

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 157 High St	Owner: VanLee Corp	Phone:	Business Name:
Owner Address: P.O. Box 1593	Lease/Buyer's Name: Bassland Plaza Hotel	Phone:	Phone:
Contractor Name: Persora, Inc.	Address: Watertown, S.D. 57201	COST OF WORK: \$	PERMIT FEE: \$ 147.25
Past Use: Hotel	Proposed Use: Same	FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: <input checked="" type="checkbox"/> U Type:

Permit No: **050484**
PERMIT ISSUED
 MAY 17 1995
 CITY OF PORTLAND

Zone: CBL 037-E-007
 Zoning Approval: Approved
 Special Zone of Reviews: No

Proposed Project Description:
 Erect Signage as per plans 611.25 sq ft.
 305.63 per side double faced

Persora, Inc.: UL#E76620

Permit Taken By: Mary Greasik

Date Applied For: 20 April 1995

Signature: D Andrews Date: 5/15/95

- Historic Preservation**
- Not in District or Landmark
 - Does Not Require Review
 - Requires Review
- Zoning Appeal**
- Variance
 - Miscellaneous
 - Conditional Use
 - Interpretation
 - Approved
 - Denied

CERTIFICATION

I hereby certify that I am the owner or record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT: Hand delivered to ADDRESS: _____ PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK: TITLE _____

Wille-Normil Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Action: Approved as amended 5/15
 Approved with Conditions
 Denied

Date: 5/16/95

CEO DISTRICT 5

D Andrews
M. W. W.

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 157 High Street		Owner:	Phone:	Permit No: 960683
Owner Address:		Lease/Buyer's Name: Atlantic Cellular Tele Corp	Phone: (910) 545-2578	Business Name:
Contractor Name: Malouf Engr International, Inc.		Address: 1762 N. Collins, Ste. 203, Richardson, TX		Phone:
Past Use: Building (hotel)		Proposed Use: Same w/ the erect 25 ft. cellular communications tower	COST OF WORK: \$ 35,000.00	PERMIT FEE: \$ 195.00
Proposed Project Description: erect tower as per plans		FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:
Permit Taken By: Wicki Dover		Date Applied For: July 9, 1996		Signature: <i>[Signature]</i> Date: 7/11/96
<p>1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p>		<p>Signature: <i>[Signature]</i> Date: 7/11/96</p> <p>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied</p>		<p>Zone: B-3 CEL: 37-E-7</p> <p>Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input checked="" type="checkbox"/> major <input type="checkbox"/> minor <input type="checkbox"/> mm</p>
<p>Call for p/u 282-5985 Barry J. Hobbins, atty for Atlantic Cellular</p>		<p>CERTIFICATION</p> <p>I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit</p>		<p>Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input checked="" type="checkbox"/> Requires Review</p> <p>Action: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied</p> <p>Date: 7/11/96</p>
<p>Signature of Applicant: <i>[Signature]</i> Barry J. Hobbins</p>		<p>Suite 1508, 110 Main St., Saco 04072 RR 282-5985 7/9/96</p> <p>ADDRESS: DATE: PHONE:</p>		<p>Signature: <i>[Signature]</i> Date: 7/11/96</p> <p>CEO DISTRICT 5 <i>[Signature]</i></p>
<p>RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE</p> <p>White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector</p>		<p>PHONE:</p>		

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 157 High St. Owner: VanLee Corp. Phone: Permit No: **950464**

Owner Address: Lease/Buyer's Name: Eastland Plaza Hotel. Phone: Business Name:

Contractor Name: Parsons, Inc. P.O. Box 1593. Address: Watertown, S.D. 57201. Phone: **PERMIT ISSUED**

Past Use: Hotel. Proposed Use: Signage. COST OF WORK: \$ PERMIT FEE: \$ 147.25. **MAY 17 1995**

INSPECTION: Use Group: Type: Signature: Date: **CITY OF PORTLAND**

Proposed Project Description: **Erect Signage as per plans 611.25 sq ft** **305.63 per side double faced** **Parsons, Inc.: ULFE76620** Zone: CBL: 037-E-607

PEDESTRIAN ACTIVITIES DISTRICT (UDD) Action: Approved Approved with Conditions Denied

Signature: Date: Zoning Approval: Special Zone or Reviews: Shoreland Wetland Flood Zone Subdivision Site Plan major minor minor

Permit Taken By: **Mary Crasik** Date Applied For: **29 April 1995**

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

CERTIFICATION
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT: **Deb Andrzejc** ADDRESS: DATE: **20 April 1995** PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: **White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector** PHONE:

Zoning Appeal: Variance Miscellaneous Conditional Use Interpretation Approved Denied

Historic Preservation: Not in District or Landmark Does Not Require Review Requires Review

Action: Approved Approved with Conditions Denied

Date: **20 April 1995**

CEO DISTRICT: **5**

M. W. S.

COMMENTS

9-11-95 Storage has
been installed
OK per plan
[Signature]

Type	Inspection Record	Date
Foundation:	_____	_____
Framing:	_____	_____
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____



Providing Complete Hotel/Resort
Management Services

May 15, 1995

AMENDED APPLICATION

City of Portland
Attn: Marge Schmuckal
Deb Andrews
389 Congress Street
Portland, Maine 04101

Dear Marge and Deb:

Great News! As a follow-up to Deb Andrew's site visit and recommendations of April 26, 1995, we contacted Radisson Corporate offices and they have provided specifications for a Channel Letter sign.

We would, therefore, request that the signage application dated April 19, 1995 (attached) be amended as follows:

- 1) Install face mounted Channel Letter sign on two building elevations - one facing I-295 one facing the waterfront.
- 2) Repaint the existing wall sign.

A sketch of these proposed amendments is attached to this letter.

As a point of clarification the existing awnings on High Street listed on the original application will require changing the names from "Eastland Plaza" to "Radisson Eastland Hotel".

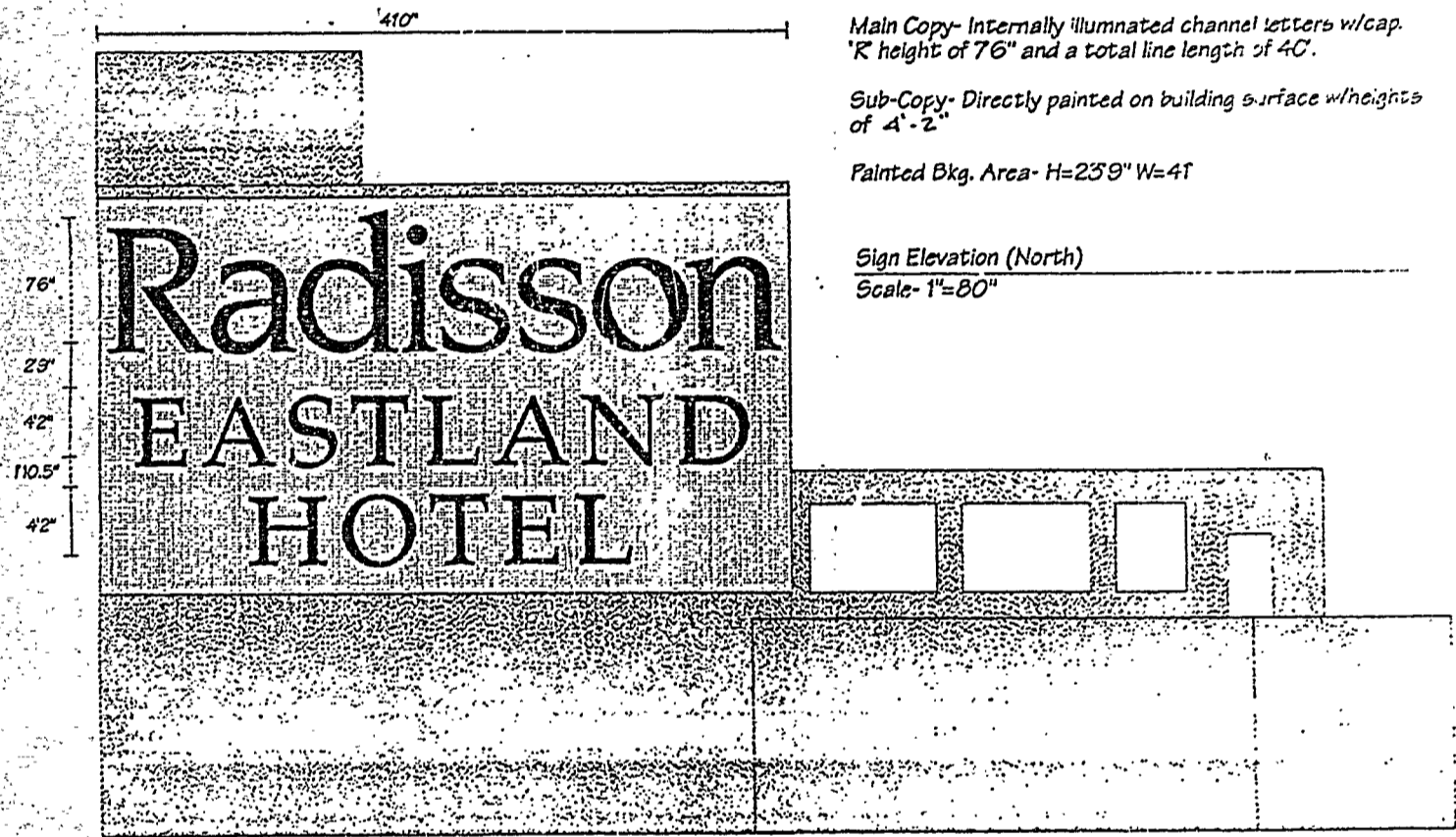
Thank you for your time and consideration in this matter.

Sincerely,

Thomas W. Grill
Project Manager

TWG/plm
Enclosure

157 High Street, Portland, Maine 04101 • (207) 775-0322 • Fax (207) 775-0148



Main Copy- Internally illuminated channel letters w/cap. "R" height of 76" and a total line length of 40'.

Sub-Copy- Directly painted on building surface w/heights of 4'-2"

Painted Bkg. Area- H=239" W=41'

Sign Elevation (North)

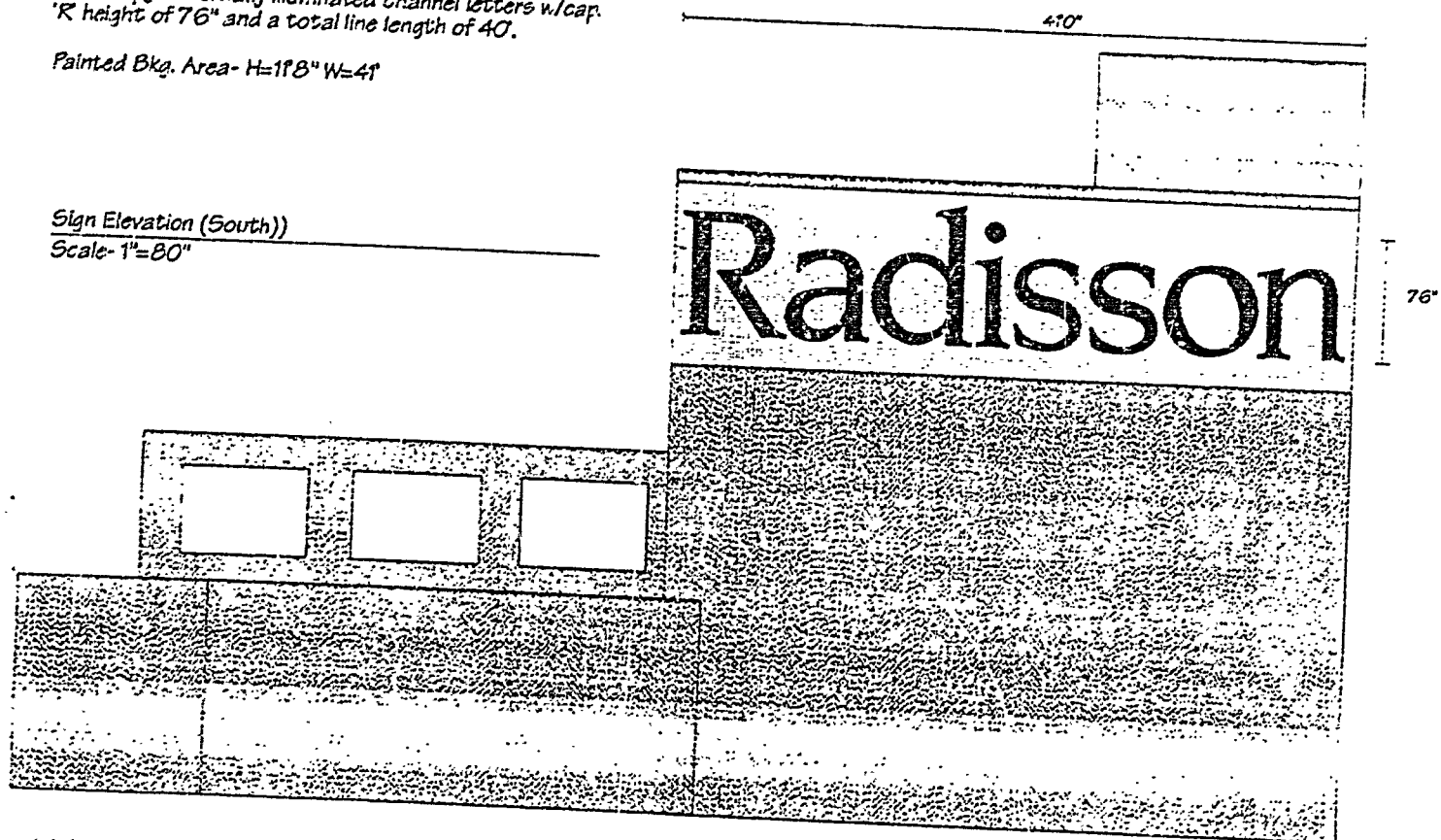
Scale- 1"=80"

Main Copy- Internally illuminated channel letters w/cap.
"R" height of 76" and a total line length of 40.

Painted Bkg. Area- H=118" W=41'

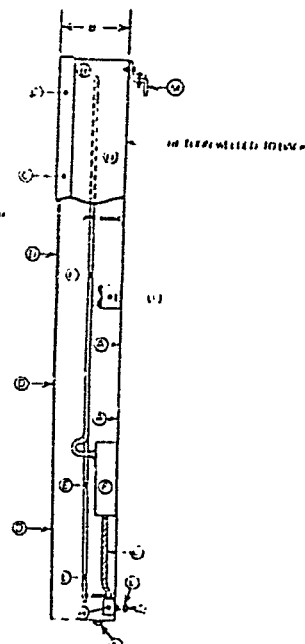
Sign Elevation (South)

Scale- 1"=80"



Radisson

LAYOUT DIAGRAM-TYPICAL A/E ELEMENTS
SCALE: 1/2" = 1'-0"



CROSS SECTION
NOT TO SCALE

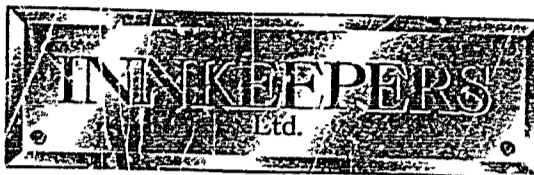
SPECIFICATIONS

- A BACK MATERIAL - D90 ALUMINUM
- B RETURN MATERIAL - D63 ALUMINUM "PERSONA PLUS"
FINISH - INTERIOR - WHITE DAB 8000
EXTERIOR - SEE NOTE FOR COLOR
- C TRIM CAP - 2" JEWELITE - SEE NOTE FOR COLOR
- D FACE - 3/16" ACRYLIC - SEE NOTE FOR COLOR
- E NEON - 15 MM CLEAR TUBE
- F TRANSV. RAILS - FRANCE INTERNAL CO MA -
5000 PDKM - 51 10 - REQUIRED
7500 PDKM - 51 3 - REQUIRED
6000 PDKM - 51 4 - REQUIRED
"PERSONA" "A" 1 (1/2) DIA
- G 1/2" FLEXIBLE CONDUIT & CONNECTIONS
- H 2" X 4" ELECTRICAL BOX
- I 3-7 WIRING
- J 1/2" ALUMINUM
- K AMP/CLAMP - 753 AMP, 1/2" DIA
- L ELECTRIC GFI PROVISION
- M 2 X 2 X 3/16" MOUNTING C B'S
1 TOP & BOTTOM, BOTTOM NUT SHOWN
- N DISCREET SWITCH

NOTE-COLOR SPECIFICATIONS

- ON LIGHT BUILDINGS
RETURN & TRIM CAP - P-15 408 RADISSON BEIGE
FACES - 2415 RED FLEXIGLASS
- ON DARK BUILDINGS
RETURN & TRIM CAP - DAR 25093 30 DARK BROUZE
FACES - 2186 LORY FLEXIGLASS

SHEET	MODEL	TITLE	DATE	REVISIONS	
				DATE	BY
01	RADISSON	2'-6" RADISSON	9-29-89		
		LOCATION			
			DRAWN BY:		
			CHECK BY:		
			DATE:		
			BY:		
			NO.		



Providing Complete Hotel/Resort
Management Services

April 19, 1995

City of Portland
Attn: Marge Schmuckal
Deb Andrews
389 Congress Street
Portland, Maine 04101

Dear Ladies:

Being that the proposed rooftop sign is prohibited in the downtown business (B-3) zone, we are hereby requesting a minor site plan review.

The proposed sign shall be a two (2) sided sign 7'6" high and 40'8" long. This will be accomplished by installing two signs (see diagram persons 092989-1 attached) back to back.

The choice to pursue a rooftop sign has been based on several factors including:

- ◆ Maintenance
- ◆ Visibility
- ◆ Corp. Identity & Recognition

The size and scale of the proposed sign is in keeping with the overall size of the building. By installing the proposed sign on the roof of the lounge (as shown on the attached elevation), the skyline is not significantly altered, as the proposed sign will "square off" the elevator penthouse area, and help to hide several rooftop air handlers.

It is also anticipated that the maintenance will be easier and safer with a rooftop sign, as opposed to a wall mount sign, thereby precluding additional hardships on the business.

Thank you for your time and consideration in this matter.

Sincerely,

Thomas W. Grill
Project Manager

TWG/plm

Enclosures (5)

157 High Street, Portland, Maine 04101 • (207) 775-0322 • Fax (207) 775-0148

SIGNAGE APPLICATION

ADDRESS: 157 High Street

OWNER: VanLee Corp

APPLICANT: Eastland Plaza Hotel

ASSESSORS NO.: Map 37 Lot E-7

SINGLE TENANT LOT? YES: X NO: _____

MULTI-TENANT LOT? YES: _____ NO: _____

FREESTANDING SIGN? YES: X NO: _____

DIMENSIONS: 7'6" x 40" 8.66"

MORE THAN ONE SIGN? DIMENSIONS: 2 Sides

BLDG. WALL SIGN? YES: X NO: _____

DIMENSIONS: 12' x 40'

Existing
MORE THAN ONE SIGN? DIMENSIONS: _____

LIST ALL EXISTING SIGNAGE, INCLUDING THEIR DIMENSIONS: _____

Painted wall sign 12' x 40'

LOT FRONTAGE (IN FEET): _____

BLDG FRONTAGE (IN FEET): 300' on High Street

AWNING? YES: X(Existing) NO: _____ IS AWNING BACKLIT? YES: X NO: _____

HEIGHT OF AWNING: Varies

IS THERE ANY COMM. MESSAGE, TRADEMARK, OR SYMBOL ON IT? Yes

PLEASE PROVIDE A SITE SKETCH AND A BUILDING SKETCH, SHOWING EXACTLY WHERE
EXISTING AND NEW SIGNAGE IS LOCATED.

WE WILL NEED SKETCHES AND/OR PICTURES OF THE PROPOSED SIGNS INCLUDING
STRUCTURAL COMPONENTS.

4:51 PM '51

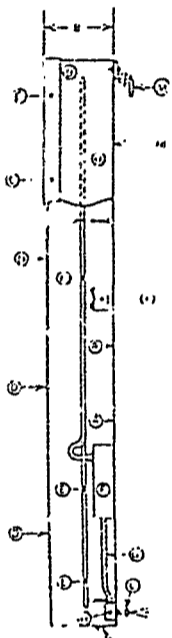
2'-9"
6'-4"



EXISTING 12' x 40' SIGN ON BUILDING.

Radisson

LAYOUT DIAGRAM - TYPICAL ELEVATIONS
SCALE: 1/2" = 1'-0"



CROSS SECTION
1/4" = 1'-0"

- A. TRAIL EDGE - 1/2" x 1/4" GAL. DEE ALUM. ANGLE
- B. 3/4" WHITE CAR 6500 (SEE NOTE FOR COLOR)
- C. 1/4" x 1/4" x 1/4" JEWELITE - SEE NOTE FOR FACE - 3/16" ACRYLIC - SEE NOTE FOR MOUNTING - 1/4" x 1/4" x 1/4" ALUM. ANGLE
- D. 1/4" x 1/4" x 1/4" JEWELITE - SEE NOTE FOR FACE - 3/16" ACRYLIC - SEE NOTE FOR MOUNTING - 1/4" x 1/4" x 1/4" ALUM. ANGLE
- E. 1/4" x 1/4" x 1/4" JEWELITE - SEE NOTE FOR FACE - 3/16" ACRYLIC - SEE NOTE FOR MOUNTING - 1/4" x 1/4" x 1/4" ALUM. ANGLE
- F. 1/4" x 1/4" x 1/4" JEWELITE - SEE NOTE FOR FACE - 3/16" ACRYLIC - SEE NOTE FOR MOUNTING - 1/4" x 1/4" x 1/4" ALUM. ANGLE
- G. 1/4" x 1/4" x 1/4" JEWELITE - SEE NOTE FOR FACE - 3/16" ACRYLIC - SEE NOTE FOR MOUNTING - 1/4" x 1/4" x 1/4" ALUM. ANGLE
- H. 1/4" x 1/4" x 1/4" JEWELITE - SEE NOTE FOR FACE - 3/16" ACRYLIC - SEE NOTE FOR MOUNTING - 1/4" x 1/4" x 1/4" ALUM. ANGLE
- I. 1/4" x 1/4" x 1/4" JEWELITE - SEE NOTE FOR FACE - 3/16" ACRYLIC - SEE NOTE FOR MOUNTING - 1/4" x 1/4" x 1/4" ALUM. ANGLE
- J. 1/4" x 1/4" x 1/4" JEWELITE - SEE NOTE FOR FACE - 3/16" ACRYLIC - SEE NOTE FOR MOUNTING - 1/4" x 1/4" x 1/4" ALUM. ANGLE
- K. 1/4" x 1/4" x 1/4" JEWELITE - SEE NOTE FOR FACE - 3/16" ACRYLIC - SEE NOTE FOR MOUNTING - 1/4" x 1/4" x 1/4" ALUM. ANGLE
- L. 1/4" x 1/4" x 1/4" JEWELITE - SEE NOTE FOR FACE - 3/16" ACRYLIC - SEE NOTE FOR MOUNTING - 1/4" x 1/4" x 1/4" ALUM. ANGLE
- M. 1/4" x 1/4" x 1/4" JEWELITE - SEE NOTE FOR FACE - 3/16" ACRYLIC - SEE NOTE FOR MOUNTING - 1/4" x 1/4" x 1/4" ALUM. ANGLE
- N. 1/4" x 1/4" x 1/4" JEWELITE - SEE NOTE FOR FACE - 3/16" ACRYLIC - SEE NOTE FOR MOUNTING - 1/4" x 1/4" x 1/4" ALUM. ANGLE

HOTEL COLOR SPECIFICATIONS:

- ON LIGHT BUILDINGS
 - 1 - TURIN B TRAM CAP - PMS 400 RED
 - 2 - ES - 240 RED PLEXIGLASS
- ON DARK BUILDINGS
 - 1 - TURIN B TRAM CAP - DMR 25003 30 DARK BROWN
 - 2 - ES - 246 IVORY PLEXIGLASS

Proposed Roof-Top Sign (2 Sided)

SHEET	NO.	MODEL	TITLE	DATE	REVISIONS	DATE
1	1	SL 221	7'-6" RADISSON	9-29-89		
			LOCATION:	BRAMA 811		
				1112		
				1113		
				1114		
				1115		
				1116		
				1117		
				1118		
				1119		
				1120		
				1121		
				1122		
				1123		
				1124		
				1125		
				1126		
				1127		
				1128		
				1129		
				1130		
				1131		
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				1146		
				1147		
				1148		
				1149		
				1150		

PERENA
P.O. Box 101, 1000 1st St. South
St. Paul, MN 55101-0101

SIGNAGE

PLEASE ANSWER ALL QUESTIONS



ADDRESS: 149 High St. ZONE: B-3

OWNER: Lola Kemp

APPLICANT: Nancy Davidson

ASSESSOR NO.: 046-D-034

SINGLE TENANT LOT? YES NO

MULTI TENANT LOT? YES NO

FREESTANDING SIGN? (ex. pole sign..) YES NO DIMENSIONS _____

MORE THAN ONE SIGN? YES NO DIMENSIONS _____

BLDG. WALL SIGN? (attached to bldg) YES NO DIMENSIONS 30" x 90" = 18.75

MORE THAN ONE SIGN? YES NO DIMENSIONS _____ OK

LIST ALL EXISTING SIGNAGE AND THEIR DIMENSIONS: _____

LOT FRONTAGE (FEET) 29 FT

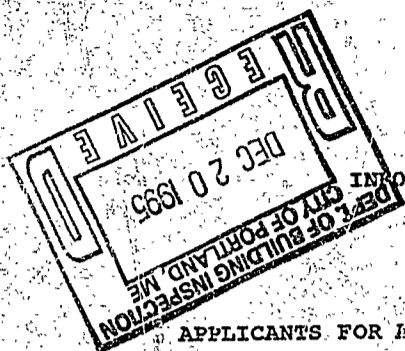
BLDG FRONTAGE (FEET) 29 FT No More Than 5% of facade This is multi story bldg

AWNING YES NO IS AWNING BACKLIT? YES NO

HEIGHT OF AWNING: _____

IS THERE ANY COMMUNICATION, MESSAGE, TRADEMARK OR SYMBOL ON IT? yes

A SITE SKETCH AND BUILDING SKETCH SHOWING EXACTLY WHERE EXISTING AND NEW SIGNAGE IS LOCATED MUST BE PROVIDED. SKETCHES AND/OR PICTURES OF THE PROPOSED SIGNS ARE ALSO REQUIRED.



INFORMATION REQUIREMENTS FOR SIGN PERMIT APPLICATION

APPLICANTS FOR A SIGN PERMIT WILL BE ASKED TO SUBMIT THE FOLLOWING INFORMATION TO THE CODE ENFORCEMENT OFFICE:

1. PROOF OF INSURANCE.
2. LETTER OF PERMISSION FROM THE OWNER.
3. A SKETCH PLAN OF THE LOT, INDICATING LOCATION OF BUILDINGS, DRIVEWAYS AND ANY ABUTTING STREETS OR RIGHT OF WAYS. LENGTHS OF BUILDING FRONTAGES AND STREET FRONTAGES SHOULD BE NOTED (SEE ATTACHED)
4. INDICATE ON THE PLAN ALL EXISTING AND PROPOSED SIGNS
5. COMPUTATION OF THE FOLLOWING:
 - A) SIGN AREA OF EACH EXISTING AND PROPOSED BUILDING SIGN
 - B) SIGN AREA HEIGHT AND SETBACK OF EACH EXISTING AND PROPOSED FREESTANDING SIGN

A SKETCH OF ANY PROPOSED SIGN(S), INDICATING DIMENSIONS, MATERIALS, SOURCE OF ILLUMINATION AND CONSTRUCTION METHOD (SEE ATTACHED)

FEE FOR PERMIT - \$25.00 PLUS \$0.20 PER SQUARE FOOT

NOTE: ONCE A SKETCH PLAN HAS BEEN FILED FOR A PROPERTY, THE CODE ENFORCEMENT OFFICE WILL KEEP A RECORD OF THE PLAN SO THAT A NEW SKETCH PLAN WILL NOT BE REQUIRED FOR LATER CHANGES TO SIGNAGE ON THE PROPERTY. IN SUCH AN INSTANCE, APPLICANTS WILL ONLY BE REQUIRED TO SUBMIT INFORMATION APPLICABLE TO THE NEW SIGNS.



Is This
→
DeP Andrews

30' X ~~60' x 90'~~
longer up to 90'

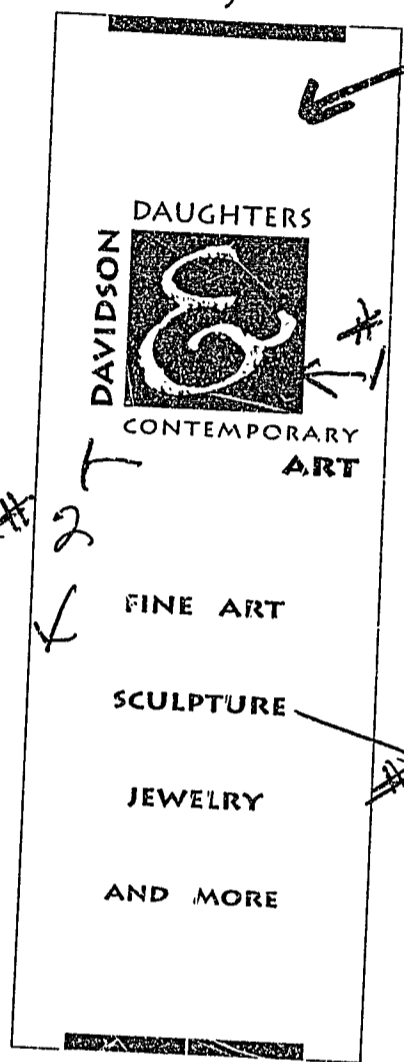
3



1-2-3

90"

30"



TEAL BACKGROUND

EGGPLANT LETTERS

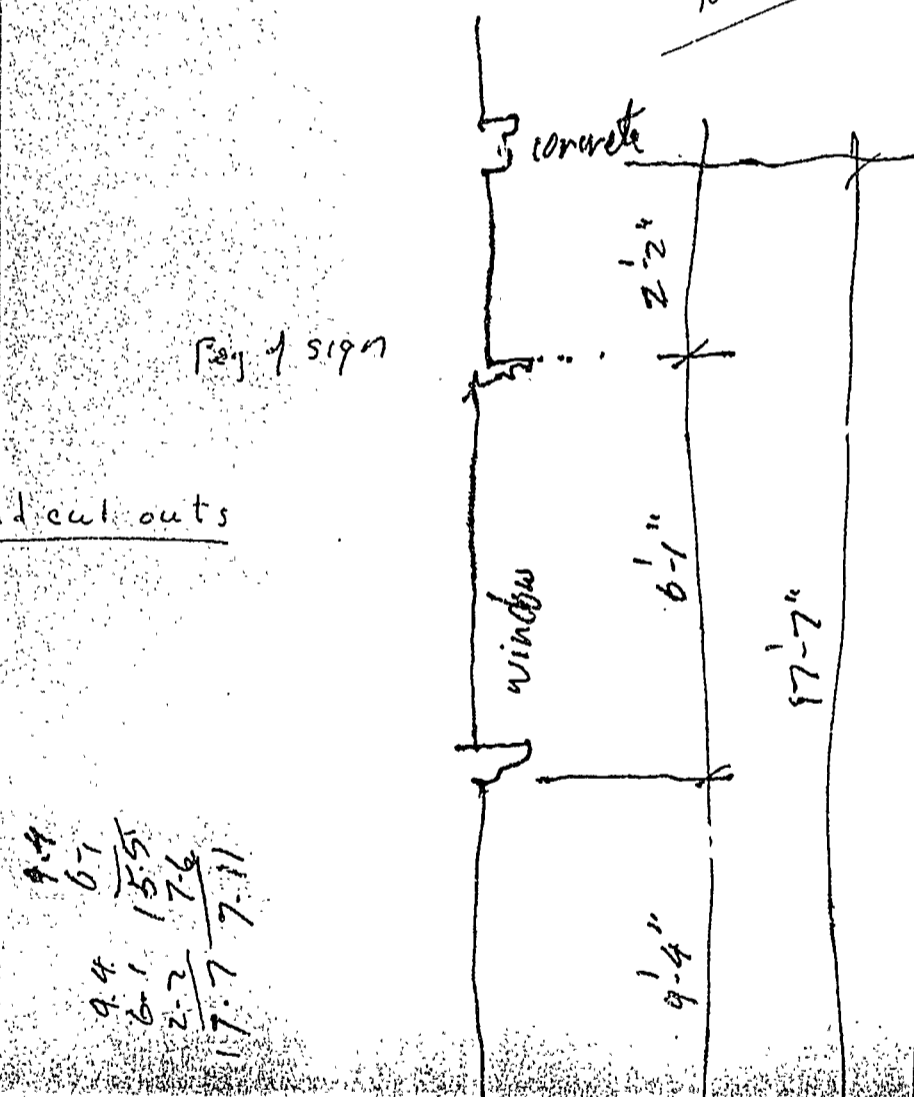
S: EIGHT EGGPLANT

letter #3

CITY OF ALABAMA
 DEPT. OF REVENUE
 DEPT. OF REVENUE
 DEPT. OF REVENUE


(90) — (59-60)

90" inches



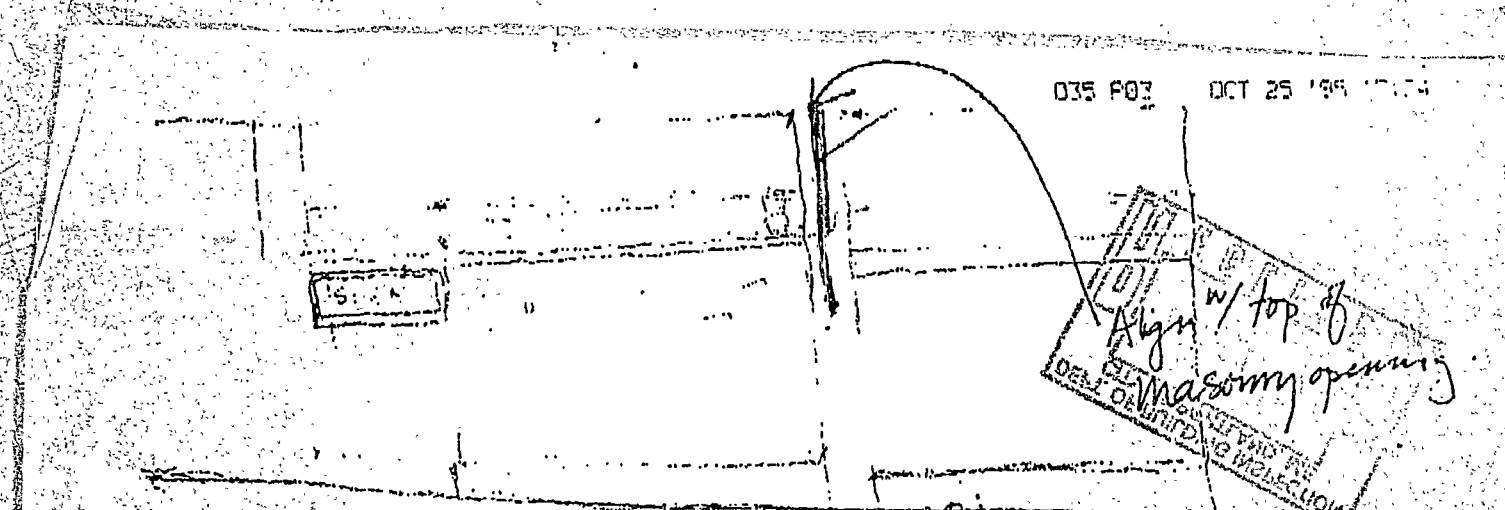
9.4
 6.1
 15.5
 9.4
 6.1
 2.2
 17.7
 7.11

30

DAVIDSON
 DAUGHTERS

 CONTEMPORARY
 ART
 FINE ART
 SCULPTURE
 JEWELRY
 AND MORE

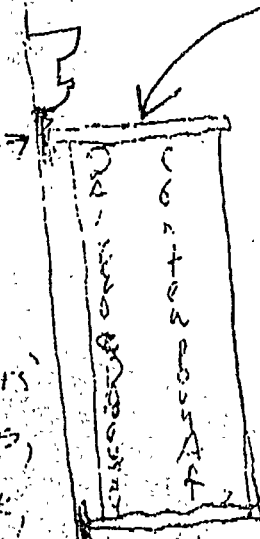
90"

035 P03 OCT 25 '94



WE RECOMMEND:
 1 1/2" 2" diameter tubular steel with
 end cap, painted BLACK, top
 and bottom.

Circular (or
 square with
 rounded corners)
 mounting plates,
 painted BLACK,
 top and bottom,
 approx 6" diameter.
 Paint bolts black
 after installation



5' MIN

OK
 One on
 Chelani's
 Museum

FAX
 781-9536

Gail
 I like this idea
 All future projecting
 signs on high
 street should be
 the same as
 this one.

Gmt



Congress Property Management

PO Box 4211
Portland, Maine 04101
(207) 879-0949



December 19, 1995

Ms. Nancy Davidson
Davidson & Daughters
146 High Street
Portland, Maine 04101

Dear Nancy:

Based on the design submitted to us on 10/25/95 for your sign, you have our approval to go ahead as planned.

Sincerely yours,

Gail Cunningham
Gail Cunningham
Property Manager

ACORD. CERTIFICATE OF INSURANCE

ISSUE DATE (MM/DD/YY)
 12/19/95

PRODUCER
 Morse, Payson & Noyes
 100 Middle Street Plaza
 Portland, ME 04101

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

- CLH
- COMPANY LETTER **A** Maryland Insurance Group
 - COMPANY LETTER **B**
 - COMPANY LETTER **C**
 - COMPANY LETTER **D**
 - COMPANY LETTER **E**

INSURED
 Nancy Davidson
 150 Eastern Promenade
 Portland, ME 04101-4423

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LYR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	PPS27326066	11/21/95	11/25/96	GENERAL AGGREGATE \$2,000,000
	<input type="checkbox"/> COMMERCIAL GENERAL LIABILITY				PRODUCTS-COMP/OP AGG. \$2,000,000
	<input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR.				PERSONAL & ADV. INJURY \$1,000,000
	<input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT.				EACH OCCURRENCE \$1,000,000
					FIRE DAMAGE (Any one fire) \$1,000,000
					MED EXPENSE (Any one person) \$ 10,000
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT \$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per Person) \$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per Accident) \$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE \$
	<input type="checkbox"/> HIRED AUTOS				
	EXCESS LIABILITY				EACH OCCURRENCE \$
	<input type="checkbox"/> UMBRELLA FORM				AGGREGATE \$
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM				
	WORKER'S COMPENSATION AND EMPLOYERS' LIABILITY				STATUTORY LIMITS
					EACH ACCIDENT \$
					DISEASE-POLICY LIMIT \$
					DISEASE-EACH EMPLOYEE \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

As required for proof of insurance.

CERTIFICATE HOLDER 00001

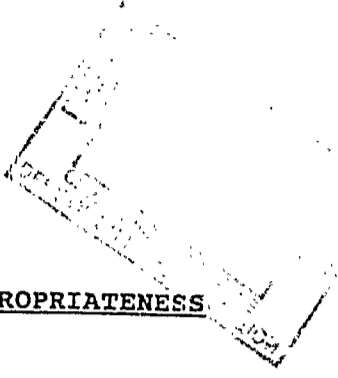
City of Portland
 389 Congress Street
 Portland, ME 04101

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Chris Hobbs



**HISTORIC PRESERVATION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Pursuant to review under the City of Portland's Historic Preservation Ordinance (Chapter 14, Article IX of the Portland City Code), application is hereby made for a Certificate of Appropriateness for the following work on the specified historic property:

Property Name and Address: Congress Square Building

Applicant: (name) Nancy K. Davidson (telephone) 207-780-0766 or 780-0738
(company, if applicable) Davidson & Daughters Contemporary Art
(address) 148 High St Portland, Me

Property Owner, if different: (name) Lola Kempf - Congress Square Building
(address) High and State
(telephone) _____

Architect (if any): Terry Clune

Contractor or Builder (if any): Bruce Adams

Local Designation:

___ Landmark. Within Historic District. ___ Historic Landscape District.

Nancy K. Davidson
Applicant's Signature

Owner's Signature (if different)

** Note: No application fee is required. Applicant is responsible for costs of sending notices and placement of legal ad. Such costs shall be paid prior to issuance to Certificate/Building Permit or upon denial.

I. DESCRIPTION OF PROJECT

Describe in a separate paragraph each type of proposed exterior architectural alteration, such as window replacement, roof replacement, porch alteration, repointing of masonry, or new addition/construction. Briefly describe the feature or materials affected by the work and give the approximate date that it was constructed, if known. Describe in detail the proposed work and how it will impact the existing feature. Use as many items as necessary to cover all aspects of the project. If more space is needed, continue on a separate page. Reference work items to accompanying drawings or photographs.

following sheets

II. ATTACHMENTS

Provide a copy of the plans, renderings, drawings and written specifications of the alteration. To supplement your application, it would be helpful to submit photographs or slides of current conditions, material samples, site plans, sketches, historical documentation, or anything else that will illustrate to the Committee and staff the effect of the proposed change.

The following information is enclosed:

- Exterior photographs
- sketches, elevation drawings and/or annotated photographs
- Floor plans
- Site plan showing relative location of adjoining structures, if located within a district
- Specifications
- Other (explain) _____

Please note: In order to be photocopied by the City, plans or drawings should generally not exceed 11" x 17". If you wish to submit larger plans, please provide 10 copies for distribution.

If you have questions or need assistance in completing this form, please contact the Historic Preservation staff at 874-8300, (Gary Hamilton, ext. 8699, or Deborah Andrews at ext. 8726).

Please return this form and related application materials to:

Department of Planning and Urban Development
Room 211
Portland City Hall
389 Congress Street
Portland, ME 04101

City of Portland, Maine - Building or Use Permit Application, 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 157 High St		Owner: Vaulee Corp		Phone:		Permit No: 941277	
Owner Address:		Leasee/Buyer's Name: Eastland Plaza		Phone:		Business Name:	
Contractor Name:		Address:		Phone:		Permit Issued: PERMIT ISSUED NOV 30 1994	
Past Use: Hotel		Proposed Use: Same w/new sign face		COST OF WORK: \$		PERMIT FEE: \$ 121.00	
Proposed Project Description: Erect new sign face totalling 480 sq ft		FIRE/LEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: U Type: 1300A93		Signature: <i>[Signature]</i>	
		Signature:		Date:		Zoning Approval: CITY OF PORTLAND <i>[Signature]</i>	
Permit Taken By: Mary Gresik		Date Applied For: 28 Nov 94		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**Mail to: Innkeepers-S.E., Inc.
157 High St
Portland, ME 04101**

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: *[Signature]* **Kevin Mahoney** ADDRESS: DATE: **28 Nov 94** PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: **White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector** PHONE:

CITY OF PORTLAND

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: **11/29/94**

[Signature]

CEO DISTRICT 5

[Signature]

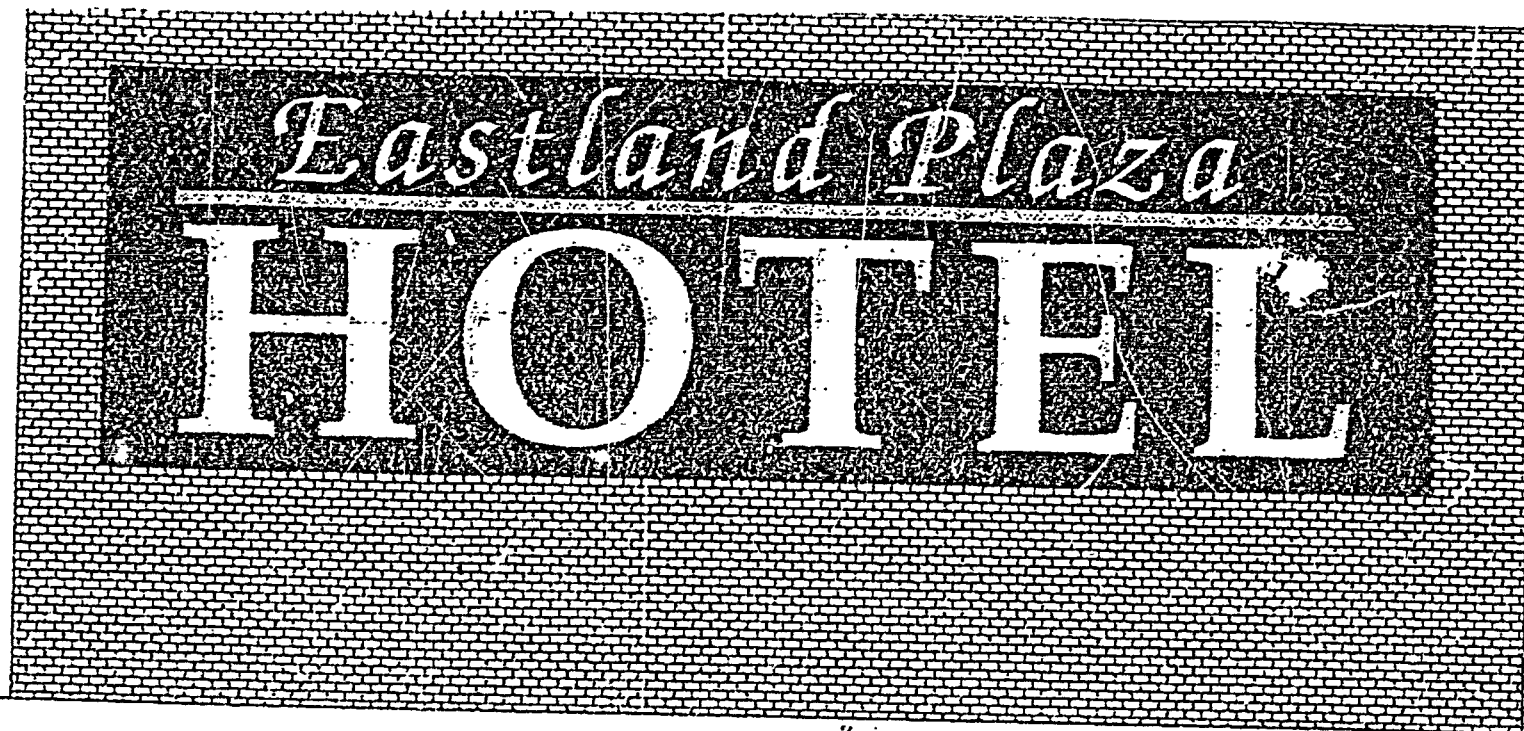
COMMENTS

Checked out work done &
Completed OK
3/95 *[Signature]*

Inspection Record

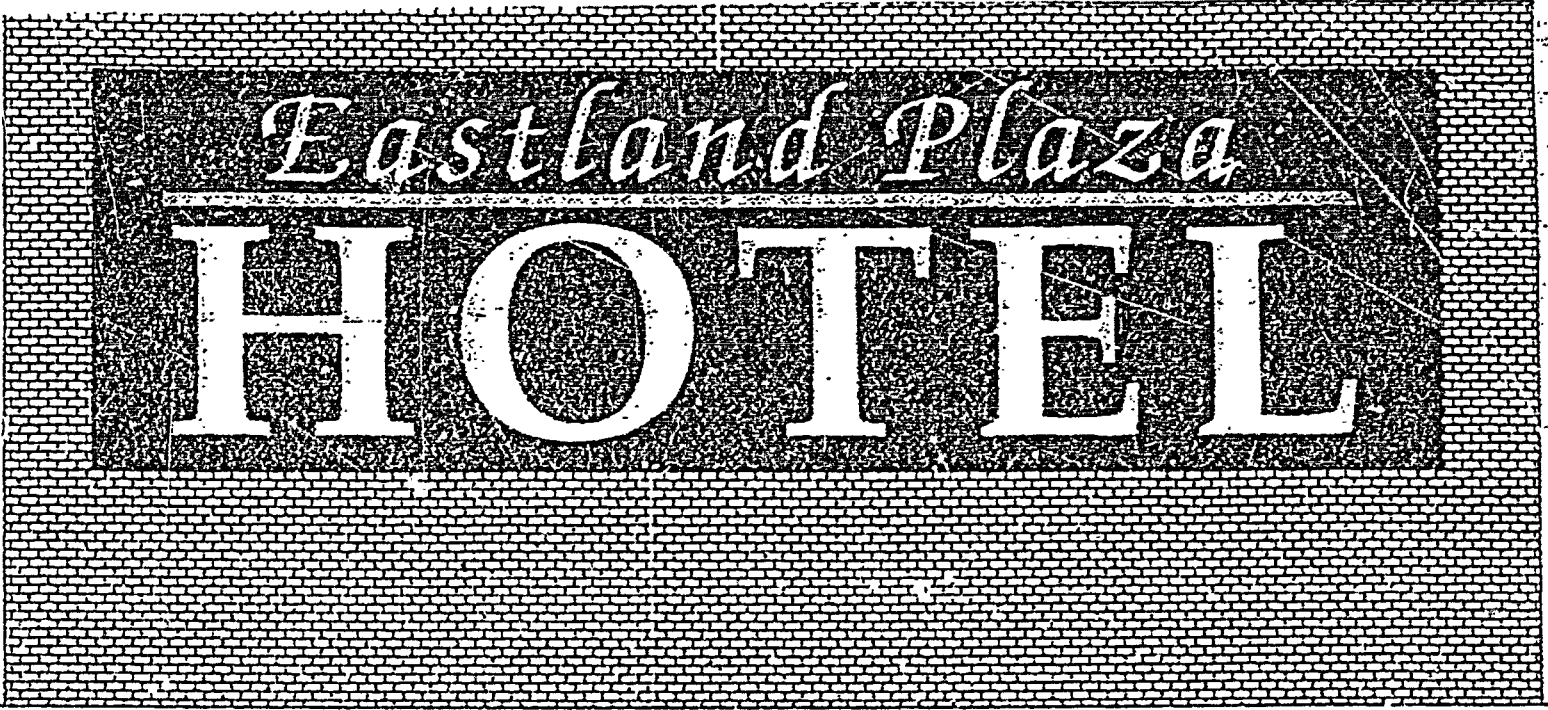
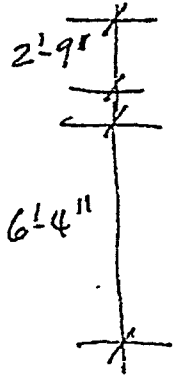
Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

2'-9"
6'-4"

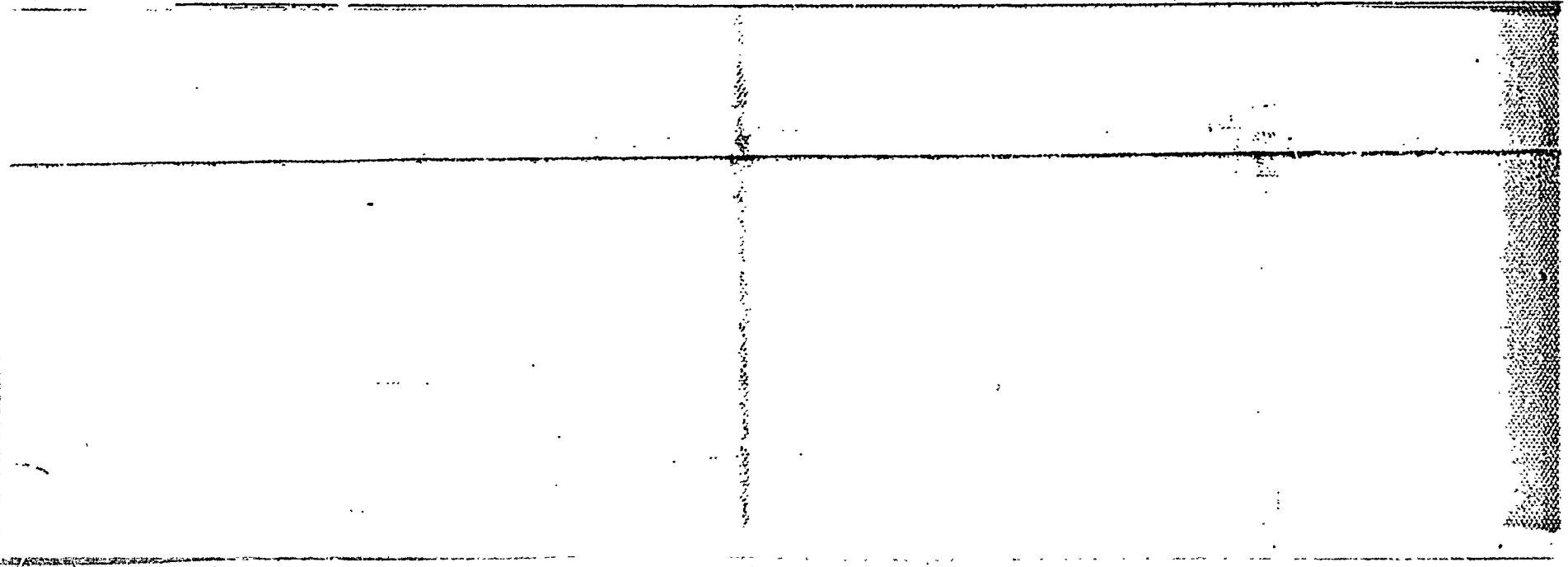


12' x 40' sign

- Burgundy Background
- white lettering



12' x 40' SIGN





Providing Complete Hotel/Resort
Management Services

To: Building Inspections Office, Portland
Re: New Signage for the Sonesta Hotel

On 1/1/95 we will be changing the name of the Sonesta Hotel to *The Eastland Plaza Hotel*. In order to prepare for this name change we would like to make the following changes to the current sign that is painted on the side of the building that faces Cumberland Avenue.

The changes would be as follow:

- 1) Repaint the existing sign to the exact size that it currently is.
- 2) The new sign will be a Burgundy background with White lettering.
(see attached drawing)

Due to our need to remove the Sonesta name by 1/1/95, and the weather restrictions involved with painting the exterior wall during this winter season, we are hoping to begin work by 12/5/95 at the very latest.

I have already spoken with Gary Hamilton and Joe Gray regarding this proposed change and they both agree that since we are only changing the name and color of the existing sign that there should be no problem on their end.

If any other information is needed to obtain the needed permit for this work please contact me at 775-0322. Thank you for your assistance with this matter.

Kevin J. Mahoney

157 High Street, Portland, Maine 04101 • (207) 775-0322 • Fax (207) 775-0148

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 157 High St		Owner: Maine Arts, Inc.		Phone:		Permit No: 960222	
Owner Address:		Leasee/Buyer's Name: Maine Arts		Phone:		Business Name:	
Contractor Name: Anthony Taylor		Address: 142 High St Rm #619 Portland, ME 04101		Phone: 774-7652		Business Name:	
Past Use: Hotel		Proposed Use: Same w/signage		COST OF WORK: \$		PERMIT FEE: \$ 32.00	
Proposed Project Description: Erect Signage 1) 4 x 6 2) 6 x 6		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type: BOCA 9-3		Signature: [Signature]	
Permit Taken By: Hazy Gresik		Date Applied For: 25 March 1996		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> major <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	

PERMIT ISSUED
APR - 3 1996
CITY OF PORTLAND

- This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

No letter issued w/ permit load

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: *Anthony Taylor* ADDRESS: DATE: 25 March 1996 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:
White-Permit Desk Green-Assessors Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied

Date: *3/29/96*

[Signature]

CEO DISTRICT 5
m. w...

COMMENTS

6-10/96 Mural sign on building
facing Congress Street side. Roof Top
View on left & tower
on right. OK as per plans.
M. W. J.

Type	Inspection Record	Date
Foundation:	_____	_____
Framing:	_____	_____
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____

This is actually "Artwork"
And NOT Signage - part of
A Decorative Mural

SIGNAGE

PLEASE ANSWER ALL QUESTIONS

ADDRESS: 157 High St. ZONE: B-3
OWNER: Joe Van Why
APPLICANT: Taylor Sign Co

ASSESSOR NO.:

SINGLE TENANT LOT? YES NO

MULTI TENANT LOT? YES NO

FREESTANDING SIGN? YES ? NO DIMENSIONS _____
(ex. pole sign..)

MORE THAN ONE SIGN? YES NO DIMENSIONS _____

BLDG. WALL SIGN? YES NO DIMENSIONS 1-4'x6' + 1-8'x6'
(attached to bldg) with mached corners

MORE THAN ONE SIGN? YES NO DIMENSIONS _____

LIST ALL EXISTING SIGNAGE AND THEIR DIMENSIONS: Roof top Signs 10'x50'
(This is part of Congress Sq Park Mural
and is not an advertisement for hotel, *

LOT FRONTAGE (FEET) 200

BLDG FRONTAGE (FEET) 200

AWNING YES NO IS AWNING BACKLIT? YES NO

HEIGHT OF AWNING: _____

IS THERE ANY COMMUNICATION, MESSAGE, TRADEMARK OR SYMBOL ON IT? _____

A SITE SKETCH AND BUILDING SKETCH SHOWING EXACTLY WHERE EXISTING AND NEW

SIGNAGE IS LOCATED MUST BE PROVIDED. SKETCHES AND/OR PICTURES OF THE

PROPOSED SIGNS ARE ALSO REQUIRED. DEPT OF BUILDING INSPECTION

* Right hand section is picture of tower on Schwartz Bldg.
Left hand section depicts 1950-era rooftop sign

INFORMATION REQUIREMENTS FOR SIGN PERMIT APPLICATION

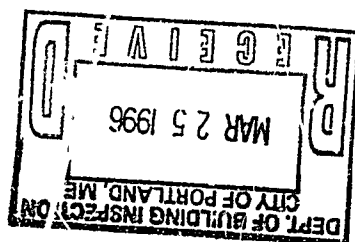
APPLICANTS FOR A SIGN PERMIT WILL BE ASKED TO SUBMIT THE FOLLOWING INFORMATION TO THE CODE ENFORCEMENT OFFICE:

1. PROOF OF INSURANCE
2. LETTER OF PERMISSION FROM THE OWNER
3. A SKETCH PLAN OF THE LOT, INDICATING LOCATION OF BUILDINGS, DRIVEWAYS AND ANY ABUTTING STREETS OR RIGHT OF WAYS. LENGTHS OF BUILDING FRONTAGES AND STREET FRONTAGES SHOULD BE NOTED (SEE ATTACHED)
4. INDICATE ON THE PLAN ALL EXISTING AND PROPOSED SIGNS
5. COMPUTATION OF THE FOLLOWING:
 - A) SIGN AREA OF EACH EXISTING AND PROPOSED BUILDING SIGN
 - B) SIGN AREA HEIGHT AND SETBACK OF EACH EXISTING AND PROPOSED FREESTANDING SIGN

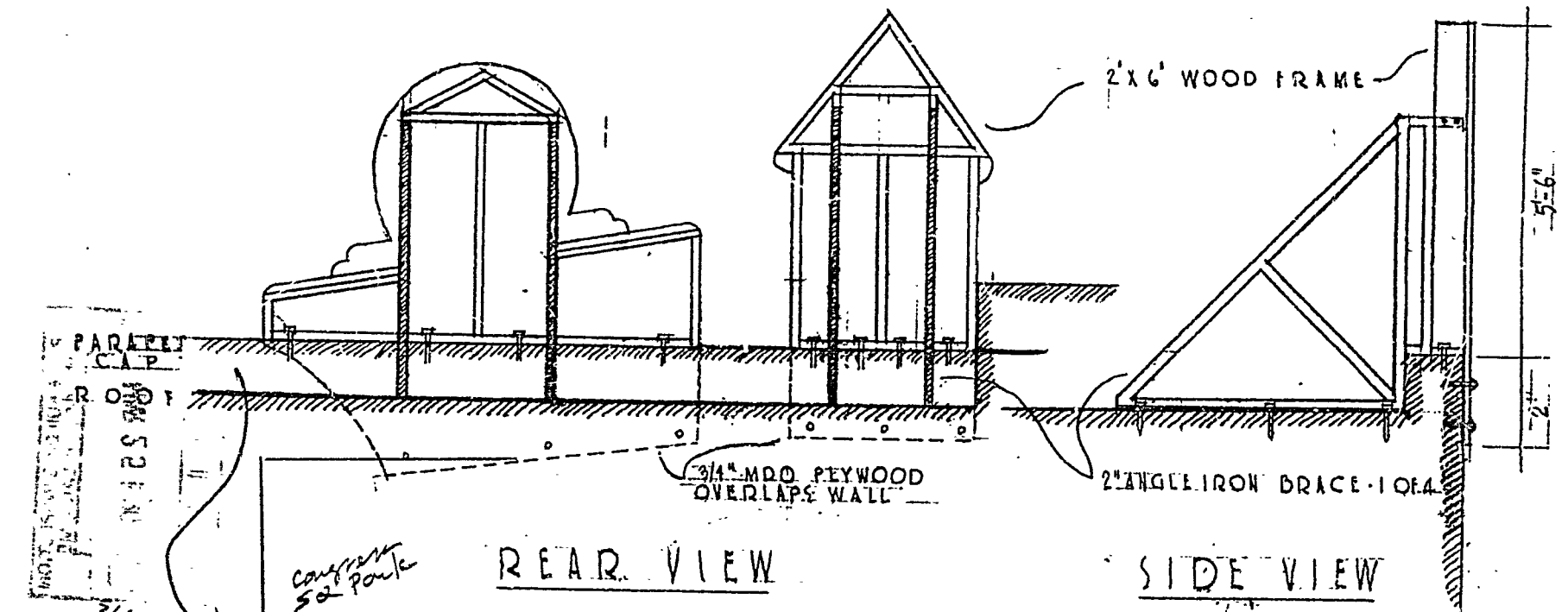
A SKETCH OF ANY PROPOSED SIGN(S), INDICATING DIMENSIONS, MATERIALS, SOURCE OF ILLUMINATION AND CONSTRUCTION METHOD (SEE ATTACHED)

FEE FOR PERMIT - \$25.00 PLUS \$0.20 PER SQUARE FOOT

NOTE: ONCE A SKETCH PLAN HAS BEEN FILED FOR A PROPERTY, THE CODE ENFORCEMENT OFFICE WILL KEEP A RECORD OF THE PLAN SO THAT A NEW SKETCH PLAN WILL NOT BE REQUIRED FOR LATER CHANGES TO SIGNAGE ON THE PROPERTY. IN SUCH AN INSTANCE, APPLICANTS WILL ONLY BE REQUIRED TO SUBMIT INFORMATION APPLICABLE TO THE NEW SIGNS.



0' 1' 2' 3' 4' 5' 6' 7' 8'
SCALE



REAR VIEW

SIDE VIEW

POP-UP STRUCTURES,
CONGRESS SQUARE MURAL

TAYLOR SIGN

OCT 1 1995

Radisson Hotel

HIGH ST

CONCRETE SIGN POSTS

SIGN LOCATION

35'

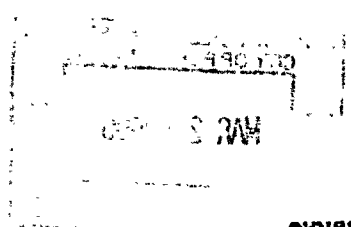
2x6 WOOD FRAME

3/4" MDO PLYWOOD OVERLAP WALL

2" ANGLE IRON BRACE 1 OF 4

5'-6"

2"



OWNERS CONSENT AND AGREEMENT

I, Joe Van Why, being owner of the premises located at
(print property owners name)
157 High Street in Portland, Maine, hereby give consent to the
(print property address)

erection of a certain sign/awning/banner owned by MAINE ARTS, INC.
(print lessee's name)

over the sidewalk or on building from said premises as described in
application to the Division of Inspection Services.

And in consideration of the issuance of said permit, owner of said premises,
in event said sign shall cease to serve the purpose for which it was erected
or shall become dangerous and in event the owner of said sign shall fail to
remove said sign or make it permanently safe in case the sign still serves
the purpose for which it was erected, hereby agrees for himself or itself,
for his heirs, its successors, and his or its assigns, to completely remove
said sign.

[Signature]
Signature of Property Owner

3/20/96
Date

[Signature]
Signature of Lessee

MAINE ARTS, INC.
Date

Post-it Fax Note	7871	DATE	3/19/96	# of pages	1
To	JIM M. GORAN	From	JOEL HASK		
Co. Dept	RADISSON	Co.	MAINE ARTS		
Phone #		Phone #	772-6012		
Fax #	775-2872	Fax #	772-3995		

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 35 1st High Street		Owner:	Phone:	Permit No: 96068
Owner Address:		Leasee/Buyer's Name: Atlantic Cellular Tele Corp	Phone: (910) 345-2578	Business Name:
Contractor Name: Milouf Eng International, Inc.		Address: 1707 N. Collins, Ste. 203, Richardson TX		PERMIT ISSUED Permit Issued: JUL 15 1996 CITY OF PORTLAND
Past Use: Building (hotel)		Proposed Use: Save w/ the erect 35 ft. cellular communications tower		
Proposed Project Description: erect tower as per plans		COST OF WORK: \$ 35,900.00	PERMIT FEE: \$195.00	Zoning: CBL: 37-E-7 Zoning Approval: OK per 14-425 Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
		FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:	
Permit Taken By: Vicki Dover		Date Applied For: July 9, 1996		Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

Call for p/u 282-5985
Barry J. Robbins, atty for Atlantic Cellular

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

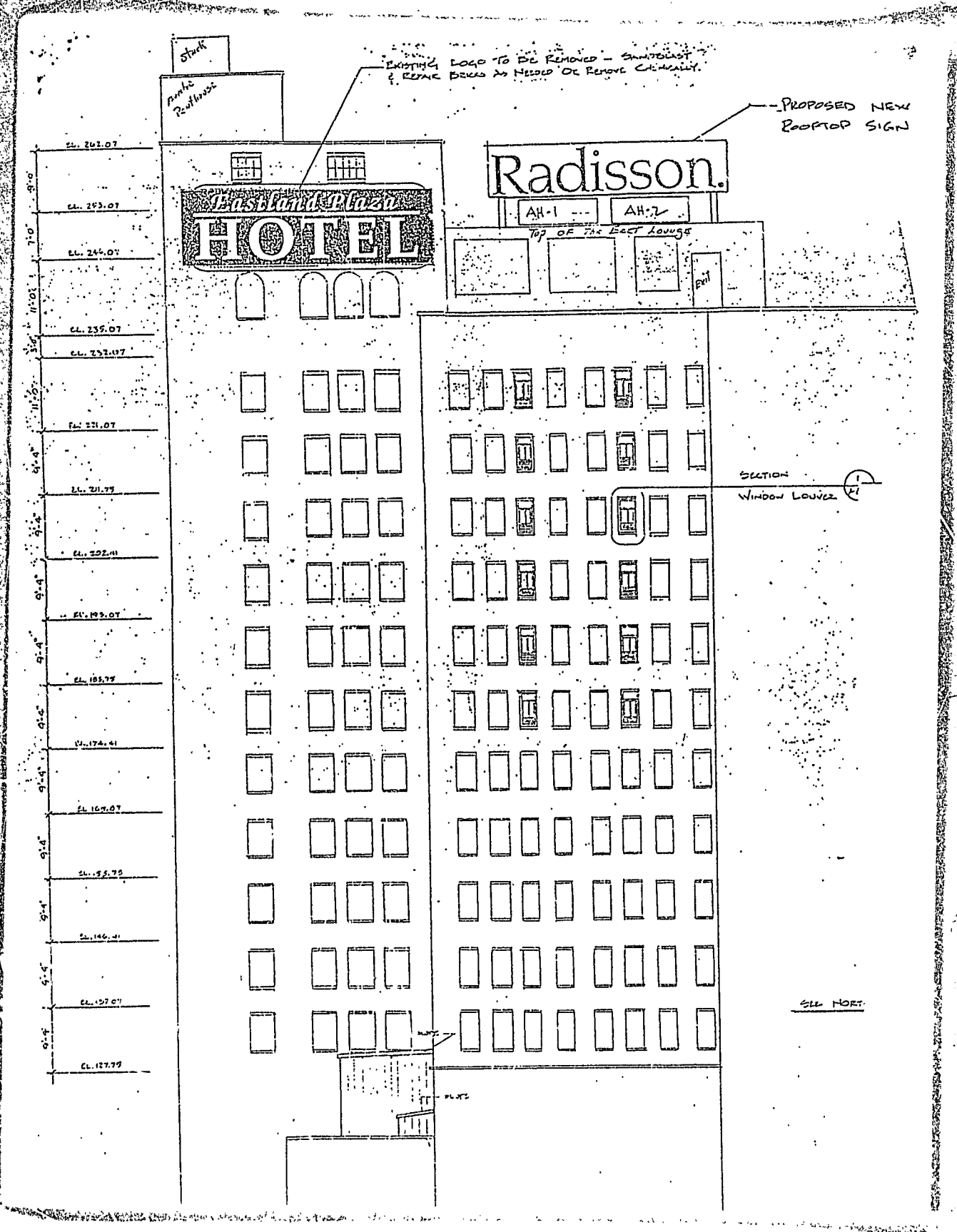
SIGNATURE OF APPLICANT: *Barry J. Robbins* ADDRESS: Suite 1508, 110 Main St., Saco 04072 EXA 282-5985 DATE: 7/9/96 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: _____ PHONE: _____
White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Action:
 Approved
 Approved with Conditions
 Denied

Date: *7/12/96*

CEO DISTRICT *MS*



EL. 262.07
 EL. 243.07
 EL. 244.07
 EL. 239.07
 EL. 232.07
 EL. 231.07
 EL. 211.79
 EL. 202.41
 EL. 199.07
 EL. 183.79
 EL. 174.41
 EL. 169.07
 EL. 155.79
 EL. 146.41
 EL. 137.07
 EL. 127.79

EXISTING LOGO TO BE REMOVED - SANDCAST & REAR BRICKS AS NEEDED OR REMOVE COMPLETELY.

PROPOSED NEW ROOFTOP SIGN

Radisson

Hotel Plaza
HOTEL

AH-1 AH-2

Top of the East Louver

SECTION
Window Louver

SLL NORTH

PLATE

Rooftop Signage

Signage Area Computation:

7'6" High x 40'8.66" Long

7.5 x 40.75 = 305.63 SF/side

611.25 SF Total

INNKEEPERS-N.E., INC.
157 HIGH ST
PORTLAND, ME 04101

1117

52-7443/2112
BRANCH 2

PAY
TO THE
ORDER OF CITY OF PORTLAND

4/19 1995

147.25**

ONE HUNDRED FORTY SEVEN DOLLARS & 25 CENTS***
DOLLARS



Peoples Heritage Bank
SIGN PERMIT APPLICATION
MEMBER FDIC
PORTLAND, MAINE 04101

⑈001117⑈ ⑆211274450⑆ 0290 68295⑈

W. J. Riccio



Providing Complete Hotel/Resort
Management Services

April 19, 1995

City of Portland
Attn: Marge Schmuckal
Deb Andrews
389 Congress Street
Portland, Maine 04101

Dear Ladies:

Being that the proposed rooftop sign is prohibited in the downtown business (B-3) zone, we are hereby requesting a minor site plan review.

The proposed sign shall be a two (2) sided sign 7'6" high and 40'8" long. This will be accomplished by installing two signs (see diagram persona 092989-1 attached) back to back.

The choice to pursue a rooftop sign has been based on several factors including:

- ◆ Maintenance
- ◆ Visibility
- ◆ Corp. Identity & Recognition

The size and scale of the proposed sign is in keeping with the overall size of the building. By installing the proposed sign on the roof of the lounge (as shown on the attached elevation), the skyline is not significantly altered, as the proposed sign will "square off" the elevator penthouse area, and help to hide several rooftop air handlers.

It is also anticipated that the maintenance will be easier and safer with a rooftop sign, as opposed to a wall mount sign, thereby precluding additional hardships on the business.

Thank you for your time and consideration in this matter.

Sincerely,

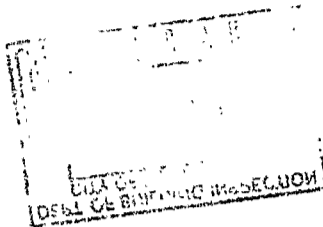
Thomas W. Grill
Project Manager

TWG/plm

Enclosures (5)

157 High Street, Portland, Maine 04101 • (207) 775-0322 • Fax (207) 775-0148

SIGNAGE APPLICATION



B-3 Zone

ADDRESS: 157 High Street

OWNER: VanLee Corp

APPLICANT: Eastland Plaza Hotel

ASSESSORS NO.: Map 37 Lot E-7

SINGLE TENANT LOT? YES: X NO: _____

MULTI-TENANT LOT? YES: _____ NO: _____

FREESTANDING SIGN? YES: X NO: _____

MORE THAN ONE SIGN? _____

DIMENSIONS: 7'6" x 40" 8.66"

DIMENSIONS: 2 Sided

BLDG. WALL SIGN? YES: X NO: _____

Existing

DIMENSIONS: 12' x 40'

MORE THAN ONE SIGN? _____

DIMENSIONS: _____

LIST ALL EXISTING SIGNAGE, INCLUDING THEIR DIMENSIONS: _____

Painted wall sign 12' x 40'

LOT FRONTAGE (IN FEET): _____

BLDG FRONTAGE (IN FEET): 300' on High Street

AWNING? YES: X (Existing) NO: _____ IS AWNING BACKLIT? YES: X NO: _____

HEIGHT OF AWNING: Varies

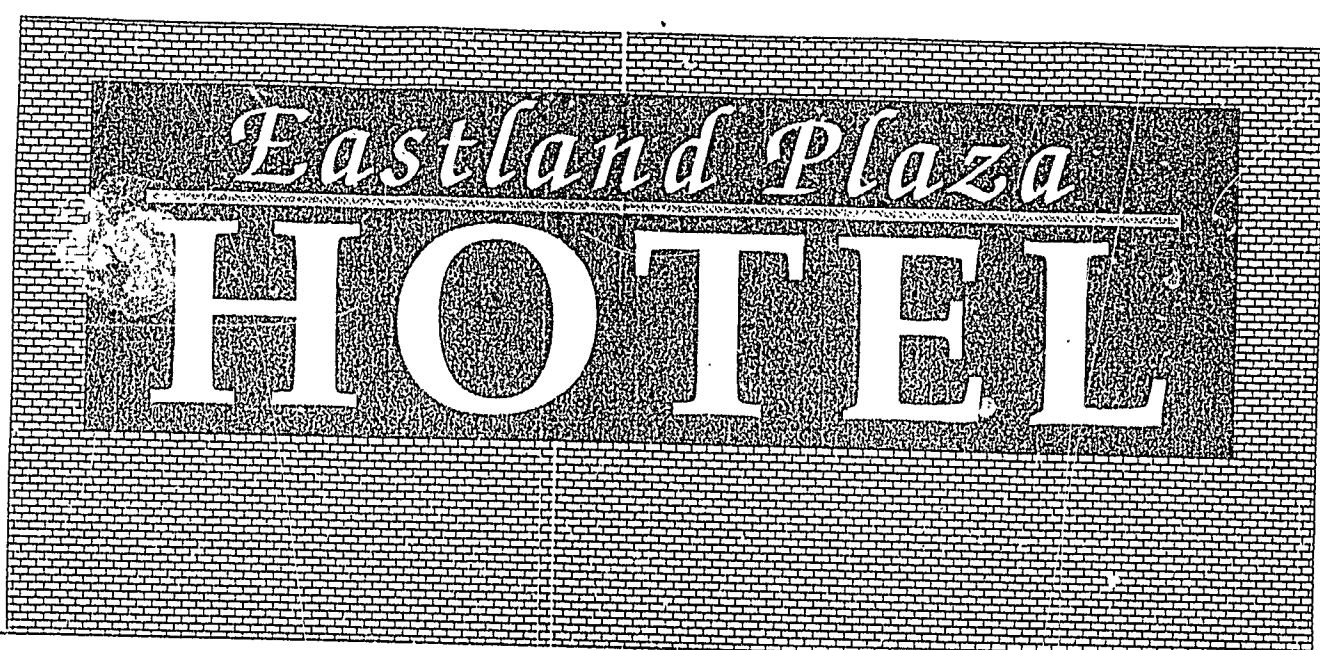
IS THERE ANY COMM. MESSAGE, TRADEMARK, OR SYMBOL ON IT? Yes

PLEASE PROVIDE A SITE SKETCH AND A BUILDING SKETCH, SHOWING EXACTLY WHERE EXISTING AND NEW SIGNAGE IS LOCATED.

WE WILL NEED SKETCHES AND/OR PICTURES OF THE PROPOSED SIGNS INCLUDING STRUCTURAL COMPONENTS.

4:51:54 ST

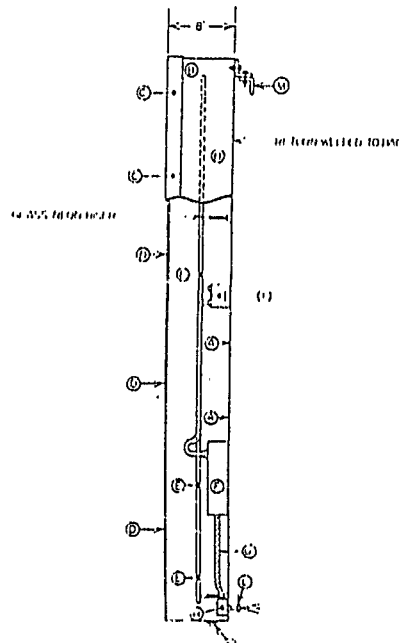
2'-9"
6'-4"



EXISTING 12' x 40' SIGN ON BUILDING.

Radisson

LAYOUT DIAGRAM - TYPICAL ALL ELEVATIONS
SCALE: 1/2" = 1'-0"



SPECIFICATIONS

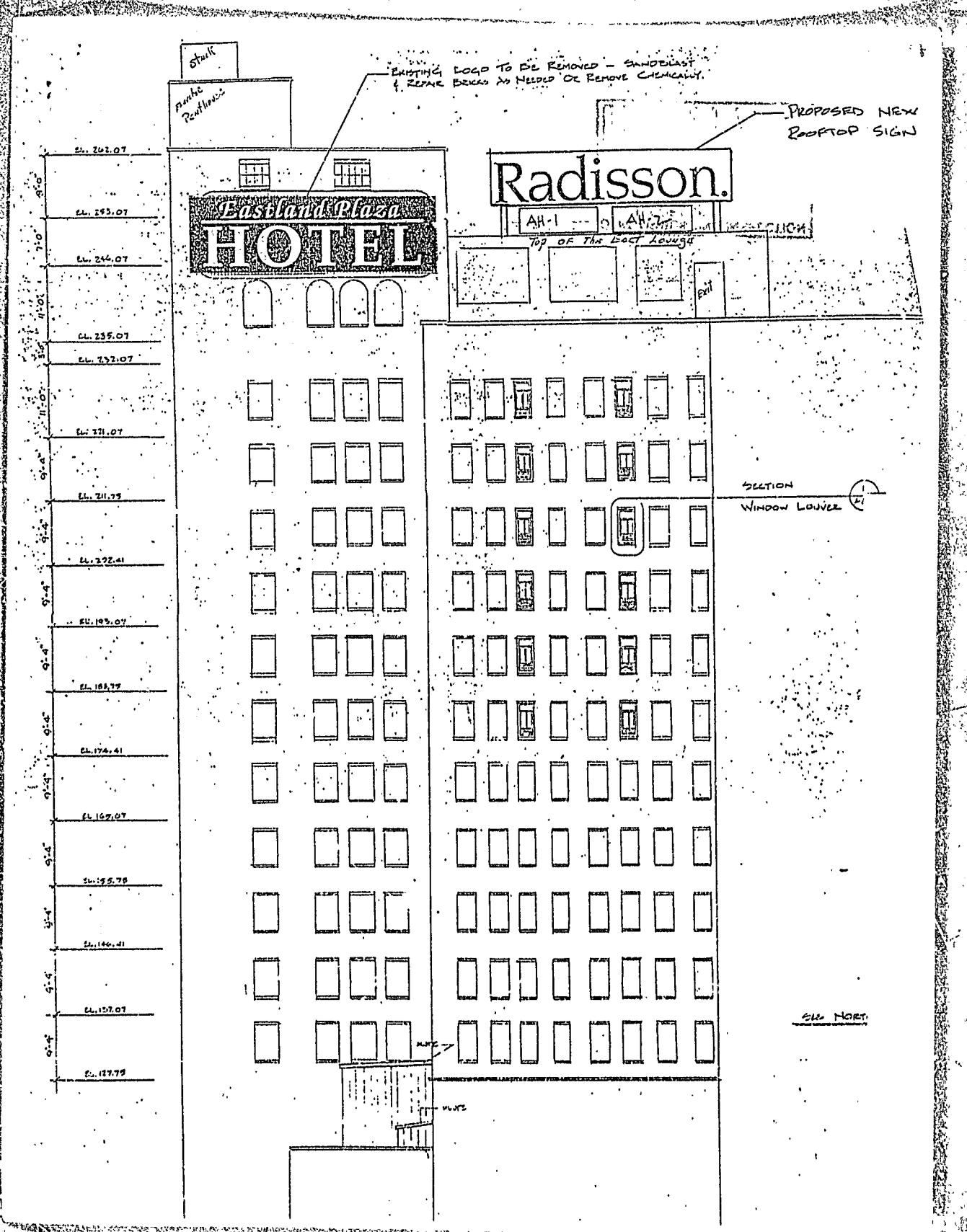
- A BACK MATERIAL - 000 ALUMINUM
- B RETURN MATERIAL - 003 ALUMINUM 'PERSONA PLUS' FINISH - INTERIOR WHITE DASH BOOD EXTERIOR SEE NOTE FOR COLOR
- C TRIM CAP - 2" JEWELITE - SEE NOTE FOR COLOR
- D FACE - 3/16" ACRYLIC - SEE NOTE FOR COLOR
- E MOUNTING - 15 MM - CLEAR (1/2")
- F TRANSFORMERS - FRANCE INTERNATIONAL CO. 1000 PDKM-SI 10 - REQUIRED 7500 PDKM-SI 3 - REQUIRED 6000 PDKM-SI 4 - REQUIRED (SEE NOTE FOR 1000 PDKM-SI 1, 2, 3, 4)
- G 1/2" FLEXIBLE CONDUIT 10 CONNECTIONS
- H 2" x 4" ELECTRICAL BOX
- I 1/2" x 1/2" ELECTRICAL
- J 1/2" ELECTRICAL
- K AMP LUGS - 750 AMP, 1/2" VOLT
- L ELECTRICAL INSULATION
- M 2 x 2 x 3/16" MOUNTING CLIPS (1 TOP & BOTTOM, BOTTOM NOT SHOWN)
- N DISCONNECT SWITCH

NOTE: COLOR SPECIFICATIONS

- ON LIGHT BUILDINGS
RETURN & TRIM CAP - PMS 460 RADISSON BEIGE
FACES - 2415 RED PLEXIGLASS
- ON DARK BUILDINGS
RETURN & TRIM CAP - DAR 25093 303 DARK BRONZE
FACES - 2416 IVORY PLEXIGLASS

PROPOSED ROOF-TOP SIGN (2 SIDED)

SHEET	MODEL	TITLE	DATE	REVISIONS	DATE	BY
1	RADISSON CL 751	7'-6" RADISSON	9-29-89			
		LOCATION				
			DRAWN BY			
			DATE			
			APP'D BY			
			DATE			
			022003-1			



Rooftop Signage

Signage Area Computation:

7'6" High x 40'8.66" Long

7.5 x 40.75 = 305.63 SF/side

611.25 SF Total

