMAIN PROTECTED AND AVAILABLE FOR EMERGENCY EGRESS AT ALL TIMES.

**CODE ANALYSIS:**  
APPLICABLE CODES:  
2009 INTERNATIONAL BUILDING CODE (IBC)  
2009 INTERNATIONAL EXISTING BUILDING CODE (IEBC)  
NFPA 101 LIFE SAFETY CODE, EDITION 2009

**A. FIRE CONSTRUCTION PROTECTION REQUIREMENTS:**  
DRAWINGS  
- BUILDING TYPE: IA, FULLY SPRINKLED; VB, FULLY SPRINKLED-AS INDICATED ON DRAWINGS  
STRUCTURAL FRAME 3H REDUCED TO 1H WHEN SUPPORTS ROOF ABOVE ONLY  
FLOOR CONSTRUCTION 2H, PROTECTED STRUCTURE  
ROOF CONSTRUCTION 1 1/2H  
- BUILDING USE: OCCUPANCY GROUP R-1,  
A-2, (BALLROOM, DINING)  
A-3, (MEETING)

**B. CITY OF PORTLAND DESIGN CRITERIA**  
GROUND SNOW LOAD 30 PSF  
WIND SPEED 100-120 MPH BASED ON 3 SEC. GUST  
SEISMIC DESIGN CATEGORY B  
WINTER DESIGN TEMP 1 DEGREE F.  
AIR FREEZING INDEX 532  
ICE BARRIER UNDERLAYMENT REQUIRED NO ACCUMULATED SNOW LEVEL 12"

**IBC COMPLIANCE:**

**C. COMMON PATH OF TRAVEL:** LSC TABLE A.7.6.1  
ASSEMBLY SPRINKLED: 20' > 50 PERSONS, OR 75' < 50 PERSONS.  
BUSINESS SPRINKLED: 100 FEET  
HOTELS (NEW) SPRINKLED: 50 FEET

**D. MAXIMUM TRAVEL DISTANCES:** LSC TABLE A.7.6.1  
ASSEMBLY SPRINKLED: 200 FT.  
BUSINESS SPRINKLED: 300 FT.  
HOTELS R-1 SPRINKLED: 325 FT.

**E. OCCUPANT LOAD:** LSC TABLE 7.3.1.2 (IBC TABLE 1004.1.2)  
OCCUPANT LOAD WILL VARY DURING THE DEMOLITION PHASE THROUGHOUT THE PROPERTY. ACTUAL EXIT CAPACITY WILL BE MAINTAINED DURING THE DEMOLITION PHASE. THE AMOUNT OF WORKERS PERFORMING DEMOLITION WORK SHALL BE BELOW THE EXIT CAPACITY AT ANY GIVEN TIME DURING THIS PHASE.

**F. EXIT WIDTH:** LSC TABLE 7.2.2.2(A) AND CHAPTER 14  
1. CORRIDORS / AISLES WIDTH: 44" MIN; 36 IN. (<50 OCCUP.) (IBC 1004.3.2.2)  
2. STAIRS/ RAMP WIDTH: 44" MIN; 36 IN. (<50 OCCUP.). (IBC 1003.2.13.2 REQUIRES A MINIMUM OF 48" CLEAR WIDTH FOR NON-SPRINKLERED BUILDINGS).  
3. ASSEMBLY AISLE WIDTH FOR SEATING: REFER TO LSC CHAPTER 12  
4. HEADROOM: 7'-6" WITH PROJECTIONS FROM THE CEILING AT LEAST 6'-8" NOMINAL HEIGHT ABOVE FLOOR. (IBC 1003.2.4 LIMITS CEILING HEIGHT WITHIN MEANS OF EGRESS TO 7'-0")  
5. STAIR HEADROOM: 6'-8" MEASURED VERTICALLY ABOVE A PLANE PARALLEL TO AND TANGENT WITH THE MOST FORWARD PROJECTION OF THE TREAD. (IBC 1003.3.3.2).

**G. CAPACITY OF MEANS OF EGRESS:** LSC TABLE 7.3.3.1  
STAIRS: 0.300" INCH OF CLEAR WIDTH PER PERSON  
PASSAGEWAYS, RAMPS, AND DOORWAYS: 0.20" INCH OF CLEAR WIDTH PER PERSON.

**H. ELEVATOR**  
EMERGENCY SIGNS SHALL BE POSTED ADJACENT TO EACH ELEVATOR PER ADA AND IBC CHAPTER 30 REQUIREMENTS.  
SERVICE ELEVATOR TO ACCOMMODATE AMBULANCE STRETCHER, PER SECTION 3002.4

1003.3.1, IBC, HEADROOM. PROTRUDING OBJECTS ARE PERMITTED TO EXTEND BELOW THE MINIMUM CEILING HEIGHT REQUIRED BY SECTION 1003.2 PROVIDED A MINIMUM HEADROOM OF 80 INCHES (2032 MM) SHALL BE PROVIDED FOR ANY WALKING SURFACE, INCLUDING WALKS, CORRIDORS, AISLES AND PASSAGEWAYS. NOT MORE THAN 50 PERCENT OF THE CEILING AREA OF A MEANS OF EGRESS SHALL BE REDUCED IN HEIGHT BY PROTRUDING OBJECTS.  
EXCEPTION: DOOR CLOSERS AND STOPS SHALL NOT REDUCE HEADROOM TO LESS THAN 78 INCHES (1981 MM).  
A BARRIER SHALL BE PROVIDED WHERE THE VERTICAL CLEARANCE IS LESS THAN 80 INCHES (2032 MM) HIGH. THE LEADING EDGE OF SUCH A BARRIER SHALL BE LOCATED 27 INCHES (686 MM) MAXIMUM ABOVE THE FLOOR.

1007.6.4, IBC, INSTRUCTIONS. IN AREAS OF REFUGE THAT HAVE A TWO-WAY EMERGENCY COMMUNICATIONS SYSTEM, INSTRUCTIONS ON THE USE OF THE AREA UNDER EMERGENCY CONDITIONS SHALL BE POSTED ADJOINING THE COMMUNICATIONS SYSTEM. THE INSTRUCTIONS SHALL INCLUDE ALL OF THE FOLLOWING:  
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3. INFORMATION ON PLANNED AVAILABILITY OF ASSISTANCE IN THE USE OF STAIRS OR SUPERVISED OPERATION OF ELEVATORS AND HOW TO SUMMON SUCH ASSISTANCE.  
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1110.2, IBC, DIRECTIONAL SIGNAGE. DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST LIKE ACCESSIBLE ELEMENT SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:  
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3. AT EXITS AND ELEVATORS SERVING A REQUIRED ACCESSIBLE SPACE, BUT NOT PROVIDING AN APPROVED ACCESSIBLE MEANS OF EGRESS, SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1007.23.

**NOTE:**  
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Issue Dates:  
MARCH 16, 2012  
ISSUE FOR PERMIT

**WESTIN**  
HOTELS & RESORTS  
ROCKBRIDGE CAPITAL

NEWCASTLE HOTELS & RESORTS

CONTRACTOR  
**IDC**  
IDC CONSTRUCTION, LLC

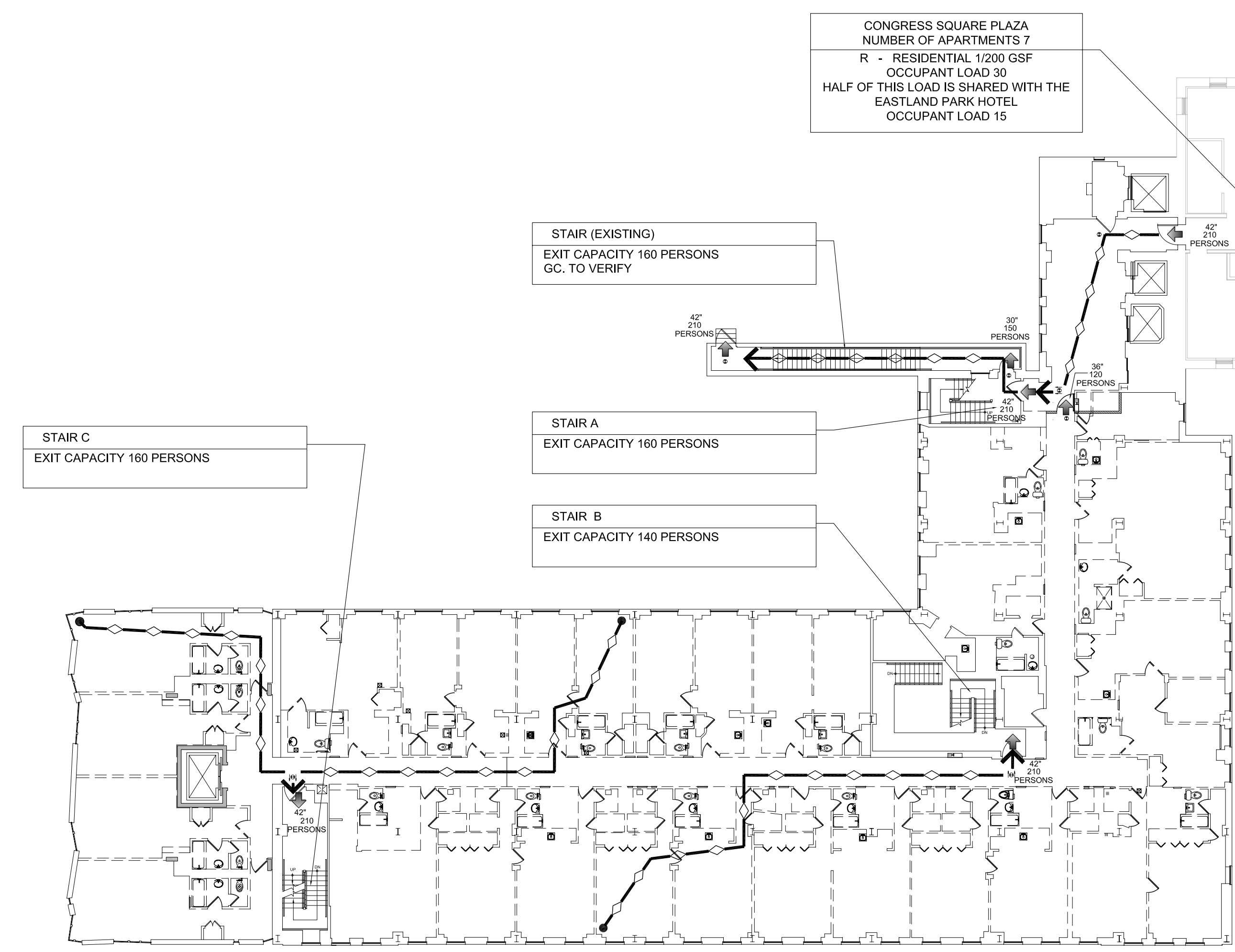
NOTE: DIMENSIONS CONTAINED HEREIN HAVE BEEN PROVIDED FROM LIMITED ORIGINAL CONSTRUCTION DOCUMENTS. THE FIELD CONDITIONS OF THE ATTACHED DOCUMENTS AND ACTUAL EXISTING CONDITIONS. THE CONTRACTOR AND ALL ASSOCIATED PERSONNEL SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL EXISTING CONDITIONS.

Project:  
**WESTIN EASTLAND PARK HOTEL RENOVATION FOR ROCKBRIDGE CAPITAL, LLC.**  
157 HIGH STREET  
PORTLAND, ME

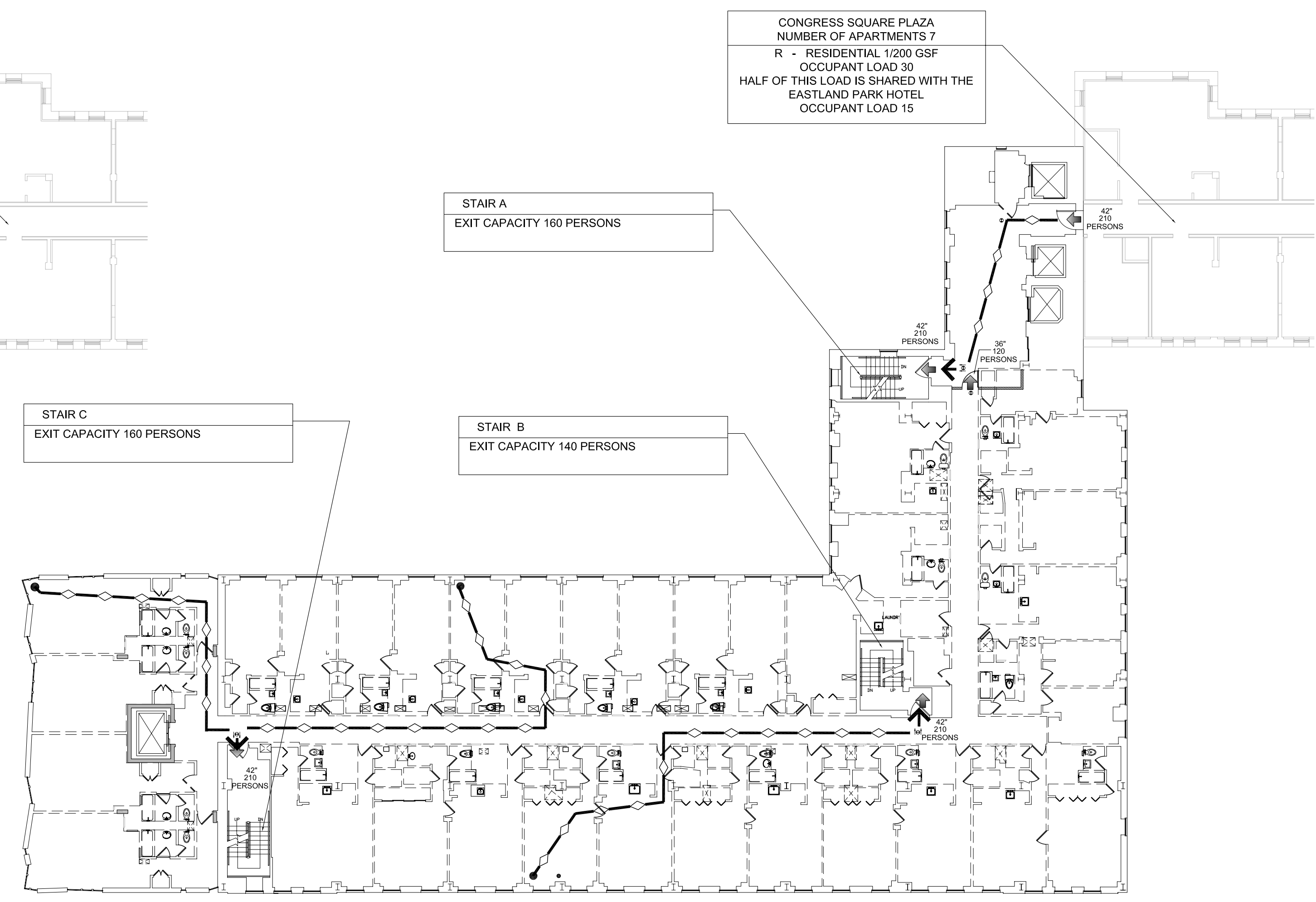
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Sheet Title:  
**DEMOLITION LIFE SAFETY PLANS GUESTROOM LEVELS**

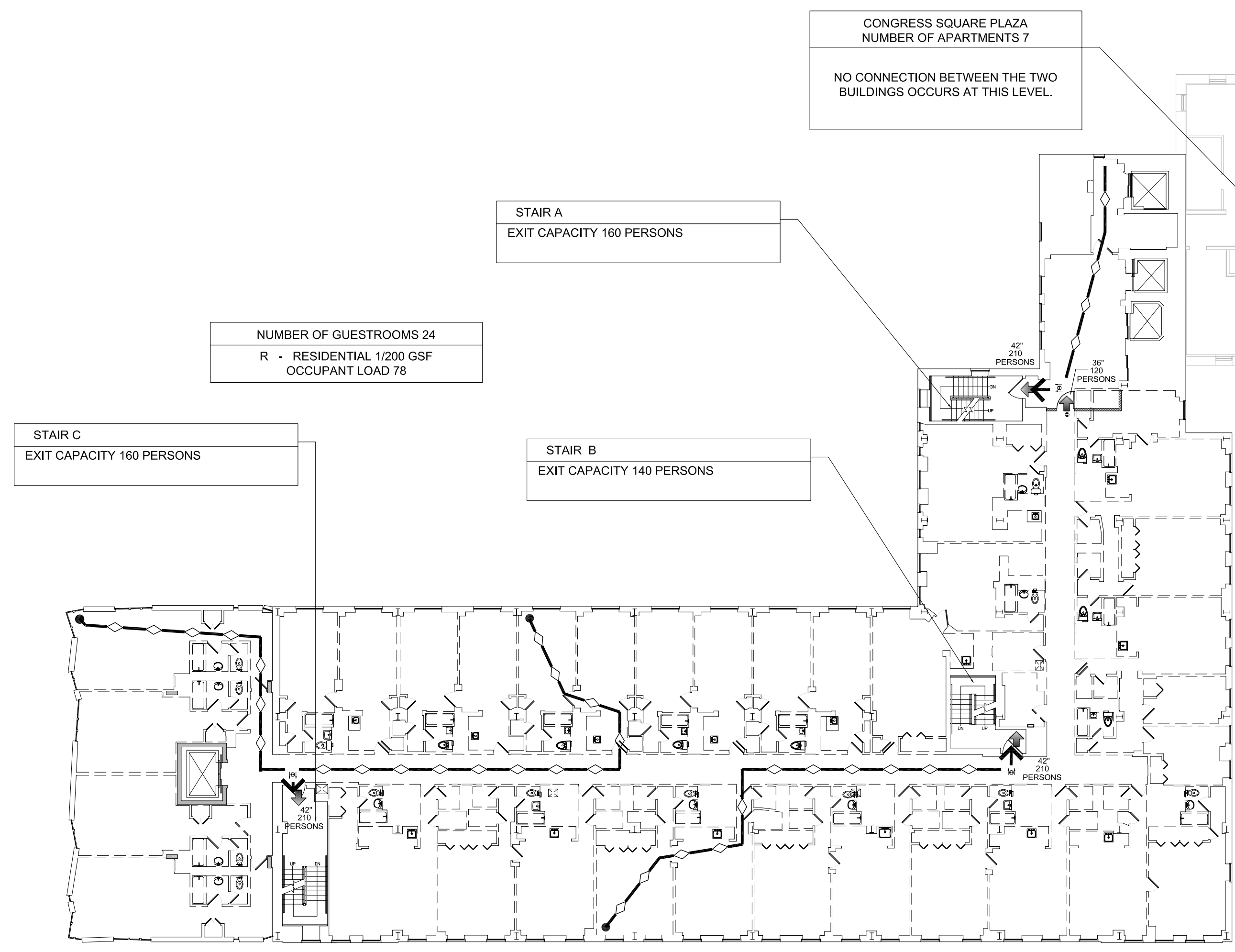
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Checked:  
Date: 03-16-2012  
PERMIT SET - RELEASED FOR CONSTRUCTION



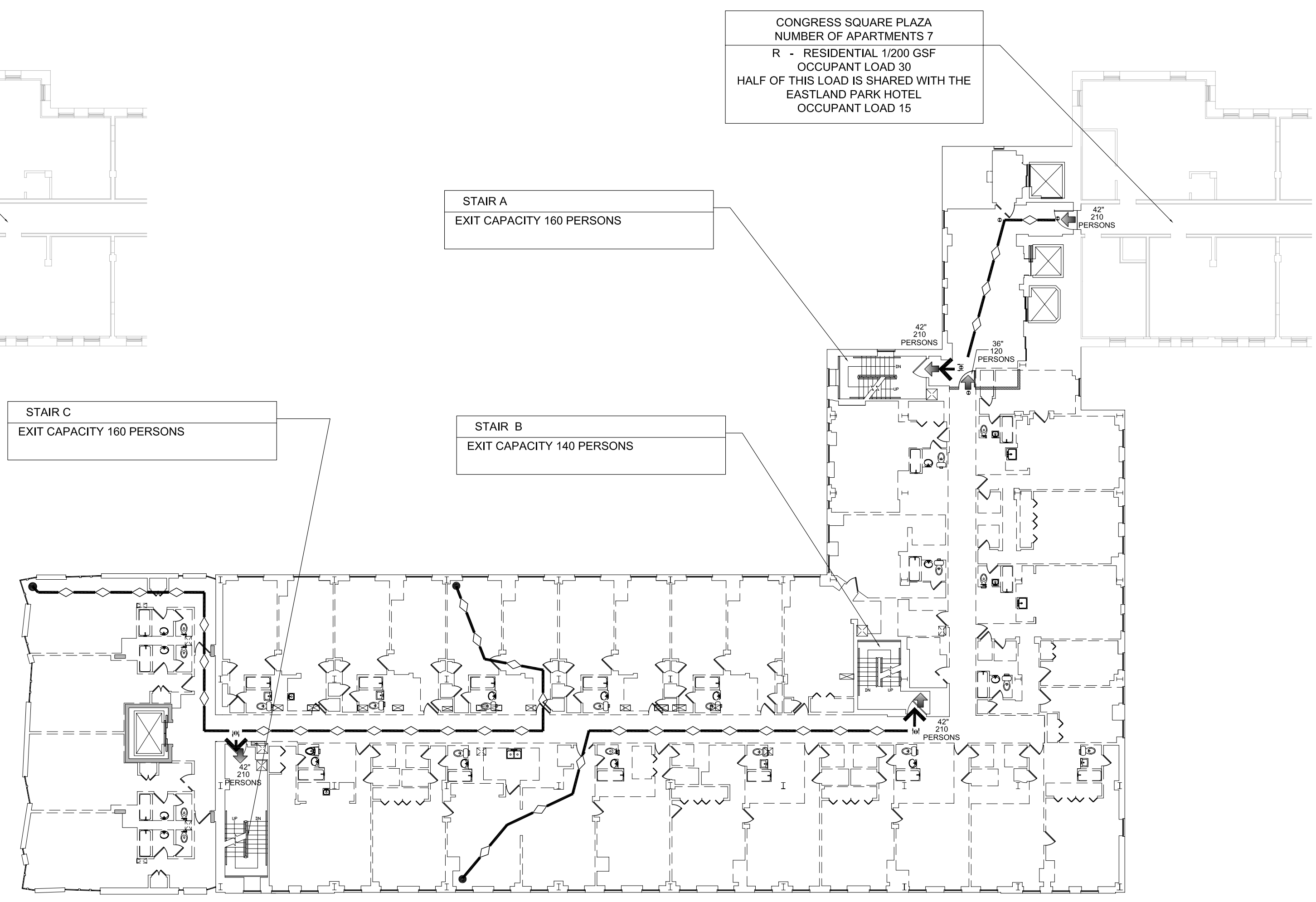
**2ND FLOOR LEVEL DEMOLITION LIFE SAFETY PLAN**  
SCALE: 1/16" = 1'-0"



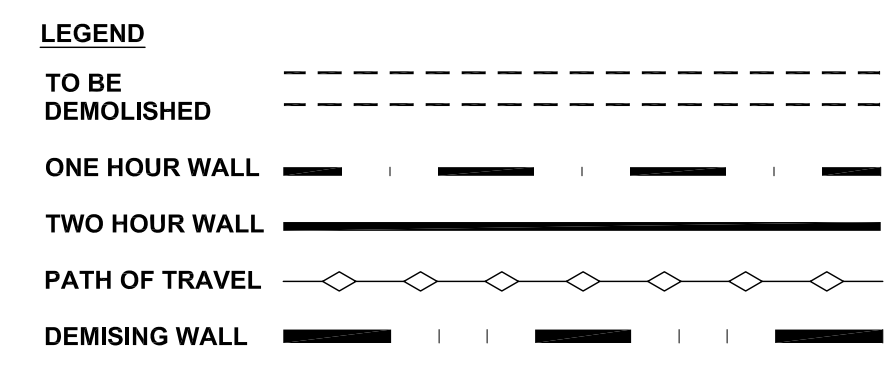
**3RD FLOOR LEVEL DEMOLITION LIFE SAFETY PLAN**  
SCALE: 1/16" = 1'-0"



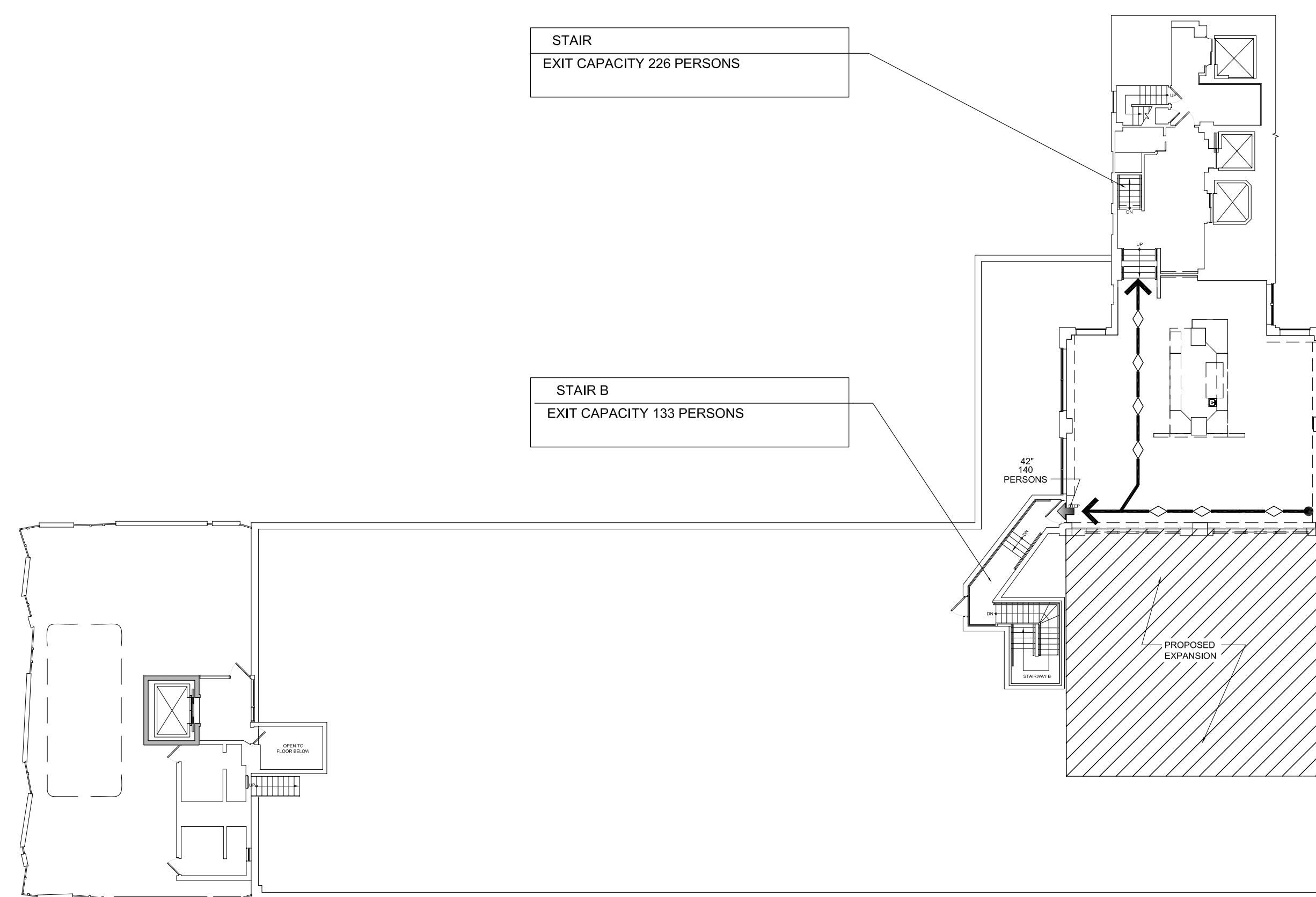
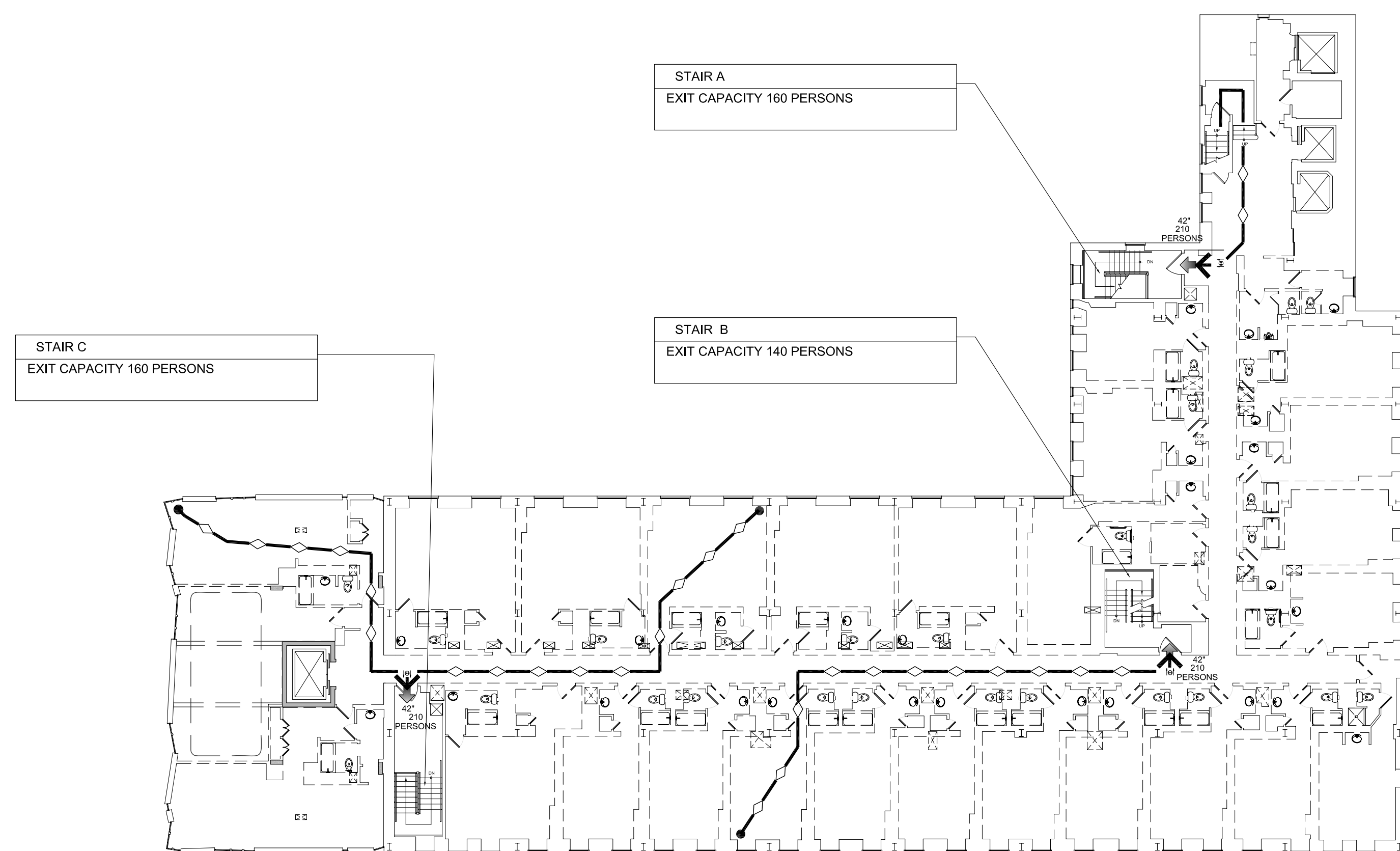
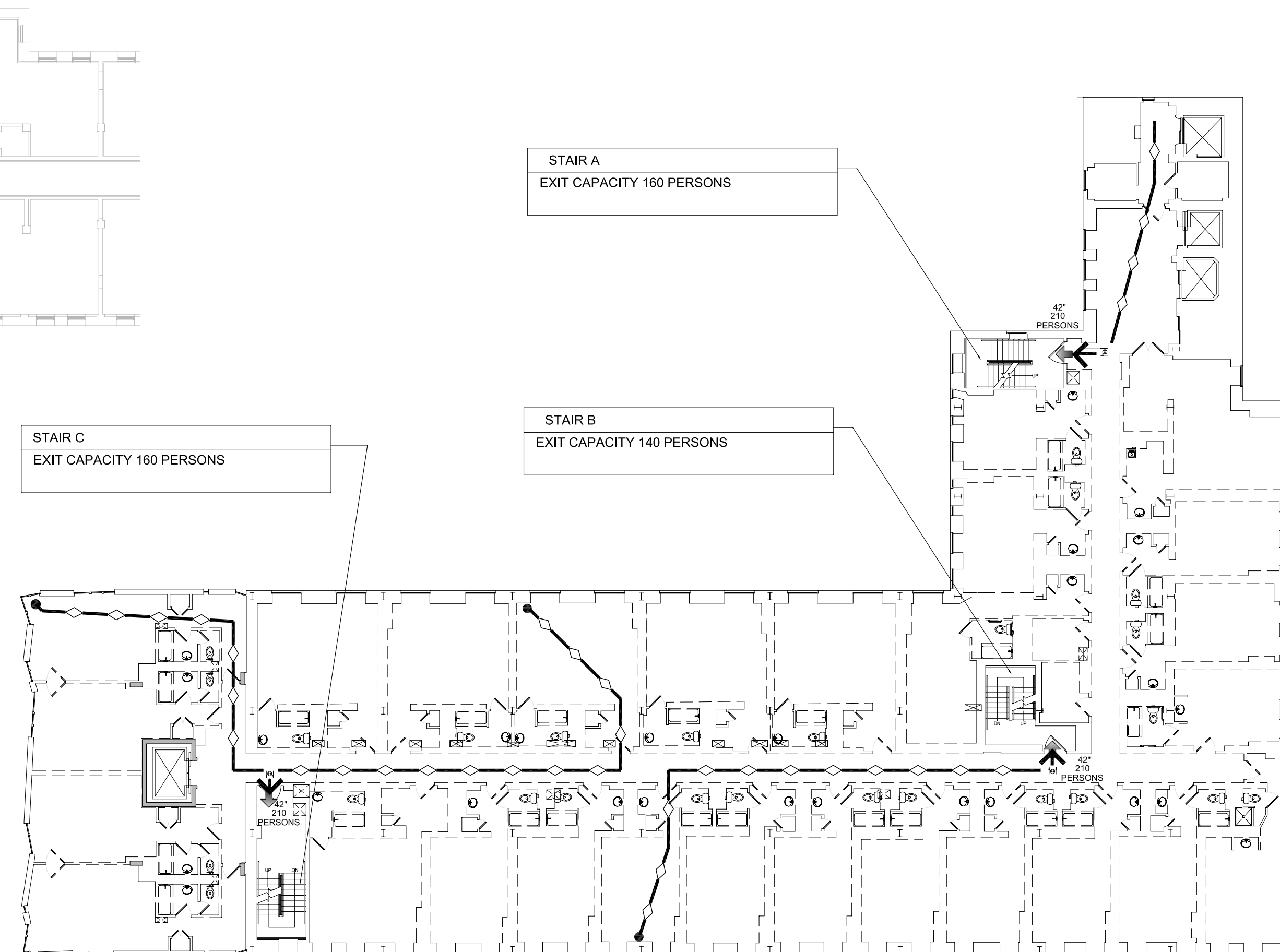
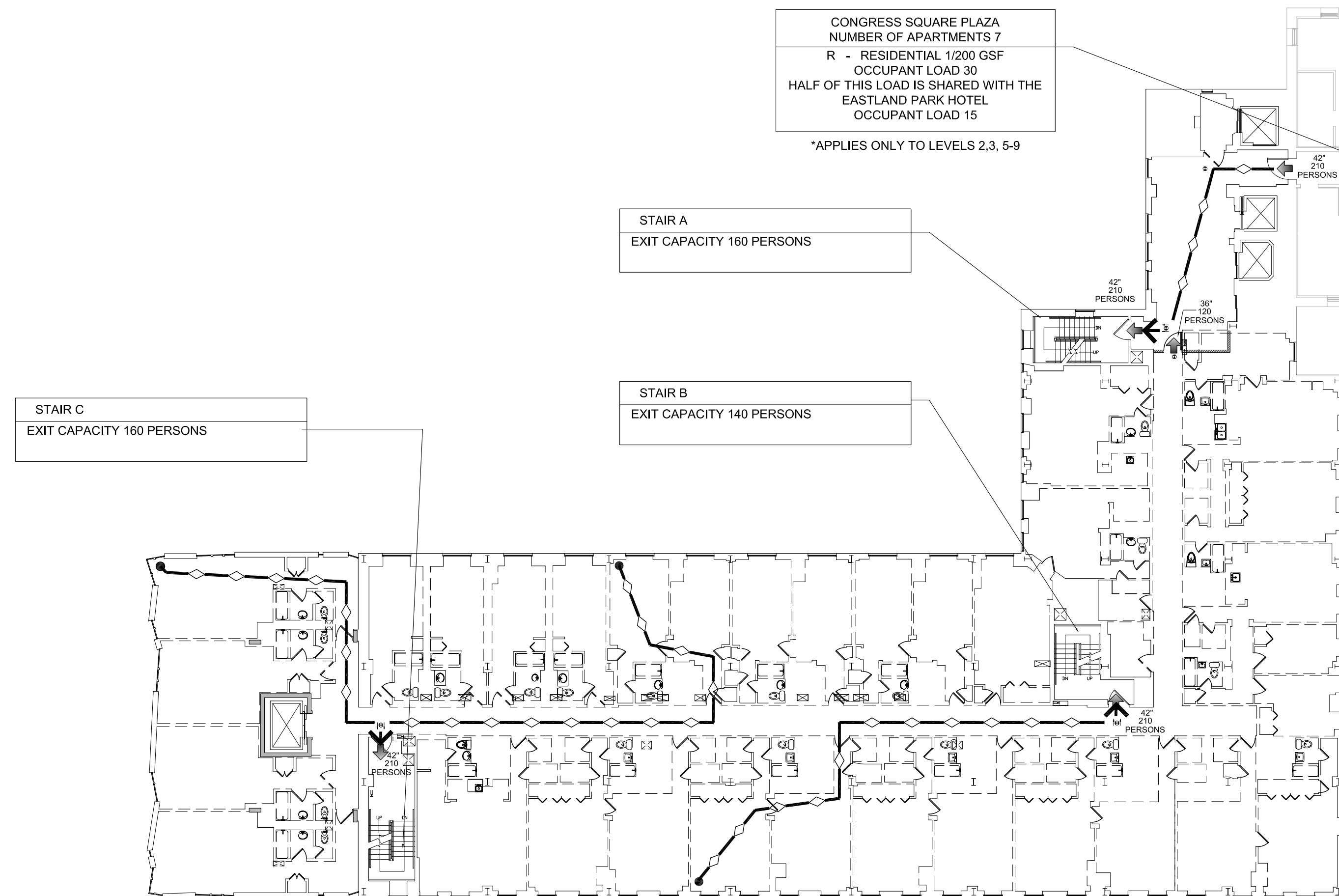
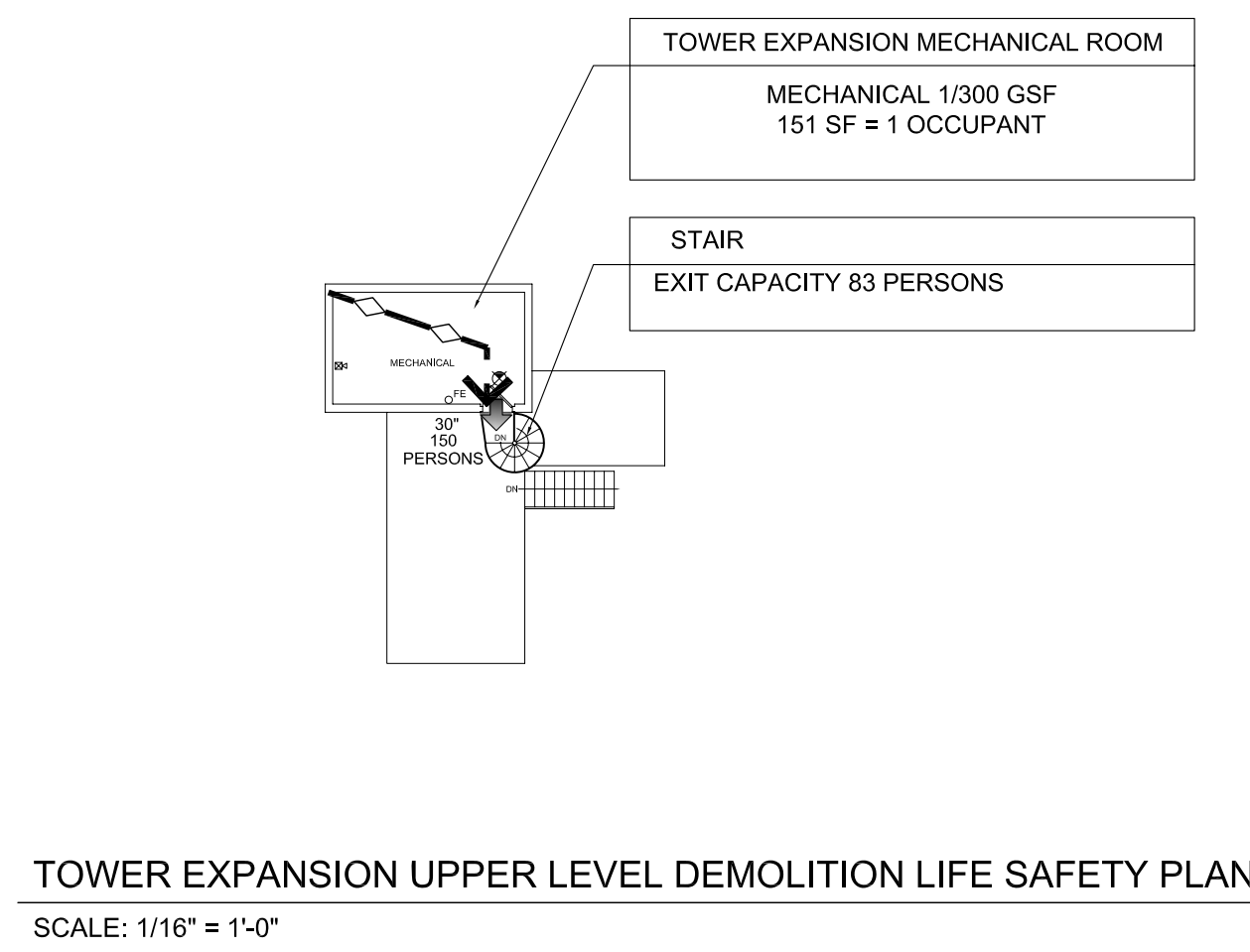
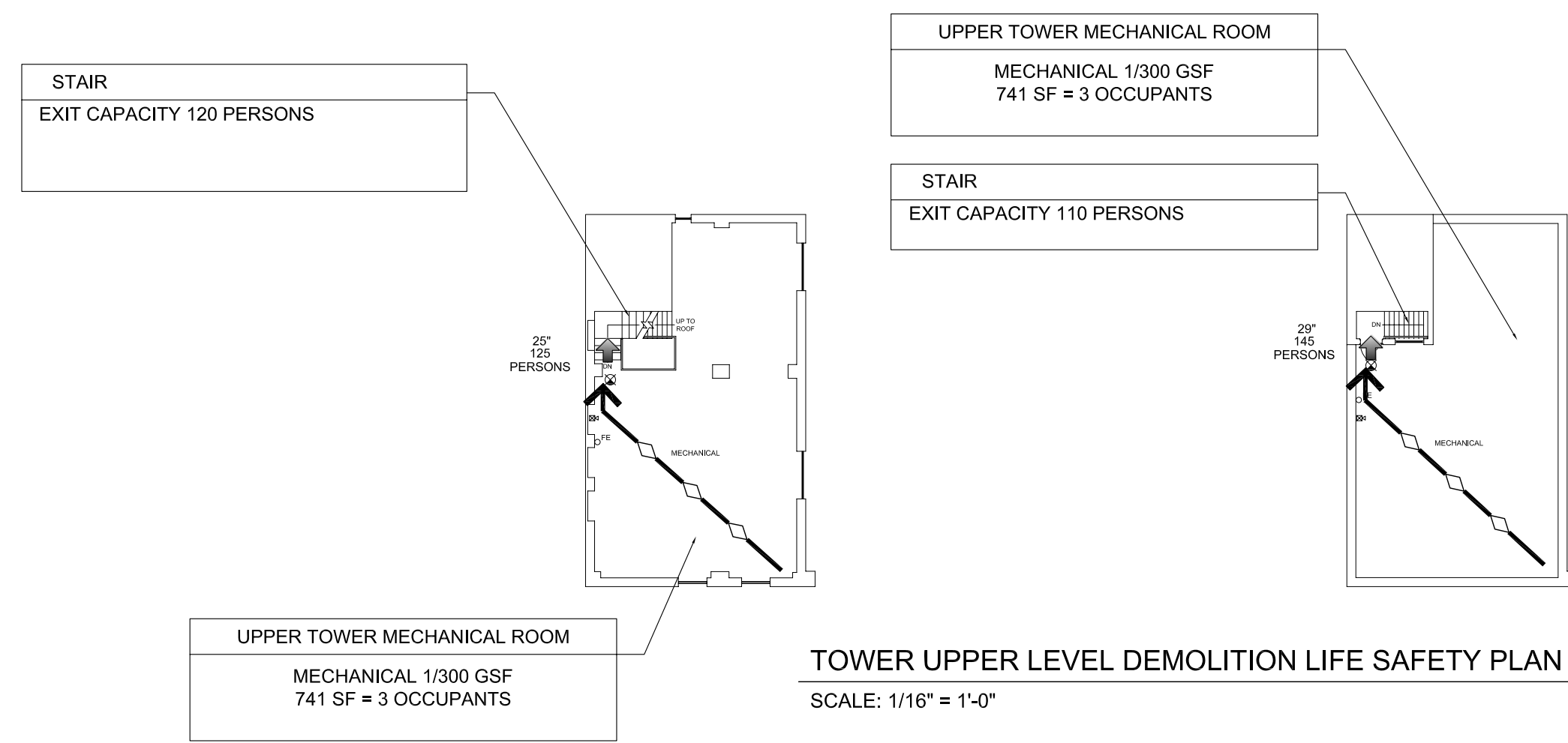
**4TH FLOOR LEVEL DEMOLITION LIFE SAFETY PLAN**  
SCALE: 1/16" = 1'-0"



**5TH, 7TH AND 9TH FLOOR LEVEL DEMOLITION LIFE SAFETY PLAN**  
SCALE: 1/16" = 1'-0"



- NOTES:**
- FIRE ALARM SYSTEMS WILL REMAIN OPERATIONAL AT ALL TIMES. IN THE EVENT OF HAVING TO DISCONNECT, PROPER COORDINATION BETWEEN FIRE DEPARTMENT AND/OR ANY OTHER AGENCY HAVING JURISDICTION SHALL BE MADE PRIOR TO PROCEEDING. IN ACCORDANCE WITH NFPA 2009, CHAPTER 16 SECTION 16.4.4.
  - THE SPRINKLER SYSTEM SHALL BE OPERATIONAL AT ALL TIMES IN ACCORDANCE WITH NFPA 2009, CHAPTER 16 SECTION 16.5
  - A MINIMUM OF ONE FIRE EXTINGUISHER SHALL BE PROVIDED FOR ENCLOSED AREAS SUITABLE FOR ALL CLASSES OF FIRES. IN ACCORDANCE WITH NFPA 2009, CHAPTER 241 SECTION 4.3.4 AND 7.7.
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  - G.C. TO SUBMITT A TRASH CHUTE SAFETY PLAN FOR APPROVAL PRIOR TO THE DEMOLITION PROCESS. CONSTRUCTION SHALL BE NON-COMBUSTIBLE OR SPRINKLER PROTECTED.
  - ALL STAIRS SHALL REMAIN PROTECTED AND AVAILABLE FOR EMERGENCY EGRESS AT ALL TIMES.



CODE ANALYSIS:  
APPLICABLE CODES:  
2009 INTERNATIONAL BUILDING CODE (IBC)  
2009 INTERNATIONAL EXISTING BUILDING CODE (IEBC)  
NFPA 101 LIFE SAFETY CODE, EDITION 2009

A. FIRE CONSTRUCTION PROTECTION REQUIREMENTS:  
DRAWINGS  
STRUCTURAL FRAME 3H REDUCED TO 1H WHEN SUPPORTS ROOF ABOVE ONLY  
FLOOR CONSTRUCTION 2H, PROTECTED STRUCTURE  
ROOF CONSTRUCTION 1 1/2H.  
BUILDING USE: OCCUPANCY GROUP R-1,  
A-2 (BALLROOM, DINING)  
A-3 (MEETING)

B. CITY OF PORTLAND DESIGN CRITERIA  
GROUND SNOW LOAD 30 PSF  
WIND SPEED 100-120 MPH BASED ON 3 SEC. GUST  
SEISMIC DESIGN CATEGORY B  
WINTER DESIGN TEMP 1 DEGREE F.  
AIR FREEZING INDEX 532  
ICE BARRIER UNDERLAYMENT REQUIRED NO  
ACCUMULATED SNOW LEVEL 12"

IBC COMPLIANCE:

C. COMMON PATH OF TRAVEL: LSC TABLE A.7.6.1  
ASSEMBLY SPRINKLERED: 20' > 50 PERSONS, OR 75' < 50 PERSONS.  
BUSINESS SPRINKLERED: 100 FEET  
HOTELS (NEW) SPRINKLERED: 50 FEET

D. MAXIMUM TRAVEL DISTANCES: LSC TABLE A.7.6.1  
ASSEMBLY SPRINKLERED: 200 FT.  
BUSINESS SPRINKLERED: 300 FT.  
HOTELS R-1 SPRINKLERED: 325 FT.

E. OCCUPANT LOAD: LSC TABLE 7.3.1.2 (IBC TABLE 1004.1.2)  
OCCUPANT LOAD WILL VARY DURING THE DEMOLITION PHASE THROUGHOUT THE PROPERTY.  
ACTUAL EXIT CAPACITY WILL BE MAINTAINED DURING THE DEMOLITION PHASE. THE AMOUNT  
OF WORKERS PERFORMING DEMOLITION WORK SHALL BE BELOW THE EXIT CAPACITY AT ANY  
GIVEN TIME DURING THIS PHASE.

F. EXIT WIDTH: LSC TABLE 7.2.2.2(A) AND CHAPTER 14

1. CORRIDORS / AISLES WIDTH: 44" MIN; 36 IN. (<50 OCCUP.) (IBC 1004.3.2.2)  
2. STAIRS / RAMPS WIDTH: 44" MIN; 36 IN. (<50 OCCUP.). (IBC 1003.2.13.2 REQUIRES A  
MINIMUM OF 48" CLEAR WIDTH FOR NON-SPRINKLERED BUILDINGS).  
3. ASSEMBLY AISLE WIDTH FOR SEATING: REFER TO LSC CHAPTER 12  
4. HEADROOM: 7'-6" WITH PROJECTIONS FROM THE CEILING AT LEAST 6'-8" NOMINAL  
HEIGHT ABOVE FLOOR. (IBC 1003.2.4 LIMITS CEILING HEIGHT WITHIN MEANS OF EGRESS  
TO 7'-0")  
5. STAIR HEADROOM: 6'-8" MEASURED VERTICALLY ABOVE A PLANE PARALLEL TO AND  
TANGENT WITH THE MOST FORWARD PROJECTION OF THE TREAD. (IBC 1003.3.3.2).

G. CAPACITY OF MEANS OF EGRESS: LSC TABLE 7.3.3.1

STAIRS: 0.300" INCH OF CLEAR WIDTH PER PERSON  
PASSAGEWAYS, RAMPS, AND DOORWAYS: 0.20" INCH OF CLEAR WIDTH PER PERSON.

H. ELEVATOR  
EMERGENCY SIGNS SHALL BE POSTED ADJACENT TO EACH ELEVATOR PER ADA AND IBC  
CHAPTER 30 REQUIREMENTS.  
SERVICE ELEVATOR TO ACCOMMODATE AMBULANCE STRETCHER, PER SECTION 3002.4

1003.3.1. IBC, HEADROOM. PROTRUDING OBJECTS ARE PERMITTED TO EXTEND BELOW THE  
MINIMUM CEILING HEIGHT REQUIRED BY SECTION 1003.2 PROVIDED A MINIMUM HEADROOM  
OF 80 INCHES (2032 MM) SHALL BE PROVIDED FOR ANY WALKING SURFACE, INCLUDING  
WALKS, CORRIDORS, AISLES AND PASSAGEWAYS. NOT MORE THAN 50 PERCENT OF THE  
CEILING AREA OF A MEANS OF EGRESS SHALL BE REDUCED IN HEIGHT BY PROTRUDING  
OBJECTS.  
EXCEPTION: DOOR CLOSERS AND STOPS SHALL NOT REDUCE HEADROOM TO LESS THAN 78  
INCHES (1981 MM).  
A BARRIER SHALL BE PROVIDED WHERE THE VERTICAL CLEARANCE IS LESS THAN 80 INCHES  
(2032 MM) HIGH. THE LEADING EDGE OF SUCH A BARRIER SHALL BE LOCATED 27 INCHES (686  
MM) MAXIMUM ABOVE THE FLOOR.

1007.6.4. IBC, INSTRUCTIONS. IN AREAS OF REFUGE THAT HAVE A TWO-WAY EMERGENCY  
COMMUNICATIONS SYSTEM, INSTRUCTIONS ON THE USE OF THE AREA UNDER EMERGENCY  
CONDITIONS SHALL BE POSTED ADJOINING THE COMMUNICATIONS SYSTEM. THE  
INSTRUCTIONS SHALL INCLUDE ALL OF THE FOLLOWING:  
1. DIRECTIONS TO FIND OTHER MEANS OF EGRESS.  
2. PERSONS ABLE TO USE THE EXIT STAIRWAY DO SO AS SOON AS POSSIBLE, UNLESS THEY  
ARE ASSISTING OTHERS.  
3. INFORMATION ON PLANNED AVAILABILITY OF ASSISTANCE IN THE USE OF STAIRS OR  
SUPERVISED OPERATION OF ELEVATORS AND HOW TO SUMMON SUCH ASSISTANCE.  
4. DIRECTIONS FOR USE OF THE EMERGENCY COMMUNICATIONS SYSTEM.

1110.2. IBC, DIRECTIONAL SIGNAGE. DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE  
NEAREST LIKE ACCESSIBLE ELEMENT SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:  
1. INACCESSIBLE BUILDING ENTRANCES.  
2. ELEVATORS NOT SERVING AN ACCESSIBLE ROUTE.  
3. AT EXITS AND ELEVATORS SERVING A REQUIRED ACCESSIBLE SPACE, BUT NOT  
PROVIDING AN APPROVED ACCESSIBLE MEANS OF EGRESS, SIGNAGE SHALL BE  
PROVIDED IN ACCORDANCE WITH SECTION 1007.23.

NOTE:  
THE ABOVE INFORMATION PROVIDED IS INTENDED AS A BASIC/GENERAL REFERENCE AS PER  
THE CORRESPONDING APPLICABLE CODES FOR THE PROJECT. G.C. IS RESPONSIBLE FOR  
VERIFYING THE APPLICABLE CODES REGARDING DEMOLITION SAFETY PRACTICES TO  
ENSURE COMPLIANCE AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION.



Issue Dates:  
MARCH 16, 2012  
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HOTELS & RESORTS

ROCKBRIDGE CAPITAL

NEW CASTLE HOTELS  
& RESORTS

CONTRACTOR  
IDC  
IDC CONSTRUCTION, LLC

NOTE:  
THE INFORMATION CONTAINED HEREIN HAS BEEN PROVIDED  
FOR LIMITED ORIGINAL CONSTRUCTION DOCUMENTS. THE  
REVISIONS OF THE ATTACHED DOCUMENTS ARE ACTUAL  
FIELD CONDITIONS. THE CONTRACTOR AND ALL ASSOCIATED  
PERSONNEL SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL  
EXISTING CONDITIONS.

Project:  
WESTIN  
EASTLAND PARK  
HOTEL RENOVATION  
FOR  
ROCKBRIDGE CAPITAL, LLC.  
157 HIGH STREET  
PORTLAND, ME

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Sheet Title:  
DEMOLITION LIFE  
SAFETY PLANS  
GUESTROOM  
& TOTE

Job Number:  
11009  
Scale:  
1/16" = 1'-0"  
Drawing:  
DLS-103  
Checked:  
Date:  
03-16-2012

PERMIT SET - RELEASED  
FOR CONSTRUCTION



Issue Date:  
MARCH 16, 2012  
ISSUE FOR PERMIT

**WESTIN**  
HOTELS & RESORTS  
ROCKBRIDGE CAPITAL

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& RESORTS  
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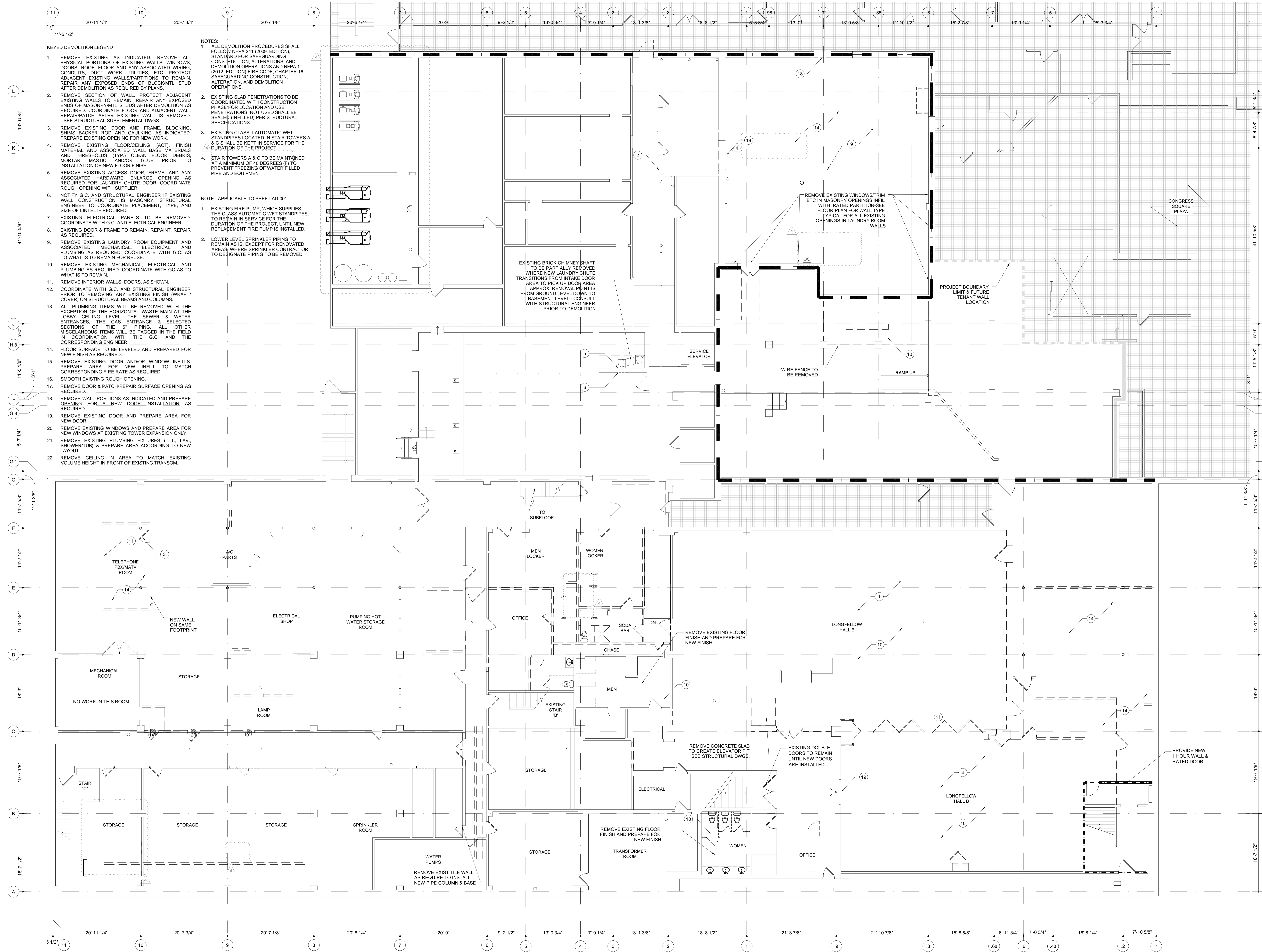
NOTE: CONTRACTOR HAS REVIEWED THESE DRAWINGS AND HAS PROVIDED ORIGINAL ORIGINAL CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE ATTACHED DOCUMENTS AND ASSOCIATED FIELD CONDITIONS. THE CONTRACTOR AND ALL ASSOCIATED SUBCONTRACTORS SHALL BE RESPONSIBLE FOR SORTING THE ACTUAL EXISTING CONDITIONS.

Project:  
**WESTIN EASTLAND PARK HOTEL RENOVATION**  
FOR  
**ROCKBRIDGE CAPITAL, LLC.**  
157 HIGH STREET  
PORTLAND, ME

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Sheet Title:  
**LOWER LEVEL DEMOLITION PLAN**

Job Number: 11009  
Scale: 1/8" = 1'-0"  
Drawn: IP  
Checked: ARR  
Date: 03-16-2012  
**AD-001**  
PERMIT SET - RELEASED FOR CONSTRUCTION



- KEYED DEMOLITION LEGEND**
- REMOVE EXISTING AS INDICATED. REMOVE ALL PHYSICAL PORTIONS OF EXISTING WALLS, WINDOWS, DOORS, ROOF, FLOOR AND ANY ASSOCIATED WIRING, CONDUITS, DUCT WORK UTILITIES, ETC. PROTECT ADJACENT EXISTING WALLS/PARTITIONS TO REMAIN. REPAIR ANY EXPOSED ENDS OF BLOCK/WL STUD AFTER DEMOLITION AS REQUIRED BY PLANS.
  - REMOVE SECTION OF WALL. PROTECT ADJACENT EXISTING WALLS TO REMAIN. REPAIR ANY EXPOSED ENDS OF MASONRY/WL STUDS AFTER DEMOLITION AS REQUIRED. COORDINATE FLOOR AND ADJACENT WALL REPAIR/PATCH AFTER EXISTING WALL IS REMOVED. SEE STRUCTURAL SUPPLEMENTAL DWGS.
  - REMOVE EXISTING DOOR AND FRAME, BLOCKING, SHIMS BACKER ROD AND CAULKING AS INDICATED. PREPARE EXISTING OPENING FOR NEW WORK.
  - REMOVE EXISTING FLOOR/CEILING (ACT). FINISH MATERIAL AND ASSOCIATED WALL BASE MATERIALS AND THRESHOLDS (TYP.) CLEAN FLOOR DEBRIS, MORTAR MASTIC AND/OR GLUE PRIOR TO INSTALLATION OF NEW FLOOR FINISH.
  - REMOVE EXISTING ACCESS DOOR, FRAME, AND ANY ASSOCIATED HARDWARE ENLARGE OPENING AS REQUIRED FOR LAUNDRY CHUTE, DOOR. COORDINATE ROUGH OPENING WITH SUPPLIER.
  - NOTIFY G.C. AND STRUCTURAL ENGINEER IF EXISTING WALL CONSTRUCTION IS MASONRY. STRUCTURAL ENGINEER TO COORDINATE PLACEMENT, TYPE, AND SIZE OF LINTEL IF REQUIRED.
  - EXISTING ELECTRICAL PANELS TO BE REMOVED. COORDINATE WITH G.C. AND ELECTRICAL ENGINEER.
  - EXISTING DOOR & FRAME TO REMAIN. REPAIR, REPAIR AS REQUIRED.
  - REMOVE EXISTING LAUNDRY ROOM EQUIPMENT AND ASSOCIATED MECHANICAL, ELECTRICAL, AND PLUMBING AS REQUIRED. COORDINATE WITH G.C. AS TO WHAT IS TO REMAIN FOR REUSE.
  - REMOVE EXISTING MECHANICAL, ELECTRICAL AND PLUMBING AS REQUIRED. COORDINATE WITH GC AS TO WHAT IS TO REMAIN.
  - REMOVE INTERIOR WALLS, DOORS, AS SHOWN.
  - COORDINATE WITH G.C. AND STRUCTURAL ENGINEER PRIOR TO REMOVING ANY EXISTING FINISH (WRAP / COVER) ON STRUCTURAL BEAMS AND COLUMNS.
  - ALL PLUMBING ITEMS WILL BE REMOVED WITH THE EXCEPTION OF THE HORIZONTAL WASTE MAIN AT THE LOBBY CEILING LEVEL, THE SEWER & WATER ENTRANCES, THE GAS ENTRANCE & SELECTED SECTIONS OF THE PIPING. ALL OTHER MISCELLANEOUS ITEMS WILL BE TAGGED IN THE FIELD IN COORDINATION WITH THE G.C. AND THE CORRESPONDING ENGINEER.
  - FLOOR SURFACE TO BE LEVELED AND PREPARED FOR NEW FINISH AS REQUIRED.
  - REMOVE EXISTING DOOR AND/OR WINDOW INFILLS. PREPARE AREA FOR NEW INFILL TO MATCH CORRESPONDING FIRE RATE AS REQUIRED.
  - SMOOTH EXISTING ROUGH OPENING.
  - REMOVE DOOR & PATCH/REPAIR SURFACE OPENING AS REQUIRED.
  - REMOVE WALL PORTIONS AS INDICATED AND PREPARE OPENING FOR A NEW DOOR INSTALLATION AS REQUIRED.
  - REMOVE EXISTING DOOR AND PREPARE AREA FOR NEW DOOR.
  - REMOVE EXISTING WINDOWS AND PREPARE AREA FOR NEW WINDOWS AT EXISTING TOWER EXPANSION ONLY.
  - REMOVE EXISTING PLUMBING FIXTURES (TLT., LAV., SHOWER/TUB) & PREPARE AREA ACCORDING TO NEW LAYOUT.
  - REMOVE CEILING IN AREA TO MATCH EXISTING VOLUME HEIGHT IN FRONT OF EXISTING TRANSOM.

- NOTES:**
- ALL DEMOLITION PROCEDURES SHALL FOLLOW NFPA 241 (2009 EDITION), STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATIONS, AND DEMOLITION OPERATIONS AND NFPA 1 (2012 EDITION) FIRE CODE, CHAPTER 16, SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS.
  - EXISTING SLAB PENETRATIONS TO BE COORDINATED WITH CONSTRUCTION PHASE FOR LOCATION AND USE. PENETRATIONS NOT USED SHALL BE SEALED (INFILLED) PER STRUCTURAL SPECIFICATIONS.
  - EXISTING CLASS 1 AUTOMATIC WET STANDPIPES LOCATED IN STAIR TOWERS A & C SHALL BE KEPT IN SERVICE FOR THE DURATION OF THE PROJECT.
  - STAIR TOWERS A & C TO BE MAINTAINED AT A MINIMUM OF 40 DEGREES (F) TO PREVENT FREEZING OF WATER FILLED PIPE AND EQUIPMENT.

- NOTE: APPLICABLE TO SHEET AD-001**
- EXISTING FIRE PUMP, WHICH SUPPLIES THE CLASS AUTOMATIC WET STANDPIPES, TO REMAIN IN SERVICE FOR THE DURATION OF THE PROJECT, UNTIL NEW REPLACEMENT FIRE PUMP IS INSTALLED.
  - LOWER LEVEL SPRINKLER PIPING TO REMAIN AS IS, EXCEPT FOR RENOVATED AREAS, WHERE SPRINKLER CONTRACTOR TO DESIGNATE PIPING TO BE REMOVED.

**LOWER LEVEL DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"

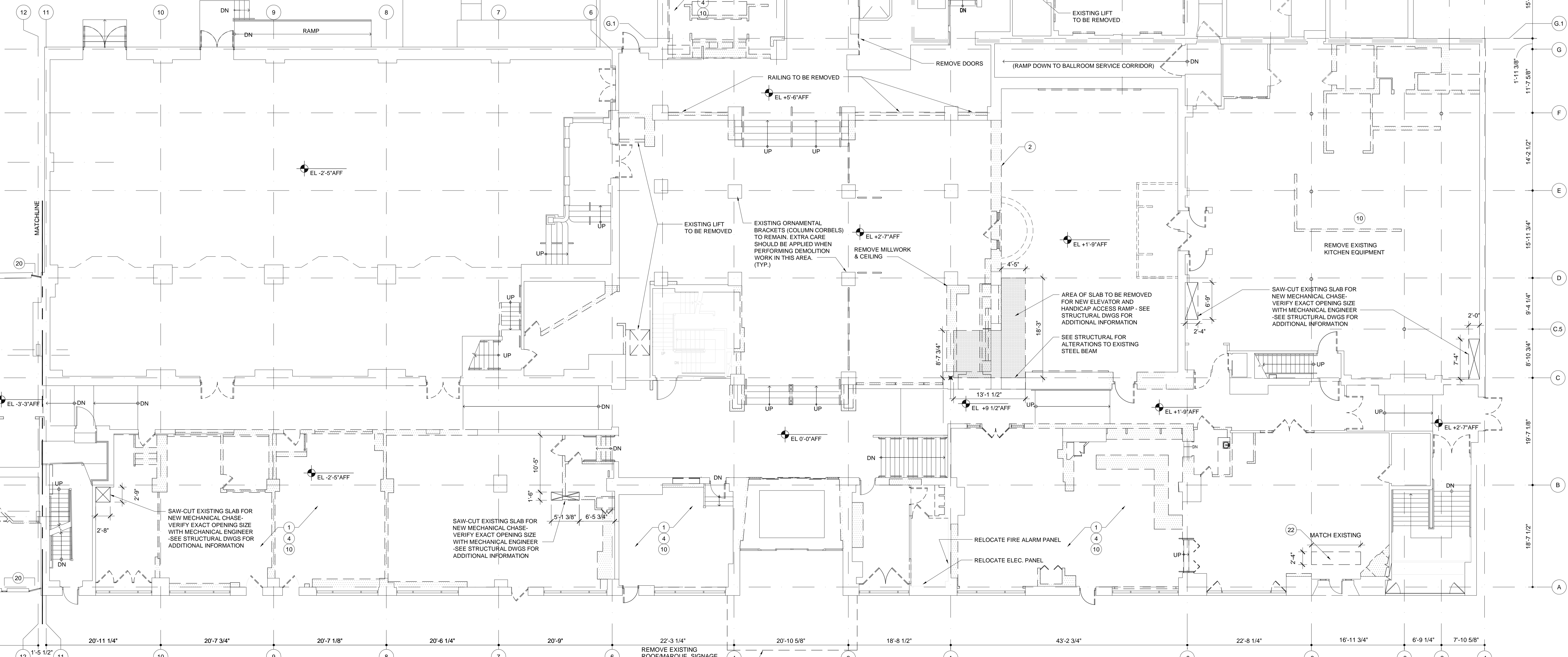


KEYED DEMOLITION LEGEND

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- REMOVE SECTION OF WALL. PROTECT ADJACENT EXISTING WALLS TO REMAIN. REPAIR ANY EXPOSED ENDS OF MASONRY/MTL STUDS AFTER DEMOLITION AS REQUIRED. COORDINATE FLOOR AND ADJACENT WALL REPAIR/PATCH AFTER EXISTING WALL IS REMOVED. -SEE STRUCTURAL SUPPLEMENTAL DWGS.
- REMOVE EXISTING DOOR AND FRAME, BLOCKING, SHIMS BACKER ROD AND CAULKING AS INDICATED. PREPARE EXISTING OPENING FOR NEW WORK.
- REMOVE EXISTING FLOOR/CEILING (ACT), FINISH MATERIAL AND ASSOCIATED WALL BASE MATERIALS AND THRESHOLDS (TYP) CLEAN FLOOR DEBRIS. MORTAR MASTIC AND/OR GLUE PRIOR TO INSTALLATION OF NEW FLOOR FINISH.
- REMOVE EXISTING ACCESS DOOR, FRAME, AND ANY ASSOCIATED HARDWARE. ENLARGE OPENING AS REQUIRED FOR LAUNDRY CHUTE DOOR. COORDINATE ROUGH OPENING WITH SUPPLIER.
- NOTIFY G.C. AND STRUCTURAL ENGINEER IF EXISTING WALL CONSTRUCTION IS MASONRY. STRUCTURAL ENGINEER TO COORDINATE PLACEMENT, TYPE, AND SIZE OF LINTEL IF REQUIRED.
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- ALL PLUMBING ITEMS WILL BE REMOVED WITH THE EXCEPTION OF THE HORIZONTAL WASTE MAIN AT THE LOBBY CEILING LEVEL. THE SEWER & WATER ENTRANCES, THE GAS ENTRANCE & SELECTED SECTIONS OF THE 5" PIPING. ALL OTHER MISCELLANEOUS ITEMS WILL BE TAGGED IN THE FIELD IN COORDINATION WITH THE G.C. AND THE CORRESPONDING ENGINEER.
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- REMOVE CEILING IN AREA TO MATCH EXISTING VOLUME HEIGHT IN FRONT OF EXISTING TRANSOM.

TOWER EXPANSION GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"



GROUND LEVEL DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"

- NOTES:
- ALL DEMOLITION PROCEDURES SHALL FOLLOW NFPA 241 (2009 EDITION), STANDARDS FOR SAFEGUARDING CONSTRUCTION, ALTERATIONS, AND DEMOLITION OPERATIONS AND NFPA 1 (2012 EDITION) FIRE CODE, CHAPTER 16, SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS.
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  - EXISTING CLASS 1 AUTOMATIC WET STANDPIPES LOCATED IN STAIR TOWERS A & C SHALL BE KEPT IN SERVICE FOR THE DURATION OF THE PROJECT.
  - STAIR TOWERS A & C TO BE MAINTAINED AT A MINIMUM OF 40 DEGREES (F) TO PREVENT FREEZING OF WATER FILLED PIPE AND EQUIPMENT.

- NOTE: APPLICABLE TO SHEET AD-100
- REMOVE ALL SPRINKLER PIPING THROUGHOUT GROUND LEVEL EXCEPT FOR AREAS THAT ARE NOT BEING RENOVATED, WHERE EXISTING SPRINKLER SYSTEM IS TO REMAIN AS-IS.

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ATLANTA, GA. 30327 404.503.5000



Issue Dates:  
MARCH 16, 2012  
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Project:  
**WESTIN EASTLAND PARK HOTEL RENOVATION**  
FOR  
**ROCKBRIDGE CAPITAL, LLC.**  
157 HIGH STREET  
PORTLAND, ME

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Sheet Title:  
**GROUND LEVEL DEMOLITION FLOOR PLAN**

Job Number: 11009  
Scale: 1/8" = 1'-0"  
Drawn: IP  
Checked: AR  
Date: 03-16-2012  
**AD-100**  
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Issue Dates:  
MARCH 16, 2012  
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Project:  
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EASTLAND PARK  
HOTEL RENOVATION  
FOR  
ROCKBRIDGE CAPITAL, LLC.  
157 HIGH STREET  
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Sheet Title:

SUB-GROUND LVL  
DEMOLITION PLAN

Job Number: 11009  
Scale: 1/8" = 1'-0"  
Drawn: IP  
Checked: AR  
Date: 03-16-2012  
PERMIT SET - RELEASED FOR CONSTRUCTION

AD-100S

KEYED DEMOLITION LEGEND

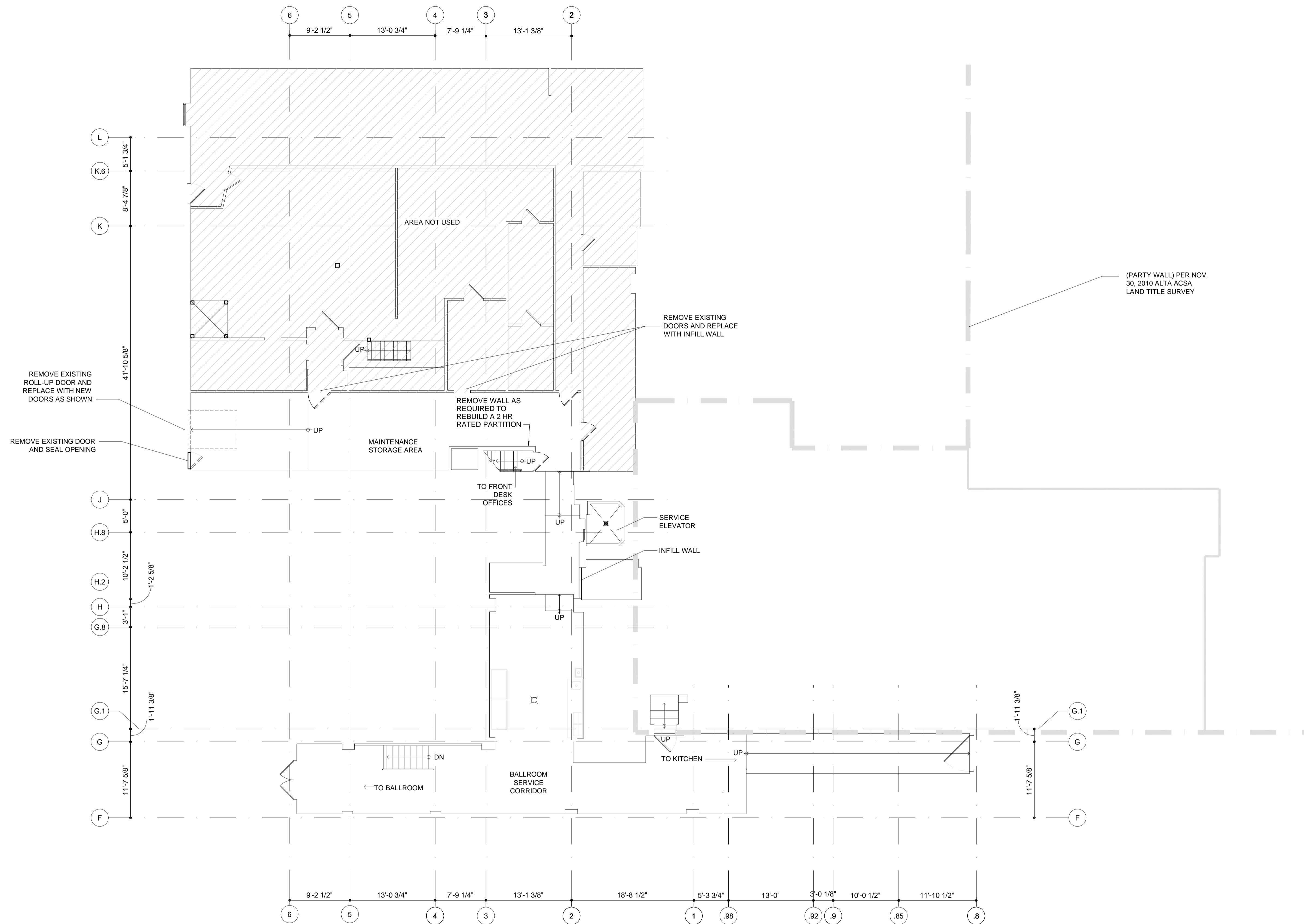
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NOTES:

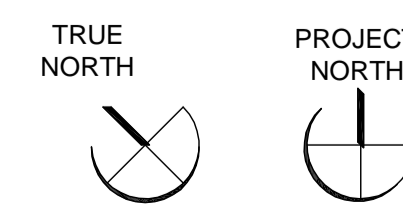
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NOTE: APPLICABLE TO SHEET AD-100S

- ALL SUB-GROUND FLOOR SPRINKLER PIPING TO REMAIN AS IS

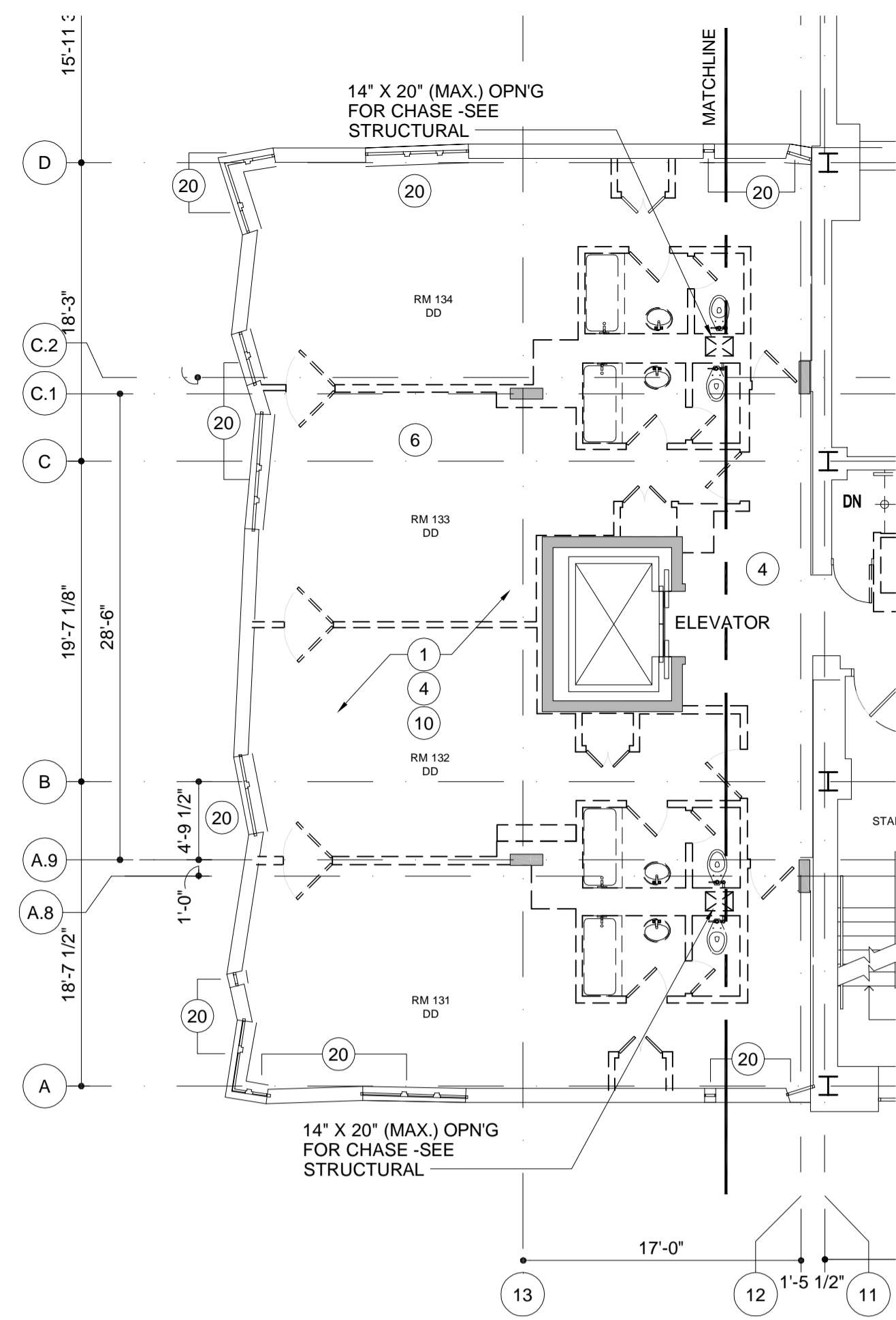


SUB-GROUND LEVEL DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"



KEYED DEMOLITION LEGEND

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- REMOVE EXISTING ACCESS DOOR, FRAME, AND ANY ASSOCIATED HARDWARE ENLARGE OPENING AS REQUIRED FOR LAUNDRY CHUTE DOOR. COORDINATE ROUGH OPENING WITH SUPPLIER.
- NOTIFY G.C. AND STRUCTURAL ENGINEER IF EXISTING WALL CONSTRUCTION IS MASONRY. STRUCTURAL ENGINEER TO COORDINATE PLACEMENT, TYPE, AND SIZE OF LINTEL IF REQUIRED.
- EXISTING ELECTRICAL PANELS TO BE REMOVED. COORDINATE WITH G.C. AND ELECTRICAL ENGINEER.
- EXISTING DOOR & FRAME TO REMAIN. REPAIR, REPAIR AS REQUIRED.
- REMOVE EXISTING LAUNDRY ROOM EQUIPMENT AND ASSOCIATED MECHANICAL, ELECTRICAL, AND PLUMBING AS REQUIRED. COORDINATE WITH G.C. AS TO WHAT IS TO REMAIN FOR REUSE.
- REMOVE EXISTING MECHANICAL, ELECTRICAL AND PLUMBING AS REQUIRED. COORDINATE WITH GC AS TO WHAT IS TO REMAIN.
- REMOVE INTERIOR WALLS, DOORS, AS SHOWN.
- COORDINATE WITH G.C. AND STRUCTURAL ENGINEER PRIOR TO REMOVING ANY EXISTING FINISH (WRAP / COVER) ON STRUCTURAL BEAMS AND COLUMNS.
- ALL PLUMBING ITEMS WILL BE REMOVED WITH THE EXCEPTION OF THE HORIZONTAL WASTE MAIN AT THE LOBBY CEILING LEVEL, THE SEWER & WATER ENTRANCES, THE GAS ENTRANCE & SELECTED SECTIONS OF THE 5" PIPING. ALL OTHER MISCELLANEOUS ITEMS WILL BE TAGGED IN THE FIELD IN COORDINATION WITH THE G.C. AND THE CORRESPONDING ENGINEER.
- FLOOR SURFACE TO BE LEVELED AND PREPARED FOR NEW FINISH AS REQUIRED.
- REMOVE EXISTING DOOR AND/OR WINDOW INFILLS. PREPARE AREA FOR NEW INFILL TO MATCH CORRESPONDING FIRE RATE AS REQUIRED.
- SMOOTH EXISTING ROUGH OPENING.
- REMOVE DOOR & PATCH/REPAIR SURFACE OPENING AS REQUIRED.
- REMOVE WALL PORTIONS AS INDICATED AND PREPARE OPENING FOR A NEW DOOR INSTALLATION AS REQUIRED.
- REMOVE EXISTING DOOR AND PREPARE AREA FOR NEW DOOR.
- REMOVE EXISTING WINDOWS AND PREPARE AREA FOR NEW WINDOWS AT EXISTING TOWER EXPANSION ONLY.
- REMOVE EXISTING PLUMBING FIXTURES (TL, LAV., SHOWER/TUB) & PREPARE AREA ACCORDING TO NEW LAYOUT.
- REMOVE CEILING IN AREA TO MATCH EXISTING VOLUME HEIGHT IN FRONT OF EXISTING TRANSOM.



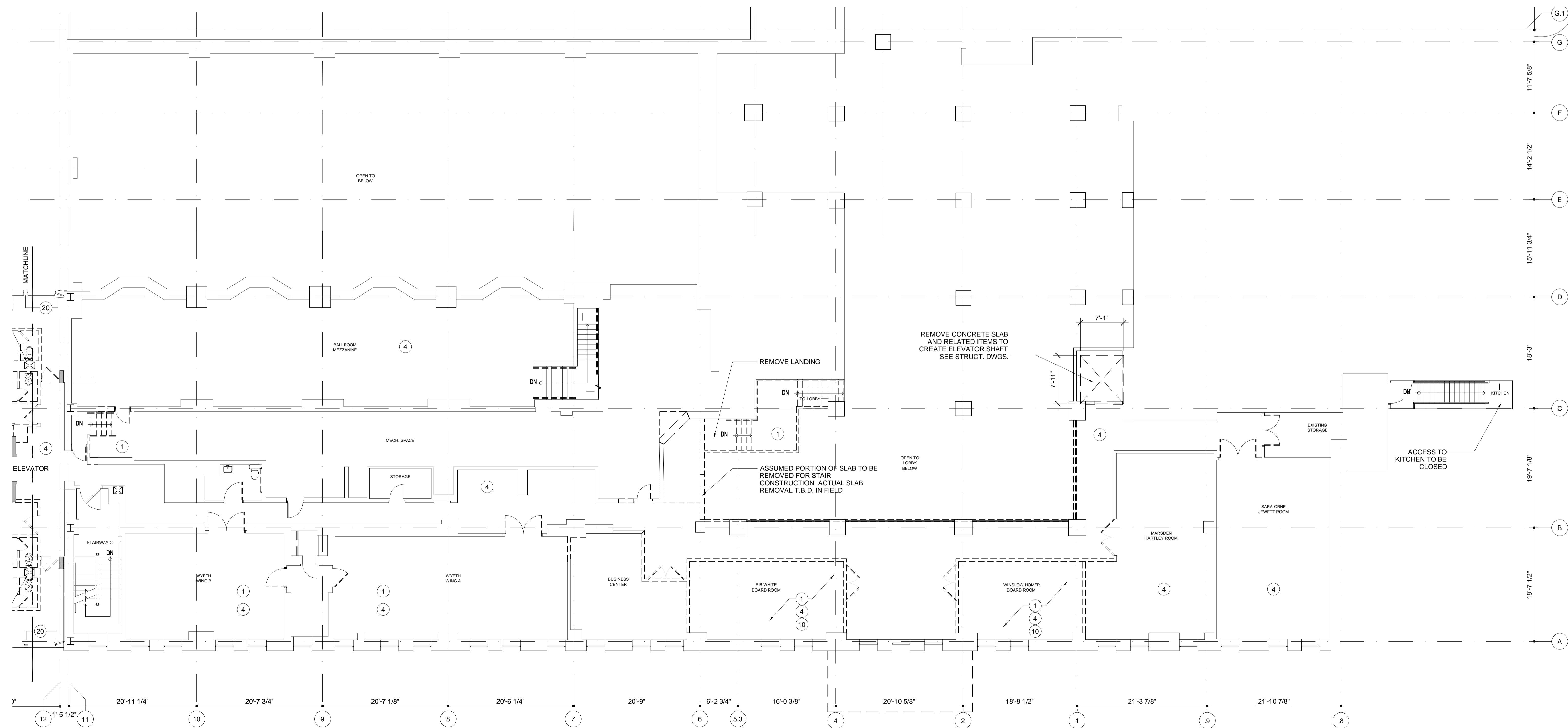
TOWER EXPANSION AT MEZZANINE  
SCALE: 1/8" = 1'-0"

NOTES:

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- STAIR TOWERS A & C TO BE MAINTAINED AT A MINIMUM OF 40 DEGREES (F) TO PREVENT FREEZING OF WATER FILLED PIPE AND EQUIPMENT.

NOTE: APPLICABLE TO SHEET AD-101

- REMOVE ALL SPRINKLER PIPING THROUGHOUT MEZZANINE LEVEL



MEZZANINE LEVEL DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"



Issue Dates:  
MARCH 16, 2012  
ISSUE FOR PERMIT

NOTE: DIMENSIONS CONTAINED HEREIN HAVE BEEN PROVIDED FROM UNLIMITED ORIGINAL CONSTRUCTION DOCUMENTS. THE FIELD CONDITIONS OF THE ATTACHED DOCUMENTS AND ANY ACTUAL REVOLUTIONS OF THE ATTACHED DOCUMENTS AND ANY ASSOCIATED FIELD CONDITIONS. THE CONTRACTOR AND ALL ASSOCIATED SUBCONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL EXISTING CONDITIONS.

Project:  
WESTIN  
EASTLAND PARK  
HOTEL RENOVATION  
FOR  
ROCKBRIDGE CAPITAL, LLC.  
157 HIGH STREET  
PORTLAND, ME

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Sheet Title:  
MEZZANINE  
DEMOLITION  
FLOOR PLAN

Job Number: 11009  
Scale: 1/8" = 1'-0"  
Drawn: IP  
Checked: AR  
Date: 03-16-2012  
AD-101

PERMIT SET - RELEASED  
FOR CONSTRUCTION



Issue Dates:  
MARCH 16, 2012  
ISSUE FOR PERMIT

**WESTIN**  
HOTELS & RESORTS

ROCKBRIDGE CAPITAL

NEW CASTLE HOTELS  
& RESORTS

CONTRACTOR  
**IDC**  
IDC CONSTRUCTION, LLC

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Project:  
**WESTIN EASTLAND PARK HOTEL RENOVATION**  
FOR  
**ROCKBRIDGE CAPITAL, LLC.**  
157 HIGH STREET  
PORTLAND, ME

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Sheet Title:  
**2ND LEVEL DEMOLITION PLAN**

Job Number: 11009  
Scale: 1/8" = 1'-0"  
Drawn: VY  
Checked: AR  
Date: 03-16-2012

PERMIT SET - RELEASED FOR CONSTRUCTION

**KEYED DEMOLITION LEGEND**

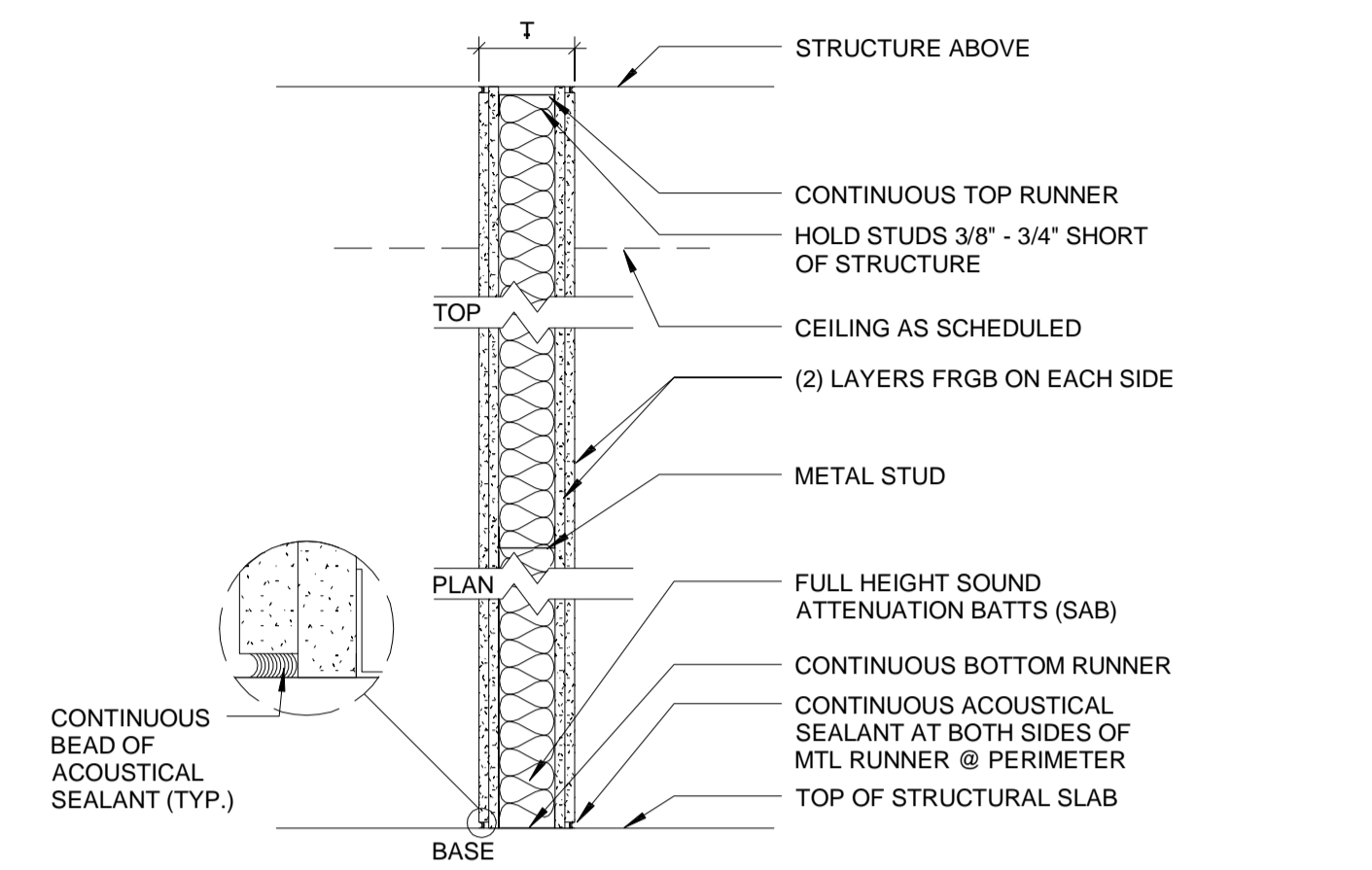
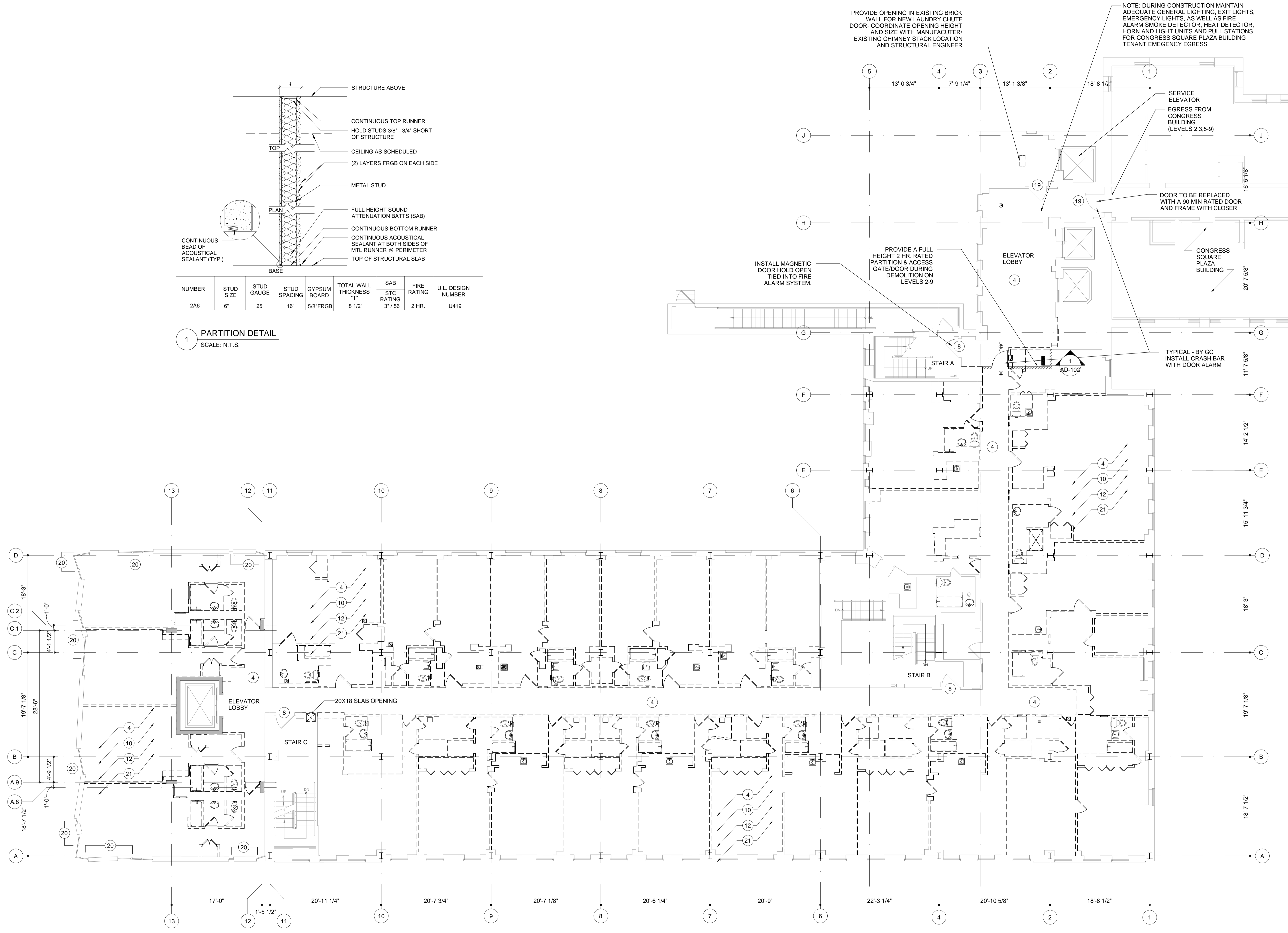
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- REMOVE CEILING IN AREA TO MATCH EXISTING VOLUME HEIGHT IN FRONT OF EXISTING TRANSOM.

**NOTES:**

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**NOTE: APPLICABLE TO LEVELS 2-12**

- REMOVE ALL SPRINKLER PIPING FLOORS 2-12 UP TO EXISTING OSS# GATE VALVE LOCATED IN STAIR TOWER C



NUMBER	STUD SIZE	STUD GAUGE	STUD SPACING	GYPSUM BOARD	TOTAL WALL THICKNESS"	SAB STC RATING	FIRE RATING	U.L. DESIGN NUMBER
2A6	6"	25	16"	5/8"FRGB	8 1/2"	37 / 56	2 HR.	U419

**1 PARTITION DETAIL**  
SCALE: N.T.S.

**2ND LEVEL DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"



Issue Dates:  
MARCH 16, 2012  
ISSUE FOR PERMIT

**WESTIN**  
HOTELS & RESORTS

ROCKBRIDGE CAPITAL

NEW CASTLE HOTELS  
& RESORTS

CONTRACTOR  
**IDC**  
IDC CONSTRUCTION, LLC

NOTE: CONTRACTOR SHALL VERIFY ALL PENETRATIONS HAVE BEEN PROVIDED PER APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL VERIFY ALL PENETRATIONS NOT USED SHALL BE SEALED (INFILLED) PER STRUCTURAL SPECIFICATIONS.

NOTE: APPLICABLE TO LEVELS 2-12

Project:  
**WESTIN EASTLAND PARK HOTEL RENOVATION**  
FOR  
**ROCKBRIDGE CAPITAL, LLC.**  
157 HIGH STREET  
PORTLAND, ME

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Sheet Title:  
**3RD LEVEL DEMOLITION PLAN**

Job Number: 11009  
Scale: 1/8" = 1'-0"  
Drawn: VY  
Checked: AR  
Date: 03-16-2012

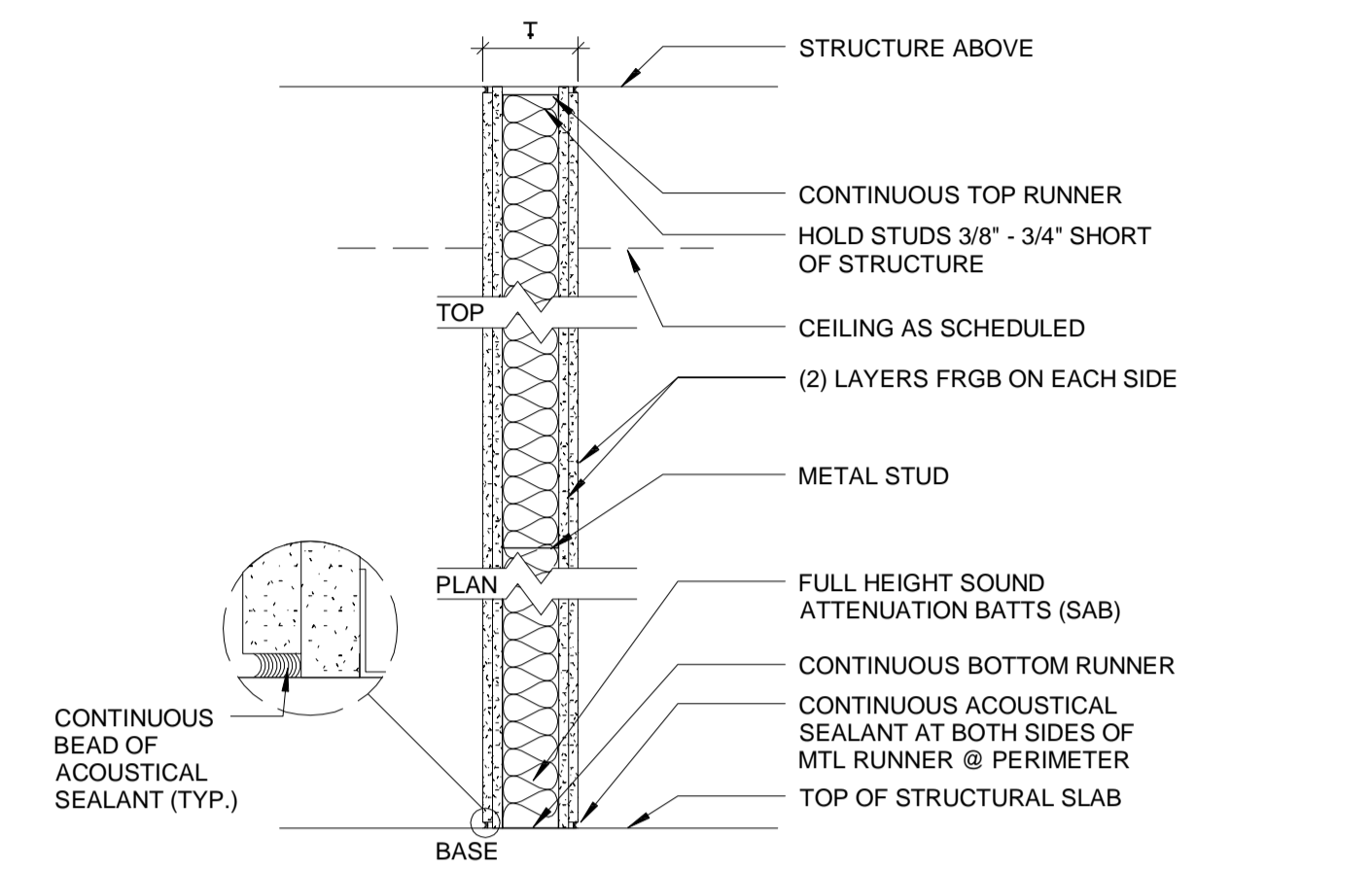
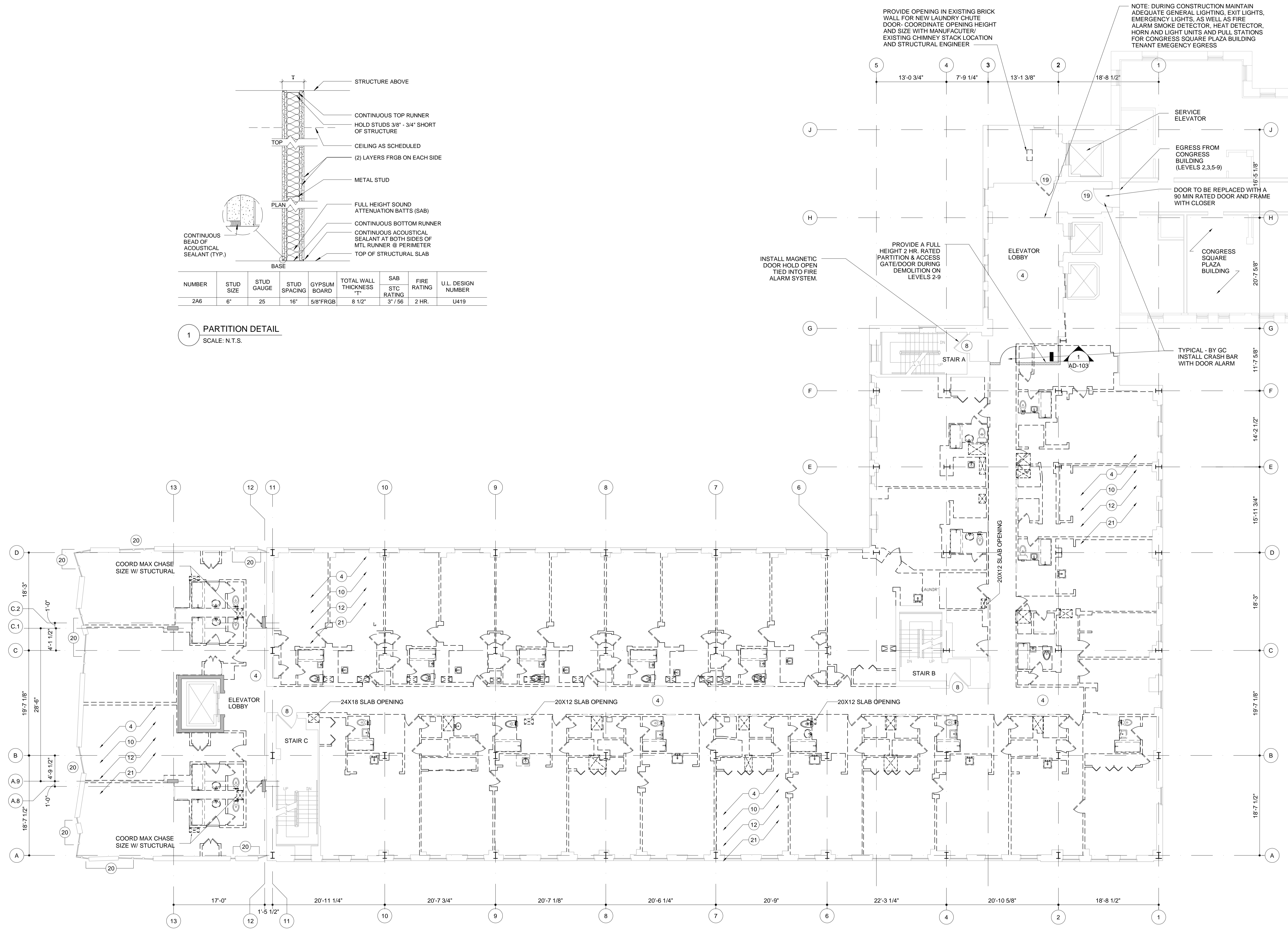
PERMIT SET - RELEASED FOR CONSTRUCTION

**KEYED DEMOLITION LEGEND**

- REMOVE EXISTING AS INDICATED. REMOVE ALL PHYSICAL PORTIONS OF EXISTING WALLS, WINDOWS, DOORS, ROOF, FLOOR AND ANY ASSOCIATED WIRING, CONDUITS, DUCT WORK UTILITIES, ETC. PROTECT ADJACENT EXISTING WALLS/PARTITIONS TO REMAIN. REPAIR ANY EXPOSED ENDS OF BLOCK/MTL STUD AFTER DEMOLITION AS REQUIRED BY PLANS.
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- NOTES:
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- NOTE: APPLICABLE TO LEVELS 2-12
- REMOVE ALL SPRINKLER PIPING FLOORS 2-12 UP TO EXISTING OSA BY GATE VALVE LOCATED IN STAIR TOWER C



NUMBER	STUD SIZE	STUD GAUGE	STUD SPACING	GYPSUM BOARD	TOTAL WALL THICKNESS	SAB STC RATING	FIRE RATING	U.L. DESIGN NUMBER
2A6	6"	25	16"	5/8"FRGB	8 1/2"	3' 56	2 HR.	U419

**1 PARTITION DETAIL**  
SCALE: N.T.S.

**3RD LEVEL DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"

AD-103



Issue Dates:  
MARCH 16, 2012  
ISSUE FOR PERMIT

**WESTIN**  
HOTELS & RESORTS

ROCKBRIDGE CAPITAL

NEW CASTLE HOTELS  
& RESORTS

CONTRACTOR  
**IDC**  
IDC CONSTRUCTION, LLC

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Project:  
**WESTIN  
EASTLAND PARK  
HOTEL RENOVATION**  
FOR  
**ROCKBRIDGE CAPITAL, LLC.**  
157 HIGH STREET  
PORTLAND, ME

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Sheet Title:  
**4TH LEVEL  
DEMOLITION  
PLAN**

Job Number: 11009  
Scale: 1/8" = 1'-0"  
Drawn: VY  
Checked: AR  
Date: 03-16-2012  
**AD-104**

PERMIT SET - RELEASED FOR CONSTRUCTION

KEYED DEMOLITION LEGEND

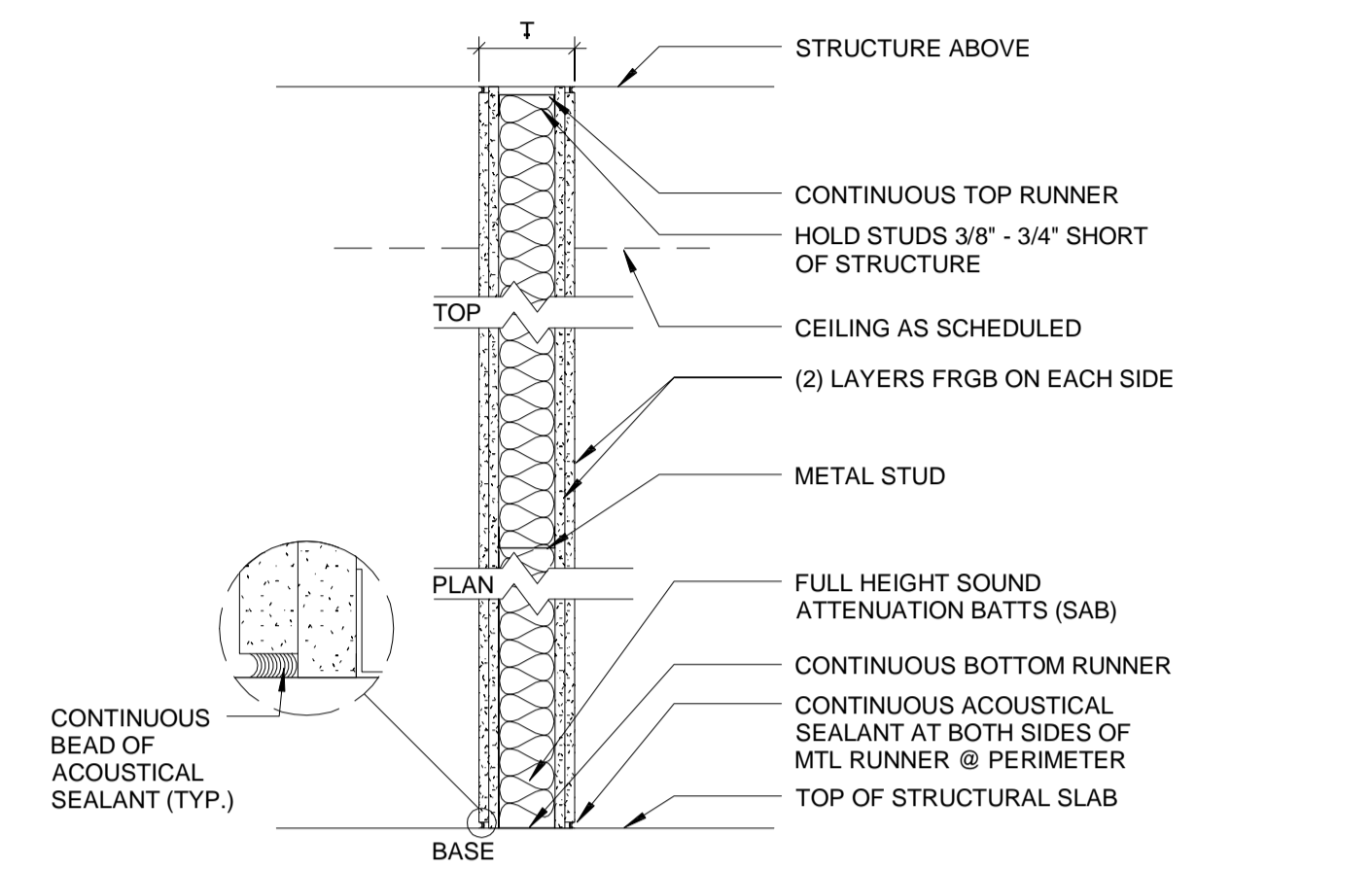
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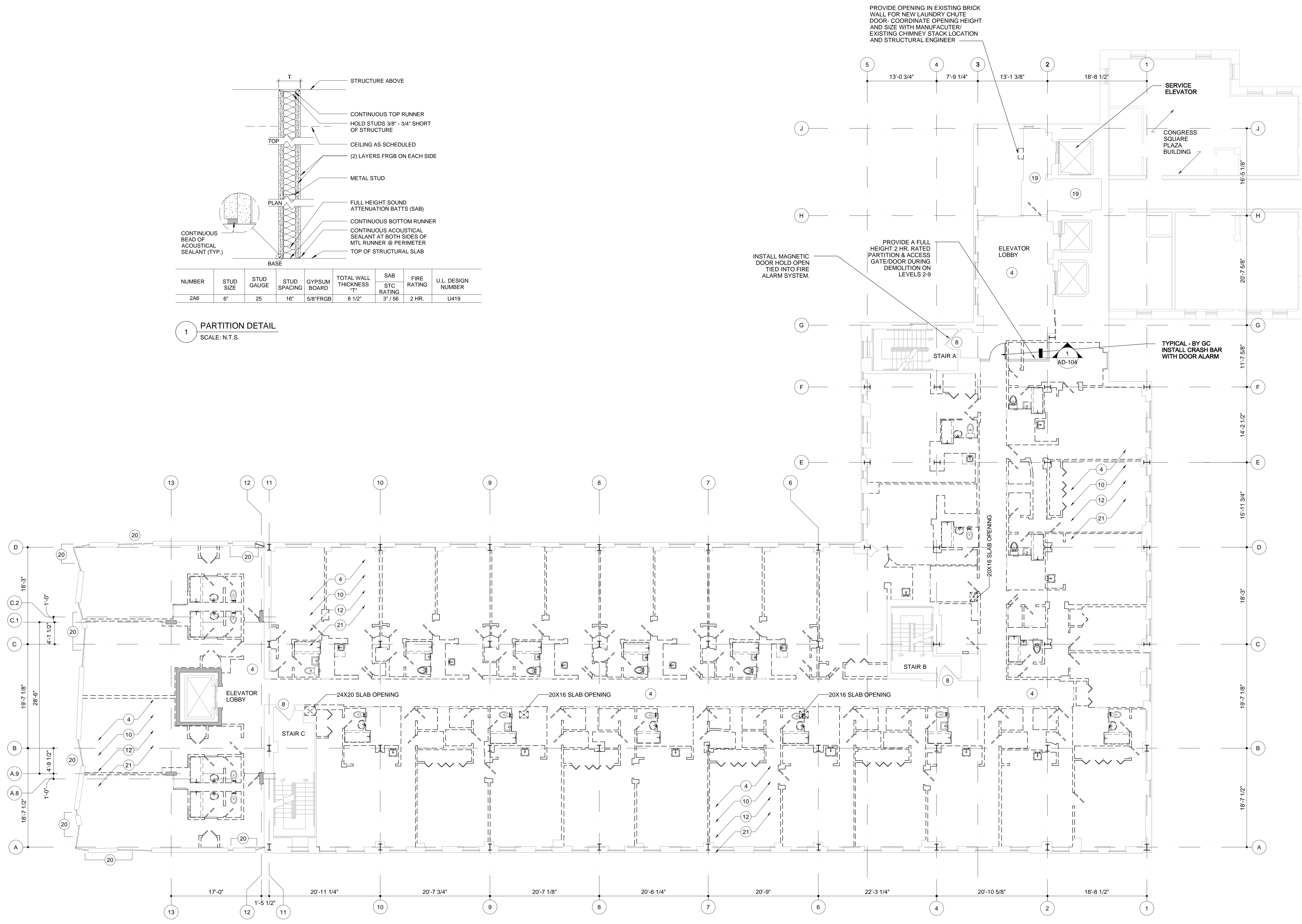
NOTE: APPLICABLE TO LEVELS 2-12

- REMOVE ALL SPRINKLER PIPING FLOORS 2-12 UP TO EXISTING OSSY GATE VALVE LOCATED IN STAIR TOWER C



NUMBER	STUD SIZE	STUD GAUGE	STUD SPACING	GYPSUM BOARD	TOTAL WALL THICKNESS"	SAB STC RATING	FIRE RATING	U.L. DESIGN NUMBER
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1 PARTITION DETAIL  
SCALE: N.T.S.



4TH LEVEL DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"



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Project:  
**WESTIN EASTLAND PARK HOTEL RENOVATION**  
FOR  
**ROCKBRIDGE CAPITAL, LLC.**  
157 HIGH STREET  
PORTLAND, ME

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Sheet Title:  
**5TH, 7TH, & 9TH LEVEL DEMOLITION PLAN**

Job Number:	11009
Scale:	1/8" = 1'-0"
Drawn:	VY
Checked:	AR
Date:	03-16-2012

**AD-105**

PERMIT SET - RELEASED FOR CONSTRUCTION

KEYED DEMOLITION LEGEND

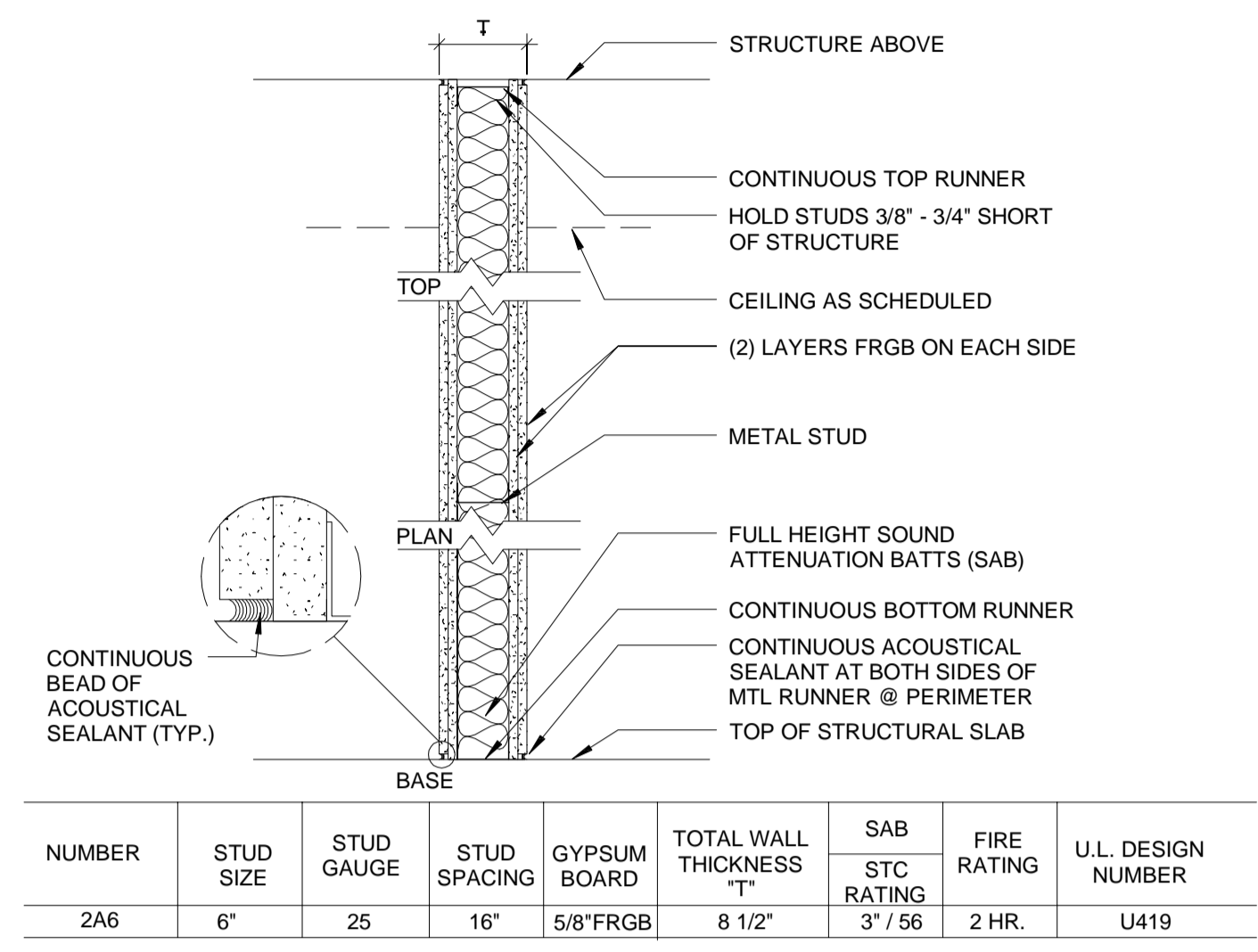
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- REMOVE SECTION OF WALL. PROTECT ADJACENT EXISTING WALLS TO REMAIN. REPAIR ANY EXPOSED ENDS OF MASONRY/MTL. STUDS AFTER DEMOLITION AS REQUIRED. COORDINATE FLOOR AND ADJACENT WALL REPAIR/PATCH AFTER EXISTING WALL IS REMOVED. -SEE STRUCTURAL SUPPLEMENTAL DWGS.
- REMOVE EXISTING DOOR AND FRAME BLOCKING, SHIMS, BACKER ROD AND CAULKING AS INDICATED. PREPARE EXISTING OPENING FOR NEW WORK.
- REMOVE EXISTING FLOOR/CEILING (ACT), FINISH MATERIAL AND ASSOCIATED WALL, BASE MATERIALS AND THRESHOLDS (TYP.) CLEAN FLOOR DEBRIS, MORTAR, MASTIC AND/OR GLUE PRIOR TO INSTALLATION OF NEW FLOOR FINISH.
- REMOVE EXISTING ACCESS DOOR, FRAME, AND ANY ASSOCIATED HARDWARE. ENLARGE OPENING AS REQUIRED FOR LAUNDRY CHUTE DOOR. COORDINATE ROUGH OPENING WITH SUPPLIER.
- NOTIFY G.C. AND STRUCTURAL ENGINEER IF EXISTING WALL CONSTRUCTION IS MASONRY. STRUCTURAL ENGINEER TO COORDINATE PLACEMENT, TYPE, AND SIZE OF LINTEL IF REQUIRED.
- EXISTING ELECTRICAL PANELS TO BE REMOVED. COORDINATE WITH G.C. AND ELECTRICAL ENGINEER.
- EXISTING DOOR & FRAME TO REMAIN. REPAIR, REPAIR AS REQUIRED.
- REMOVE EXISTING LAUNDRY ROOM EQUIPMENT AND ASSOCIATED MECHANICAL, ELECTRICAL, AND PLUMBING AS REQUIRED. COORDINATE WITH G.C. AS TO WHAT IS TO REMAIN FOR REUSE.
- REMOVE EXISTING MECHANICAL, ELECTRICAL AND PLUMBING AS REQUIRED. COORDINATE WITH GC AS TO WHAT IS TO REMAIN.
- REMOVE INTERIOR WALLS, DOORS, AS SHOWN.
- COORDINATE WITH G.C. AND STRUCTURAL ENGINEER PRIOR TO REMOVING ANY EXISTING FINISH (WRAP / COVER) ON STRUCTURAL BEAMS AND COLUMNS.
- ALL PLUMBING ITEMS WILL BE REMOVED WITH THE EXCEPTION OF THE HORIZONTAL WASTE MAIN AT THE LOBBY CEILING LEVEL, THE SEWER & WATER ENTRANCES, THE GAS ENTRANCE & SELECTED SECTIONS OF THE 5" PIPING. ALL OTHER MISCELLANEOUS ITEMS WILL BE TAGGED IN THE FIELD IN COORDINATION WITH THE G.C. AND THE CORRESPONDING ENGINEER.
- FLOOR SURFACE TO BE LEVELED AND PREPARED FOR NEW FINISH AS REQUIRED.
- REMOVE EXISTING DOOR AND/OR WINDOW INFILLS. PREPARE AREA FOR NEW INFILL TO MATCH CORRESPONDING FIRE RATE AS REQUIRED.
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- REMOVE CEILING IN AREA TO MATCH EXISTING VOLUME HEIGHT IN FRONT OF EXISTING TRANSOM.

NOTES:

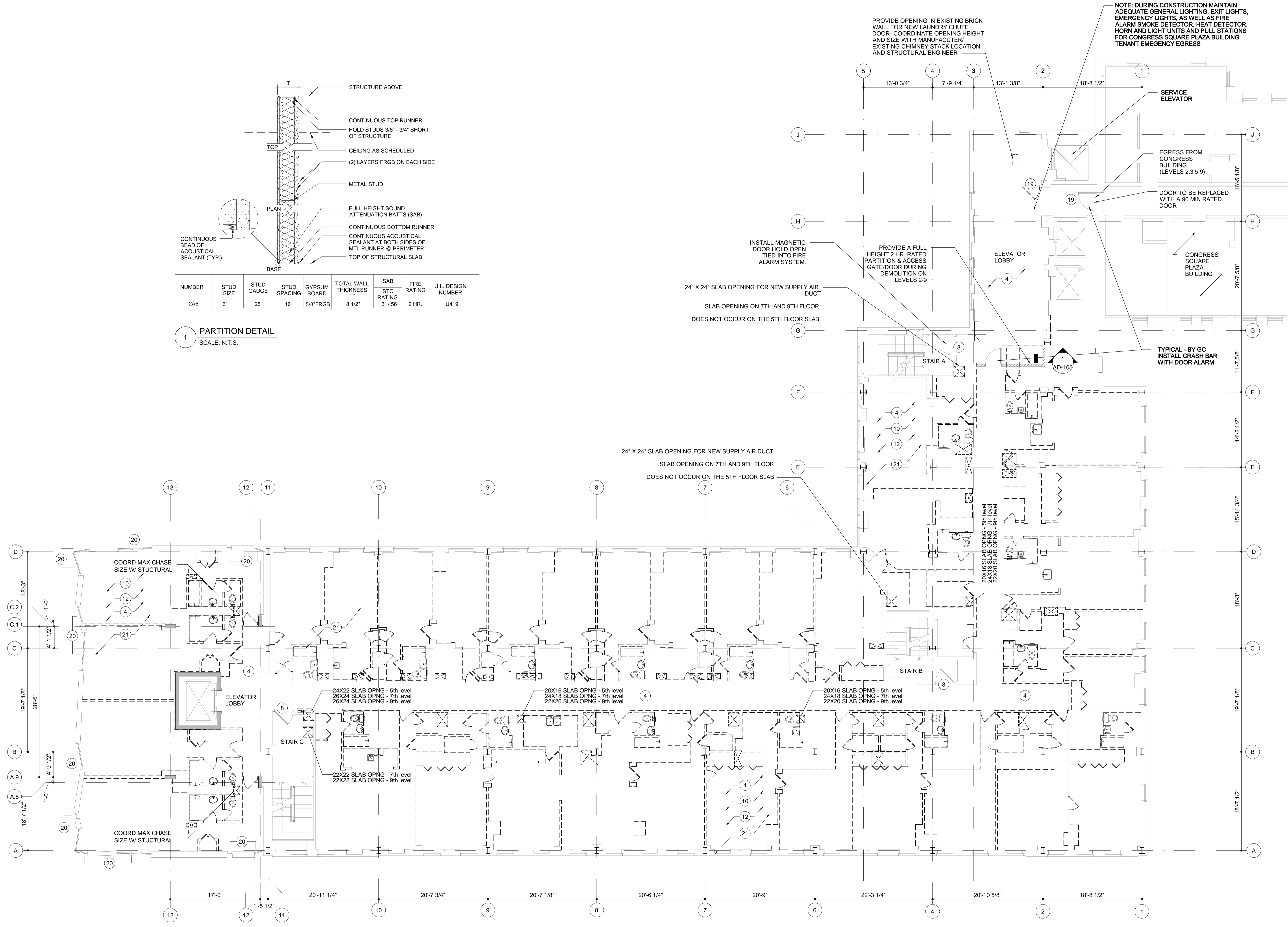
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- EXISTING CLASS 1 AUTOMATIC WET STANDPIPES LOCATED IN STAIR TOWERS A & C SHALL BE KEPT IN SERVICE FOR THE DURATION OF THE PROJECT.
- STAIR TOWERS A & C TO BE MAINTAINED AT A MINIMUM OF 40 DEGREES (F) TO PREVENT FREEZING OF WATER FILLED PIPE AND EQUIPMENT.

NOTE: APPLICABLE TO LEVELS 2-12

- REMOVE ALL SPRINKLER PIPING FLOORS 2-12 UP TO EXISTING OSGV GATE VALVE LOCATED IN STAIR TOWER C



**1 PARTITION DETAIL**  
SCALE: N.T.S.



**5TH, 7TH, & 9TH LEVEL DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"



Issue Dates:  
MARCH 16, 2012  
ISSUE FOR PERMIT

**WESTIN**  
HOTELS & RESORTS

ROCKBRIDGE CAPITAL  
**NEWCASTLE HOTELS & RESORTS**

CONTRACTOR  
**IDC**  
IDC CONSTRUCTION, LLC

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Project:  
**WESTIN EASTLAND PARK HOTEL RENOVATION**  
FOR  
**ROCKBRIDGE CAPITAL, LLC.**  
157 HIGH STREET  
PORTLAND, ME

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Sheet Title:  
**6TH, 8TH, & 10TH LEVEL DEMOLITION PLAN**

Job Number:	11009
Scale:	1/8" = 1'-0"
Drawn:	VY
Checked:	AR
Date:	03-16-2012

AD-106  
PERMIT SET - RELEASED FOR CONSTRUCTION

**KEYED DEMOLITION LEGEND**

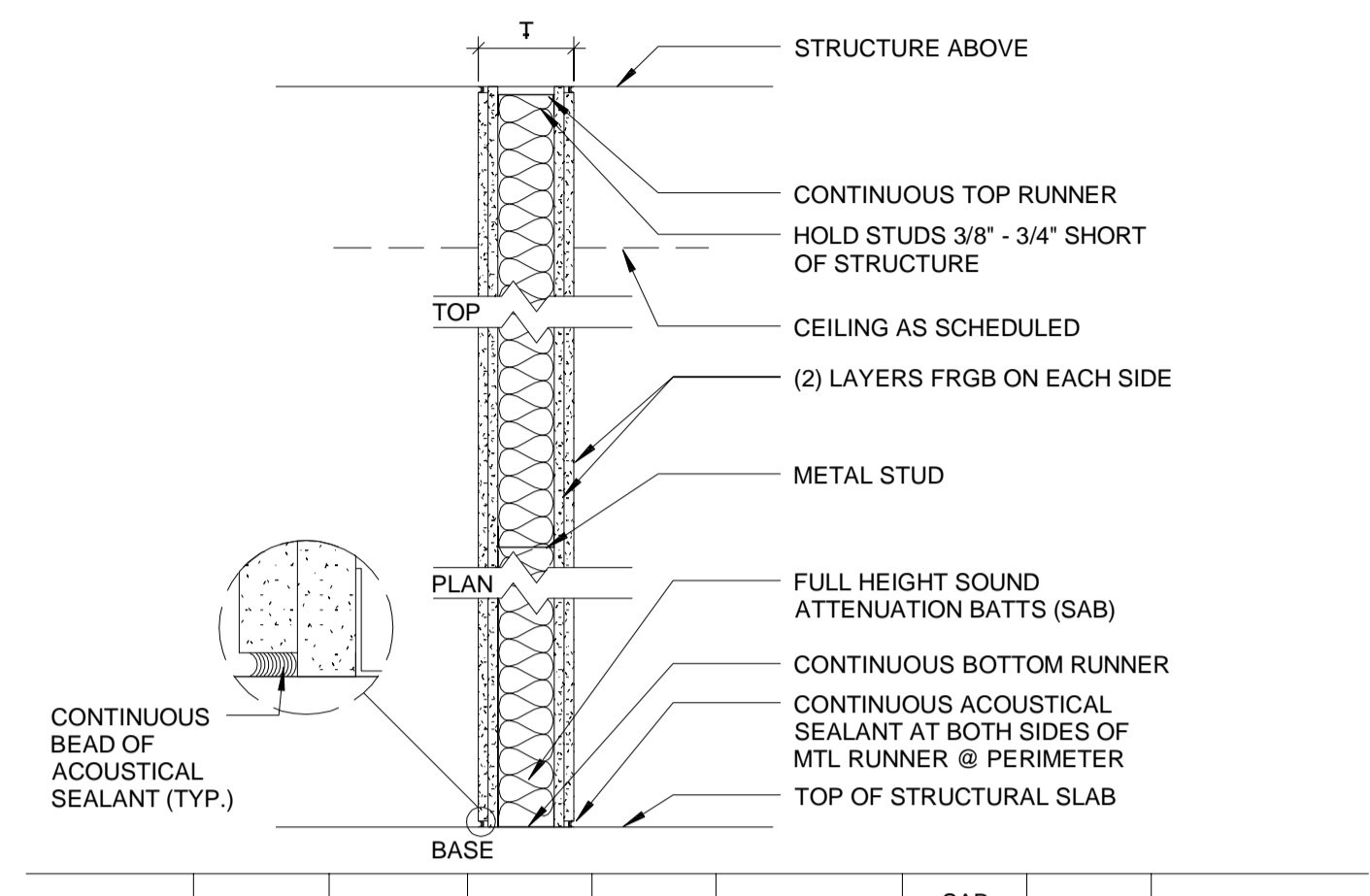
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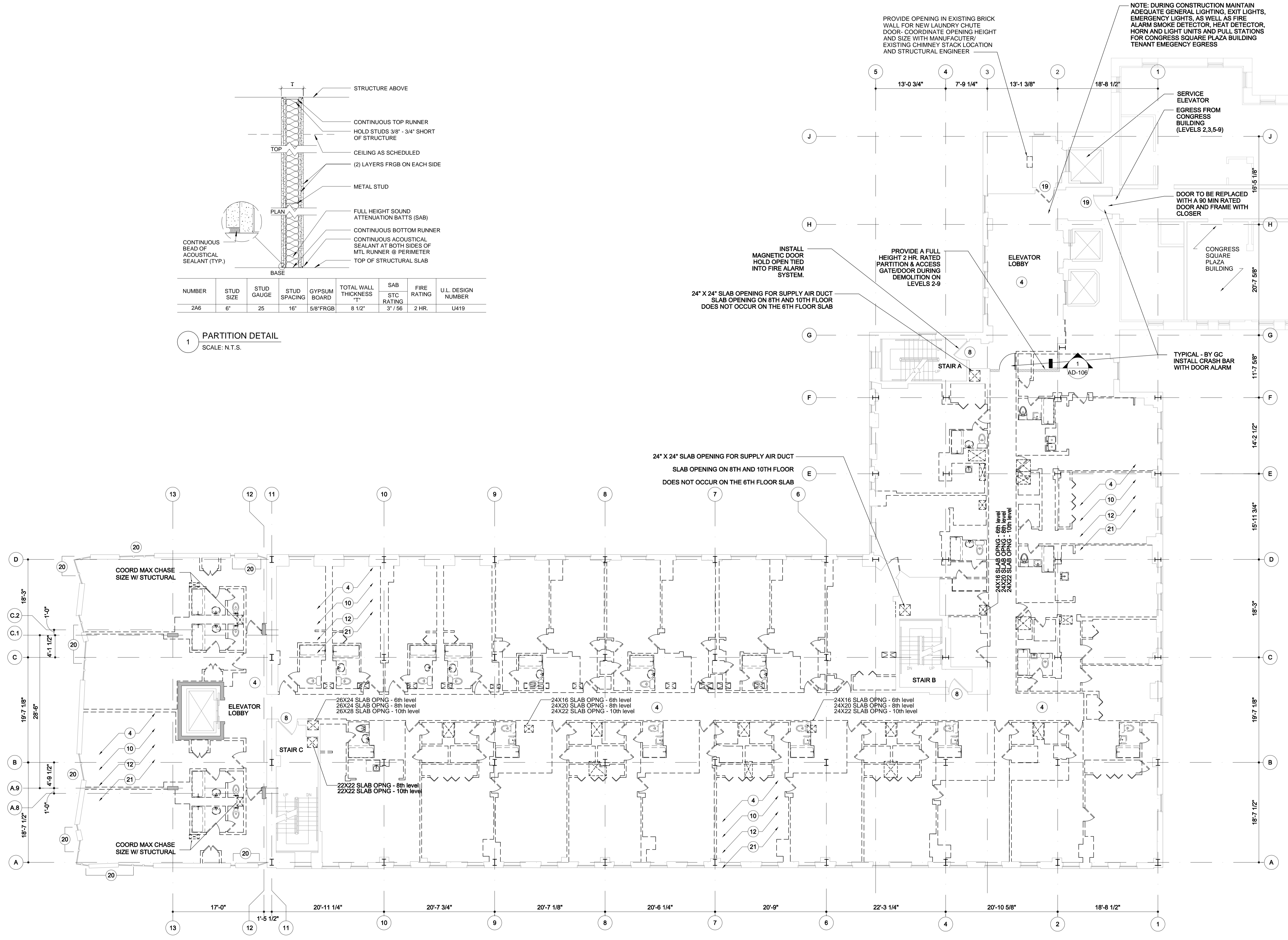
**NOTE:** APPLICABLE TO LEVELS 2-12

- REMOVE ALL SPRINKLER PIPING FLOORS 2-12 UP TO EXISTING OSBY GATE VALVE LOCATED IN STAIR TOWER C



NUMBER	STUD SIZE	STUD GAUGE	STUD SPACING	GYPSUM BOARD	TOTAL WALL THICKNESS	SAB STC RATING	FIRE RATING	U.L. DESIGN NUMBER
2A6	6"	25	16"	5/8"FRGB	8 1/2"	37 / 56	2 HR.	U419

**1 PARTITION DETAIL**  
SCALE: N.T.S.



**6TH, 8TH, & 10TH LEVEL DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"





Issue Dates:  
MARCH 16, 2012  
ISSUE FOR PERMIT



CONTRACTOR  
**IDC**  
IDC CONSTRUCTION, LLC

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Project:  
**WESTIN  
EASTLAND PARK  
HOTEL RENOVATION**  
FOR  
**ROCKBRIDGE CAPITAL, LLC.**  
157 HIGH STREET  
PORTLAND, ME

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Sheet Title:  
**11TH LEVEL  
DEMOLITION  
PLAN**

Job Number: 11009  
Scale: 1/8" = 1'-0"  
Drawn: VY  
Checked: AR  
Date: 03-16-2012  
**AD-107**

PERMIT SET - RELEASED FOR CONSTRUCTION

KEYED DEMOLITION LEGEND

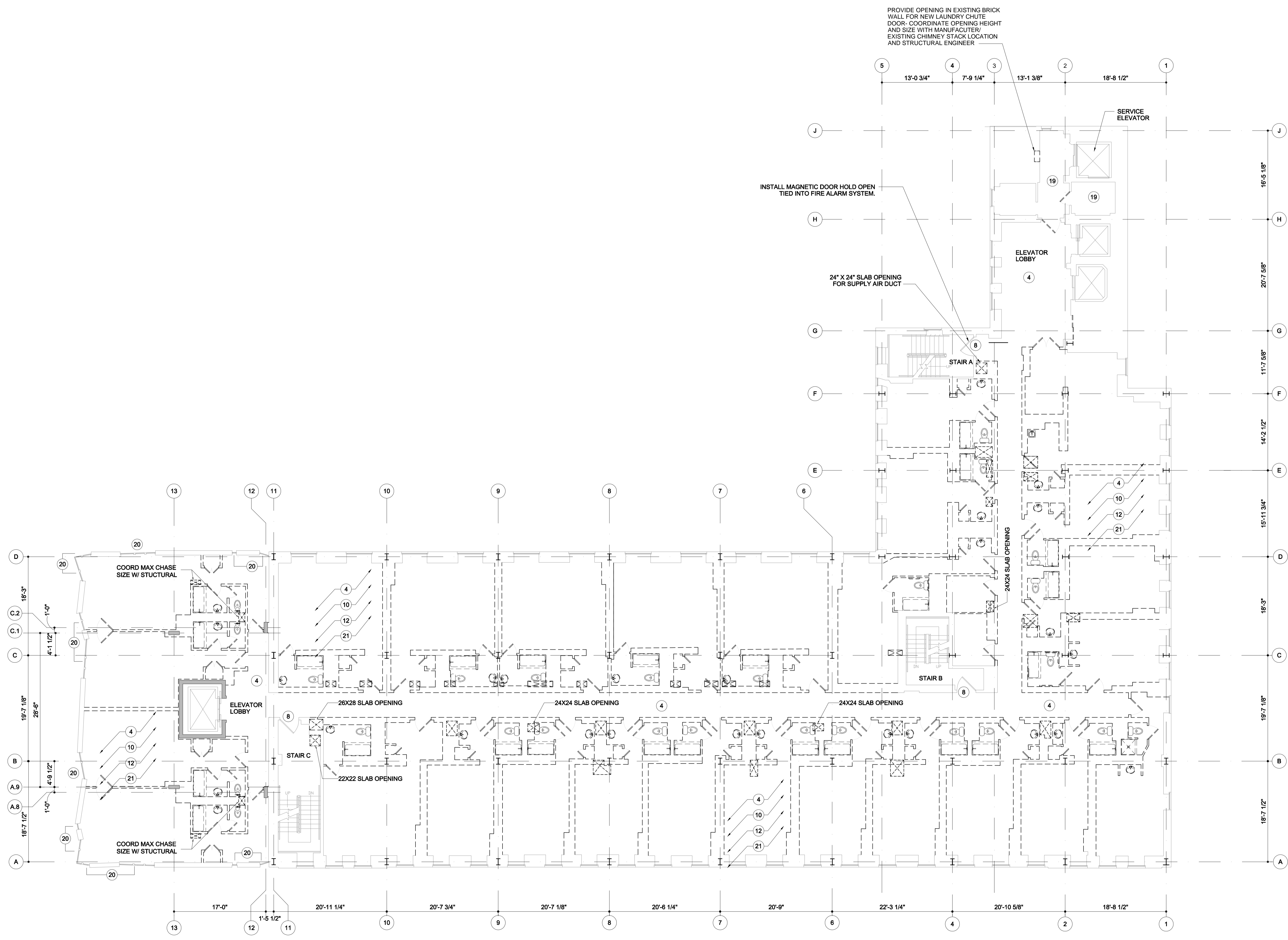
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NOTE: APPLICABLE TO LEVELS 2-12

- REMOVE ALL SPRINKLER PIPING FLOORS 2-12 UP TO EXISTING OS&Y GATE VALVE LOCATED IN STAIR TOWER C.



11TH LEVEL DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"



Issue Dates:  
MARCH 16, 2012  
ISSUE FOR PERMIT



CONTRACTOR  
**IDC**  
IDC CONSTRUCTION, LLC

NOTE: CONTRACTOR HAS REVIEWED THESE PLANS AND HAS PROVIDED FOR ALL LIMITED ORIGINAL CONSTRUCTION DOCUMENTS. THE REVOLUTIONS OF THE ATTACHED DOCUMENTS AND ALL ASSOCIATED FIELD CONDITIONS. THE CONTRACTOR AND ALL ASSOCIATED SUBCONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL EXISTING CONDITIONS.

Project:  
**WESTIN  
EASTLAND PARK  
HOTEL RENOVATION**  
FOR  
**ROCKBRIDGE CAPITAL, LLC.**  
157 HIGH STREET  
PORTLAND, ME

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Sheet Title:  
**12TH LEVEL  
DEMOLITION  
PLAN**

Job Number: 11009  
Scale: 1/8" = 1'-0"  
Drawn: VY  
Checked: AR  
Date: 03-16-2012  
**AD-108**

PERMIT SET - RELEASED FOR CONSTRUCTION

**KEYED DEMOLITION LEGEND**

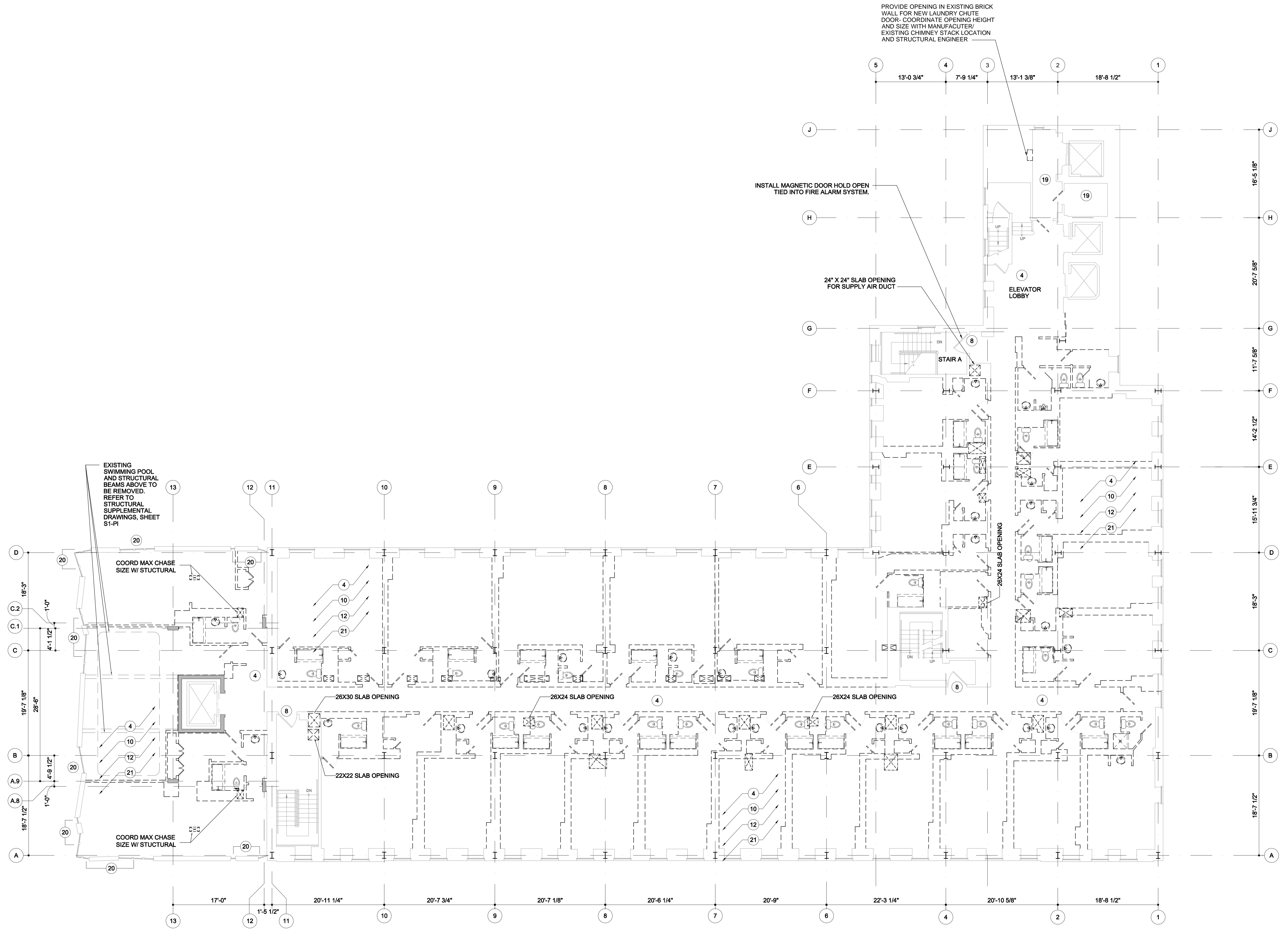
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**12TH LEVEL DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"



Issue Dates:  
MARCH 16, 2012  
ISSUE FOR PERMIT

**WESTIN**  
HOTELS & RESORTS

ROCKBRIDGE CAPITAL

NEW CASTLE HOTELS  
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Project:

**WESTIN**  
**EASTLAND PARK**  
**HOTEL RENOVATION**  
FOR  
**ROCKBRIDGE CAPITAL, LLC.**  
157 HIGH STREET  
PORTLAND, ME

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Sheet Title:

**TOP OF THE EAST  
DEMOLITION  
PLAN**

Job Number: 11009

Scale: 1/8" = 1'-0"

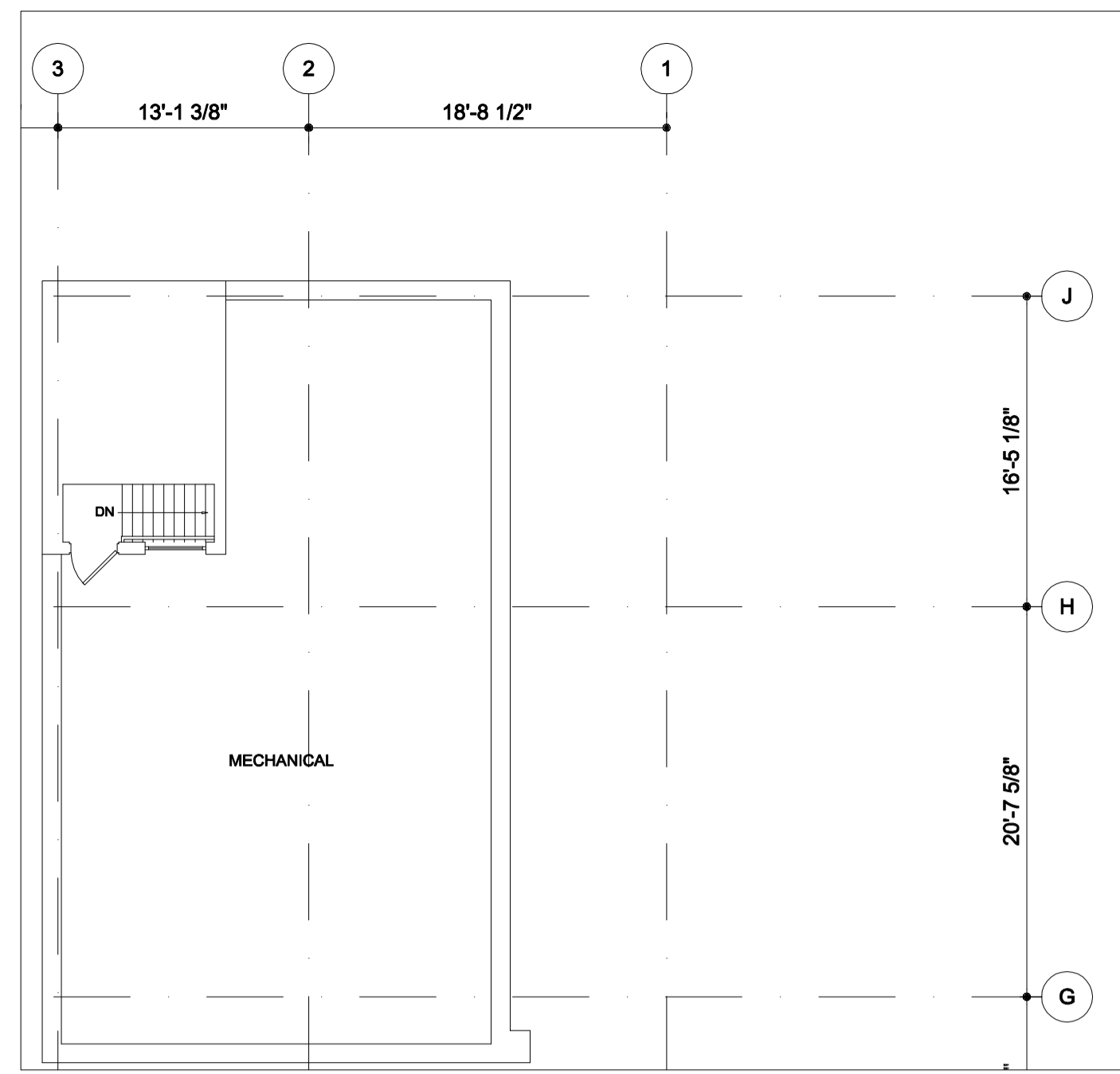
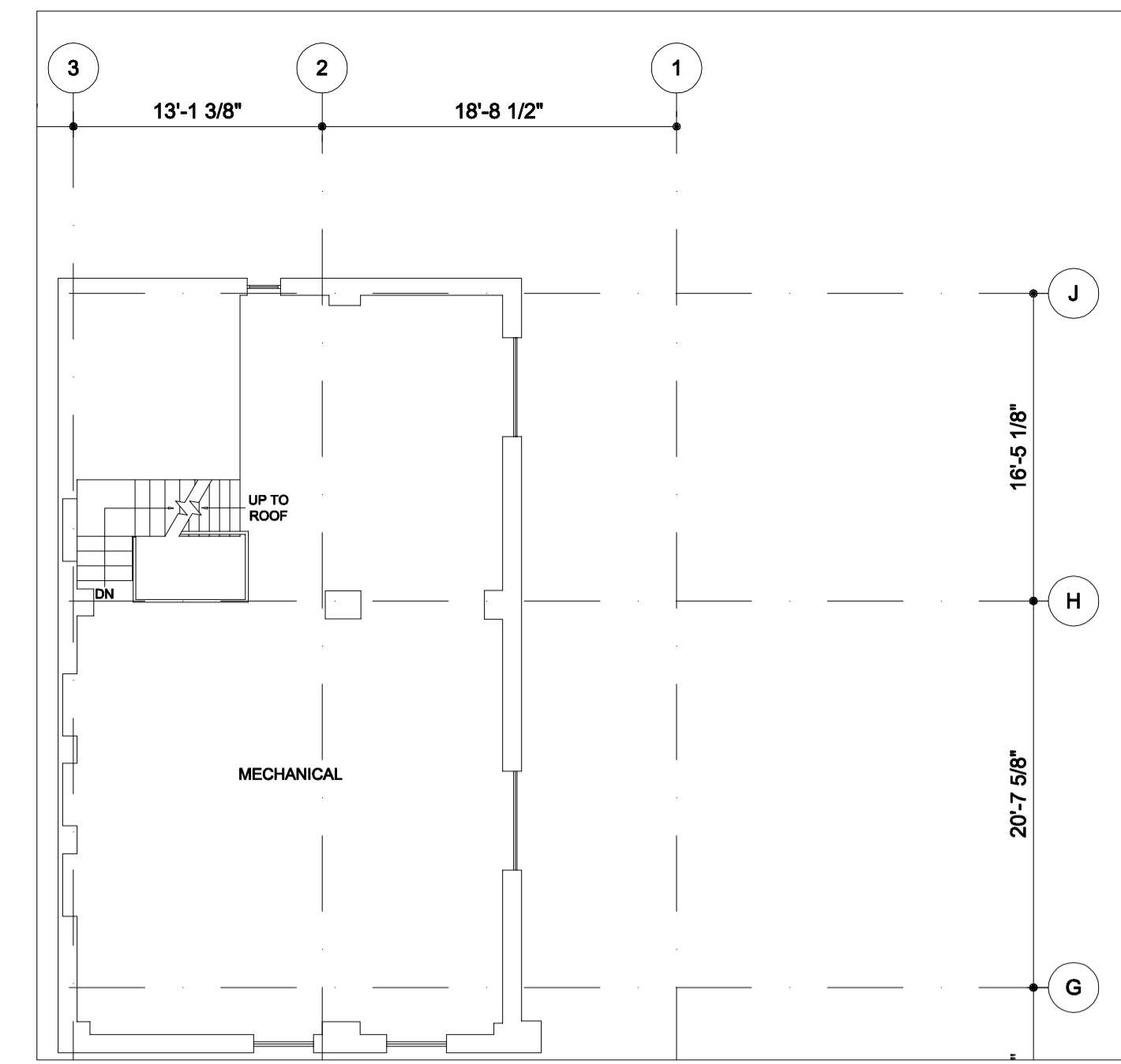
Drawn: ARR

Checked: BAS

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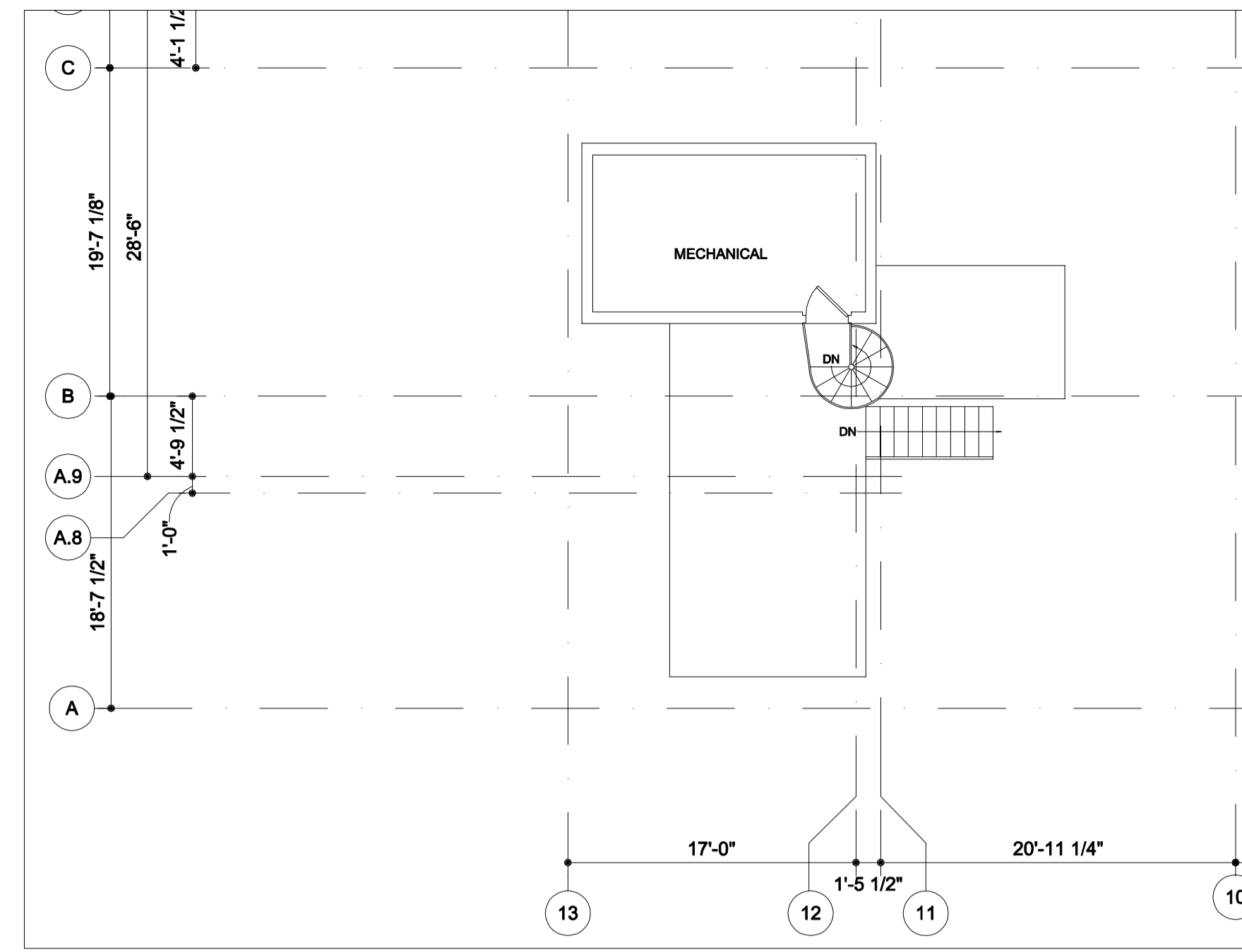
PERMIT SET - RELEASED  
FOR CONSTRUCTION

AD-109



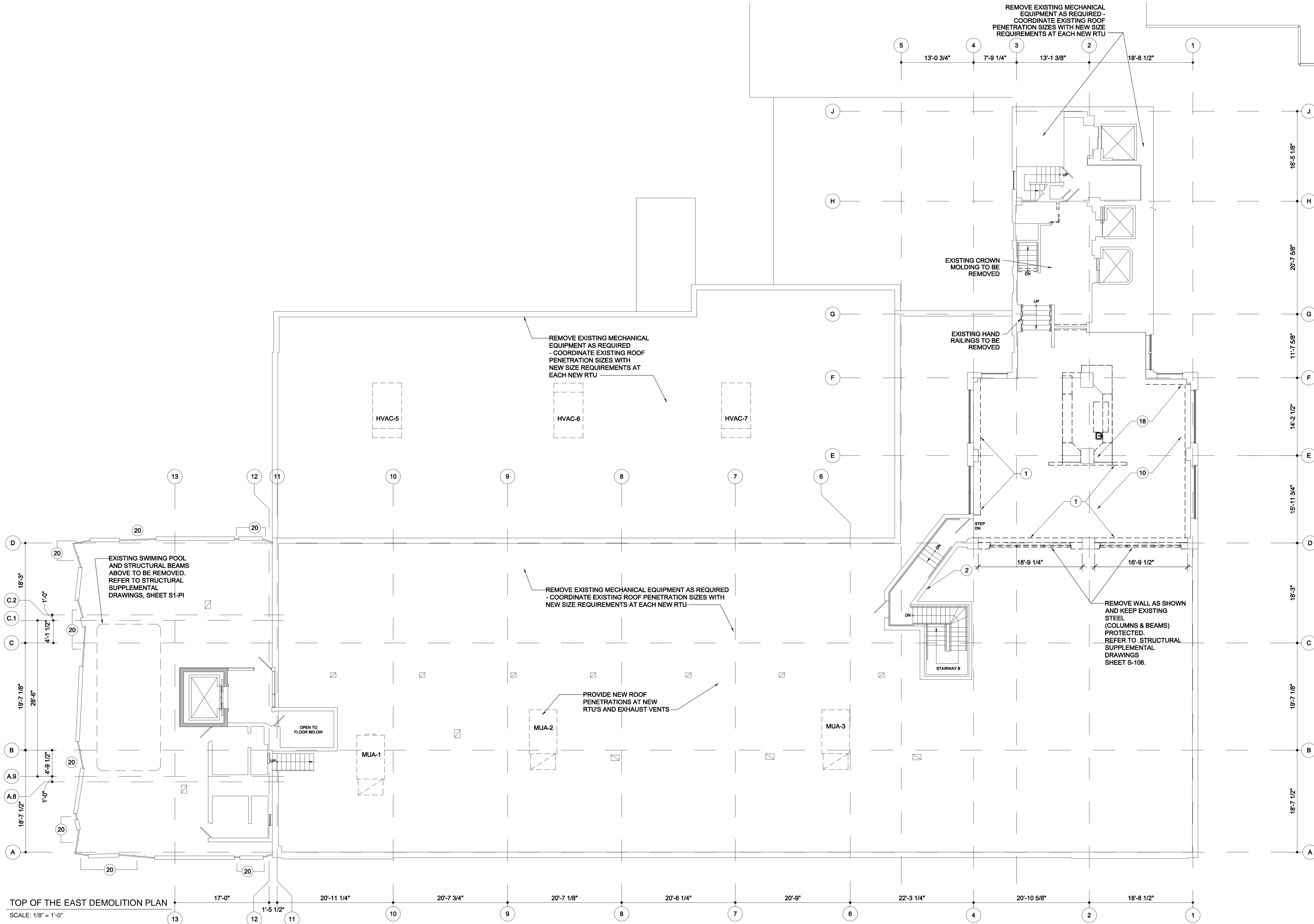
UPPER TOWER FLOOR PLANS

SCALE: 1/8" = 1'-0"



UPPER TOWER EXPANSION FLOOR PLAN

SCALE: 1/8" = 1'-0"



TOP OF THE EAST DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

KEYED DEMOLITION LEGEND

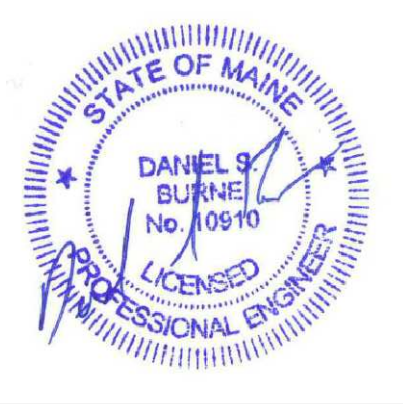
- REMOVE EXISTING AS INDICATED. REMOVE ALL PHYSICAL PORTIONS OF EXISTING WALLS, WINDOWS, DOORS, ROOF, FLOOR AND ANY ASSOCIATED WIRING, CONDUITS, DUCT, WORK UTILITIES, ETC. PROTECT ADJACENT EXISTING WALLS/PARTITIONS TO REMAIN. REPAIR ANY EXPOSED ENDS OF BLOCK/MTL STUD AFTER DEMOLITION AS REQUIRED BY PLANS.
- REMOVE SECTION OF WALL. PROTECT ADJACENT EXISTING WALLS TO REMAIN. REPAIR ANY EXPOSED ENDS OF MASONRY/MTL STUDS AFTER DEMOLITION AS REQUIRED. COORDINATE FLOOR AND ADJACENT WALL REPAIR/PATCH AFTER EXISTING WALL IS REMOVED. - SEE STRUCTURAL SUPPLEMENTAL DWGS.
- REMOVE EXISTING DOOR AND FRAME, BLOCKING, SHIMS BAKER ROD AND CAULKING AS INDICATED. PREPARE EXISTING OPENING FOR NEW WORK.
- REMOVE EXISTING FLOOR/CEILING (ACT), FINISH MATERIAL AND ASSOCIATED WALL BASE MATERIALS AND THRESHOLS (TYP.) CLEAN FLOOR. DEBRIS, MORTAR MASTIC AND/OR GLUE PRIOR TO INSTALLATION OF NEW FLOOR FINISH.
- REMOVE EXISTING ACCESS DOOR, FRAME, AND ANY ASSOCIATED HARDWARE. ENLARGE OPENING AS REQUIRED FOR LAUNDRY CHUTE DOOR. COORDINATE ROUGH OPENING WITH SUPPLIER.
- NOTIFY G.C. AND STRUCTURAL ENGINEER IF EXISTING WALL CONSTRUCTION IS MASONRY. STRUCTURAL ENGINEER TO COORDINATE PLACEMENT, TYPE, AND SIZE OF LINTEL IF REQUIRED.
- EXISTING ELECTRICAL PANELS TO BE REMOVED. COORDINATE WITH G.C. AND ELECTRICAL ENGINEER.
- EXISTING DOOR & FRAME TO REMAIN. REPAIR, REPAIR AS REQUIRED.
- REMOVE EXISTING LAUNDRY ROOM EQUIPMENT AND ASSOCIATED MECHANICAL, ELECTRICAL AND PLUMBING AS REQUIRED. COORDINATE WITH G.C. AS TO WHAT IS TO REMAIN FOR REUSE.
- REMOVE EXISTING MECHANICAL, ELECTRICAL AND PLUMBING AS REQUIRED. COORDINATE WITH GC AS TO WHAT IS TO REMAIN.
- REMOVE INTERIOR WALLS, DOORS, AS SHOWN.
- COORDINATE WITH G.C. AND STRUCTURAL ENGINEER PRIOR TO REMOVING ANY EXISTING FINISH (WRAP / COVER) ON STRUCTURAL BEAMS AND COLUMNS.
- ALL PLUMBING ITEMS WILL BE REMOVED WITH THE EXCEPTION OF THE HORIZONTAL WASTE MAIN AT THE LOBBY CEILING LEVEL. THE SEWER & WATER ENTRANCES, THE GAS ENTRANCE & SELECTED SECTIONS OF THE 5" PIPING. ALL OTHER MISCELLANEOUS ITEMS WILL BE TAGGED IN THE FIELD IN COORDINATION WITH THE G.C. AND THE CORRESPONDING ENGINEER.
- FLOOR SURFACE TO BE LEVELED AND PREPARED FOR NEW FINISH AS REQUIRED.
- REMOVE EXISTING DOOR AND/OR WINDOW INFILLS. PREPARE AREA FOR NEW INFILL TO MATCH CORRESPONDING FIRE RATE AS REQUIRED.
- SMOOTH EXISTING ROUGH OPENING.
- REMOVE DOOR & PATCH/REPAIR SURFACE OPENING AS REQUIRED.
- REMOVE WALL PORTIONS AS INDICATED AND PREPARE OPENING FOR A NEW DOOR INSTALLATION AS REQUIRED.
- REMOVE EXISTING DOOR AND PREPARE AREA FOR NEW DOOR.
- REMOVE EXISTING WINDOWS AND PREPARE AREA FOR NEW WINDOWS AT EXISTING TOWER EXPANSION ONLY.
- REMOVE EXISTING PLUMBING FIXTURES (TLT., LAV., SHOWER/TUB) & PREPARE AREA ACCORDING TO NEW LAYOUT.
- REMOVE CEILING IN AREA TO MATCH EXISTING VOLUME HEIGHT IN FRONT OF EXISTING TRANSOM.

NOTES:

- ALL DEMOLITION PROCEDURES SHALL FOLLOW NFPA 241 (2009 EDITION), STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATIONS, AND DEMOLITION OPERATIONS AND NFPA 1 (2012 EDITION) FIRE CODE, CHAPTER 16, SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS.
- EXISTING SLAB PENETRATIONS TO BE COORDINATED WITH CONSTRUCTION PHASE FOR LOCATION AND USE. PENETRATIONS NOT USED SHALL BE SEALED (INFILLED) PER STRUCTURAL SPECIFICATIONS.
- EXISTING CLASS 1 AUTOMATIC WET STANDPIPES LOCATED IN STAIR TOWERS A & C SHALL BE KEPT IN SERVICE FOR THE DURATION OF THE PROJECT.
- STAIR TOWERS A & C TO BE MAINTAINED AT A MINIMUM OF 40 DEGREES (F) TO PREVENT FREEZING OF WATER FILLED PIPE AND EQUIPMENT.

NOTE: APPLICABLE TO SHEET AD-109

- EXISTING STANDPIPE ROOF MANIFOLD TO REMAIN AS IS
- REMOVE ALL SPRINKLER PIPING THROUGHOUT THE TOP OF THE EAST LEVEL



Issue Dates:

▲	NOVEMBER 21, 2011
▲	ISSUE FOR PERMIT
▲	DECEMBER 18, 2011
▲	PERMIT SET REVISIONS
▲	JANUARY 23, 2012
▲	REVIEW SET
▲	MARCH 15, 2012
▲	FINAL REVIEW SET



CONTRACTOR  
**IDC**  
IDC CONSTRUCTION, LLC  
CONSULTING ARCHITECTS  
ttl-architects, llc

Project:  
WESTIN  
EASTLAND PARK  
HOTEL RENOVATION  
FOR  
ROCKBRIDGE CAPITAL, LLC.  
157 HIGH STREET  
PORTLAND, ME

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Sheet Title:  
GENERAL NOTES

Job Number:	11009
Scale:	NOTED
Drawn:	RJB
Checked:	DSB
Date:	3-15-12
RELEASED FOR CONSTRUCTION	

**S100**

**STRUCTURAL DRAWINGS INCLUDED AS SUPPLEMENTAL INFORMATION TO DEMOLITION DRAWINGS**

GENERAL NOTES

- THE NOTES ON THESE DRAWINGS ARE NOT INTENDED TO REPLACE SPECIFICATIONS. SEE SPECIFICATIONS FOR REQUIREMENTS IN ADDITION TO GENERAL NOTES. INCONSISTENCIES BETWEEN THESE DRAWINGS AND THE SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE AFFECTED PORTION OF THE WORK.
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
- ALL DIMENSIONS, EXISTING CONDITIONS, AND AS-BUILT CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE ONLY AFTER THE STRUCTURAL WORK CONTAINED IN THE S- DRAWINGS IS COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- SECTIONS AND DETAILS SHOWN ON ANY STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS AS DETERMINED BY THE STRUCTURAL ENGINEER. THE STRUCTURAL ENGINEER RESERVES THE RIGHT TO INTERPRET DETAILS TO ADDRESS OTHER PROJECT CONDITIONS.
- PROVIDE AND INSTALL NECESSARY MATERIAL TO CONNECT ELEVATOR SUPPORT BEAMS AND GUIDE RAILS. LOCATION AND SIZE OF MEMBERS AND ANY INSERTS REQUIRED SHALL BE DETERMINED BY THE ELEVATOR MANUFACTURER.
- THE CONTRACTOR SHALL SUBMIT COMPLETE SHOP DRAWINGS FOR ALL PARTS OF THE WORK, INCLUDING DESCRIPTION OF SHORING AND CONSTRUCTION METHODS AND SEQUENCING WHERE APPLICABLE. NO PERFORMANCE OF THE WORK INCLUDING, BUT NOT LIMITED TO, DEMOLITION OF EXISTING STRUCTURE, OR FABRICATION OR ERECTION OF NEW STRUCTURAL ELEMENTS, SHALL COMMENCE WITHOUT REVIEW OF THE SHOP DRAWINGS BY THE ARCHITECT AND ENGINEER. SUBMIT ONE COPY AND ONE PDF. COPY WILL BE REVIEWED AND PDF WILL BE RETURNED. FOR SHOP DRAWINGS AND SUBMITTALS REQUIRED, REFERENCE THE PROJECT SPECIFICATION.
- ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
- IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (2009 EDITION), A STATEMENT OF SPECIAL INSPECTIONS IS REQUIRED AS A CONDITION FOR PERMIT ISSUANCE BY THE LOCAL CODE OFFICIAL. THIS STATEMENT SHALL INCLUDE A COMPLETE LIST OF MATERIALS AND WORK REQUIRING SPECIAL INSPECTIONS, THE INSPECTIONS TO BE PERFORMED AND A LIST OF THE INDIVIDUALS, APPROVED AGENCIES AND FIRMS INTENDED TO BE RETAINED FOR CONDUCTING SUCH INSPECTIONS.
- REFERENCE THE PROJECT SPECIFICATIONS FOR ALL TESTING REQUIREMENTS.

DESIGN LOADS

- BUILDING CODE:  
MAINE UNIFORM BUILDING AND ENERGY CODE  
INTERNATIONAL BUILDING CODE, 2009 EDITION  
INTERNATIONAL EXISTING BUILDING CODE, 2009 EDITION  
ASCE 7-05 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES

- DESIGN FLOOR LIVE LOADS:  
TOP OF THE EAST EXPANSION: 100 PSF  
PUBLIC ROOMS AND CORRIDORS SERVING: 100 PSF  
STAIRS: 100 PSF  
PRIVATE ROOMS AND CORRIDORS SERVING: 40 PSF

- DESIGN ROOF SNOW LOAD:  
GROUND SNOW LOAD (Pg): 60 PSF  
SNOW EXPOSURE FACTOR (Ce): 0.9  
SNOW LOAD IMPORTANCE FACTOR (I<sub>s</sub>): 1.0  
SNOW LOAD THERMAL FACTOR (Ct): 1.1  
FLAT ROOF SNOW LOAD (P<sub>f</sub>): 42 PSF + DRIFT

- DESIGN WIND LOAD:  
BASIC WIND SPEED: 100 MPH  
WIND LOAD IMPORTANCE FACTOR (I<sub>w</sub>): 1.0  
WIND EXPOSURE: C  
INTERNAL PRESSURE COEFFICIENT: ±0.18  
COMPONENTS & CLADDING PER ASCE 7-05

- DESIGN SEISMIC LOADS:  
ADDITION AND RENOVATIONS DO NOT INCREASE THE LATERAL-FORCE STORY SHEAR IN ANY STORY BY MORE THAN 10%. SEISMIC UPGRADE TO EXISTING STRUCTURE IS NOT REQUIRED BY 2009 IBC. THE FOLLOWING APPLIES TO THE ROOFTOP ADDITION STRUCTURE:  
EQUIVALENT LATERAL FORCE PROCEDURE  
SEISMIC OCCUPANCY CATEGORY: II  
SEISMIC IMPORTANCE FACTOR (I<sub>e</sub>): 1.0  
MAPPED SPECTRAL RESPONSE ACCELERATIONS:  
S<sub>s</sub>: 0.314  
S<sub>1</sub>: 0.077  
SEISMIC SITE CLASS: D  
SPECTRAL RESPONSE COEFFICIENTS:  
S<sub>ds</sub>: 0.324  
S<sub>d1</sub>: 0.123  
SEISMIC DESIGN CATEGORY: B  
BASIC STRUCTURAL SYSTEM: MOMENT-RESISTING FRAME SYSTEM  
BASIC SEISMIC FORCE RESISTING SYSTEM:  
STEEL SYSTEMS NOT SPECIFICALLY DETAILED FOR SEISMIC RESISTANCE (R=3)  
RESPONSE MODIFICATION FACTOR (R): 3.0  
SEISMIC RESPONSE COEFFICIENT (C<sub>s</sub>): 0.108

CONCRETE NOTES

- CONCRETE WORK SHALL CONFORM TO "ACI MANUAL OF CONCRETE PRACTICE", LATEST EDITION. THIS PUBLICATION IS AVAILABLE THROUGH THE AMERICAN CONCRETE INSTITUTE (248) 848-3800.
- ALL CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI, U.N.O. EXTERIOR SLAB-ON-GRADE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4,500 PSI. ADDITIONAL CONCRETE MIX PERFORMANCE DATA INCLUDING AIR CONTENT, WATER-CEMENT RATIO, AGGREGATE SIZE, SLUMP, ETC. HAS BEEN INCLUDED IN THE PROJECT SPECIFICATIONS. SEE THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
- REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60 DEFORMED BARS AND SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH ACI 315, LATEST EDITION.
- MINIMUM CONCRETE PROTECTIVE COVERING FOR REINFORCEMENT, UNLESS NOTED OTHERWISE, SHALL BE AS FOLLOWS:  
A. SURFACES CAST AGAINST AND PERMANENTLY IN CONTACT WITH EARTH, 3.0"  
B. FORMED SURFACES IN CONTACT WITH EARTH OR EXPOSED TO WEATHER #5 BARS, 5/8" DIAMETER WIRE AND SMALLER, 1.5"
- ALL GROUT BENEATH BASE PLATES & BEARING PLATES SHALL BE "5-STAR" 5000-PSI NON-SHRINK GROUT BY U.S. GROUT CORP.
- INSTALLATION OF REINFORCEMENT SHALL BE COMPLETED AT LEAST 24 HOURS PRIOR TO THE SCHEDULED CONCRETE PLACEMENT. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF COMPLETION AT LEAST 24 HOURS PRIOR TO THE SCHEDULED COMPLETION OF THE INSTALLATION OF REINFORCEMENT.
- ALL ITEMS TO BE EMBEDDED INTO CONCRETE SHALL BE INSTALLED PRIOR TO PLACEMENT OF CONCRETE. PROVIDE ADDITIONAL REINFORCEMENT AND/OR TEMPLATES AS REQUIRED TO ENSURE THE CORRECT POSITIONS OF EMBEDMENTS. "WET SETTING" OF EMBEDMENTS INTO CONCRETE IS STRICTLY PROHIBITED. EMBEDMENTS INCLUDE, BUT NOT BY LIMITATION, REINFORCEMENT, REINFORCING DOWELS, EMBEDDED PLATES, ANCHOR RODS, ANCHOR INSERTS, SLEEVES, LOAD TRANSFER PLATES, DIAMOND DOWELS, AND SHELF BULK HEADS.

STRUCTURAL STEEL NOTES

- STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO AISC "SPECIFICATION FOR THE DESIGN FABRICATIONS, AND ERECTION OF STRUCTURAL STEEL" LATEST EDITION, AND THE "CODE OF STANDARD PRACTICE", LATEST EDITION.
- STRUCTURAL STEEL: STEEL PLATES, SHAPES, AND BARS, CONFORM TO ASTM A36 UNLESS NOTED OTHER WISE (U.N.O.). STRUCTURAL STEEL SHAPES DESIGNATED ON THE DRAWINGS FOR WIDE-FLANGE SECTIONS: ASTM A992 (ASTM A572 GRADE 50 WITH SPECIAL REQUIREMENTS PER AISC TECHNICAL BULLETIN #3 DATED MARCH, 1997)
- STRUCTURAL TUBING: CONFORM TO ASTM A500 GRADE B46 KSL.
- FIELD CONNECTIONS SHALL BE BOLTED USING ASTM A325N HIGH STRENGTH BOLTS (U.N.O.).
- WHERE WELDING IS INDICATED, ALL WELDING SHALL CONFORM TO AWS D1.1-LATEST EDITION. ELECTRODES SHALL CONFORM TO AWS A5.1 E70XX SERIES WITH PROPER ROD TO PRODUCE OPTIMUM WELD (LOW HYDROGEN)
- PROVIDE 3/8" MINIMUM STIFFENER PLATES EACH SIDE OF BEAM WEB AT BEAMS FRAMING OVER COLUMNS AND AT BEAMS SUPPORTING COLUMNS ABOVE.
- PROVIDE ALL MISCELLANEOUS ANGLES, PLATES, ANCHOR BLOTS ETC., SHOWN ON ARCHITECTURAL DRAWINGS FOR SUPPORT OF BLOCKING, PARAPETS, FINISHES, ETC. COORDINATE WITH MISCELLANEOUS METAL FABRICATOR TO ENSURE COMPLETE COVERAGE OF ALL ITEMS.

MASONRY NOTES

- ALL MASONRY CONSTRUCTION SHALL CONFORM TO ACI 530.1-LATEST.
- ALL CONCRETE MASONRY UNITS SHALL BE ASTM C90 GRADE N, TYPE 1 STANDARD WEIGHT BLOCKS INCLUDING STRETCHERS AND CORNER BLOCKS. MINIMUM PRISM STRENGTH OF BLOCK SHALL BE F<sub>m</sub> = 1500 PSI IN 28 DAYS.
- MORTAR SHALL CONFORM TO ASTM SPECIFICATION C270, TYPE M OR S
- GROUT SHALL CONFORM TO ASTM-C476
- REINFORCING FOR BOND BEAMS, LINTEL BLOCKS AND VERTICAL WALL REINFORCING SHALL BE BILLET STEEL CONFORMING TO ASTM A615, GRADE 60
- HORIZONTAL JOINT REINFORCING SHALL BE DUR-O-WAL TRUSS DESIGN, STANDARD CLASS MILL GALVANIZED WITH 3/16" DIAMETER SIDE RODS AND 9 GAUGE CROSS TIES, U.N.O. REINFORCING SHALL BE PLACED IN MASONRY WALLS AT EVERY SECOND BLOCK COURSE.
- CONCRETE MASONRY UNITS SHALL BE LAID IN RUNNING BOND UNLESS OTHERWISE NOTED. PROVIDE FULL MORTAR COVERAGE ON ALL WEBS AND FACE SHELLS. PROVIDE CORNER BLOCKS AND END BLOCKS TO FINISH ALL 90 DEGREE CORNERS AND WALL OPENINGS.
- PROVIDE LINTELS AT WALL PENETRATIONS AS SHOWN IN THE LINTEL SCHEDULE.
- STANDARD LAP LENGTH OF GRADE 60 MASONRY REINFORCING BARS SHALL BE 48 BAR DIAMETERS FOR BARS #5 AND SMALLER. PROVIDE CORNER BARS TO MATCH HORIZONTAL REINFORCEMENT.
- CELLS TO BE GROUTED SHALL BE 2-CELL BLOCK. ALIGN CELLS TO MAINTAIN A CLEAR UNSTRUCTURED, CONTINUOUS VERTICAL CHASE. CELLS MUST BE KEPT CLEAN OF PROTRUSIONS OR FINS OF MORTAR. FILL CELLS OF MASONRY UNITS AND WALL CAVITIES WHERE INDICATED WITH 2500 PSI GROUT. MAXIMUM GROUT LIFT WITHOUT CLEAN-OUTS SHALL BE 4'-0". HIGH LIFT GROUTING SHALL CONFORM TO CODE REQUIREMENTS WITH A MINIMUM CEMENT CONTENT OF 8 SACKS PER CUBIC YARD. SUPPORT ALL VERTICAL BARS IN CENTER OF GROUTED CELLS WITH VERTICAL BAR POSITIONER.
- FIELD PENETRATIONS THROUGH BLOCK WALLS SHALL NOT BE MADE THROUGH BOND BEAMS, LINTELS OR GROUTED CELLS.

COLD FORMED FRAMING NOTES:  
1. DESIGN OF NON-LOADBEARING CFMF AND WHERE OTHERWISE NOTED, IS BY OTHERS. SEE SPECIFICATIONS. NOTES BELOW APPLY TO LOAD BEARING CFMF IDENTIFIED ON THESE DRAWINGS.  
2. PRODUCTS AND INSTALLATION SHALL MEET THE REQUIREMENTS OF AISI SPECIFICATION FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS, LATEST EDITION & LATEST SUPPLEMENT, AWS SPECIFICATION FOR WELDING SHEET STEEL IN STRUCTURES, D1-3, ASTM 653 STANDARD SPECIFICATION FOR SHEET STEEL, ZINC (GALVANIZED) OR ZINC-IRON ALLOY-COATED (GALVANNEED) BY THE HOT DIP PROCESS AND ASTM C 955 STANDARD SPECIFICATION FOR LOAD BEARING, (TRANSVERSE AND AXIAL, STEEL STUDS, RUNNER (TRACK) AND BRACING AND BRIDGING, FOR SCREW APPLICATION OF GYPSUM BOARD AND METAL PLASTER BASES.

- FRAMING MATERIALS SHALL BE AS INDICATED ON THE DRAWINGS AS MANUFACTURED BY DIETRICH INDUSTRIES, INC. 500 GRANT ST., SUITE 2226, PITTSBURGH, PA. 15219, (412) 281-2805. APPROVED EQUALS WILL BE CONSIDERED.
- ALL GALVANIZED STUDS (INTERIOR), JOISTS, TRACK, BRIDGING AND ACCESSORIES SHALL BE FORMED FROM STEEL HAVING A G-60 COATING MEETING ASTM C 955.
- WALL BRIDGING AND SOLID BLOCKING SHALL BE PROVIDED TO BRACE STUDS AGAINST ROTATION. INSTALL WALL BRIDGING AND BLOCKING PER DETAILS.
- SCREWS SHALL BE SELF DRILLING, SELF TAPPING, ZINC COATED AND NOT LESS THAN #10, U.N.O.
- SCREW PENETRATION THROUGH JOINED MATERIALS SHALL NOT BE LESS THAN THREE EXPOSED SCREW THREADS.
- PROTECTIVE COATINGS ON SCREW FASTENERS SHALL BE COMPATIBLE WITH LIGHT GAUGE MATERIAL BEING JOINED.
- CONTRACTOR SHALL REFER TO INSTALLATION INSTRUCTIONS PUBLISHED BY THE SCREW MANUFACTURER AND ASTM D954 FOR MINIMUM SPACING AND EDGE DISTANCE REQUIREMENTS AND TORQUE REQUIREMENTS.
- POWDER ACTUATED FASTENERS INTO STEEL SHALL BE HILTI 4X, U.N.O.
- POWER ACTUATED FASTENERS DESIGNATED 0.145" DIAMETER INTO CONCRETE SHALL BE HILT X4 PINS AND SHALL NOT BE INSTALLED UNTIL FULL COMPRESSIVE STRENGTH IS OBTAINED. PROVIDE 1" MIN EMBEDMENT.
- CONTRACTOR SHALL REFER TO INSTRUCTIONS PUBLISHED BY THE P.A.F. MANUFACTURER FOR MINIMUM SPACING, EDGE DISTANCE AND CONCRETE EMBEDMENT AND ADDITIONAL INSTALLATION REQUIREMENT.
- CUTTING OF COLD FORMED STEEL FRAMING SHALL BE BY SAW, SHEAR OR PLASMA CUTTING EQUIPMENT. OXYACETYLENE TORCH CUTTING IS NOT PERMITTED.
- TEMPORARY BRACING SHALL BE PROVIDED AND REMAIN IN PLACE UNTIL WORK IS PERMANENTLY STABILIZED.
- TOP TRACKS SHALL BE CONTINUOUS, WHERE SPlicing OF TRACK IS NECESSARY BETWEEN STUD SPACING, A PIECE OF STUD SHALL BE PLACED BETWEEN ADJACENT TRACKS AND FASTENED BY WELDS OR SCREWS TO EACH SIDE OF THE TRACK, EACH END, U.N.O.
- SPlicing OF FRAMING COMPONENTS, OTHER THAN TRACK, IS NOT PERMITTED.
- A SEALANT SHALL BE APPLIED TO CONCRETE OR MASONRY SURFACES PRIOR TO ANCHORING TRACKS.
- PROVIDE HORIZ STRAP BRIDGING FOR ALL WALLS. HORIZ BRIDGING SHALL BE CONT 20GA x 1 1/2" (MIN) WIDE STEEL STRAPS ON EA FACE OF STUD, LOCATED AT MAX 4'-0" ON CENTER FOR THE FULL HEIGHT OF THE WALL. PROVIDE TRACK SOLID BLOCKING AT 10'-0" ON CENTER ALONG THE WALL AT EA LINE OF BRIDGING. PROVIDE AN ADDITIONAL LINE OF BRIDGING A MAX OF 12" BELOW ALL SLIP TRACK CONNECTIONS. ALTERNATELY, BRIDGING CHANNELS AND BRIDGING CLIPS MAY BE USED.

LINTELS

- THE FOLLOWING LINTELS SHALL BE USED FOR MASONRY OPENINGS, U.N.O. ON DRAWINGS:  
MASONRY OPENING      LINTEL SIZE  
UP TO 3'-0"                    L 3 1/2 x3 1/2 x 5/16  
3'-1" TO 4'-6"                L 4 x 3 1/2 x 5/16 (LLV)  
4'-7" TO 6'-0"                L 5 x 3 1/2 x 5/16 (LLV)
- PROVIDE ONE ANGLE FOR EACH 4" WALL THICKNESS. FOR 6" WALL THICKNESS, PROVIDE WT OR BUILT-UP SECTION WITH PROPERTIES EQUAL TO OR GREATER THAN 1 1/2 TIMES THE ANGLES PROPERTIES FOR A 4" WALL THICKNESS.
- PROVIDE 8" OF BEARING AT EACH END OF ALL LINTELS.
- ALL EXTERIOR LINTELS SHALL BE HOT-DIPPED GALVANIZED.

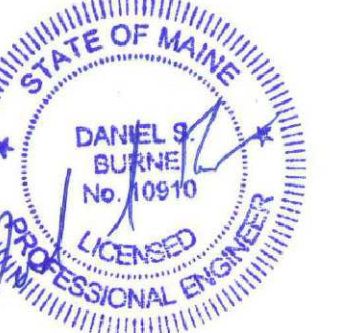
SPRINKLER PIPING PENETRATIONS:

AT TYPICAL GUEST FLOORS, PENETRATIONS ARE REQUIRED IN STEEL BEAMS FRAMING PARALLEL TO CORRIDORS. TYPICAL BEAMS OBSERVED TO BE 20" DEEP. PENETRATIONS ARE PERMITTED WITH THE FOLLOWING CRITERIA.

- 2 1/2" MAX CORED DIAMETER.
- CENTERED IN WEB DEPTH.
- PENETRATIONS NOT PERMITTED WITHIN 2'-0" OF BEAM ENDS OR BEAM TO BEAM CONNECTIONS.
- 2'-0" MINIMUM BETWEEN PENETRATIONS.
- THE ABOVE APPLIES TO TYPICAL 20" CORRIDOR BEAMS. NOTIFY ENGINEER IF OTHER SIZE BEAMS OR CONDITIONS ARE PRESENT PRIOR TO PROCEEDING.

MEP OPENINGS IN EXISTING SLABS

- LAYOUT ALL CHASE OPENINGS USING CRITERIA HEREIN AND DIMENSIONS FROM ARCH & MEP DRAWINGS, AND NOTIFY ARCH/ENGINEER IF CONFLICTS EXISTS BETWEEN MEP/ARCH/STRUCTURAL DRAWINGS PRIOR TO PROCEEDING.
- ENSURE NO CONFLICTS WITH EXISTING STRUCTURAL STEEL PRIOR TO CUTTING OPENINGS. DO NOT CUT ANY EXISTING STRUCTURAL STEEL.
- EXPLORE EXIST STRUCTURAL STEEL FOR REVIEW BY ENGINEER FOR REINFORCEMENT AS NOTED ON DOCUMENTS.
- TEST EXISTING STEEL FOR WELDING COMPATIBILITY AND DEVELOP WELD PROCEDURE PRIOR TO PROCEEDING.



Issue Dates:

NOVEMBER 21, 2011	ISSUE FOR PERMIT
DECEMBER 19, 2011	PERMIT SET REVISIONS
JANUARY 23, 2012	REVIEW SET
MARCH 15, 2012	FINAL REVIEW SET



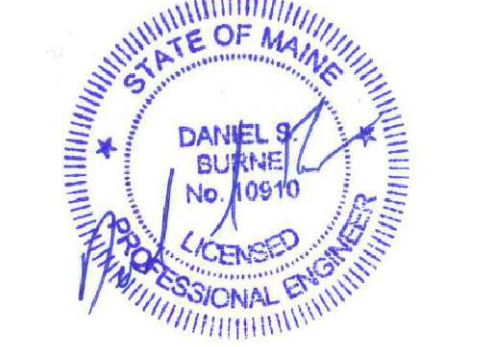
**MEZZANINE LEVEL FLOOR PLAN**  
1/8"=1'-0"

- NOTES:
- WHERE DIMENSION OF NEW OPENING PERPENDICULAR TO SLAB SPAN DIRECTION IS LESS THAN OR EQUAL TO 1'-2" STEEL FRAMING AT THE OPENING IS NOT REQUIRED.
  - SEE S100 FOR SPRINKLER PIPE PENETRATION & MEP SLAB PENETRATION NOTES.
  - CB INDICATES CBx11.5 (TYP).
  - EXIST BEAM SIZES UNKNOWN. BEAMS SUPPORTING NEW STEEL MEMBERS MAY REQUIRE ADDITIONAL REINFORCING. DESIGN OF REINFORCING T.B.D. AFTER DEMO AND SUBSEQUENT FIELD INVESTIGATIONS. G.C. SHALL CARRY APPROPRIATE ALLOWANCE.
  - COORD ALL FIRE-PROOFING REQUIREMENTS W/ARCH.

NEW STEEL MARQUEE.  
SEE MARQUEE PLAN,  
SECTIONS, AND  
DETAILS.

**STRUCTURAL DRAWINGS INCLUDED AS  
SUPPLEMENTAL INFORMATION TO  
DEMOLITION DRAWINGS**

**S102**



Issue Dates:

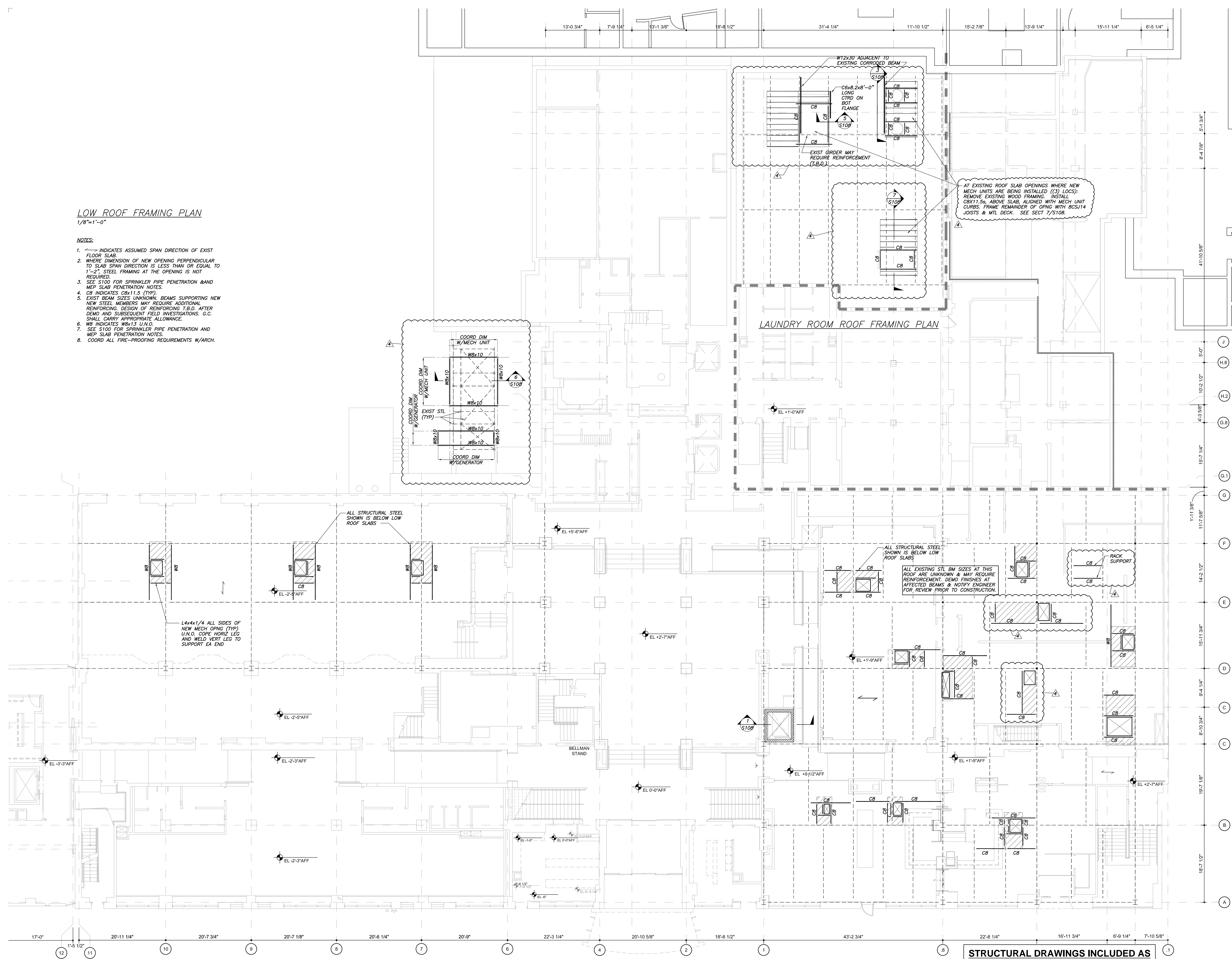
NOVEMBER 21, 2011	ISSUE FOR PERMIT
DECEMBER 19, 2011	PERMIT SET REVISIONS
JANUARY 23, 2012	REVIEW SET
MARCH 15, 2012	FINAL REVIEW SET

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Sheet Title:  
LOW ROOF FRAMING PLAN

**LOW ROOF FRAMING PLAN**  
1/8"=1'-0"

- NOTES:**
- INDICATES ASSUMED SPAN DIRECTION OF EXIST FLOOR SLAB.
  - WHERE DIMENSION OF NEW OPENING PERPENDICULAR TO SLAB SPAN DIRECTION IS LESS THAN OR EQUAL TO 1'-2" STEEL FRAMING AT THE OPENING IS NOT REQUIRED.
  - SEE S100 FOR SPRINKLER PIPE PENETRATION & MEP SLAB PENETRATION NOTES.
  - CB INDICATES CB#111.5 (TYP).
  - EXIST BEAM SIZES UNKNOWN. BEAMS SUPPORTING NEW NEW STEEL MEMBERS MAY REQUIRE ADDITIONAL REINFORCING. DESIGN OF REINFORCING T.B.D. AFTER DEMO AND SUBSEQUENT FIELD INVESTIGATIONS. G.C. SHALL CARRY APPROPRIATE ALLOWANCE.
  - WB INDICATES WB#13 U.N.O.
  - SEE S100 FOR SPRINKLER PIPE PENETRATION AND MEP SLAB PENETRATION NOTES.
  - COORD ALL FIRE-PROOFING REQUIREMENTS W/ARCH.



**LAUNDRY ROOM ROOF FRAMING PLAN**

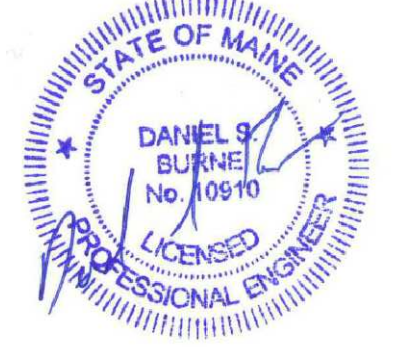
AT EXISTING ROOF SLAB OPENINGS WHERE NEW MECH UNITS ARE BEING INSTALLED (3) LOCS): REMOVE EXISTING WOOD FRAMING. INSTALL CB#111.5# ABOVE SLAB ALIGNED WITH MECH UNIT CURBS. FRAME REMAINDER OF OPNG WITH 8CS114 JOISTS & MTL DECK. SEE SECT 7/S108.

ALL EXISTING STL BM SIZES AT THIS ROOF ARE UNKNOWN & MAY REQUIRE REINFORCEMENT. DEMO FINISHES AT AFFECTED BEAMS & NOTIFY ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.

ALL STRUCTURAL STEEL SHOWN IS BELOW LOW ROOF SLABS

L4x4x1/4 ALL SIDES OF NEW MECH OPNG (TYP) U.N.O. COPE HORIZ LEG AND WELD VERT LEG TO SUPPORT EA END

**STRUCTURAL DRAWINGS INCLUDED AS SUPPLEMENTAL INFORMATION TO DEMOLITION DRAWINGS**



Issue Dates:

NOVEMBER 21, 2011	ISSUE FOR PERMIT
DECEMBER 19, 2011	PERMIT SET REVISIONS
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MARCH 15, 2012	FINAL REVIEW SET



CONTRACTOR  
**IDC**  
IDC CONSTRUCTION, LLC  
CONSULTING ARCHITECTS  
ttl-architects, llc

Project:  
**WESTIN  
EASTLAND PARK  
HOTEL RENOVATION**  
FOR  
**ROCKBRIDGE CAPITAL, LLC.**  
157 HIGH STREET  
PORTLAND, ME

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Sheet Title:  
TYPICAL FLOOR FRAMING PLAN

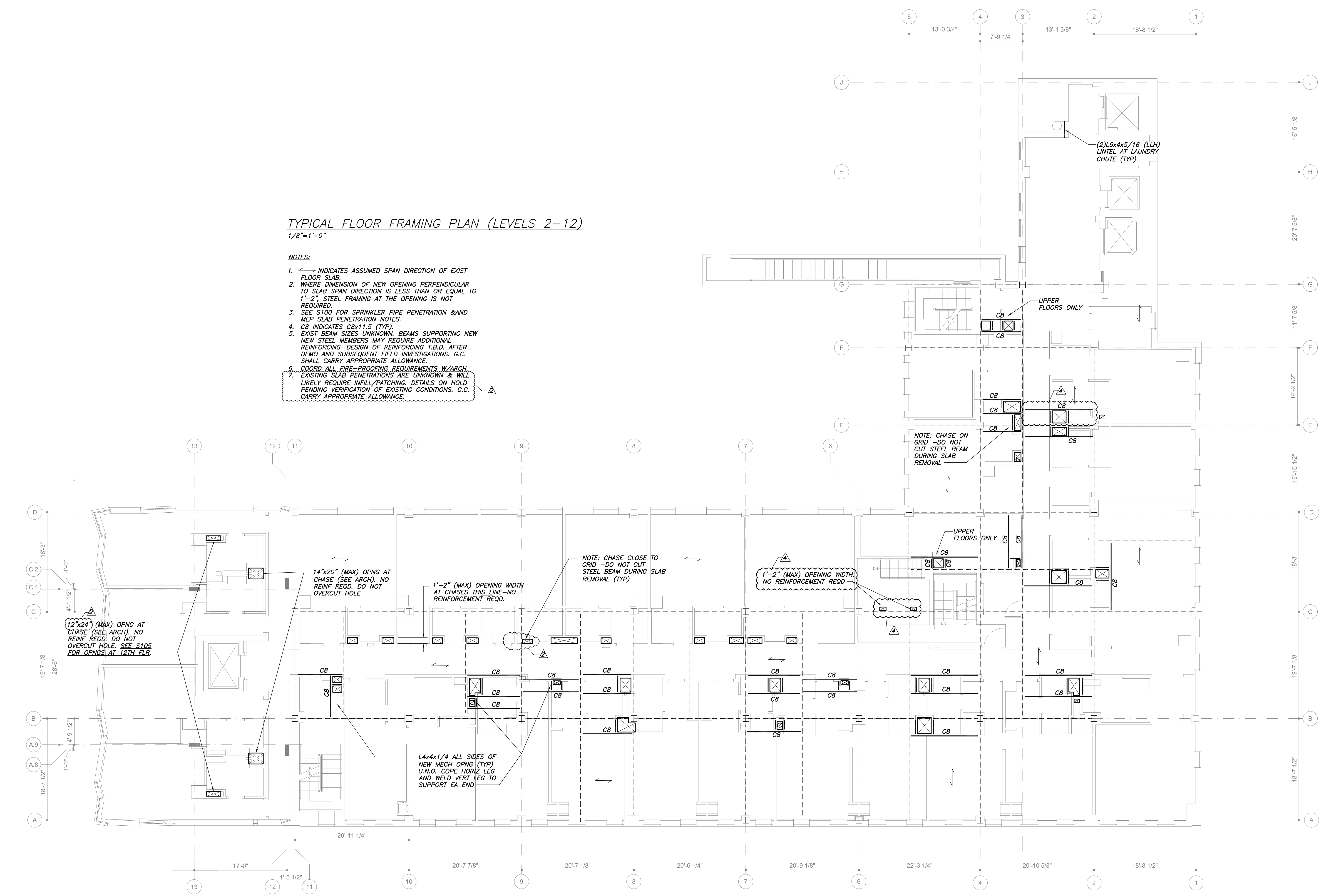
Job Number:	11009
Scale:	NOTED
Drawn:	RJB
Checked:	DSB
Date:	3-15-12

**S104**

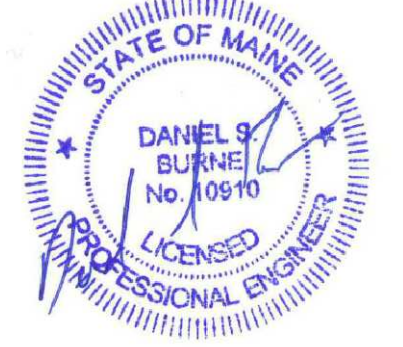
RELEASED FOR  
CONSTRUCTION

**TYPICAL FLOOR FRAMING PLAN (LEVELS 2-12)**  
1/8"=1'-0"

- NOTES:**
- INDICATES ASSUMED SPAN DIRECTION OF EXIST FLOOR SLAB.
  - WHERE DIMENSION OF NEW OPENING PERPENDICULAR TO SLAB SPAN DIRECTION IS LESS THAN OR EQUAL TO 1'-2", STEEL FRAMING AT THE OPENING IS NOT REQUIRED.
  - SEE S100 FOR SPRINKLER PIPE PENETRATION & MEP SLAB PENETRATION NOTES.
  - CB INDICATES CB&11.5 (TYP).
  - EXIST BEAM SIZES UNKNOWN. BEAMS SUPPORTING NEW STEEL MEMBERS MAY REQUIRE ADDITIONAL REINFORCING. DESIGN OF REINFORCING T.B.D. AFTER DEMO AND SUBSEQUENT FIELD INVESTIGATIONS. G.C. SHALL CARRY APPROPRIATE ALLOWANCE.
  - COORD ALL FIRE-PROOFING REQUIREMENTS W/ARCH.
  - EXISTING SLAB PENETRATIONS ARE UNKNOWN & WILL LIKELY REQUIRE INFILL/PATCHING. DETAILS ON HOLD. PENDING VERIFICATION OF EXISTING CONDITIONS. G.C. SHALL CARRY APPROPRIATE ALLOWANCE.



**STRUCTURAL DRAWINGS INCLUDED  
AS SUPPLEMENTAL INFORMATION TO  
DEMOLITION DRAWINGS**



Issue Dates:

NOVEMBER 21, 2011
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CONTRACTOR  
**IDC**  
IDC CONSTRUCTION, LLC

CONSULTING ARCHITECTS  
ttl-architects, llc

Project:  
**WESTIN  
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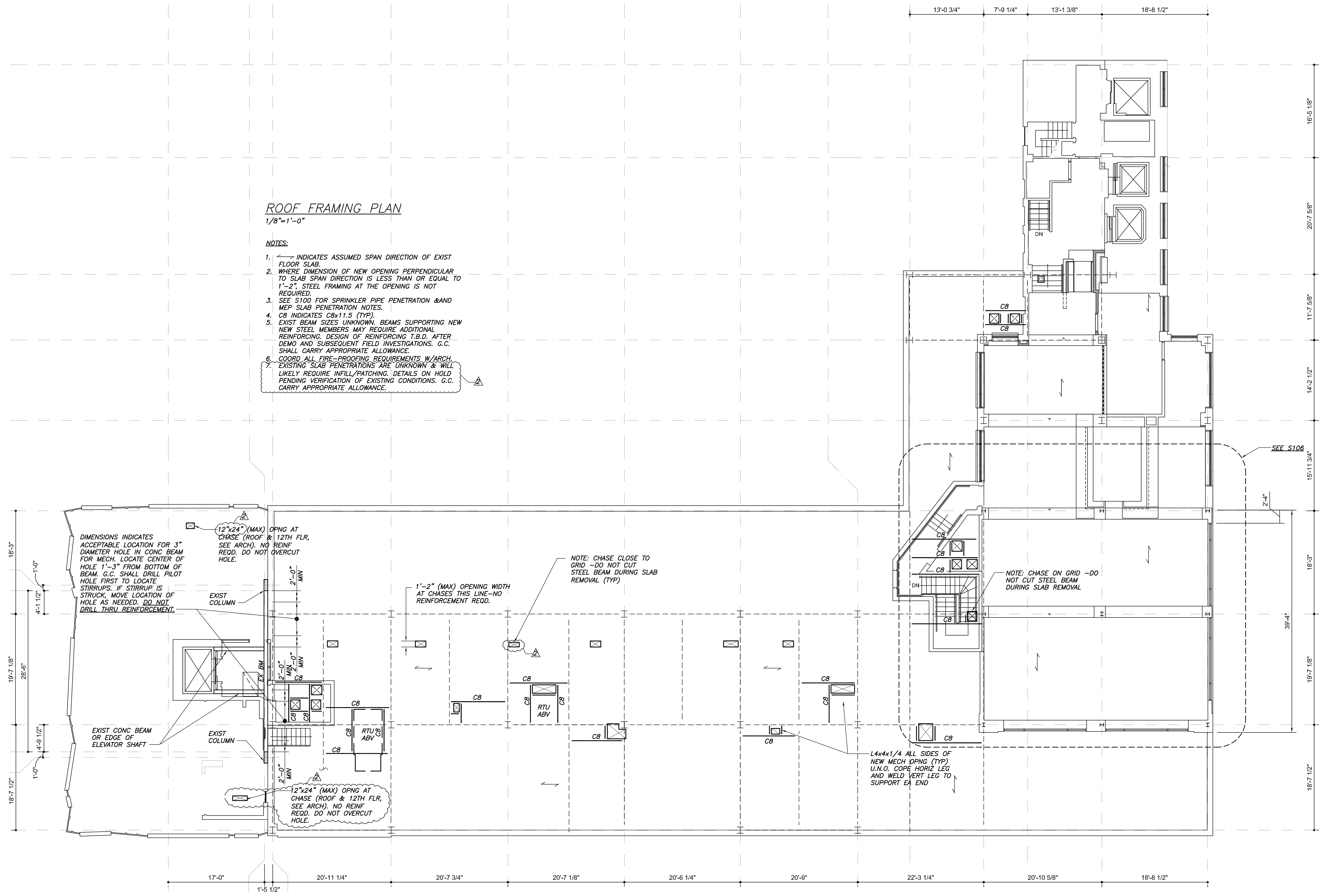
Sheet Title:  
ROOF FRAMING PLAN

Job Number:	11009
Scale:	NOTED
Drawn:	RJB
Checked:	DSB
Date:	3-15-12

**S105**

RELEASED FOR  
CONSTRUCTION

**STRUCTURAL DRAWINGS INCLUDED AS  
SUPPLEMENTAL INFORMATION TO  
DEMOLITION DRAWINGS**



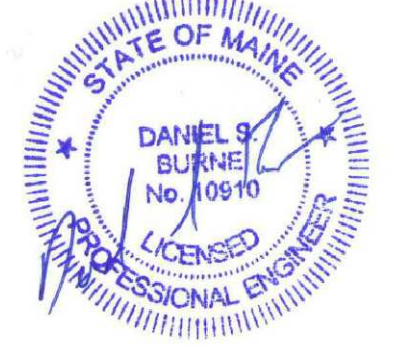
**ROOF FRAMING PLAN**  
1/8"=1'-0"

**NOTES:**

- INDICATES ASSUMED SPAN DIRECTION OF EXIST FLOOR SLAB.
- WHERE DIMENSION OF NEW OPENING PERPENDICULAR TO SLAB SPAN DIRECTION IS LESS THAN OR EQUAL TO 1'-2", STEEL FRAMING AT THE OPENING IS NOT REQUIRED.
- SEE S100 FOR SPRINKLER PIPE PENETRATION & MEP SLAB PENETRATION NOTES.
- CB INDICATES CBx11.5 (TYP).
- EXIST BEAM SIZES UNKNOWN. BEAMS SUPPORTING NEW STEEL MEMBERS MAY REQUIRE ADDITIONAL REINFORCING. DESIGN OF REINFORCING T.B.D. AFTER DEMO AND SUBSEQUENT FIELD INVESTIGATIONS. G.C. SHALL CARRY APPROPRIATE ALLOWANCE.
- COORD ALL FIRE-PROOFING REQUIREMENTS W/ARCH.
- EXISTING SLAB PENETRATIONS ARE UNKNOWN & WILL LIKELY REQUIRE INFILL/PATCHING. DETAILS ON HOLD PENDING VERIFICATION OF EXISTING CONDITIONS. G.C. SHALL CARRY APPROPRIATE ALLOWANCE.

**STRUCTURAL DRAWINGS INCLUDED AS  
SUPPLEMENTAL INFORMATION TO  
DEMOLITION DRAWINGS**



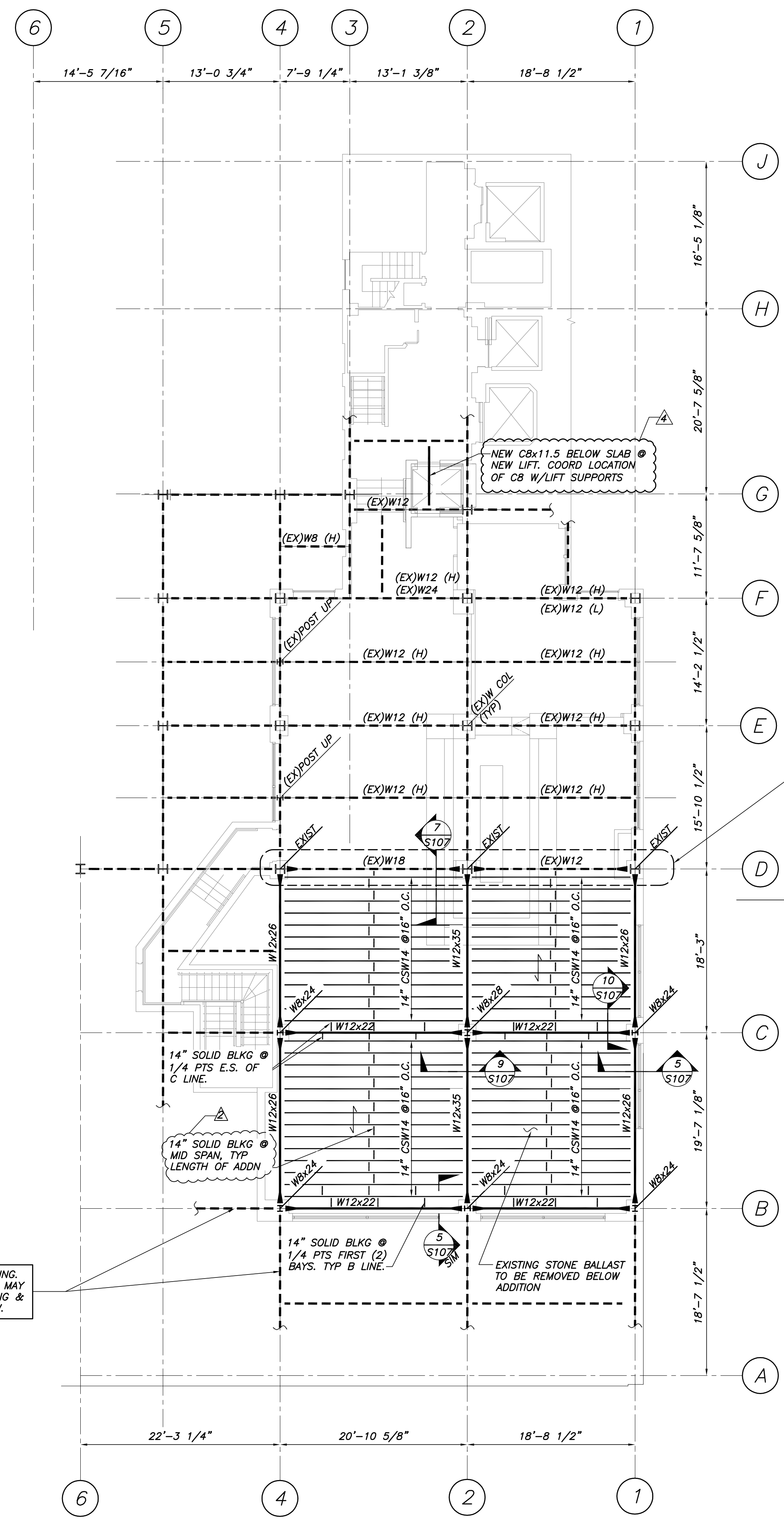


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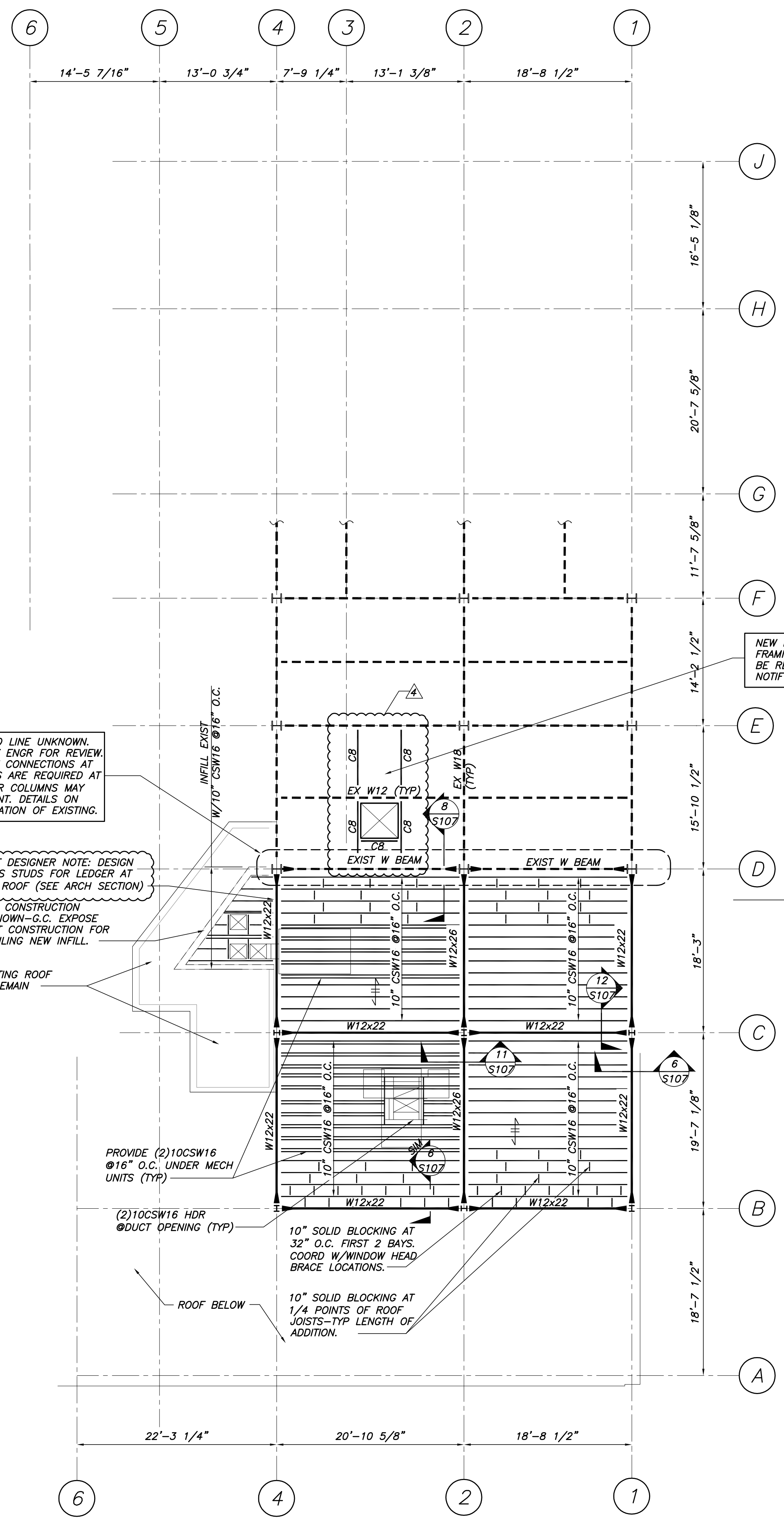
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Scale:	NOTED
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TOP OF THE EAST FLOOR FRAMING PLAN  
1/8"=1'-0"

- NOTES:
- INDICATES MOMENT CONNECTION SEE DETAILS ON S107
  - INDICATES SPAN DIRECTION OF 3/4" T+G USG FORTCRETE PANELS.
  - ALL NEW STRUCTURAL STEEL TO BE FIREPROOFED (SEE ARCH).
  - EXISTING COLUMNS AT TOP OF THE EAST EXPANSION UNKNOWN. GC EXPOSE FOR ENGR REVIEW PRIOR TO CONSTRUCTION. REINFORCEMENT MAY BE REQD.



TOP OF THE EAST ROOF FRAMING PLAN  
1/8"=1'-0"

- NOTES:
- INDICATES MOMENT CONNECTION SEE DETAILS ON S107
  - INDICATION SPAN 1.5Bx22 GA METAL DECK
  - ALL NEW STRUCTURAL STEEL TO BE FIREPROOFED (SEE ARCH).
  - EXPOSED W6x10 LINTELS OVER WINDOWS (GALVANIZED AND PAINTED). SEE S, S107 AND ARCHITECTURAL ELEVATIONS.

EXISTING FRAMING AT D LINE UNKNOWN. G.C. EXPOSE & NOTIFY ENGR FOR REVIEW. FIELD WELDED MOMENT CONNECTIONS AT FLOOR & ROOF LEVELS ARE REQUIRED AT D LINE. BEAMS AND/OR COLUMNS MAY REQUIRE REINFORCEMENT. DETAILS ON HOLD PENDING VERIFICATION OF EXISTING.

CFMF DESIGNER NOTE: DESIGN WALLS STUDS FOR LEDGER AT LOW ROOF (SEE ARCH SECTION)  
WALL CONSTRUCTION UNKNOWN-G.C. EXPOSE EXIST CONSTRUCTION FOR DETAILING NEW INFILL.

NEW MECH UNIT AT EXISTING FRAMING. FRAMING UNKNOWN. REINFORCEMENT MAY BE REQUIRED. G.C. EXPOSE EXISTING & NOTIFY ENGR FOR FURTHER REVIEW.

**STRUCTURAL DRAWINGS INCLUDED AS SUPPLEMENTAL INFORMATION TO DEMOLITION INFORMATION**

NEW MECH UNIT AT EXISTING FRAMING. FRAMING UNKNOWN. REINFORCEMENT MAY BE REQUIRED. G.C. EXPOSE EXISTING & NOTIFY ENGR FOR FURTHER REVIEW.

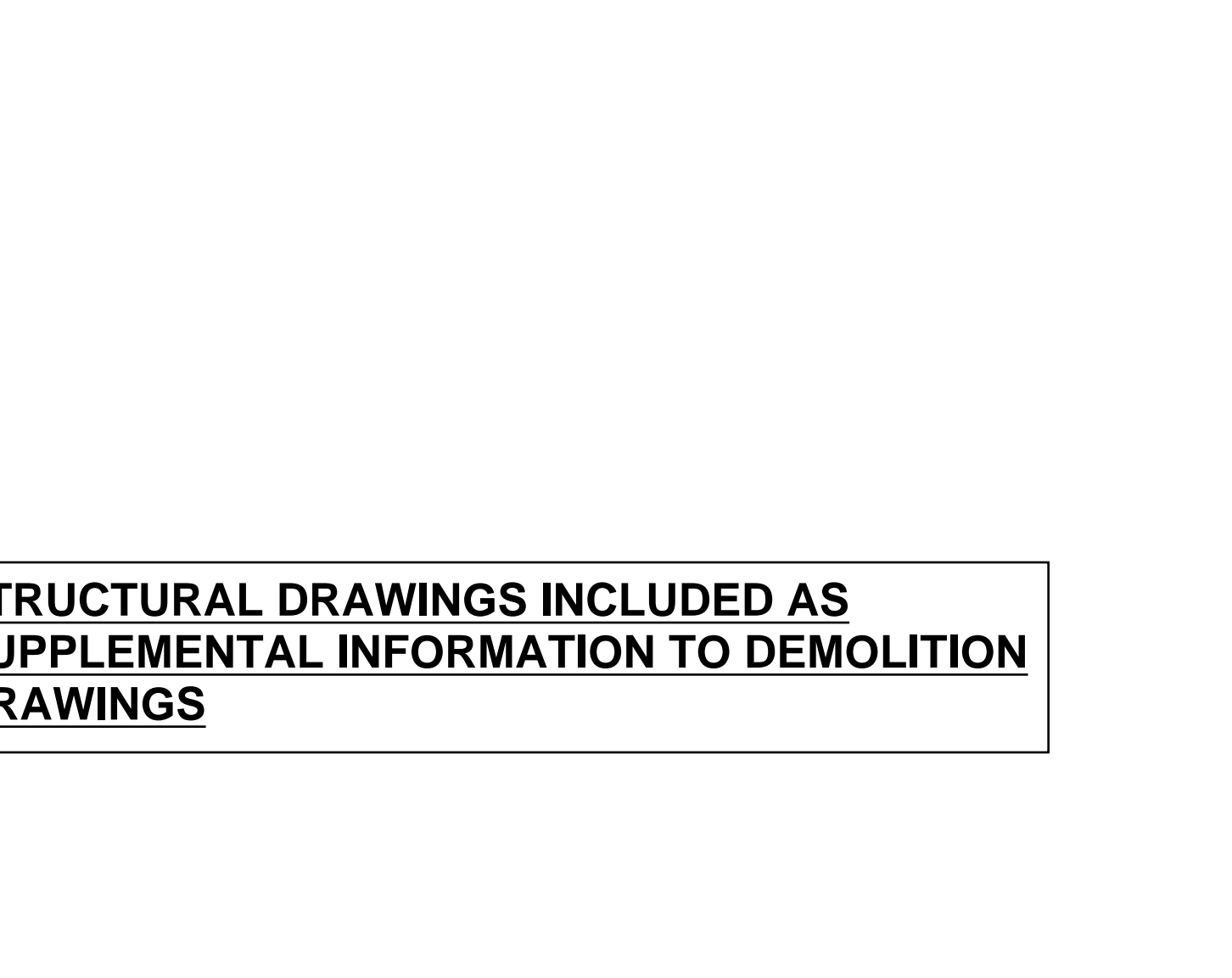
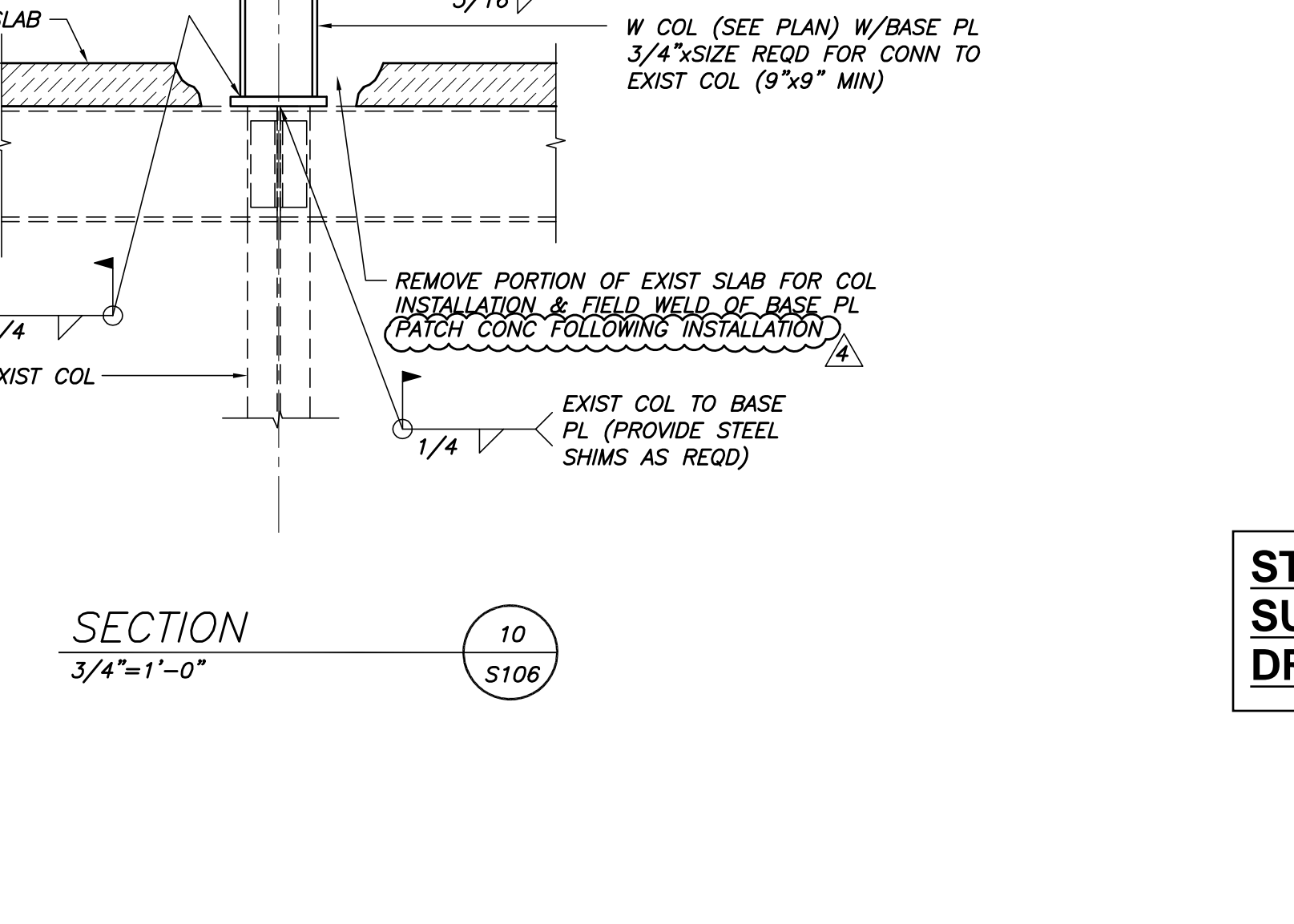
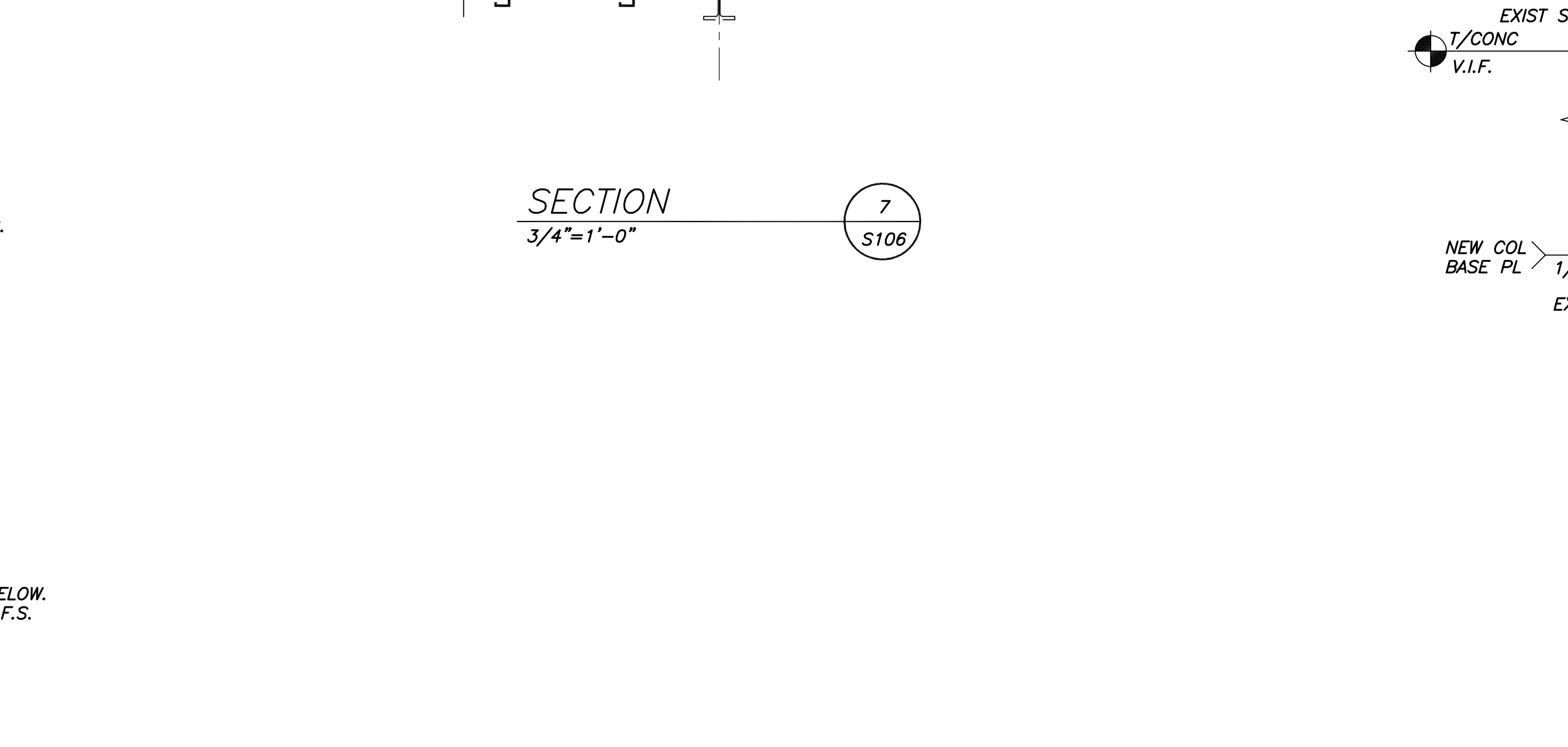
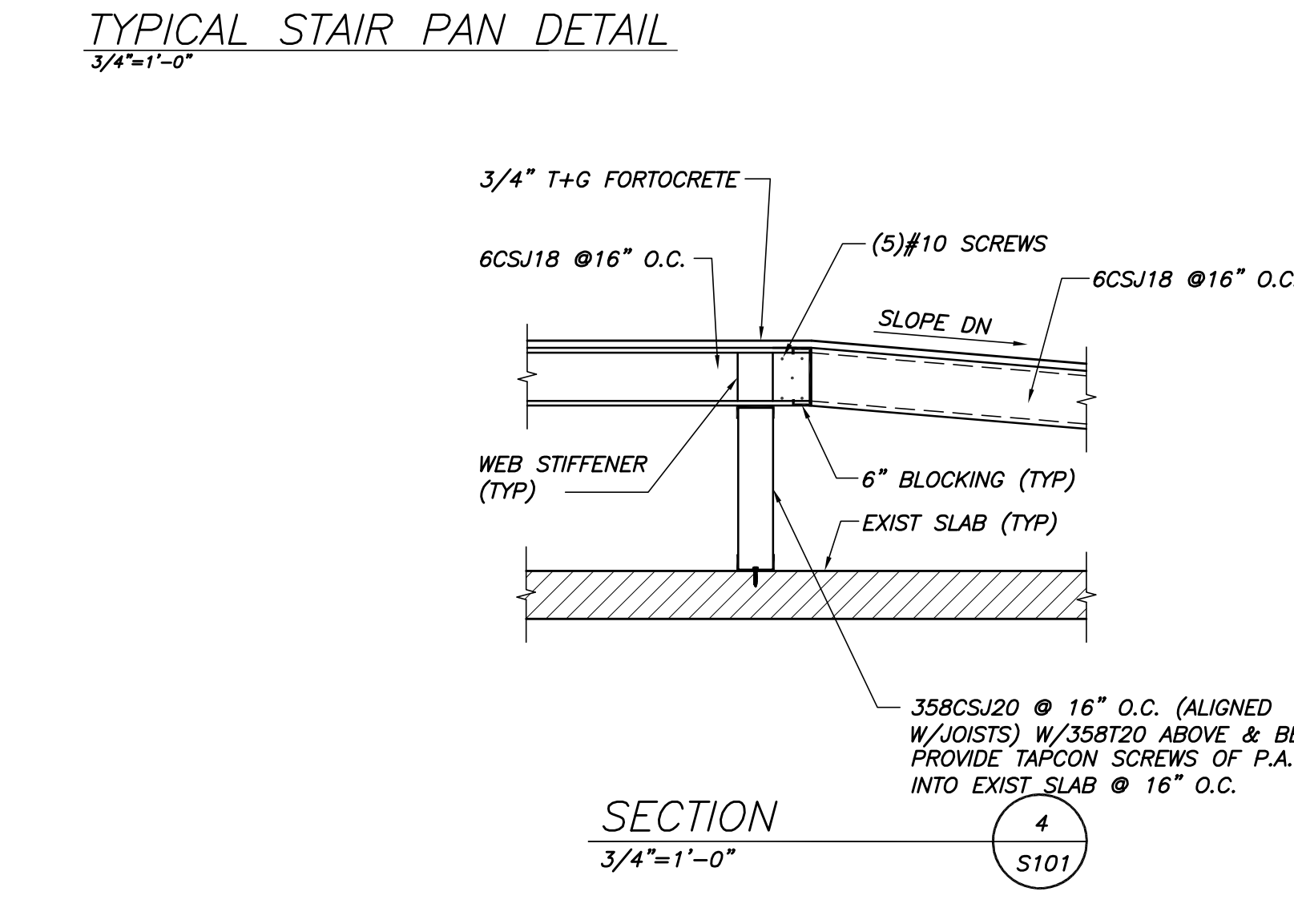
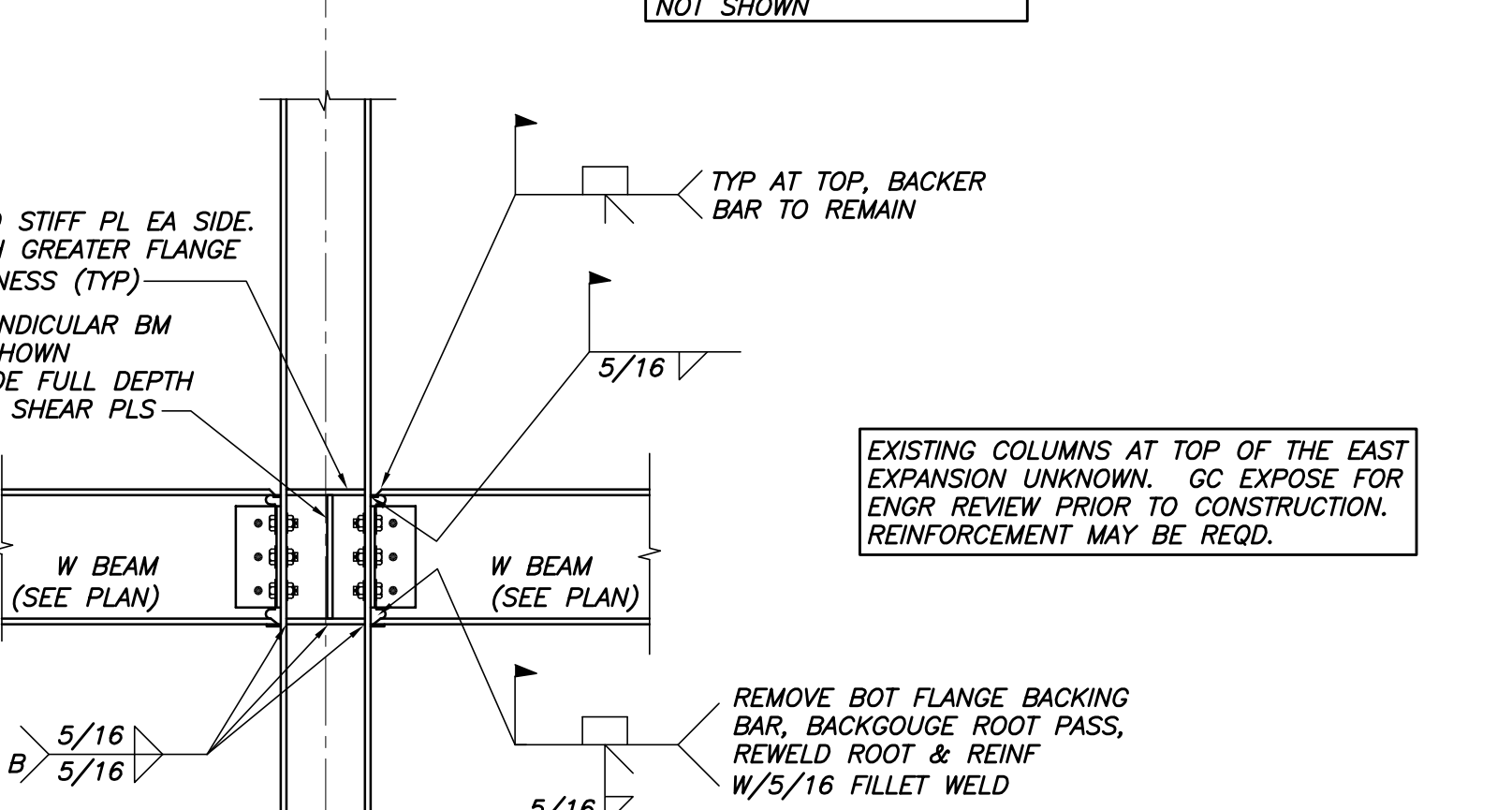
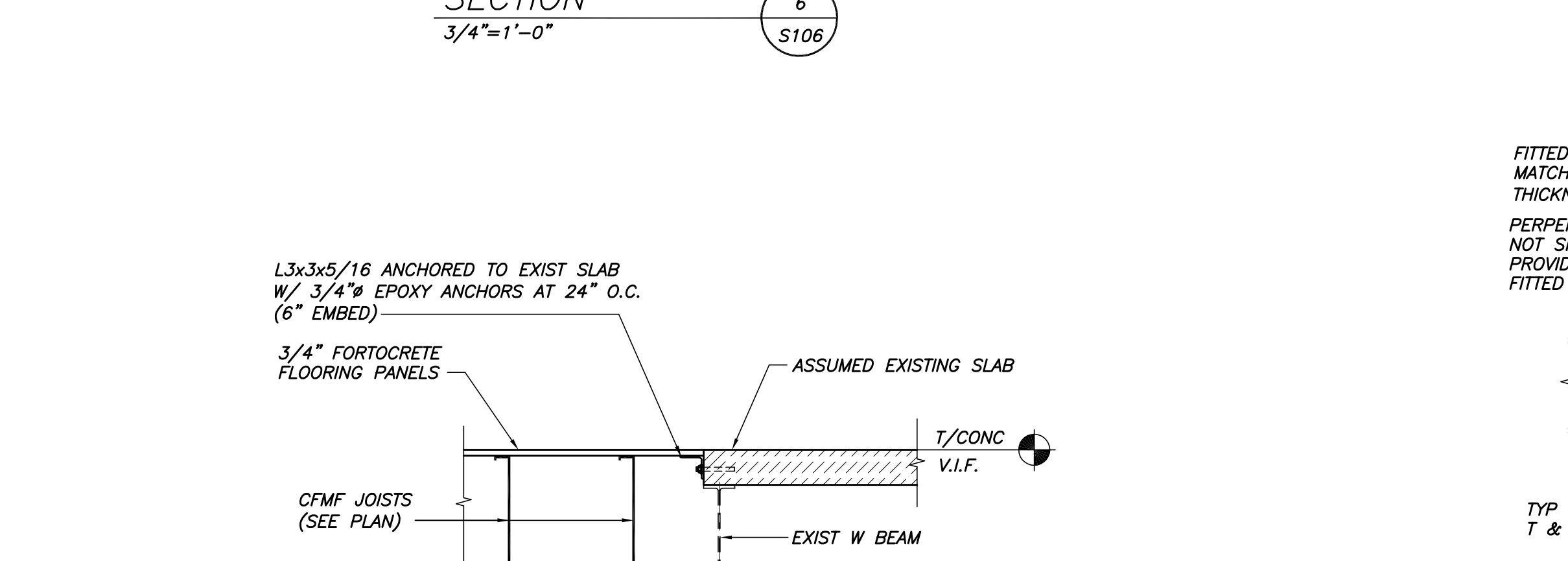
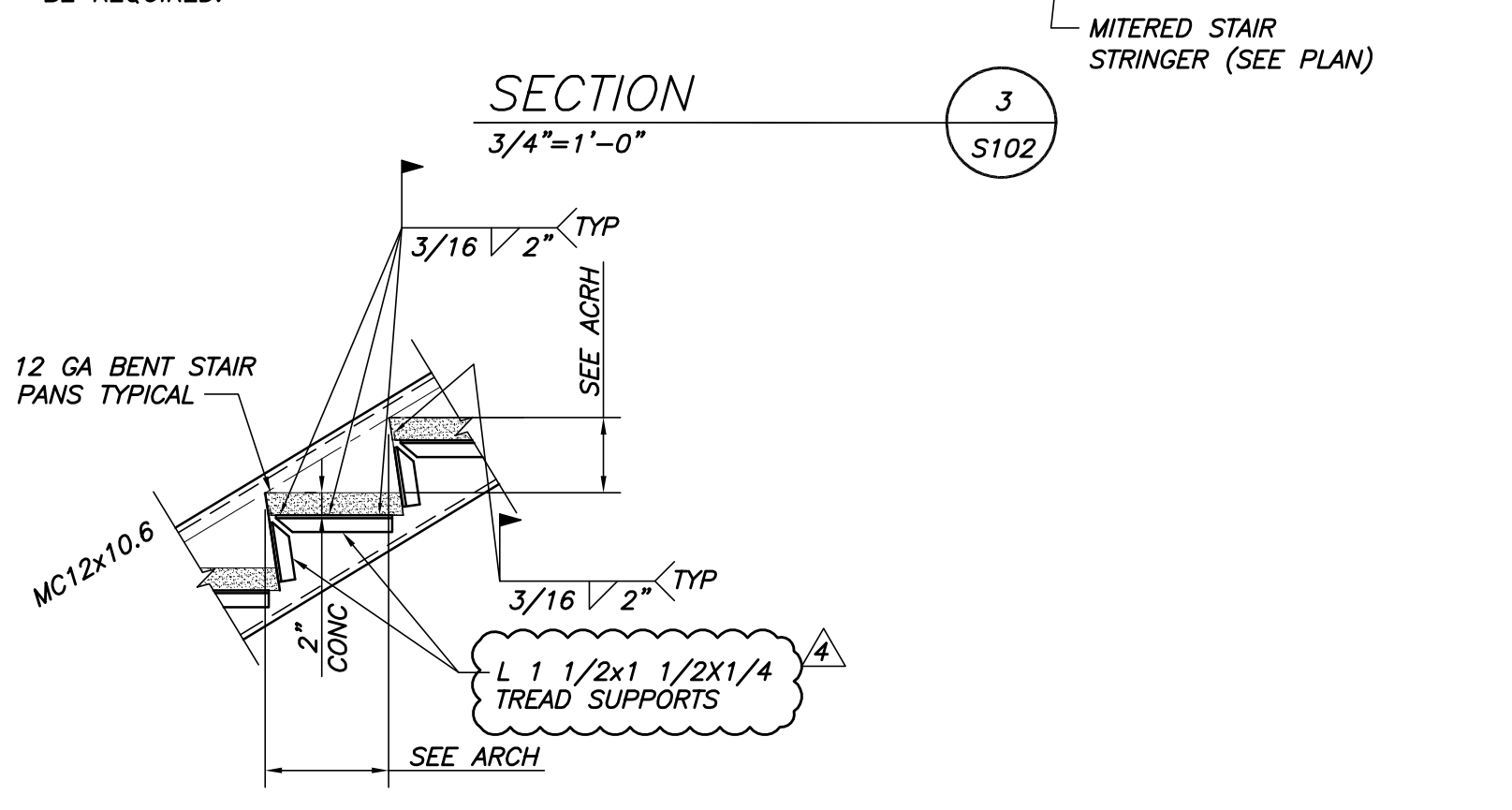
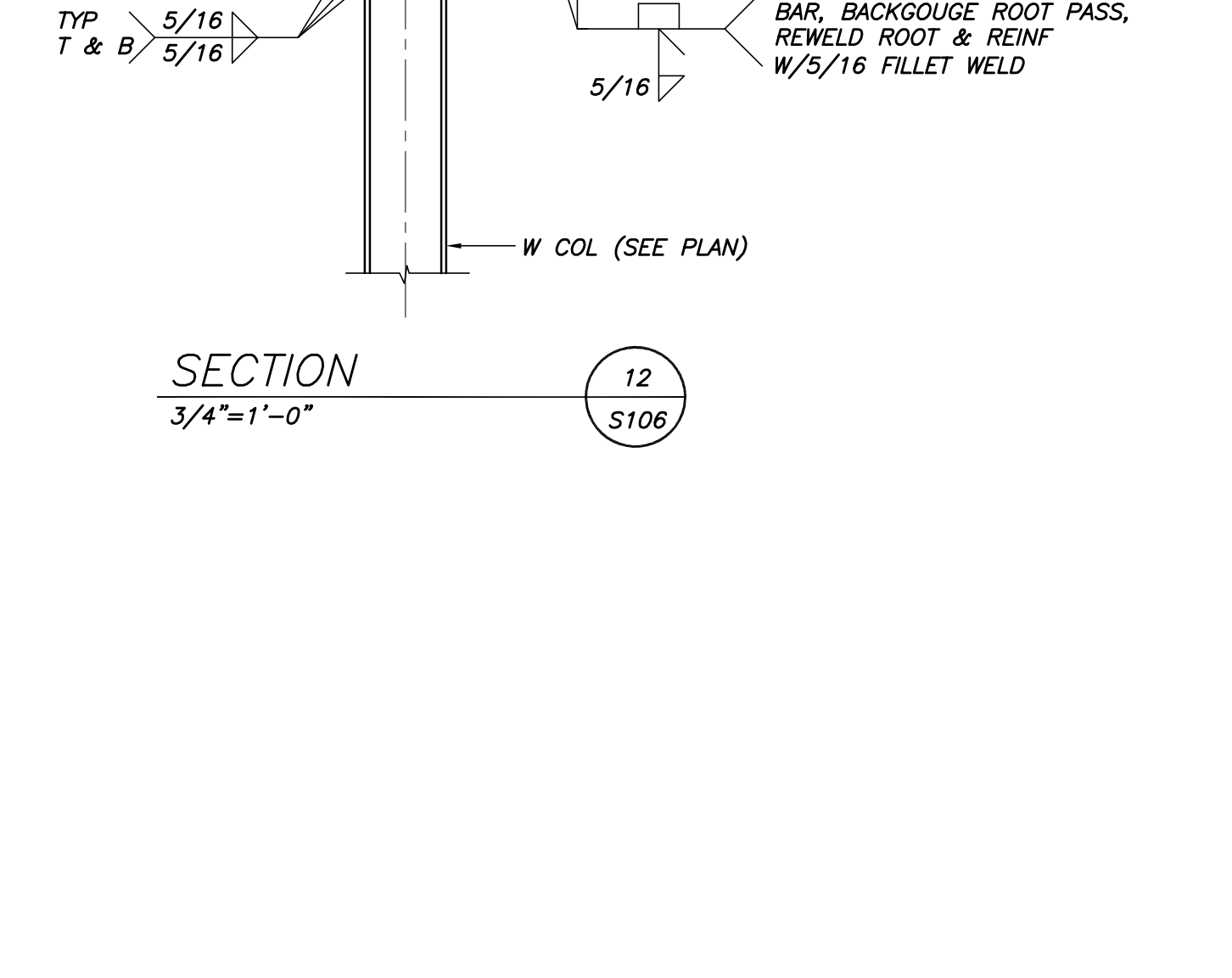
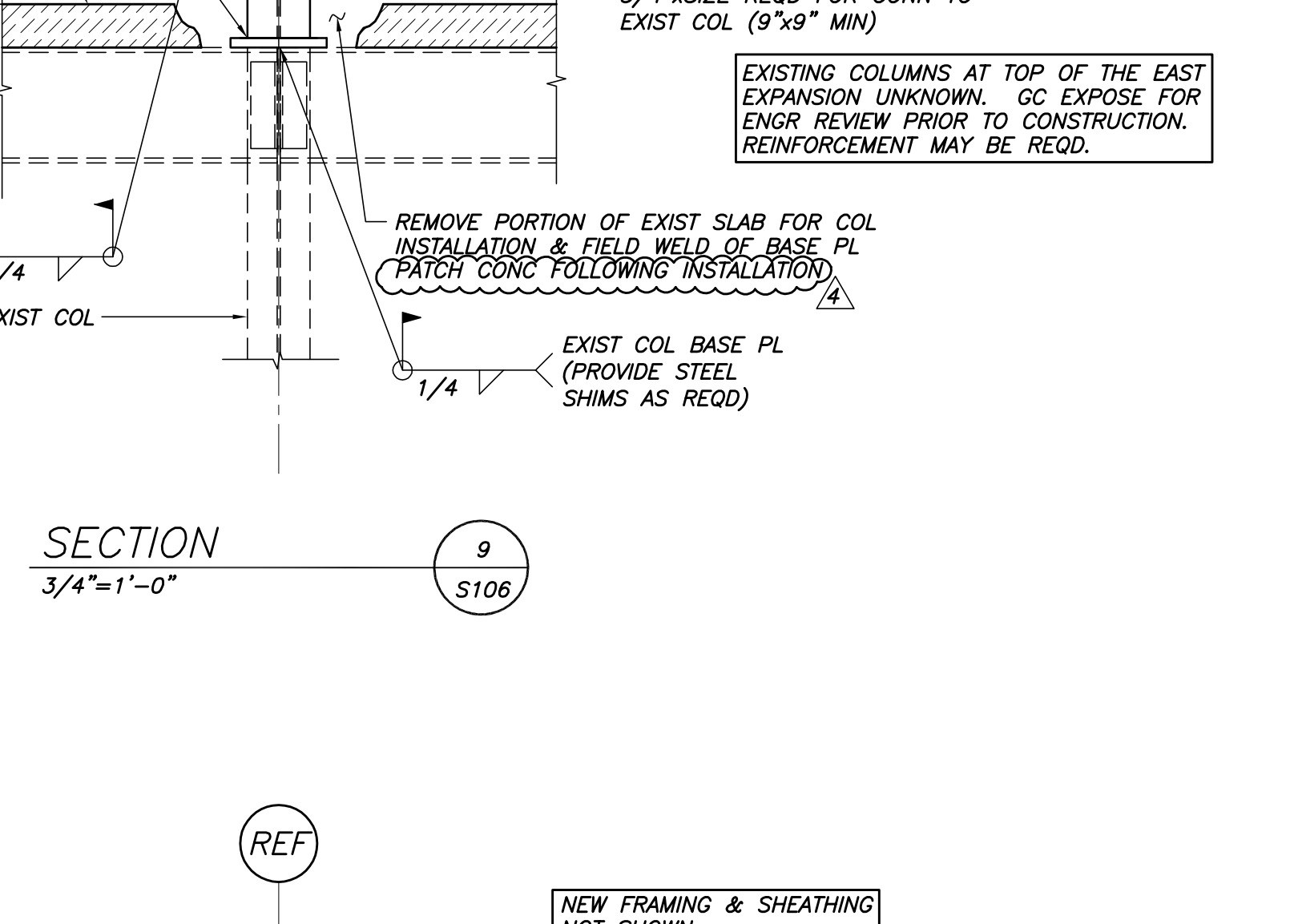
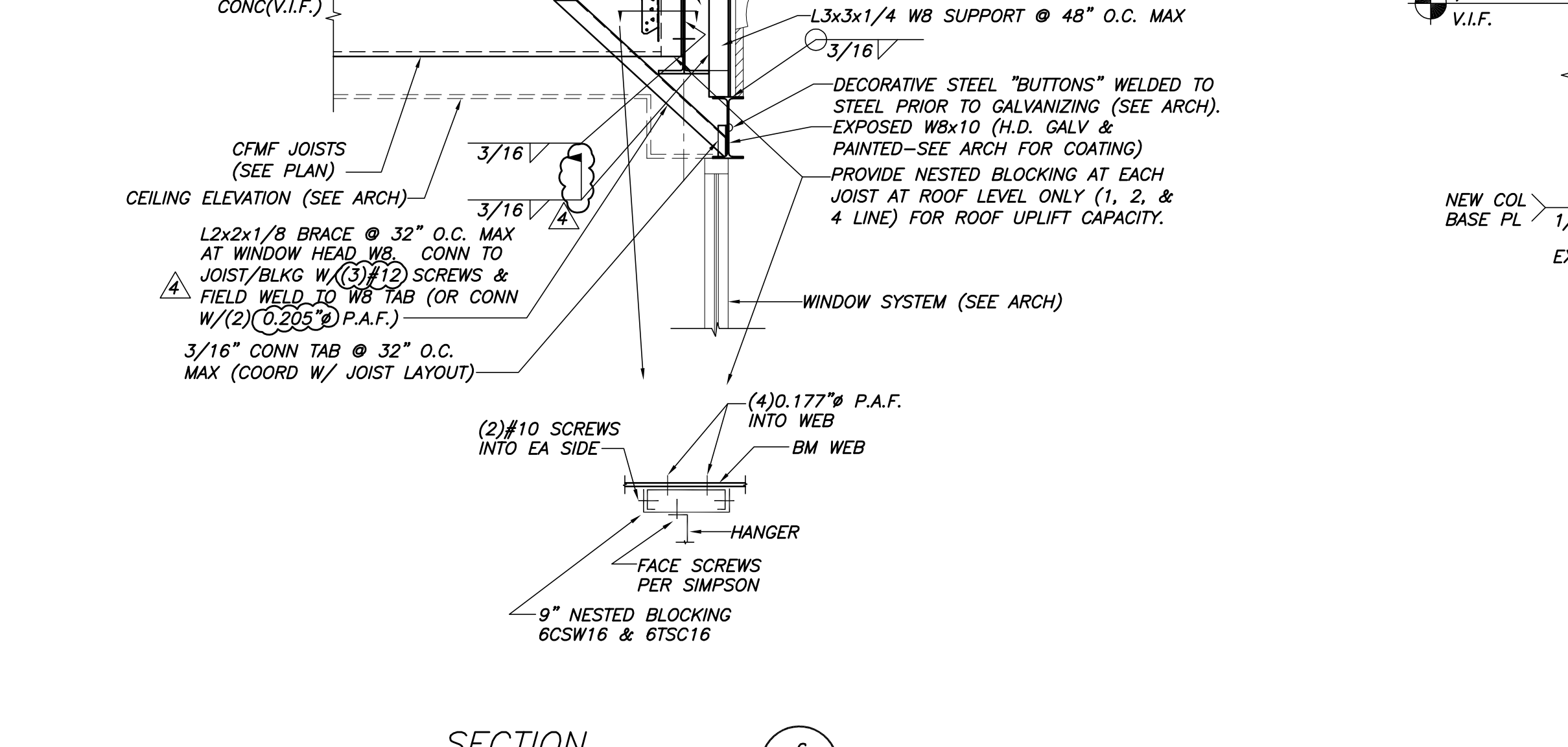
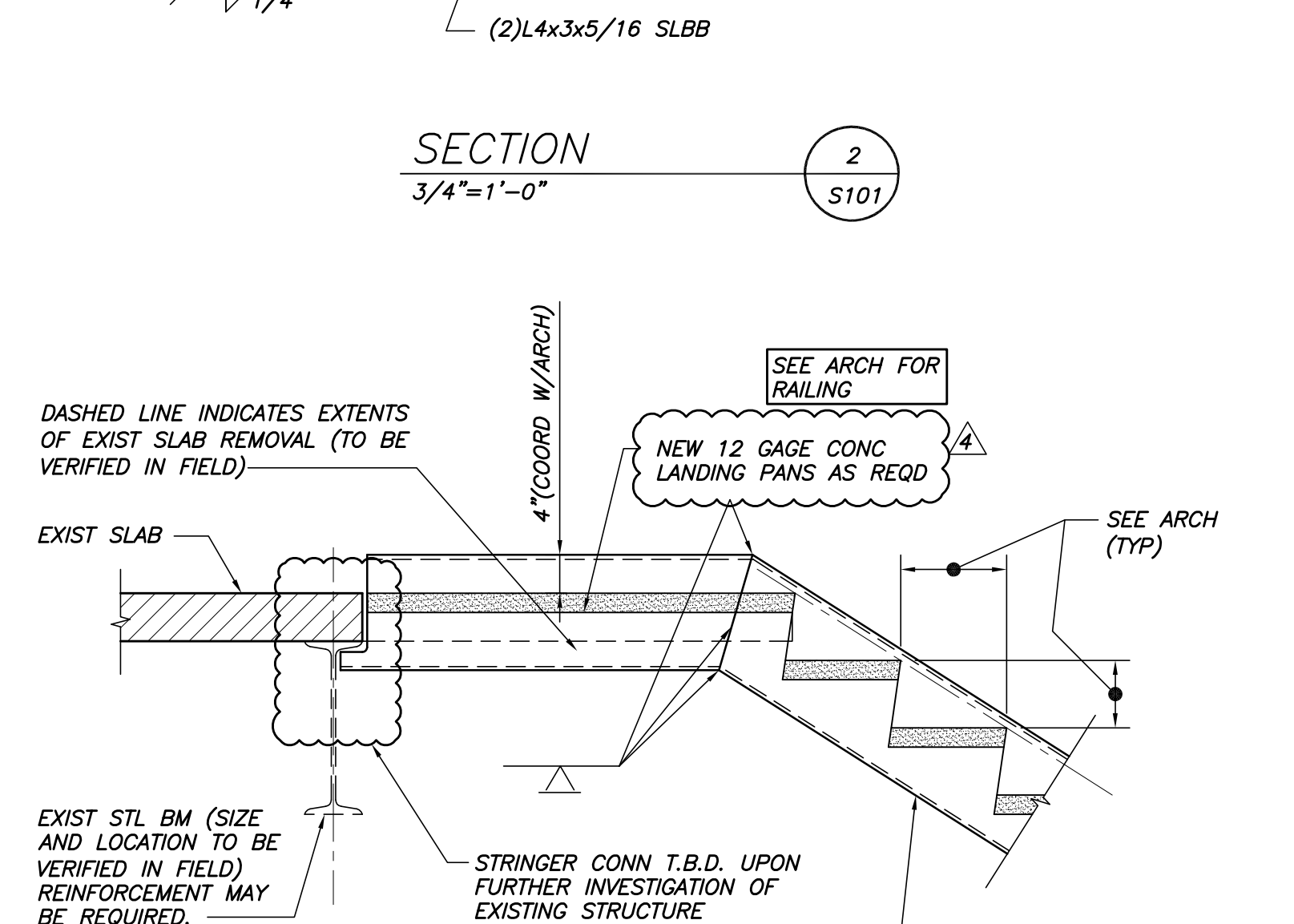
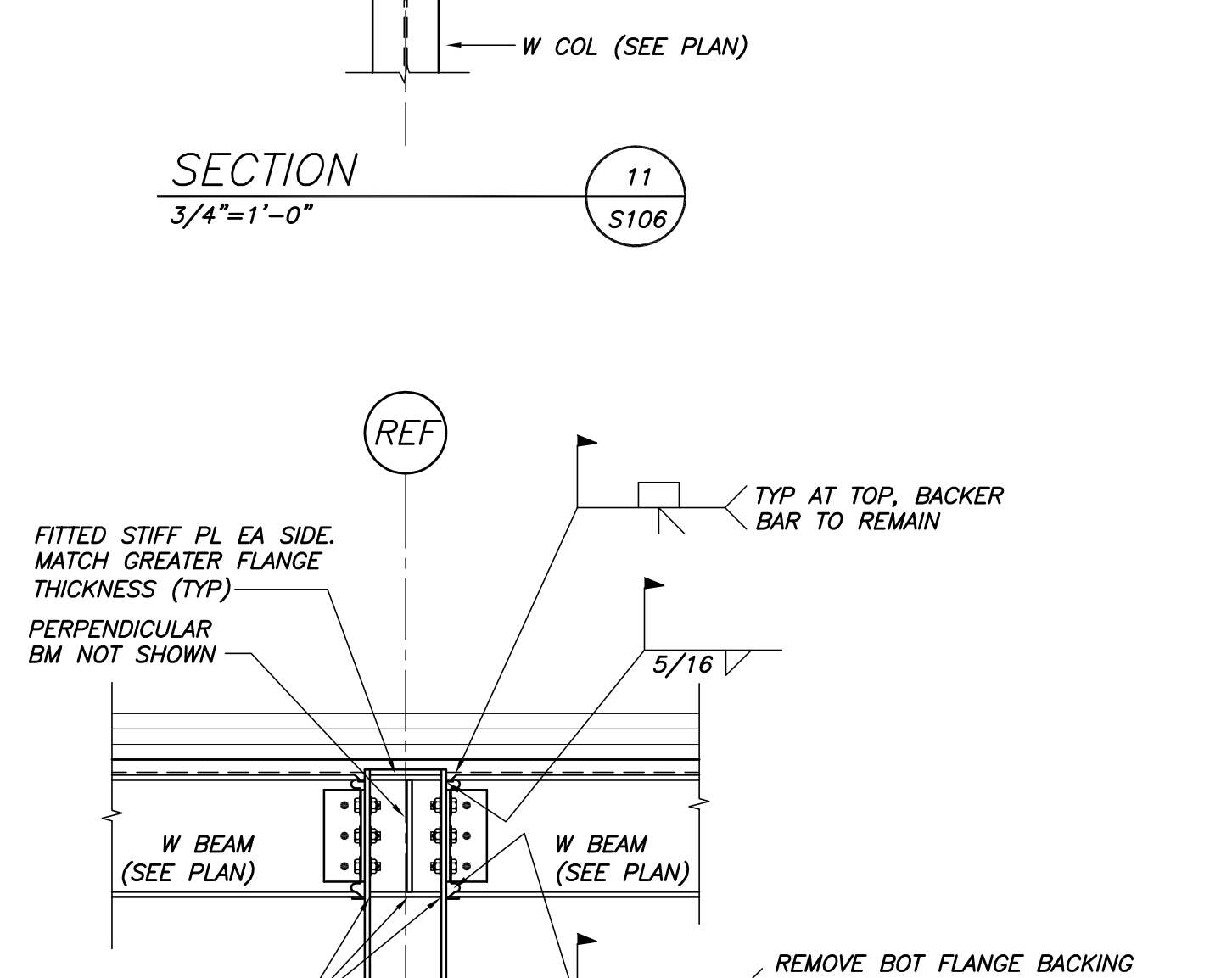
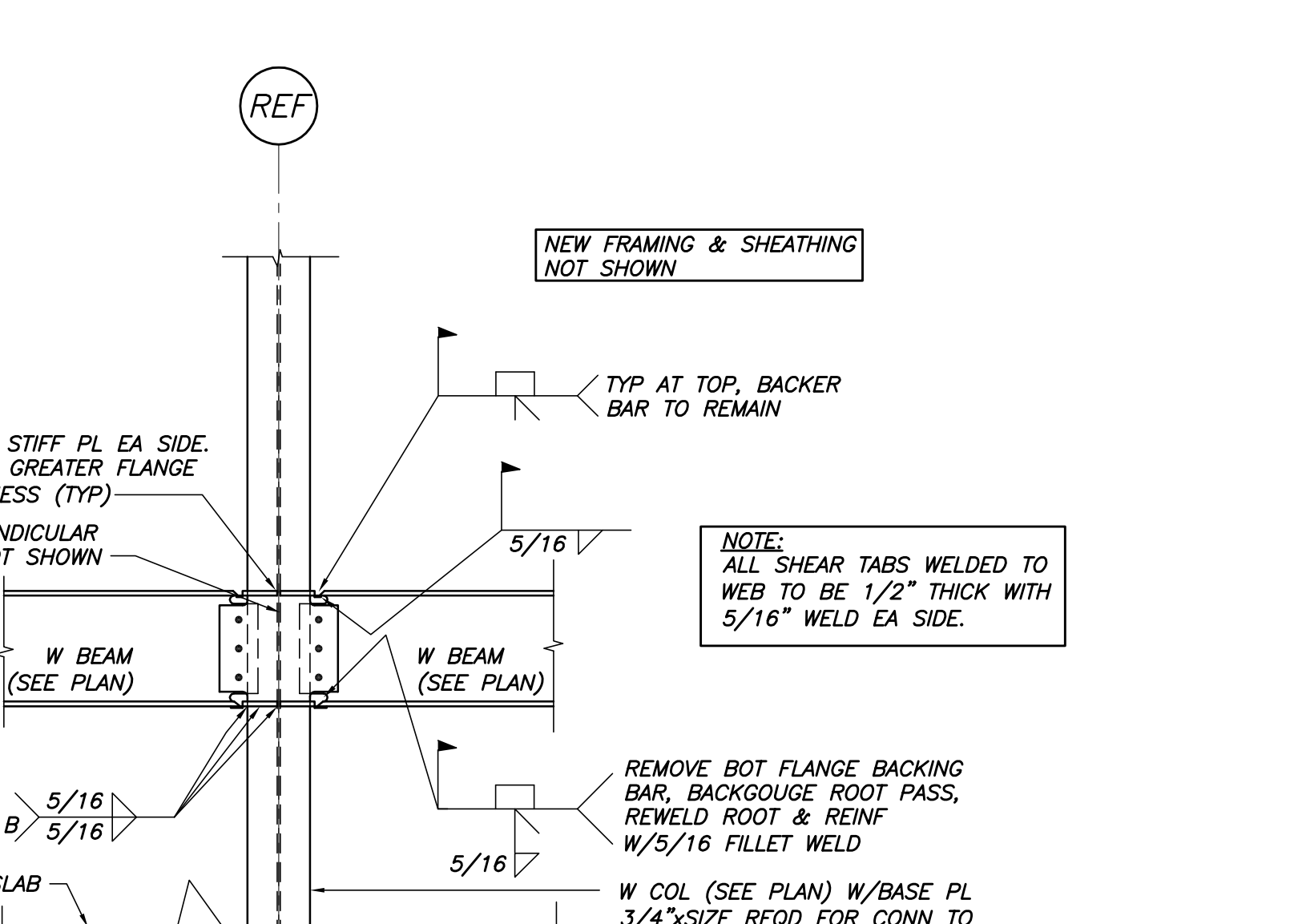
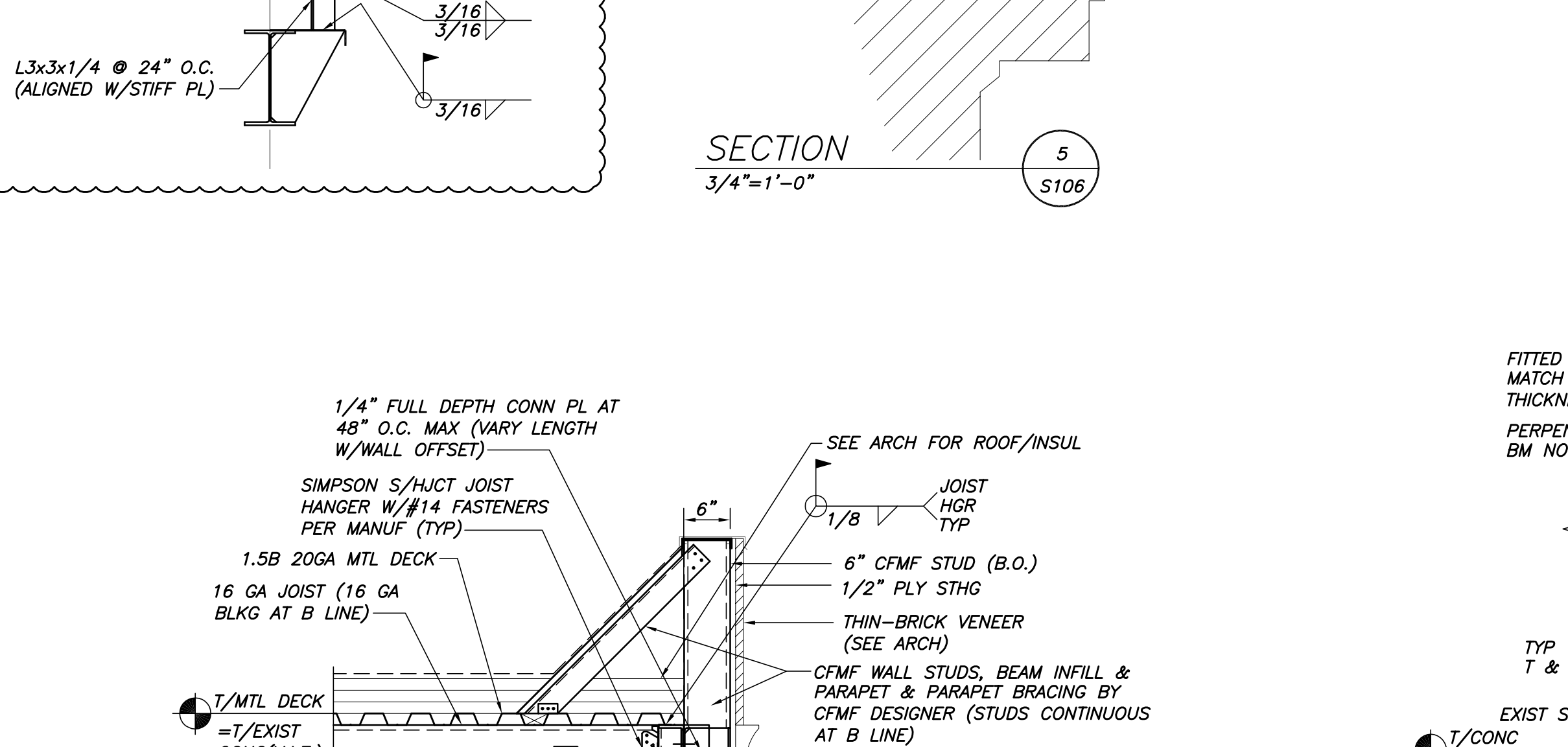
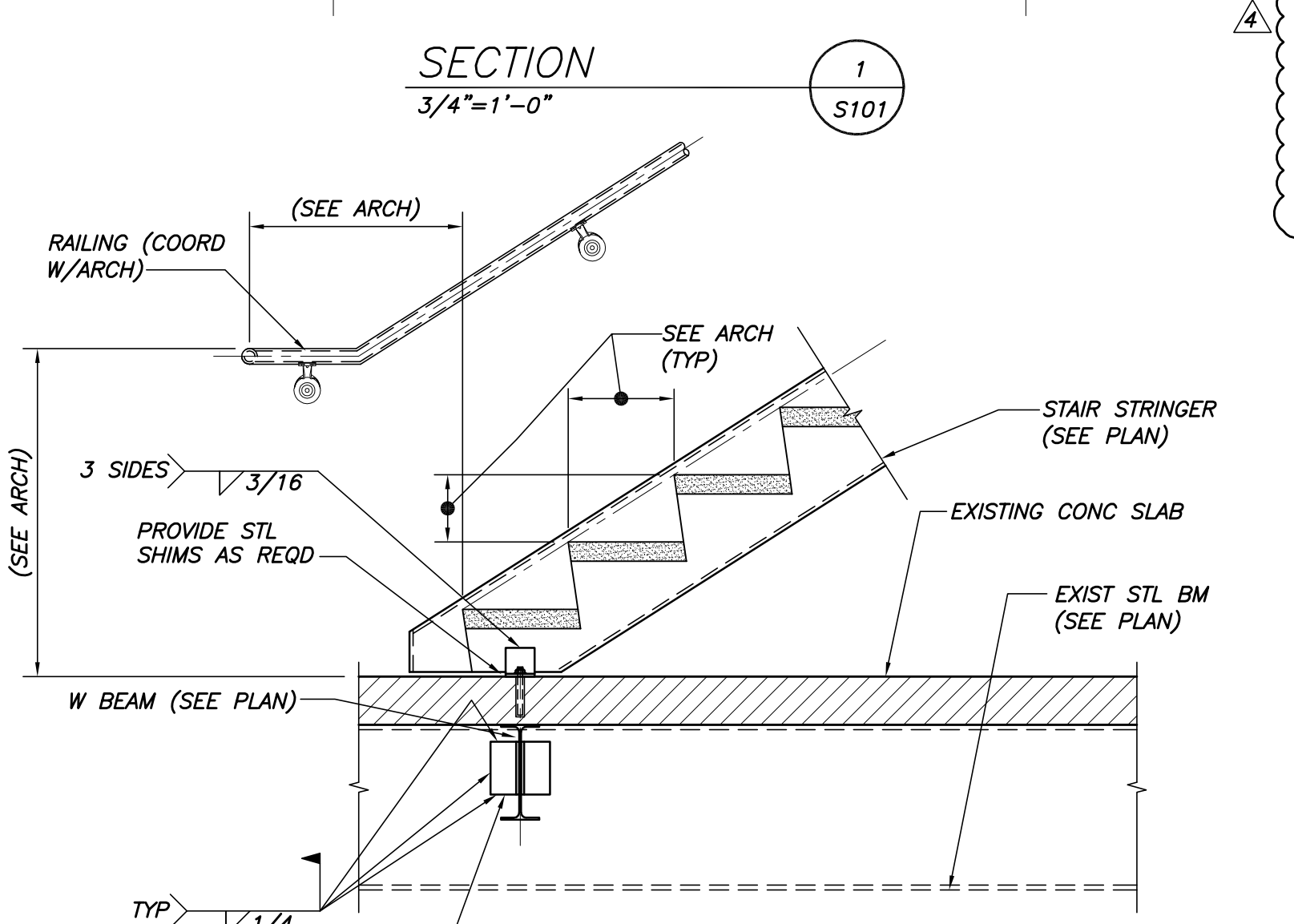
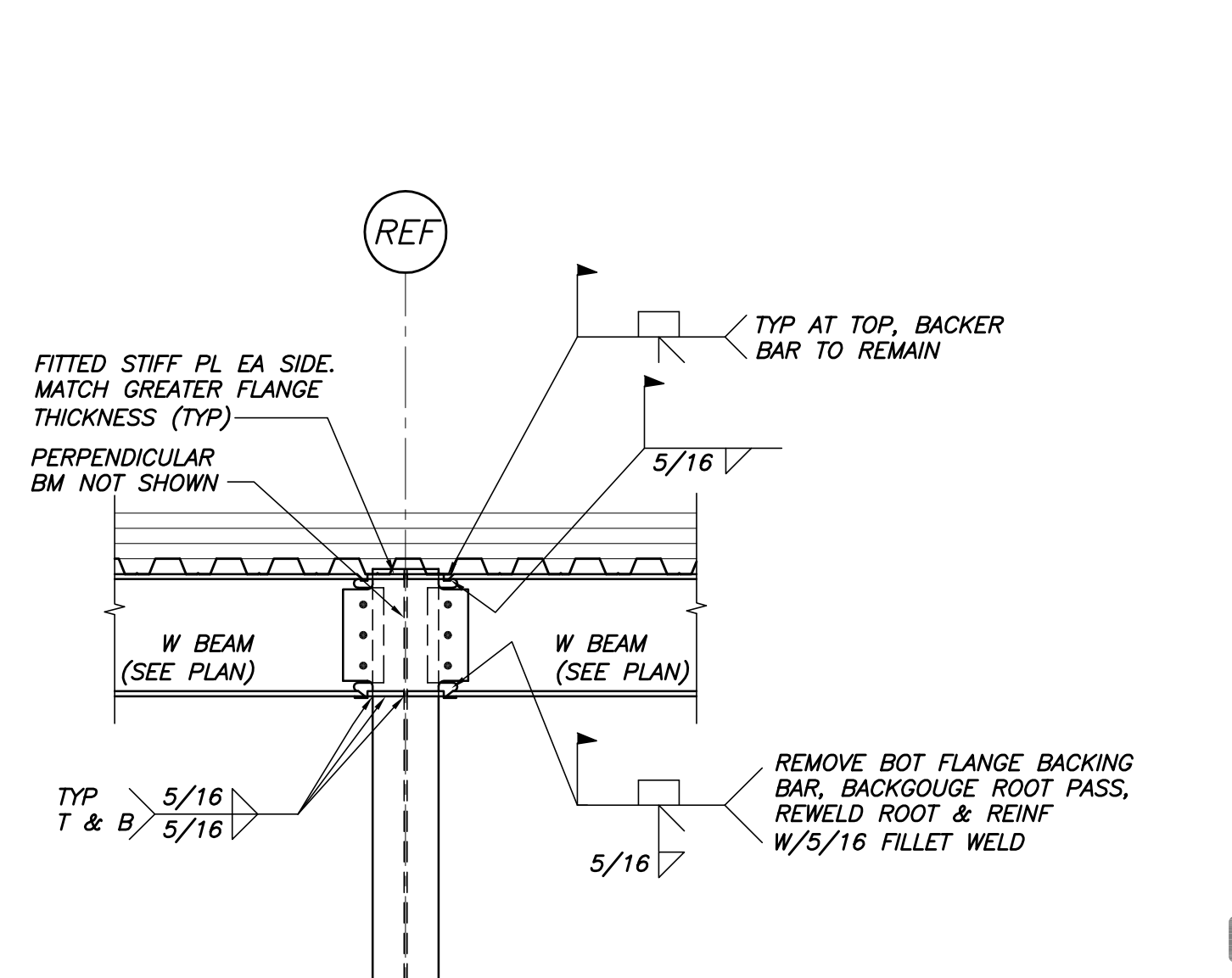
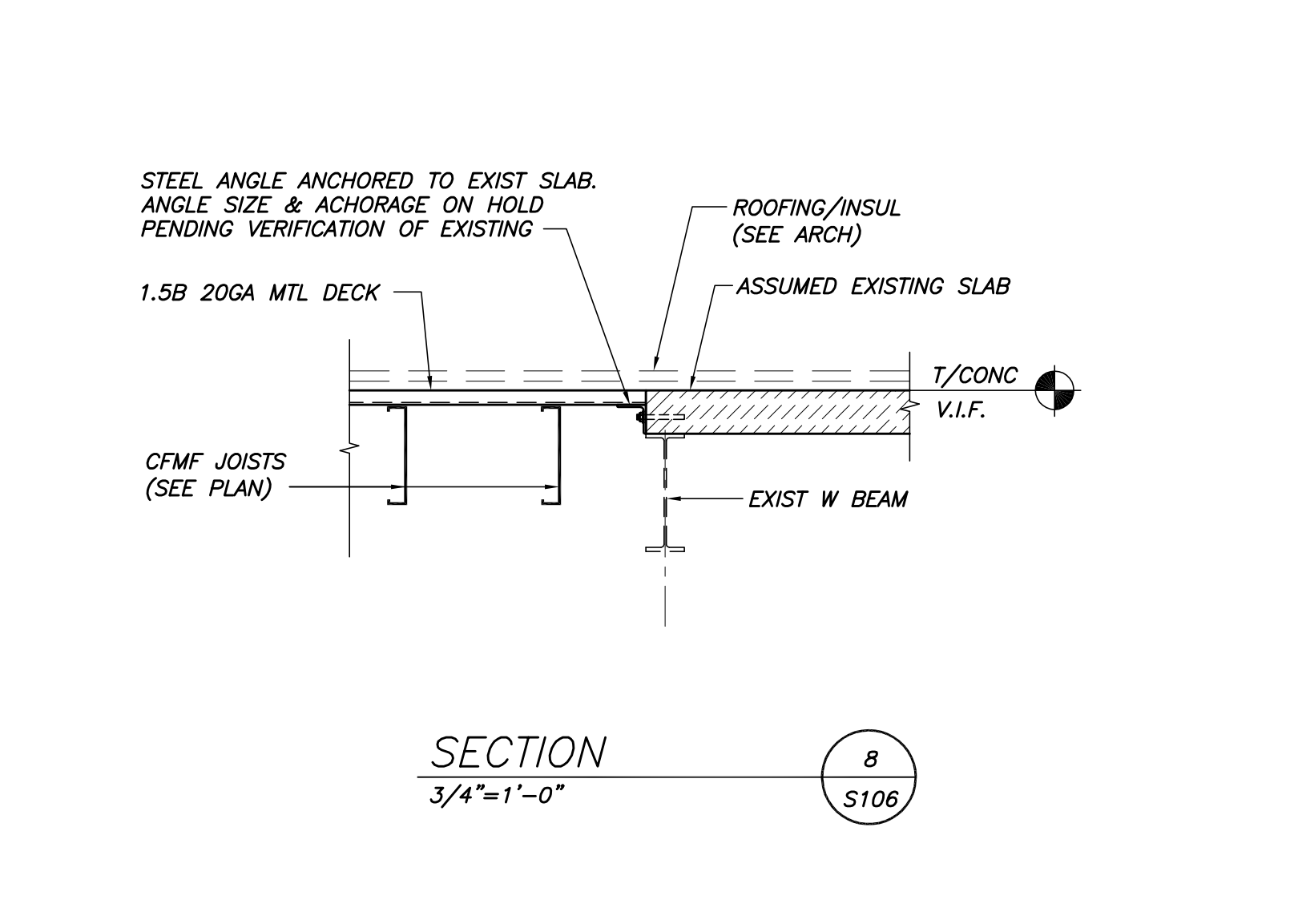
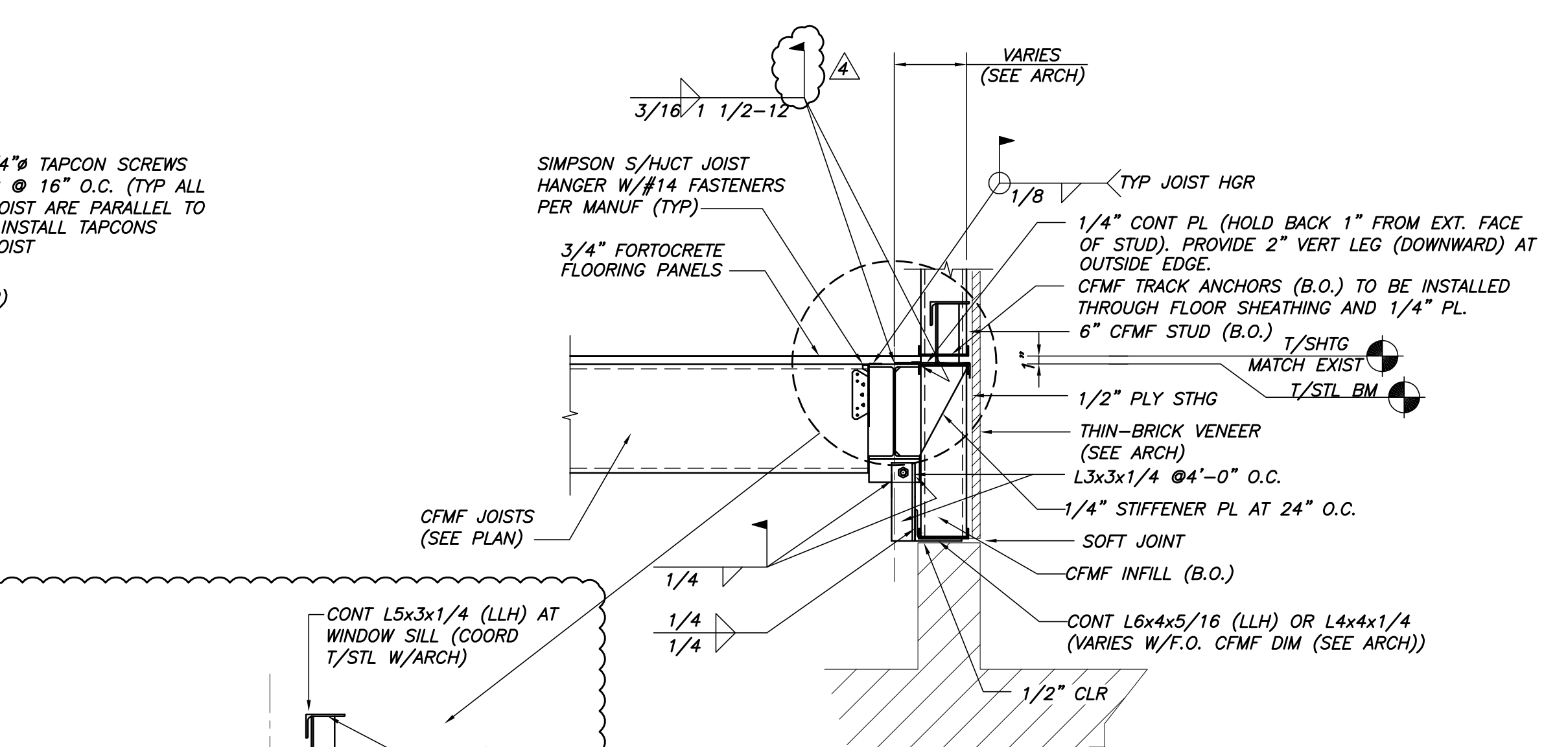
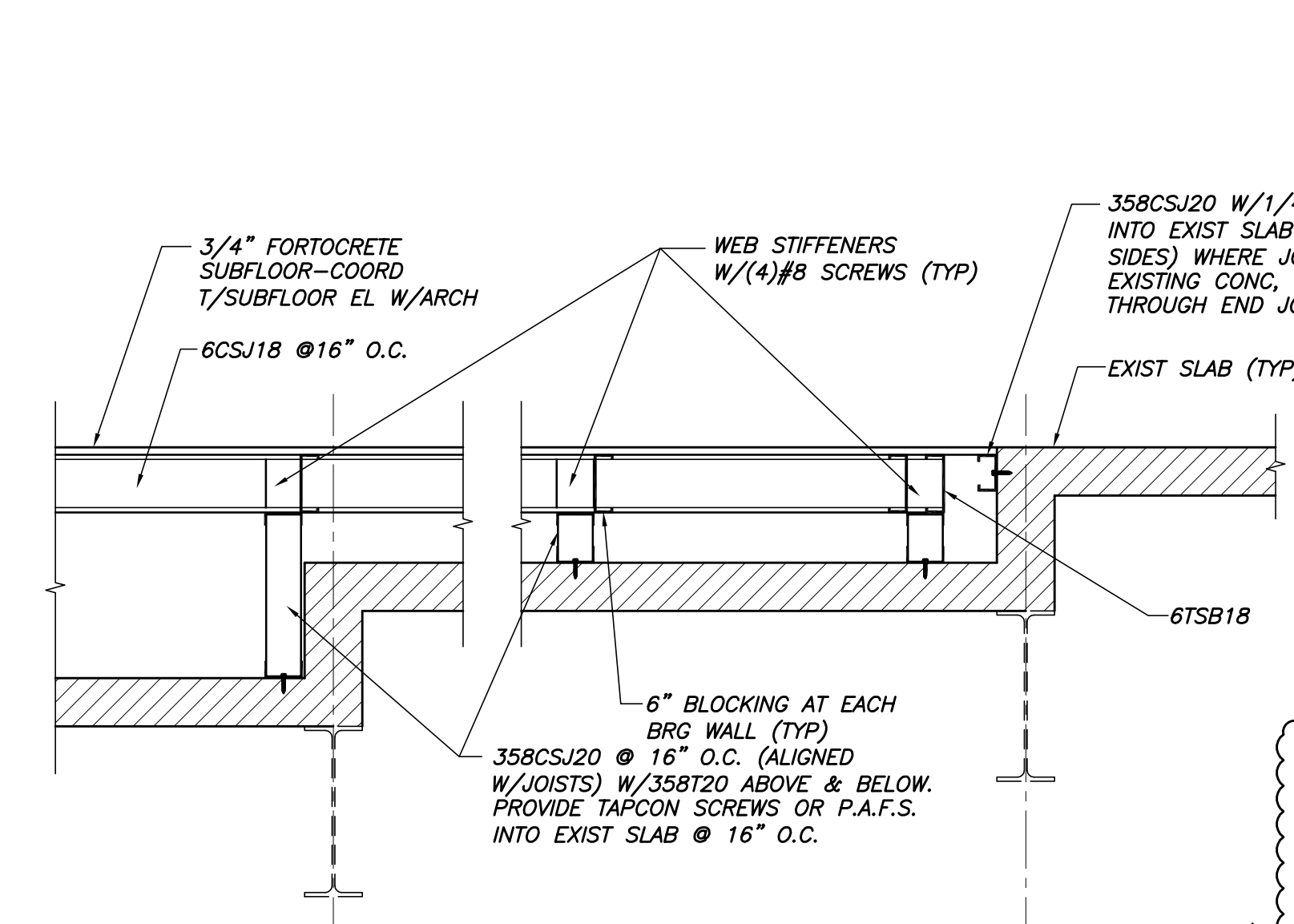


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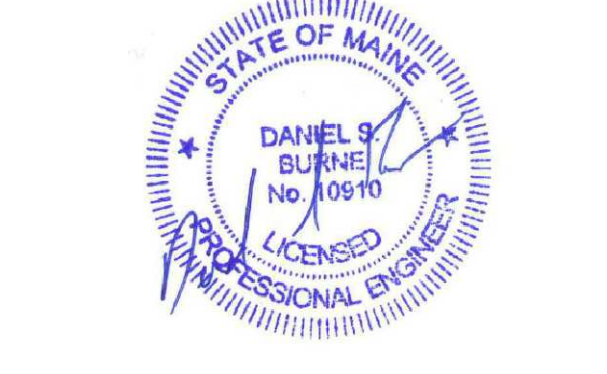
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Sheet Title:  
FRAMING SECTIONS & TYPICAL DETAILS

Job Number: 11009  
 Scale: NOTED  
 Drawn: RJB  
 Checked: DSB  
 Date: 3-15-12  
**S107**  
 RELEASED FOR CONSTRUCTION



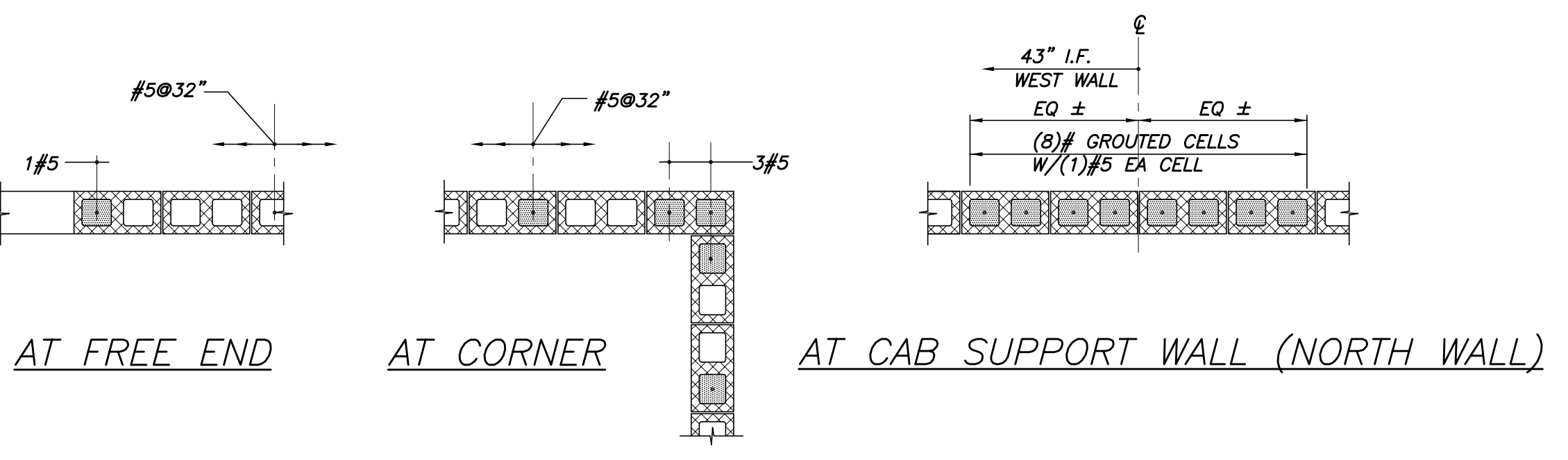
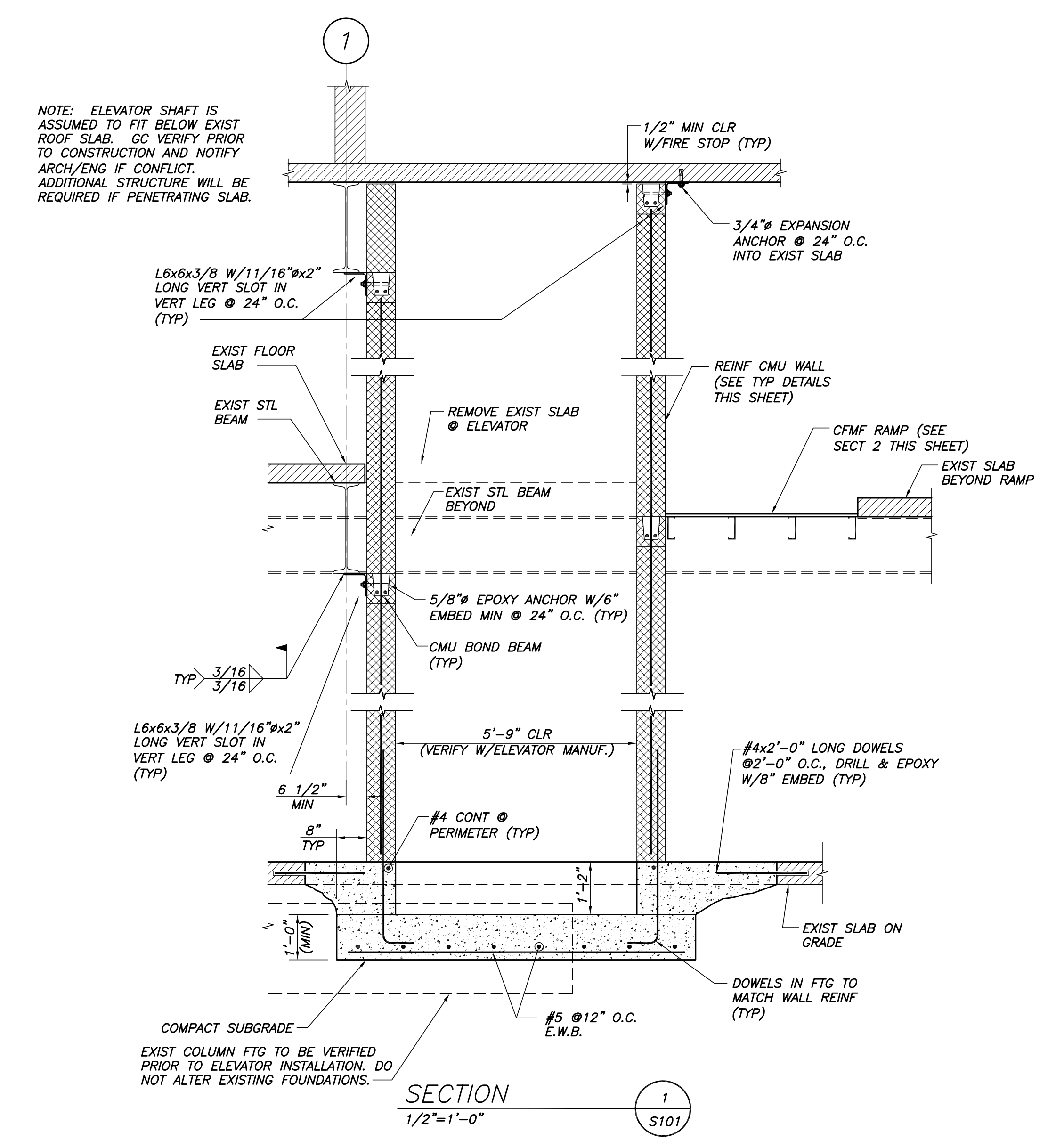
**STRUCTURAL DRAWINGS INCLUDED AS SUPPLEMENTAL INFORMATION TO DEMOLITION DRAWINGS**



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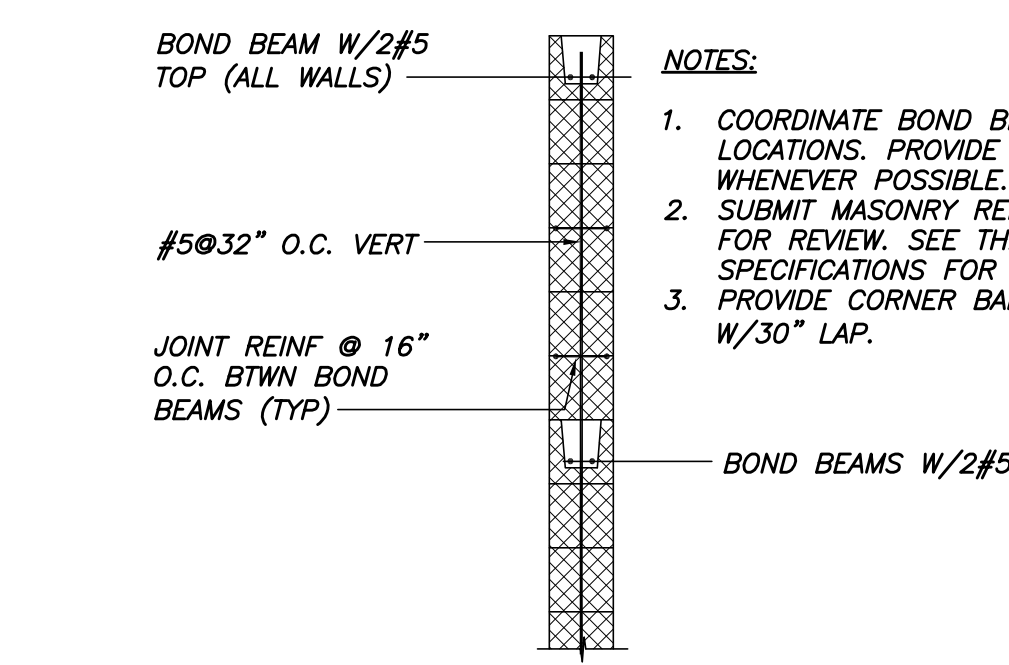
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**TYP PLAN DETAILS AT CMU WALLS**

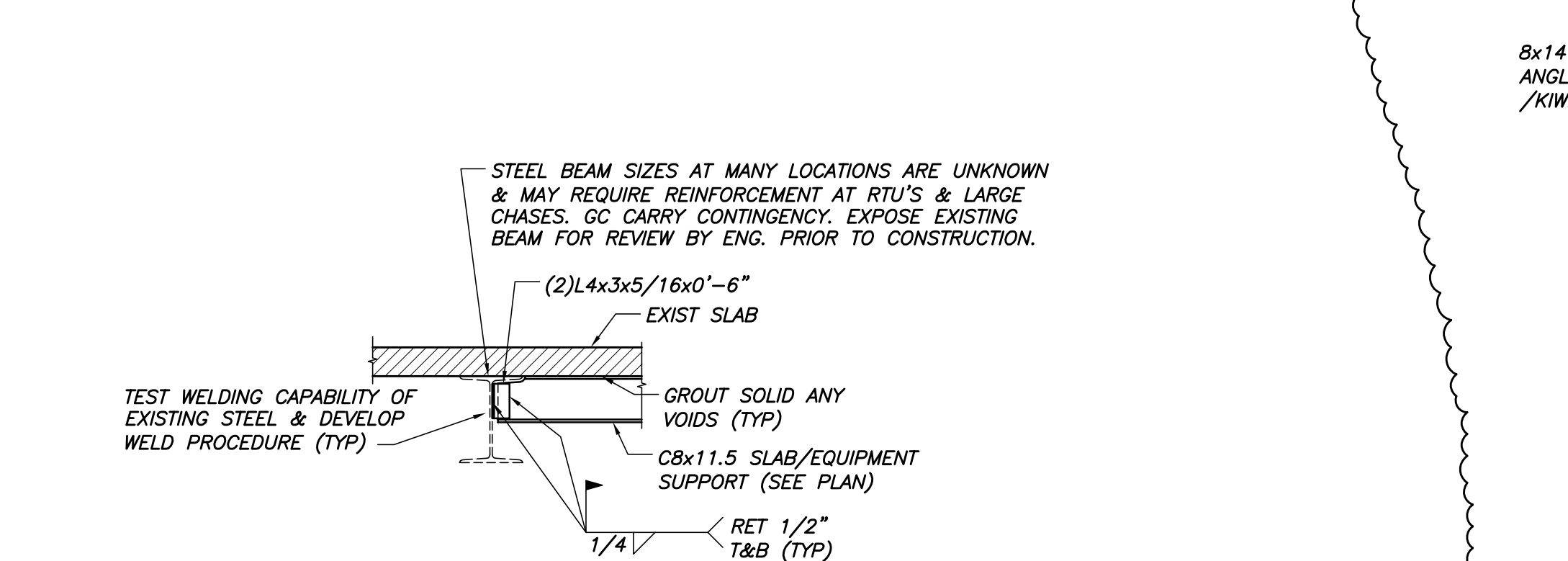
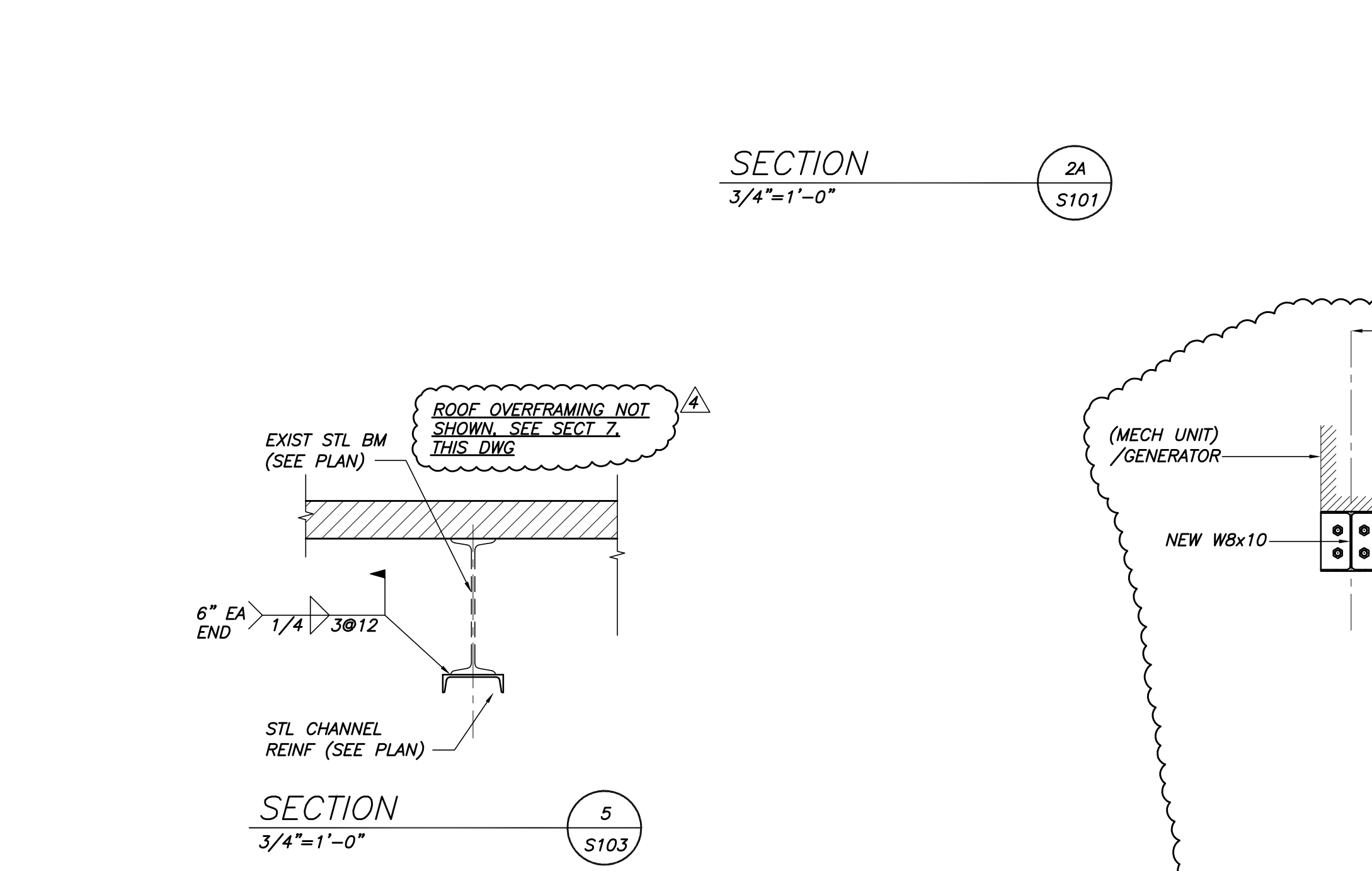
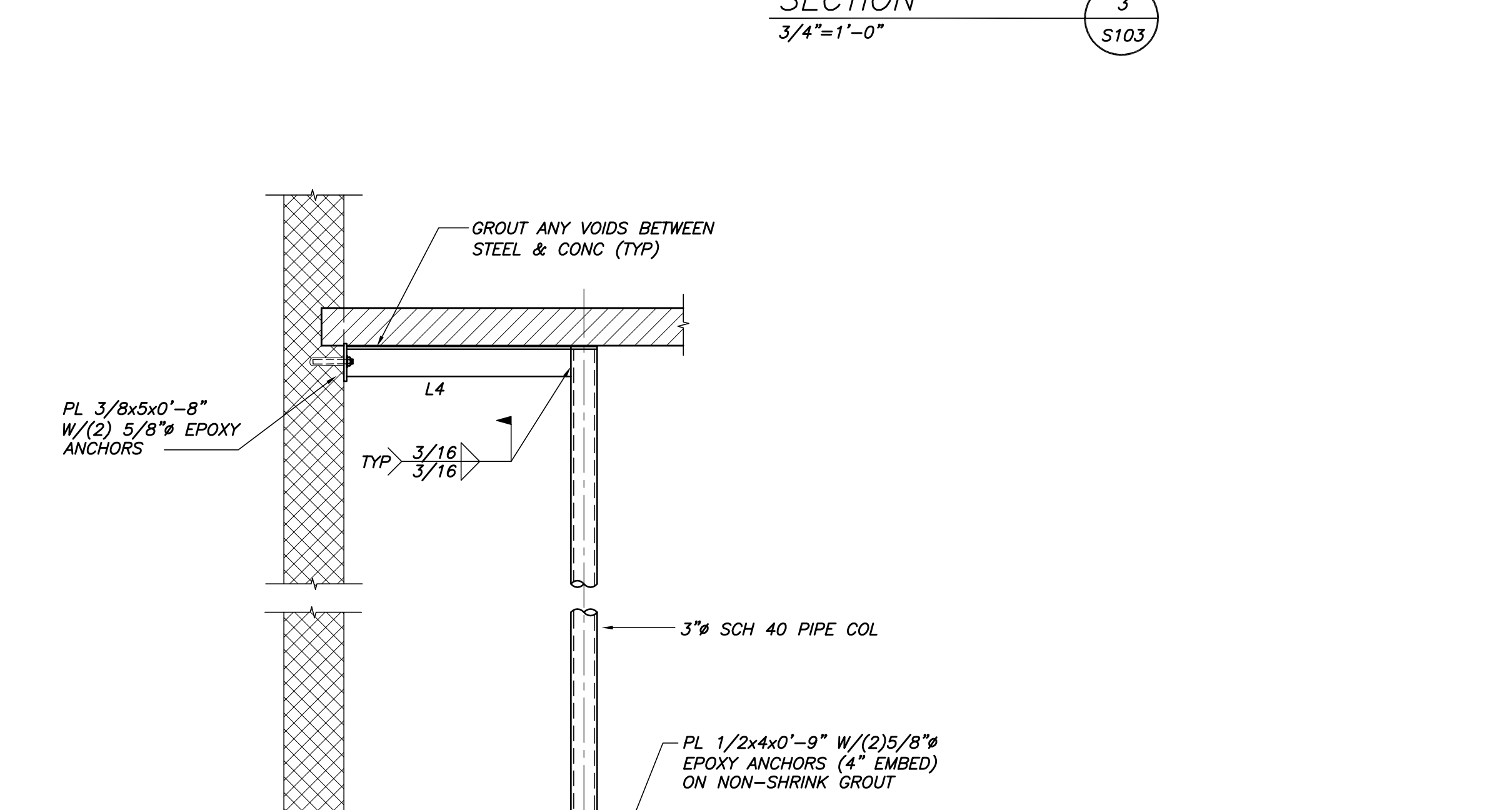
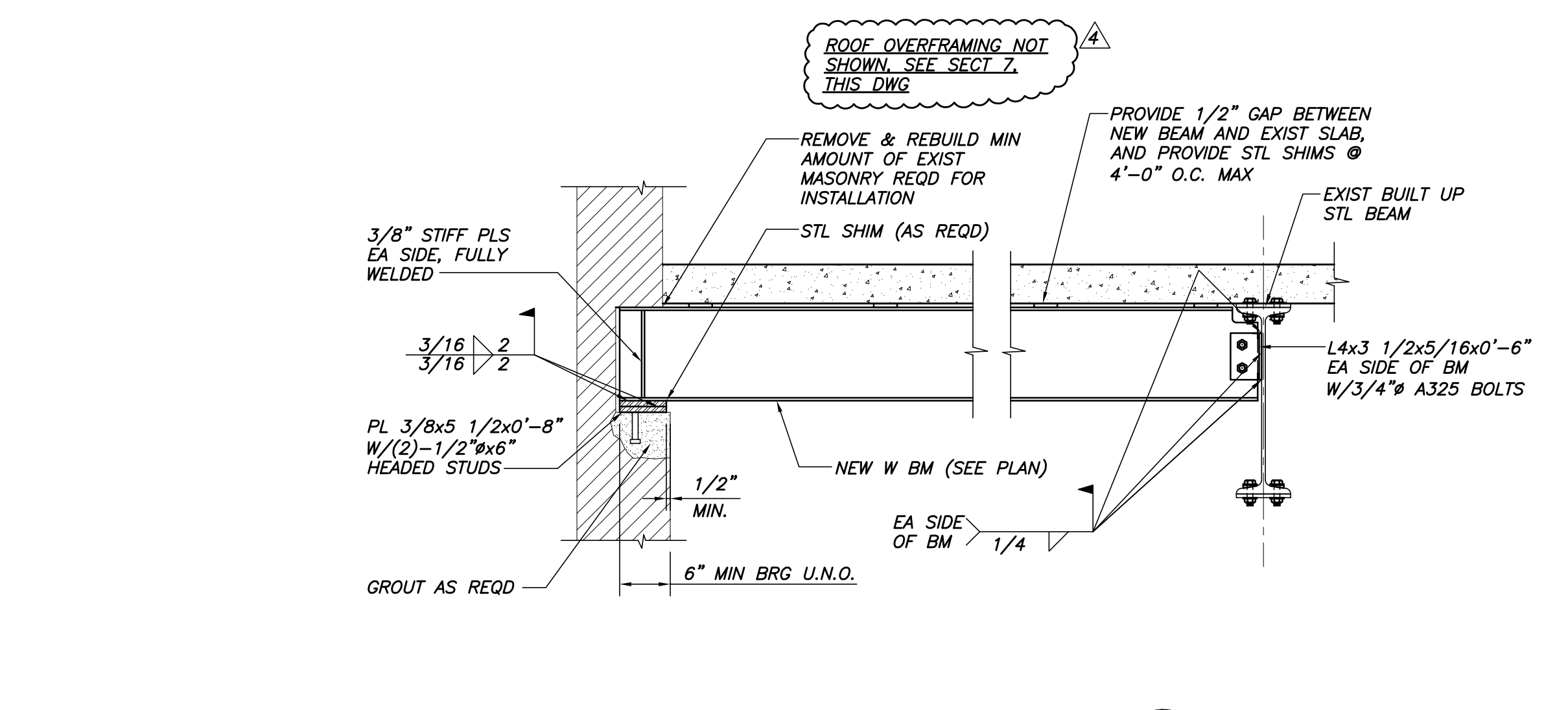
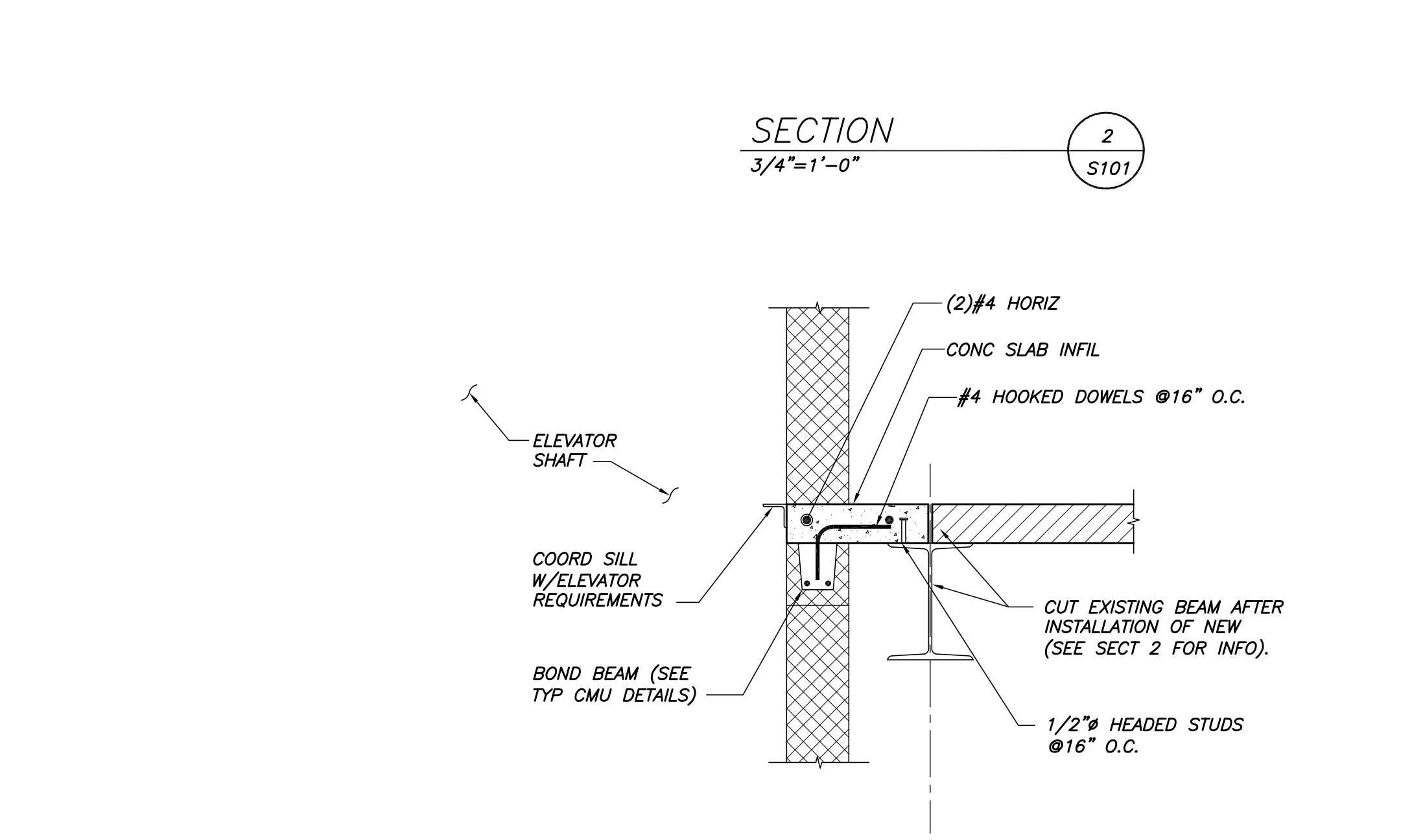
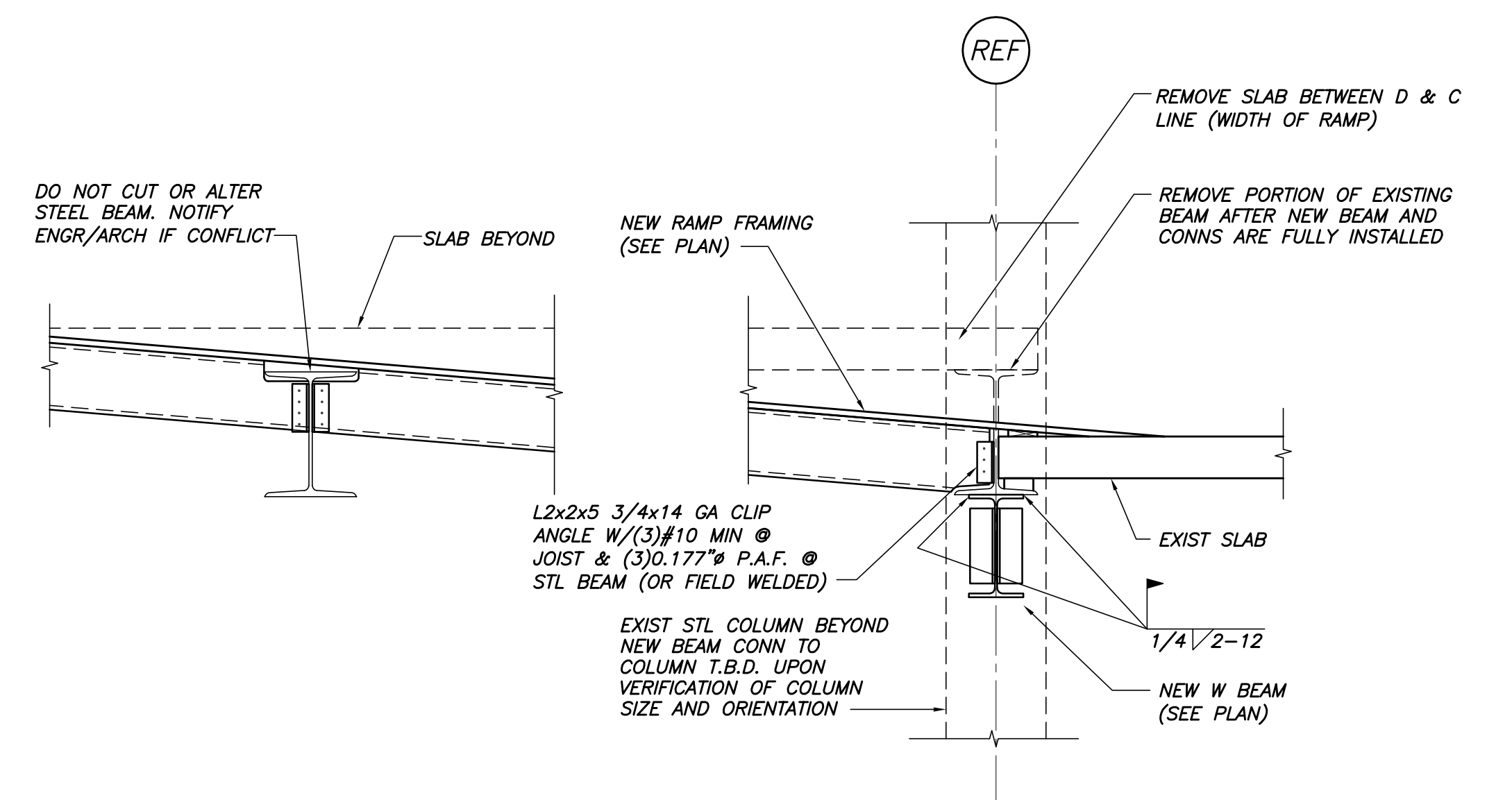
N.T.S.

- NOTES:
1. PROVIDE LADUR TIE HORIZ REINF @ 16" O.C., U.N.O.
  2. PROVIDE BOND BEAMS W/2#5 CONT AT TOP OF ALL WALLS & AT 48" O.C. MAX.
  3. ALL REINFORCED CELLS ARE TO BE FULLY GROUTED.
  4. LAP BARS AT SPLICES MIN. 48 BAR DIAMETERS.
  5. PROVIDE 2#5 MIN ABOVE & BELOW ALL OPENINGS. EXTEND 24" MIN BEYOND EDGE OF OPENING EA SIDE.
  6. ALL CMU WALL REINF SHALL BE REVIEWED BY THE STRUCTURAL ENGINEER OR THEIR DESIGNATED REPRESENTATIVE PRIOR TO GROUTING.



**CMU LINTEL SCHEDULE**

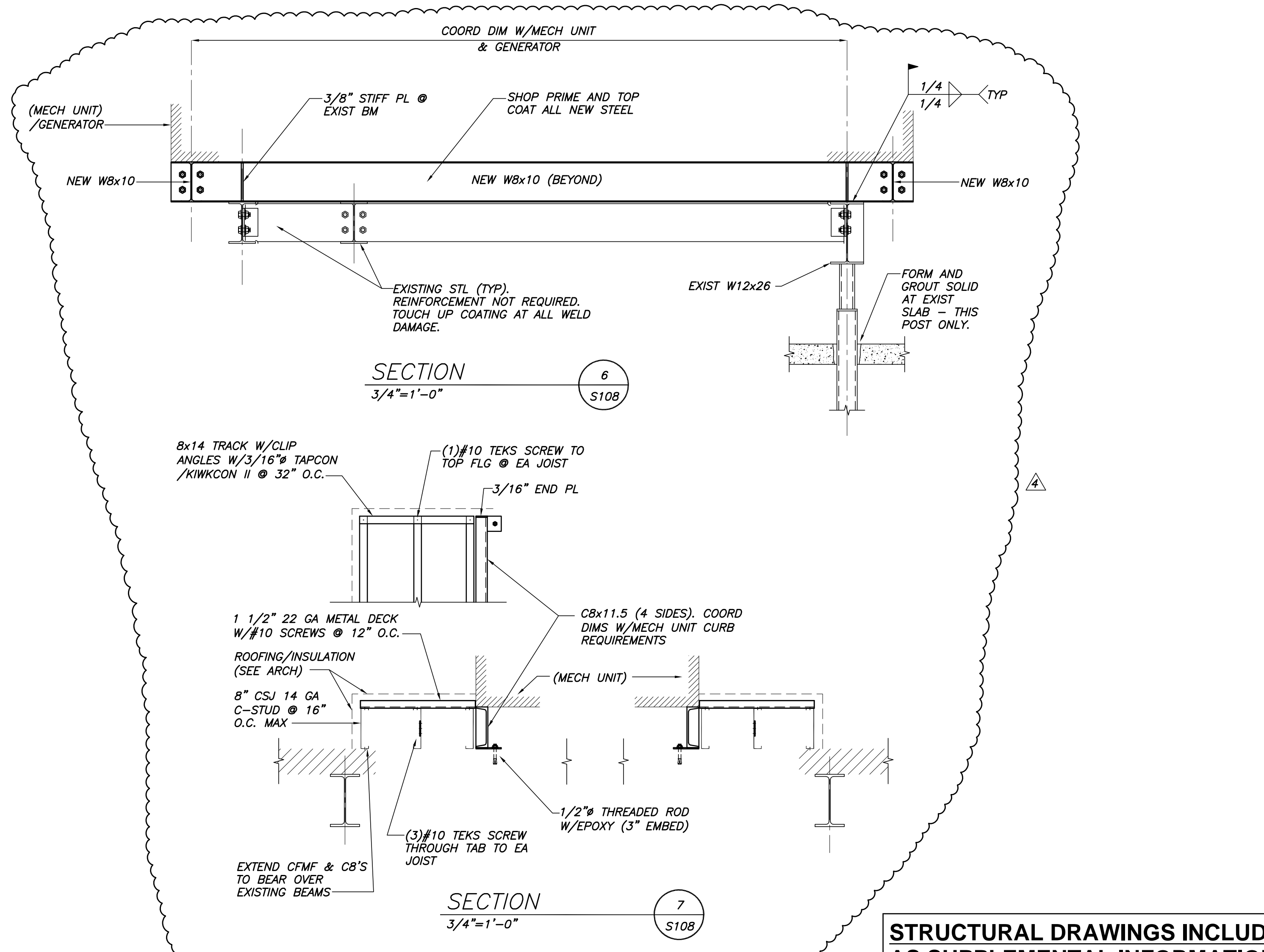
MARK	CLEAR SPAN	WIDTH	DEPTH	REINF
L1	< 6'-0"	8"	8"	2#5 CONT
L2	6'-0" - 8'-0"	8"	16"	2#5 CONT



**TYPICAL C8 CONN DETAIL**

NOTE:

1. SEE NOTES ON DWGS S100 FOR ADDL CRITERIA.



**STRUCTURAL DRAWINGS INCLUDED AS SUPPLEMENTAL INFORMATION TO DEMOLITION DRAWINGS**



**GENERAL NOTES**

1. THE FOLLOWING NOTES ARE INTENDED TO BE USED AS OUTLINED SPECIFICATIONS FOR THIS PROJECT. THE REFERENCED STANDARDS ARE CONSIDERED TO BE PART OF THE WORK.
2. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
3. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
4. THE ROOF INFILL STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE ONLY AFTER THE STRUCTURAL WORK CONTAINED IN THE STRUCTURAL DRAWINGS IS COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, TEMPORARY BRACING, GUYS OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
5. SECTIONS AND DETAILS SHOWN ON ANY STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS AS DETERMINED BY THE ENGINEER.
6. ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).

**DESIGN LOADS**

1. BUILDING CODE: MAINE UNIFORM BUILDING AND ENERGY CODE, INTERNATIONAL RESIDENTIAL CODE, 2009 EDITION ASCE 7-05 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
2. DESIGN ROOF SNOW LOAD:
 

GROUND SNOW LOAD (Pg):	60 PSF
SNOW EXPOSURE FACTOR (Ce):	1.0
SNOW LOAD IMPORTANCE FACTOR (Ib):	1.1
SNOW LOAD THERMAL FACTOR (Ct):	1.1
FLAT ROOF SNOW LOAD (P):	51 PSF + DRIFT

**SUBMITTALS**

1. THE CONTRACTOR SHALL SUBMIT COMPLETE SHOP DRAWINGS FOR ALL PARTS OF THE WORK, INCLUDING DESCRIPTION OF SHORING, AND CONSTRUCTION METHODS AND SEQUENCING WHERE APPLICABLE. NO PERFORMANCE OF THE WORK INCLUDING, BUT NOT LIMITED TO, SHORING AND DEMOLITION OF EXISTING STRUCTURE, OR FABRICATION OR ERECTION OF NEW STRUCTURAL ELEMENTS, SHALL COMMENCE WITHOUT REVIEW OF THE SHOP DRAWINGS BY THE ARCHITECT OR CONSTRUCTION MANAGER AND ENGINEER. SUBMIT TWO (2) COPIES. ONE (1) COPY WILL BE RETAINED AND ONE (1) WILL BE RETURNED. CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR REVIEW.
2. REQUIRED SUBMITTALS SHALL INCLUDE:
  - STRUCTURAL STEEL FABRICATION DRAWINGS

**STRUCTURAL STEEL NOTES**

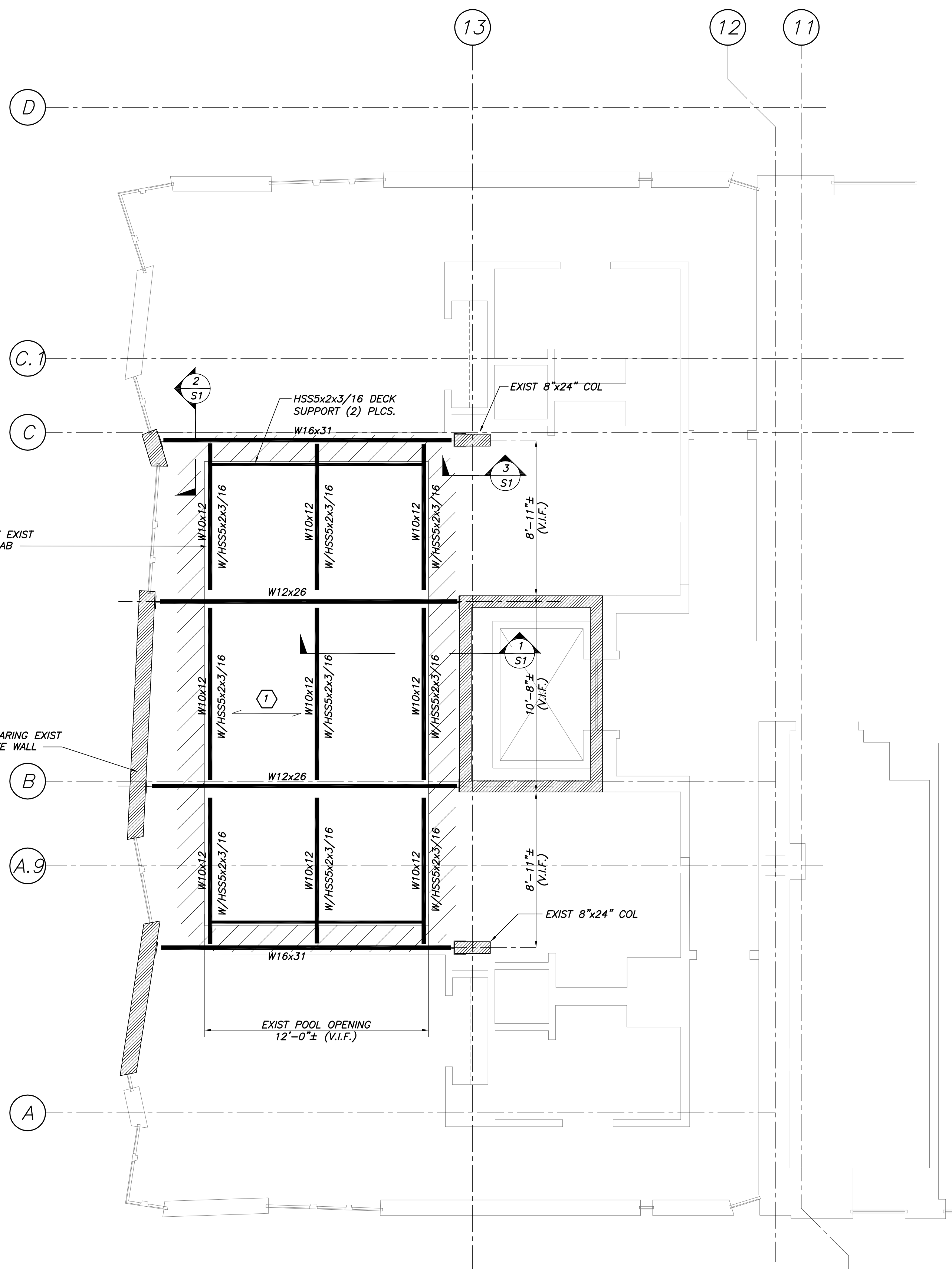
1. STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO AISC "SPECIFICATION FOR THE DESIGN FABRICATIONS, AND ERECTION OF STRUCTURAL STEEL" 13TH EDITION, AND THE "CODE OF STANDARD PRACTICE", LATEST EDITION.
2. STRUCTURAL STEEL: STEEL PLATES, SHAPES, AND BARS, SHALL CONFORM TO ASTM A36 UNLESS NOTED OTHERWISE (U.N.O.). STRUCTURAL STEEL SHAPES DESIGNATED ON THE DRAWINGS FOR WIDE-FLANGE SECTIONS: ASTM A572 GRADE 50 WITH SPECIAL REQUIREMENTS PER AISC TECHNICAL BULLETIN #3 DATED MARCH, 1997.
3. STRUCTURAL TUBING: CONFORM TO ASTM A500 GRADE B, 46 KSI.
4. FIELD CONNECTIONS SHALL BE BOLTED USING 3/4" DIAMETER ASTM A325 HIGH STRENGTH BOLTS (U.N.O.).
5. WHERE WELDING IS INDICATED, ALL WELDING SHALL CONFORM TO AWS D1.1-LATEST EDITION. ELECTRODES SHALL CONFORM TO AWS A5.1 E70XX SERIES WITH PROPER ROD TO PRODUCE OPTIMUM WELD (LOW HYDROGEN).
6. DESIGN AND DETAIL ALL CONNECTIONS ACCORDING TO AISC STANDARD CONNECTION TABLES. DESIGN STANDARD BEAM CONNECTIONS FOR THE MAXIMUM LOAD CAPACITY OF THE MEMBER.
7. ALL STEEL SHALL BE FABRICATED AND SHIPPED AS BARE UN-PAINTED STEEL.
8. PROVIDE ALL ANGLES, PLATES, ANCHORS, BOLTS, ETC., SHOWN ON ARCHITECTURAL DRAWINGS.

**METAL DECK**

1. THE METAL ROOF AND FLOOR DECK SHALL BE FORMED OF STEEL SHEETS CONFORMING TO ASTM STANDARD A611.
2. FABRICATION, ERECTION, AND INSTALLATION SHALL CONFORM TO AISC SPECIFICATION FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS, AWS D1.1 STRUCTURAL WELDING CODE, AWS D1.3 STRUCTURAL WELDING CODE - SHEET STEEL, AND SDI DESIGN MANUAL FOR FLOOR DECKS AND ROOF DECKS.
3. ROOF DECK SHALL BE AS NOTED ON THE DRAWINGS (OR EQUIVALENT).
4. FASTEN ROOF DECK WITH 5/8" DIAMETER PUDDLE WELDS SPACED IN A 2/4" PATTERN TO STEEL SUPPORTS AND CONNECT SIDELAPS WITH (4) #10 TEK SCREWS PER SPAN.

**TESTING**

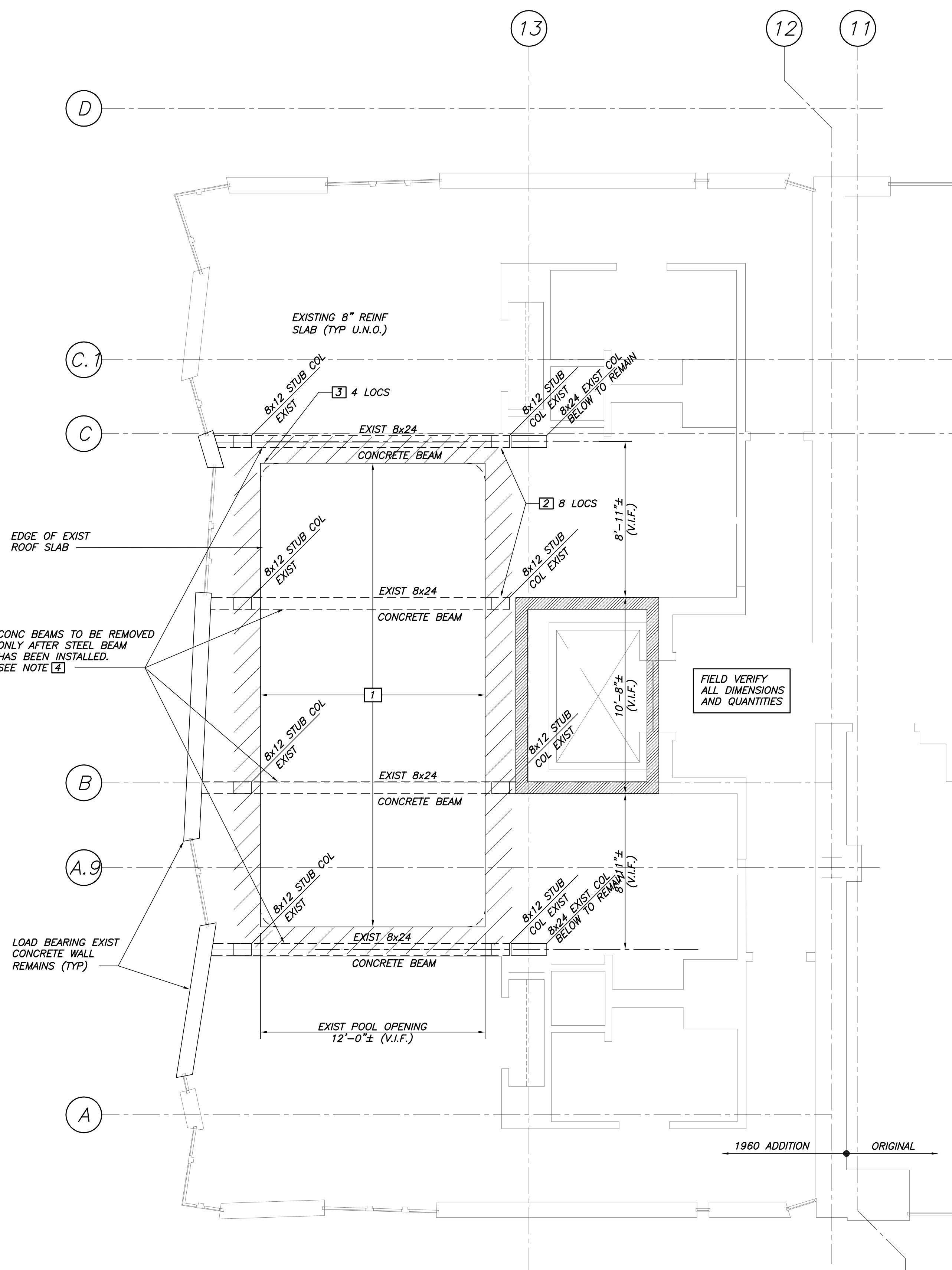
1. OWNER WILL ENGAGE A QUALIFIED TESTING AGENCY TO CONDUCT PERIODIC TESTS TO CONFIRM CONSTRUCTION IS IN CONFORMANCE WITH SPECIFIED PROCEDURES AND SPECIFICATIONS.
2. TESTING SHALL INCLUDE:
  - STRUCTURAL STEEL FIELD BOLTED CONNECTIONS
  - STRUCTURAL STEEL FIELD WELDED CONNECTION
3. TEST RESULTS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW WITHIN 72 HOURS OF COMPLETION OF EACH TEST.



**POOL INFILL FRAMING PLAN**  
1/4"x1'-0"

- NOTE:**
1. ① INDICATES 3x20 METAL ROOF DECK
  2. REFERENCE ARCHITECTURAL DRAWINGS FOR ROOFING AND INSULATION DETAILS.
  3. CONTRACTOR SHALL LOCATE EXISTING REINFORCING IN ALL WALLS AND COLUMNS AT CONNECTIONS PRIOR TO STEEL FABRICATION.

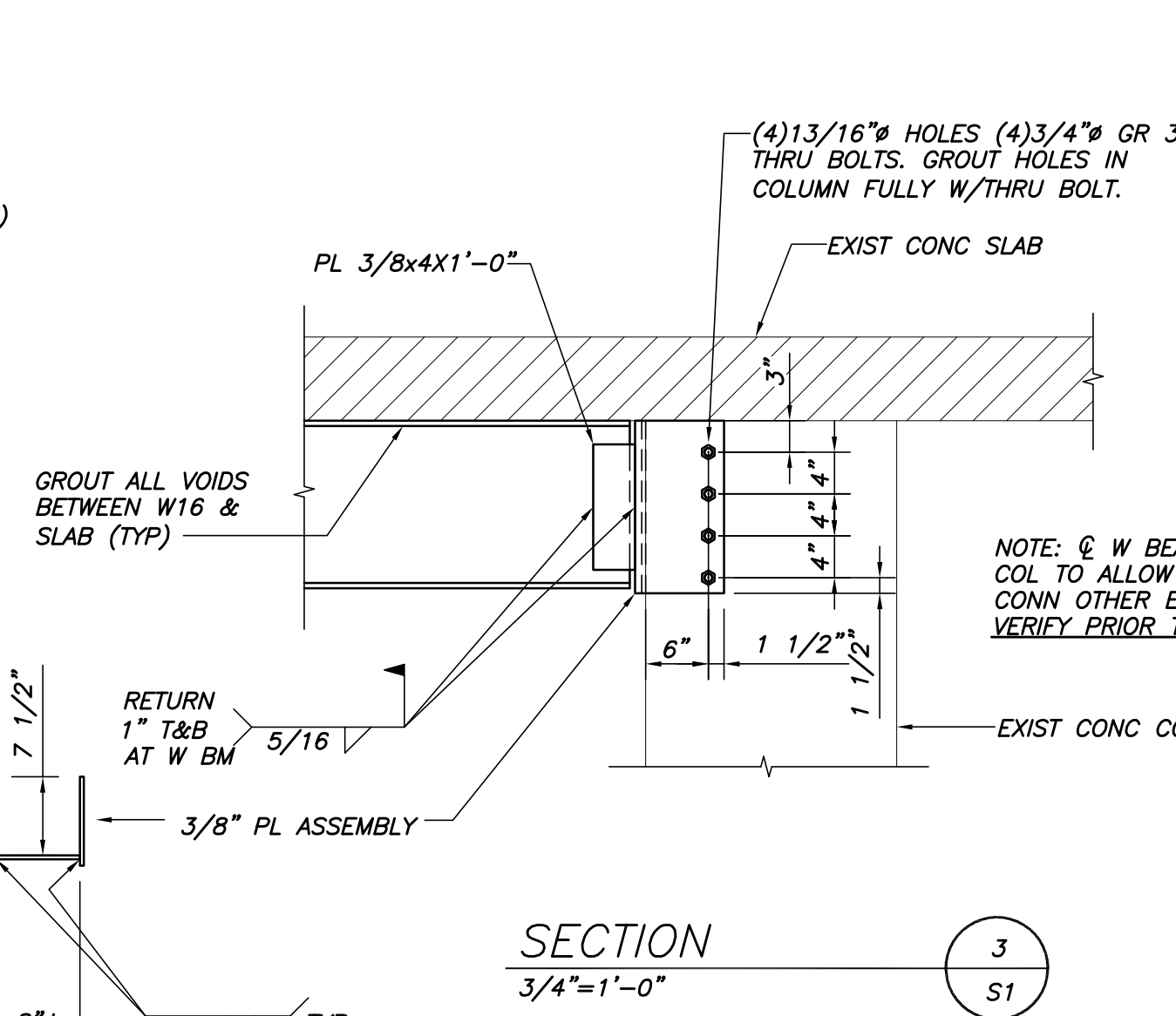
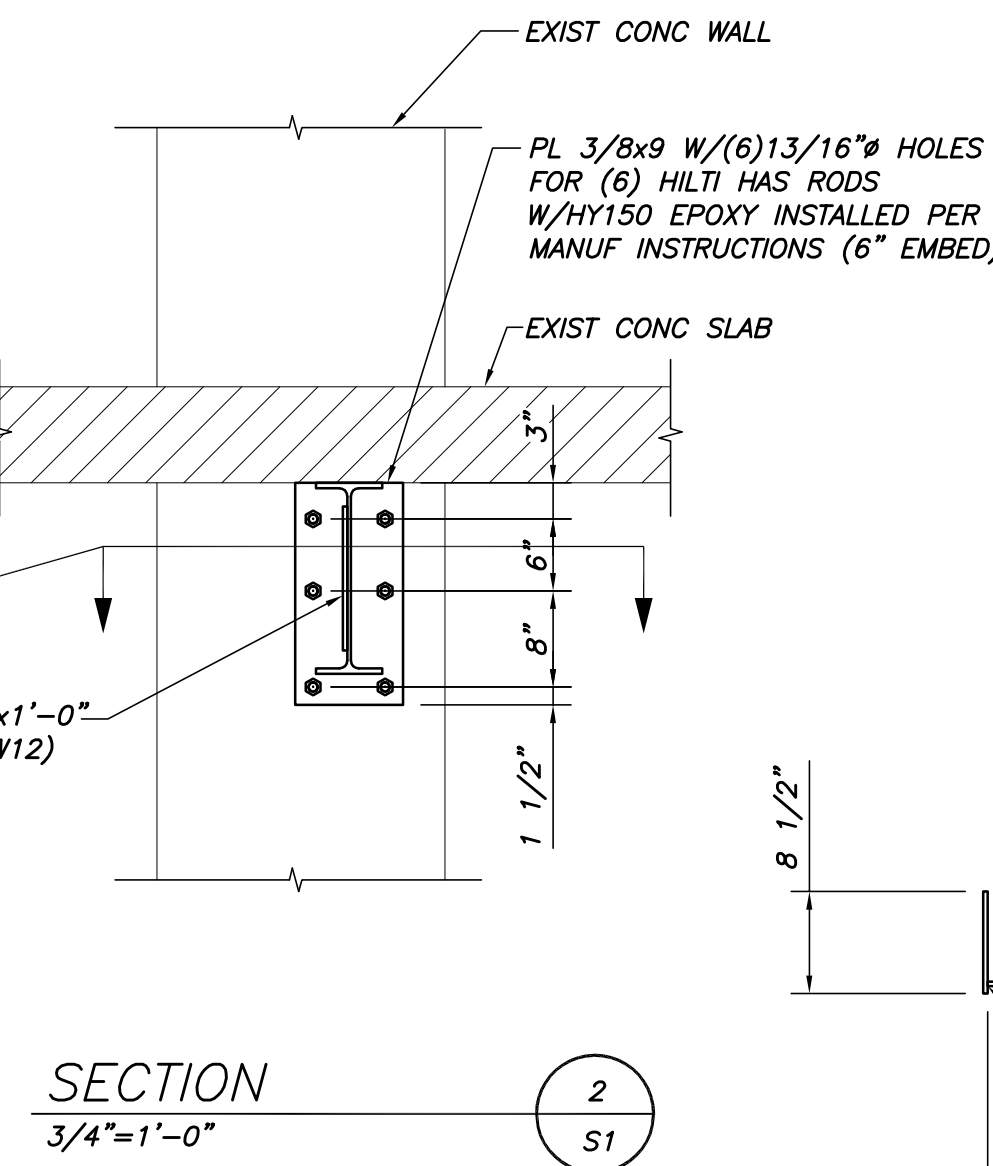
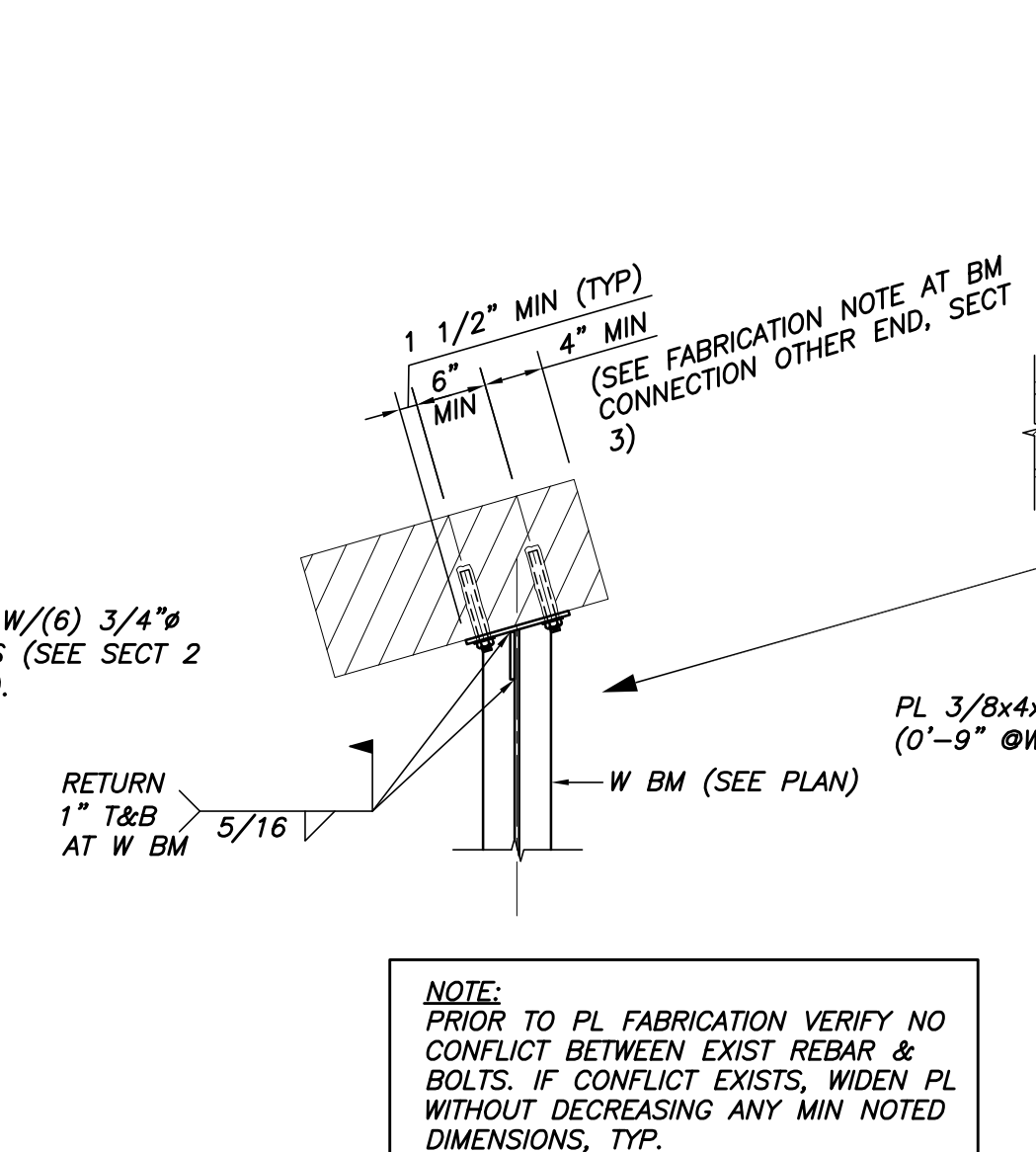
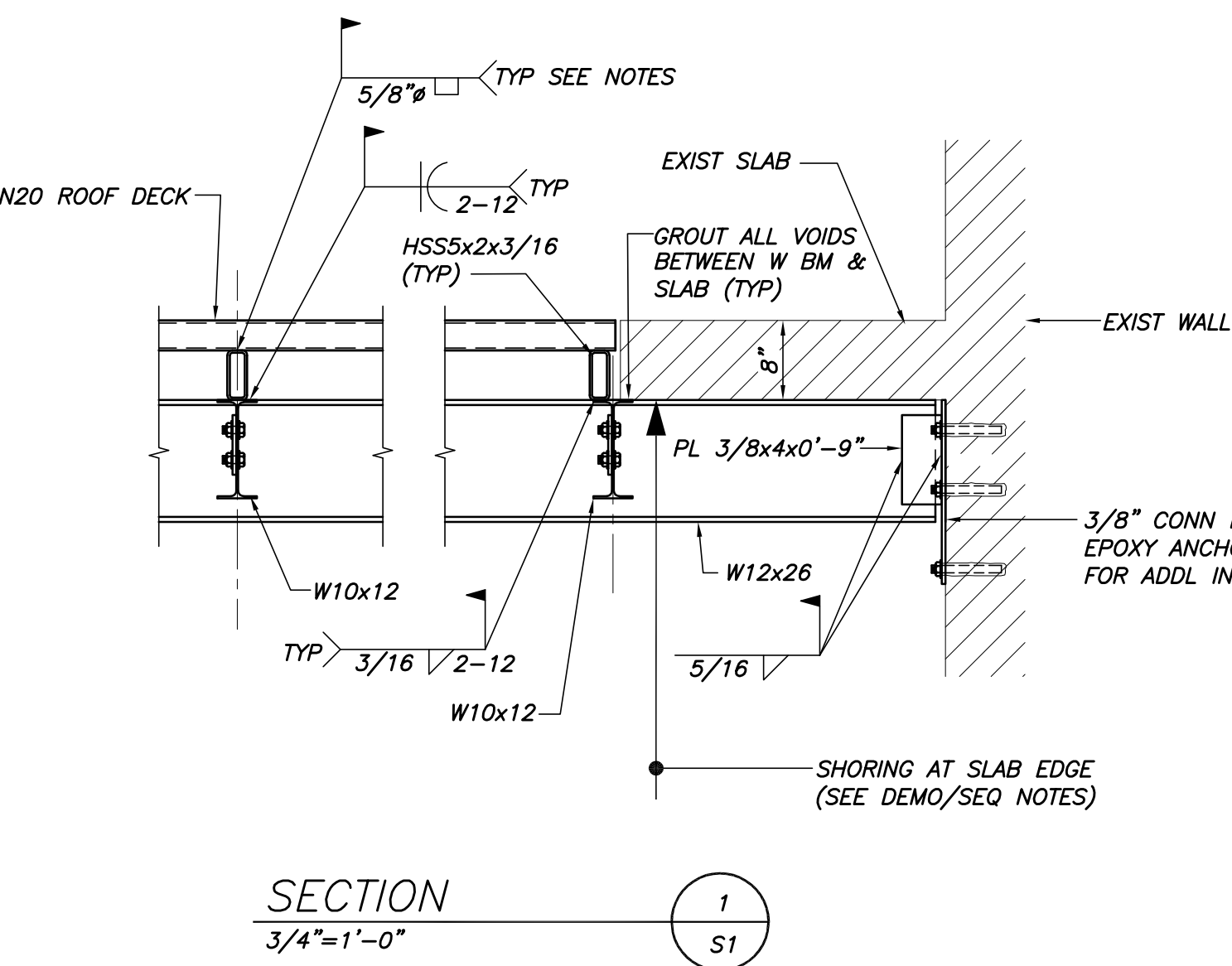
**STRUCTURAL DRAWINGS INCLUDED AS SUPPLEMENTAL INFORMATION TO DEMOLITION DRAWINGS**



**DEMOLITION ROOF PLAN**  
1/4"x1'-0"

- DEMO KEY / SEQUENCE NOTES**
1. SHORE SLAB EDGE, SHORING TO REMAIN UNTIL ALL STEEL MEMBERS INSTALLED & CONNECTIONS COMPLETE.
  2. REMOVE STEEL POOL TANK COMPLETE.
  3. CUT AND REMOVE VERTICAL STUB COLUMNS (8 LOCATIONS). GRIND FLUSH AT UNDERSIDE OF ROOF SLAB.
  4. SAWCUT RADIUS CORNERS TO BE SQUARE (4 LOCATIONS).
- INSTALL ALL STRUCTURAL STEEL AND COMPLETE ALL CONNECTIONS—REFERENCE PLAN AND DETAILS THIS SHEET.**
5. CUT AND REMOVE LOWER CONCRETE BEAMS AFTER STRUCTURAL STEEL INSTALLATION IS COMPLETE. DO NOT DAMAGE CONCRETE WALLS AND 8x24 CONCRETE COLUMNS (WALLS AND COLUMNS TO REMAIN).

- DEMOLITION NOTES:**
1. COORDINATE STRUCTURE DEMOLITION WITH ELECTRICAL, MECHANICAL AND ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.
  2. STORAGE OF DEMOLITION DEBRIS SHALL BE LIMITED TO THE FOLLOWING:
    - A. ADDITION ROOF: 100 PSF MAX
    - B. 12TH FLOOR OF ADDITION: 40 PSF MAX
    - C. ORIGINAL HOTEL ROOF: NOT ALLOWED
  3. DEMOLITION MATERIAL/DEBRIS SHALL BE REMOVED DAILY.
  4. REMOVAL OF MATERIALS AND DEBRIS INCLUDES PROPER SITE STORAGE AND OFF SITE DISPOSAL.
  5. SHOULD CONTRACTOR DISCOVER, UPON REMOVAL OF NOTED ITEMS, ANY DAMAGED OR DETERIORATION OF EMBEDDED STRUCTURAL STEEL CONNECTIONS OR REINFORCEMENT, THEY SHALL IMMEDIATELY AND PRIOR TO PERFORMING ANY REPAIRS INFORM THE ENGINEER OF ENCOUNTERED CONDITIONS.
  6. ALL DEMOLITION SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.
  7. WORK AREA SHALL BE WATER TIGHT AT ALL TIMES.
  8. DURING DEMOLITION AND CONSTRUCTION USE OF ROOMS BELOW AND ADJACENT TO WORK AREA SHALL BE CONFORM TO ALL LOCAL, STATE, AND FEDERAL SAFETY CODE AND REQUIREMENTS.
  9. CONTRACTOR SHALL PROVIDE REQUIRED PROTECTION INCLUDING, BUT LIMITED TO, SHORING, BRACING AND SUPPORT TO MAINTAIN STRUCTURAL INTEGRITY OF WORK AND EXISTING MEMBERS TO REMAIN.
  10. CONTRACTOR SHALL CONSTRUCT BARRIERS AND OTHER METHODS OF PROTECTING PEOPLE AND PROPERTY PRIOR TO DEMOLITION. ALL SHALL BE CONSTRUCTED IN A MANNER THAT IS ACCEPTABLE TO THE OWNER AND BUILDING INSPECTOR. BARRIERS AND OTHER METHODS SHALL BE MAINTAINED THROUGHOUT THIS PORTION OF THE WORK.



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**WESTIN**  
HOTELS & RESORTS  
ROCKBRIDGE CAPITAL

CONTRACTOR  
**IDC**  
IDC CONSTRUCTION, LLC

CONSULTING ARCHITECTS  
tll-architects, llc

Project:  
**WESTIN EASTLAND PARK HOTEL RENOVATION**  
FOR  
ROCKBRIDGE CAPITAL, LLC.  
157 HIGH STREET  
PORTLAND, ME

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Sheet Title:  
POOL INFILL & DEMO PLAN  
NOTES & SECTIONS

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Drawn: RUB  
Checked: DSB  
Date: 8-18-11

RELEASED FOR CONSTRUCTION