

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

**CITY OF PORTLAND**

BUILDING INSPECTION

**PERMIT**

Please Read  
Application And  
Notes, If Any,  
Attached

PERMIT ISSUED

Permit Number: 081566

JAN 16 2009

This is to certify that CHESTNUT STREET UNITED METHODIST CHURCH/M & LI  
has permission to Change of use from Business to assembly business, interior renovations, handicap ramp, new walls entry door,  
Kitchen & ADA bathroom

AT 173 HIGH ST Unit #6 C 037 E006006

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

## OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*James Burke* 1/16/09  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**

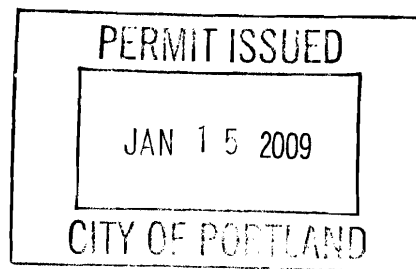
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1566	Issue Date:	CBL: 037 E006006
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Location of Construction: 173 HIGH ST Unit #6 (#185)	Owner Name: CHESTNUT STREET UNITED M	Owner Address: 17 PLEASANT AVE	Phone:
Business Name:	Contractor Name: M & M Industries	Contractor Address: 14 Kirkland Ave So. Portland	Phone: 2073294875
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: B-3/B3c

Past Use: Multi-unit building - commercial	Proposed Use: Multi-unit building - Change of use from Business to <sup>(Church)</sup> Assembly/Business - interior renovations, handicap ramp, new walls entry door, kitchen & ADA bathroom	Permit Fee: \$405.00	Cost of Work: \$30,600.00	CEO District: 1
Proposed Project Description: Change of use from Business to <sup>Church</sup> Assembly/Business - interior renovations, handicap ramp, new walls entry door, kitchen & ADA bathroom		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: B/A-3 Type: 2A IBL-2003	
		Signature: <i>Cecilia Cass</i>	Signature: <i>JMB 1/16/09</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: ldobson	Date Applied For: 12/18/2008	<b>Zoning Approval</b>		
<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>		<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>Ok w/conditions</i> Date: <i>12/18/08 ABU</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABU</i> Date: _____


**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.

NOTE: There is a \$75.00 fee per inspection at this point.

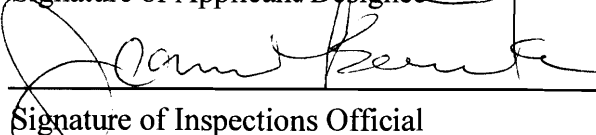
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

  
\_\_\_\_\_  
Signature of Applicant/Designee

1/16/09  
Date

  
\_\_\_\_\_  
Signature of Inspections Official

1/16/09  
Date

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 08-1566	<b>Date Applied For:</b> 12/18/2008	<b>CBL:</b> 037 E006006
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<b>Location of Construction:</b> 173 High St	<b>Owner Name:</b> CHESTNUT STREET UNITED M	<b>Owner Address:</b> 17 PLEASANT AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> M & M Industries	<b>Contractor Address:</b> 14 Kirkland Ave So. Portland	<b>Phone</b> (207) 329-4875
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Commercial	

<b>Proposed Use:</b> Multi-unit building - Change of use from Business to Assembly/Business (Church) - interior renovations, handicap ramp, new walls entry door, kitchen & ADA bathroom	<b>Proposed Project Description:</b> Change of use from Business to Assembly/Business (Church) - interior renovations, handicap ramp, new walls entry door, kitchen & ADA bathroom
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 12/18/2008

**Note:****Ok to Issue:** 

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 01/16/2009

**Note:****Ok to Issue:** 

- 1) The kitchen is not licensed for commercial use or food production to serve the public. Separate permits are required if this changes in the future.
- 2) The ramp will need edge protection per code if it does not abut walls on both sides
- 3) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 4) Application approval based upon information provided by applicant, with revisions submitted on 1/16/08. Any deviation from approved plans requires separate review and approval prior to work.
- 5) Separate permits are required for any electrical, plumbing, HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Greg Cass      **Approval Date:** 12/22/2008

**Note:****Ok to Issue:** 

- 1) Emergency lights are required to be tested at the electrical panel.
- 2) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 3) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 4) All construction shall comply with NFPA 101
- 5) Application requires State Fire Marshal approval.

**Comments:**

12/30/2008-jmb: Left voicemail w/Mark M. For details on ramp construction, what the area behind the storage closet is, if the kitchen is for commercial prep for public food consumption, other available bathrooms.

12/30/2008-jmb: Mike returned msg., plans for ramp to be submitted, not a commercial kitchen, no other bathrooms available, will look into code for fixtures, the area abutts the other condo.

<b>Location of Construction:</b> 173 High St	<b>Owner Name:</b> CHESTNUT STREET UNITED M	<b>Owner Address:</b> 17 PLEASANT AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> M & M Industries	<b>Contractor Address:</b> 14 Kirkland Ave So. Portland	<b>Phone</b> (207) 329-4875
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Commercial	

1/12/2009-jmb: Spoke to Mike M. About ramp being of combustibile material in type 2A construction, bathroom fixture count and identifying the wall type around the storage and mechanical rooms. He will have CWS revise.

1/5/2009-jmb: Received plans for the ramp construction.

1/16/2009-jmb: Mark M. Submitted revised plans and letter substantiating the plumbing fixture count from Ben W., ok to issue

1/14/2009-jmb: Spoke with Mark M. And Ben W. About plumbing code and fixtures, he will submit a letter for waiver.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>185 HIGH STREET, PORTLAND</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>37</u> Block# <u>E</u> Lot# <u>6</u> <u>B-3 - ZONE</u>	Applicant * <b>must be owner, Lessee or Buyer</b> * Name <u>CHESTNUT STREET</u> <u>UNITED METHODIST CHURCH</u> Address <u>185 HIGH STREET</u> City, State & Zip <u>PORTLAND, ME 04101</u>	Telephone: <u>207-650-</u> <u>5325</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>30,600</u> C of O Fee: \$ _____ Total Fee: \$ <u>330</u>
Current legal use (i.e. single family) <u>BUSINESS</u> <span style="float: right;"><u>Owes cafe</u></span>		
If vacant, what was the previous use? _____		
Proposed Specific use: <u>A-3 ASSEMBLY / B-BUSINESS</u> <span style="float: right;"><u>fee</u></span>		
Is property part of a subdivision? <u>NO</u> If yes, please name _____		
Project description: <u>REMOVAL/DEMOLITION OF 2 INTERIOR WALLS</u> <u>INSTALLATION OF NEW WALL AND ENTRY DOORS, HANDICAP RAMP,</u> <u>NEW KITCHEN, NEW HANDICAP BATHROOM</u>		
Contractor's name: <u>M &amp; M INDUSTRIES</u>		
Address: <u>14 KIRKLAND AVENUE</u>		
City, State & Zip <u>SOUTH PORTLAND, ME 04106</u>		Telephone: <u>329-4875</u>
Who should we contact when the permit is ready: <u>MARK MAWHINNEY</u>		Telephone: <u>329-4875</u>
Mailing address: <u>14 KIRKLAND AVENUE, SOUTH PORTLAND, ME 04106</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Handwritten Signature]

Date: 12/15/08

This is not a permit; you may not commence ANY work until the permit is ~~issue~~ ISSUE 18513

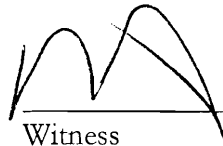
# WARRANTY DEED

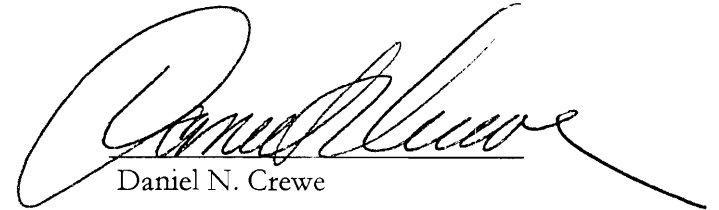
## Maine Statutory Short Form

KNOW ALL PERSONS BY THESE PRESENTS, that **Daniel N. Crewe**, of 17 Jessie's Lane, Cumberland, ME, for consideration paid, grants to **Chestnut Street United Methodist Church**, a Maine Corporation with an address of 17 Pleasant Avenue, Portland, ME, with WARRANTY COVENANTS, the premises in the City of Portland, County of Cumberland, and State of Maine, being known as Unit 6 of the Gateway Condominiums located at 185 High Street, as more particularly described in Exhibit A attached hereto and made a part hereof.

The premises conveyed hereby is done so **in trust**, that said premises shall be used, kept, and maintained as a place of divine worship of the United Methodist ministry and members of The United Methodist Church; subject to the *Discipline*, usage, and ministerial appointments of said Church as from time to time authorized and declared by the General Conference and by the annual conference within whose bounds the said premises are situated. This provision is solely for the benefit of the grantee, and the grantor reserves no right or interest in said premises.

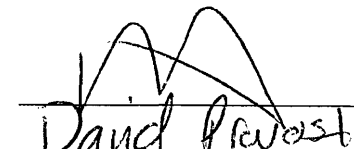
IN WITNESS WHEREOF, the said Daniel N. Crewe has caused this instrument to be signed this 3rd day of October, 2008.

  
\_\_\_\_\_  
Witness

  
\_\_\_\_\_  
Daniel N. Crewe

State of MAINE  
County of CUMBERLAND

On October 3<sup>rd</sup>, 2008, personally appeared Daniel N. Crewe, and acknowledged the foregoing to be his free act and deed.

  
\_\_\_\_\_  
David Fawcett  
Notary Public / Attorney at Law  
Commission Expiration:

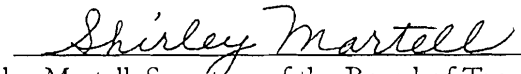
REC-10-3-08

Suzanne Rudalevige and Shirley Martell, in their respective capacities as the Chair and the Secretary of the Board of Trustees of the Chestnut Street United Methodist Church, hereby acknowledge delivery of this deed on behalf of the Grantee, and acknowledge the terms of the trust contained therein this 3<sup>rd</sup> day of October, 2008.

Chestnut Street United Methodist Church



By: Suzanne Rudalevige, Chair of the Board of Trustees



By: Shirley Martell, Secretary of the Board of Trustees

State of MAINE  
County of CUMBERLAND

On October 3<sup>rd</sup>, 2008, personally appeared Suzanne Rudalevige and Shirley Martell, in their respective capacities as the Chair and the Secretary of the Board of Trustees of the Chestnut Street United Methodist Church and acknowledge the foregoing to be their free act and deed in their said capacities.


  
David Alvest  
Notary Public/Attorney at Law  
Commission Expiration:



Exhibit A  
Crewe to Chestnut Street United Methodist Church  
Unit 6 The Gateway Condominium  
185 High Street, Portland

The unit ("Unit") designated as Unit 6 of The Gateway, a Condominium located in the City of Portland, County of Cumberland, and State of Maine ("Condominium") created pursuant to the provisions of the Maine Condominium Act, (the "Act") by The Gateway, a Condominium, Declaration of Condominium, dated December 1, 1986, and recorded in the Cumberland County Registry of Deeds, Book 7621, Page 103, as amended by a First Amendment to Declaration of Condominium dated March 9, 1987, and recorded in said Registry, Book 7669, Page 212 (collectively hereinafter called the "Declaration"), and by the Plats and Plans incorporated into the Declaration and recorded therewith in the Cumberland County Registry of Deeds. The Unit is subject to and has the benefit of the Declaration (and the matters set forth or referenced therein), the Plats, Plans and the Act which are incorporated herein by reference, to which reference is hereby made for a more particular specification of the definition, location and description of the real property hereby conveyed and of the rights, special Declarant rights, restrictions, liens for assessments, covenants and conditions pertaining thereto.

The Unit herein conveyed is also subject to the terms and conditions of the Agreement referenced in the Memorandum of Parking License and Rate Agreement, dated February 17, 1989 and recorded in the Cumberland County Registry of Deeds, Book 8661, Page 299.

The Unit is conveyed subject to such taxes and assessments, including Common Expenses, allocable to the Unit, if any, as are not due and payable on the date of delivery of this deed.

Meaning and intending to convey, and hereby conveying, the same premises conveyed to the grantor herein, Daniel N. Crewe, by deed of GAP Associates of Portland II dated June 2, 1994 and recorded in the Cumberland County Registry of Deeds in Book 11467, Page 16.

# CWS Architects

Architecture • Planning • Construction Services

434 Cumberland Avenue Portland, Maine 04101  
www.CWSarch.com

Phone: (207) 774-4441  
Fax: (207) 774-4016

January 13, 2009

Jeannie Bourke  
Inspection Services  
389 Congress St.  
Portland, ME 04101  
Tel:(207) 874-8715

Re: Renovations to 185 High Street  
Chestnut Street Methodist Church  
Portland, Maine

Dear Jeanie,

Pursuant to our telephone conversation yesterday (Jan. 12<sup>th</sup>), I would like to offer the following for you to consider in reviewing the plumbing fixture counts proposed on the submitted plans to be constructed as detailed:

1. For Worshipping Places, the Maine State Internal Plumbing Code stipulates combined toilet/urinal counts of 1 fixture per 75 occupants per sex, or 2 per 150 occupants total;
2. At a maximum of Occupant Load of 82, the proposed worship place will have about half as many occupants as the Plumbing Code contemplates as the "minimum";
3. Given the above, it makes sense that even with 2 total water closets as proposed, the facility will be supplied with almost twice the stipulated capacity to serve the occupants;
4. Due to the occupancy type, the Plumbing Code also suggests a urinal in the men's room, which in the case of this small facility, would double the required base capacity which, given the small size of this facility, would in turn translate into almost four-times real need for men (at 1:75, 41 men = .55 fixtures needed);
5. The owner has agreed that the fixture count shown on the plans will more than satisfy their needs;
6. Due to the extensive space requirements, it is physically impractical to provide (2) handicapped 2-fixture restrooms with lavatories in the space allocated without substantially encroaching on large areas of the remaining facility, in turn making the cost of the improvements unmanageable and substantially reducing the usefulness of the remaining space.

Therefore, given the logical analysis of the existing conditions, we respectfully submit that we construct the toilet facilities as drawn.

Please feel free to contact me if you have any questions.

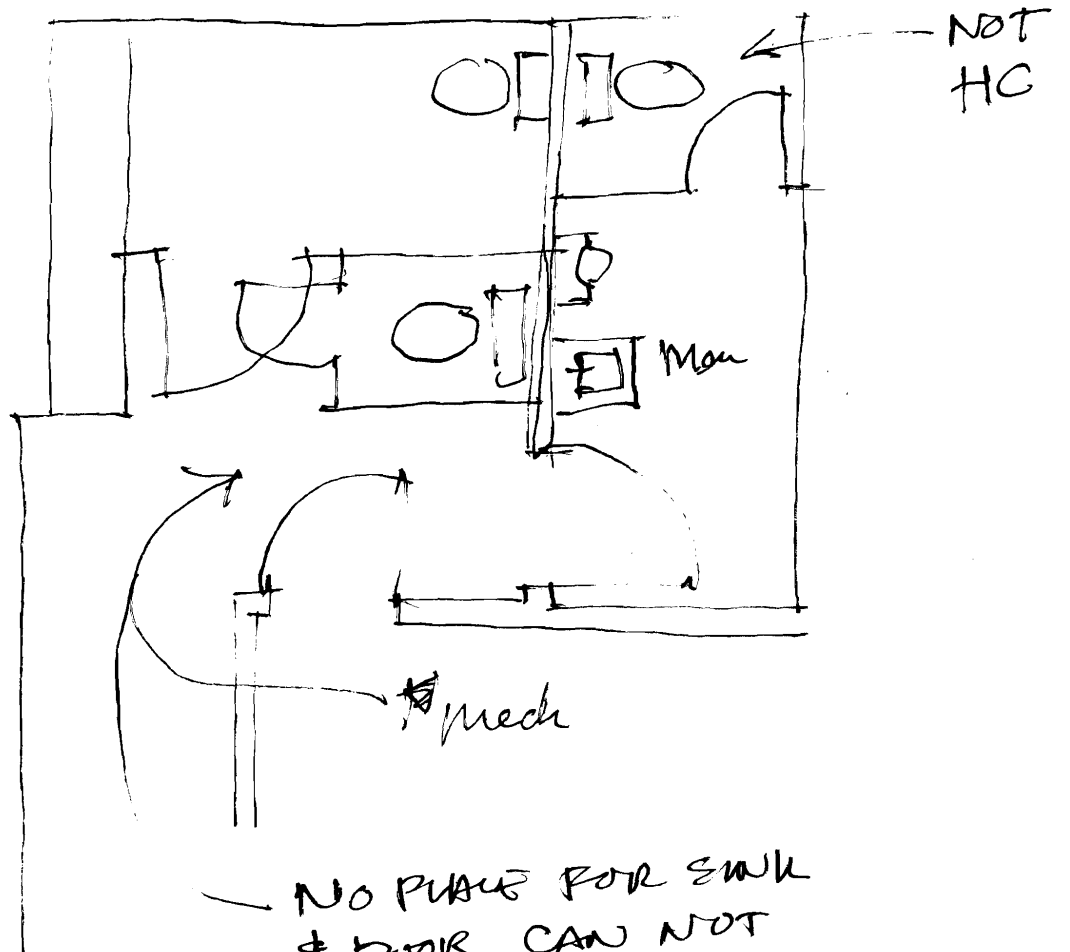
Very truly yours,

CWS ARCHITECTS

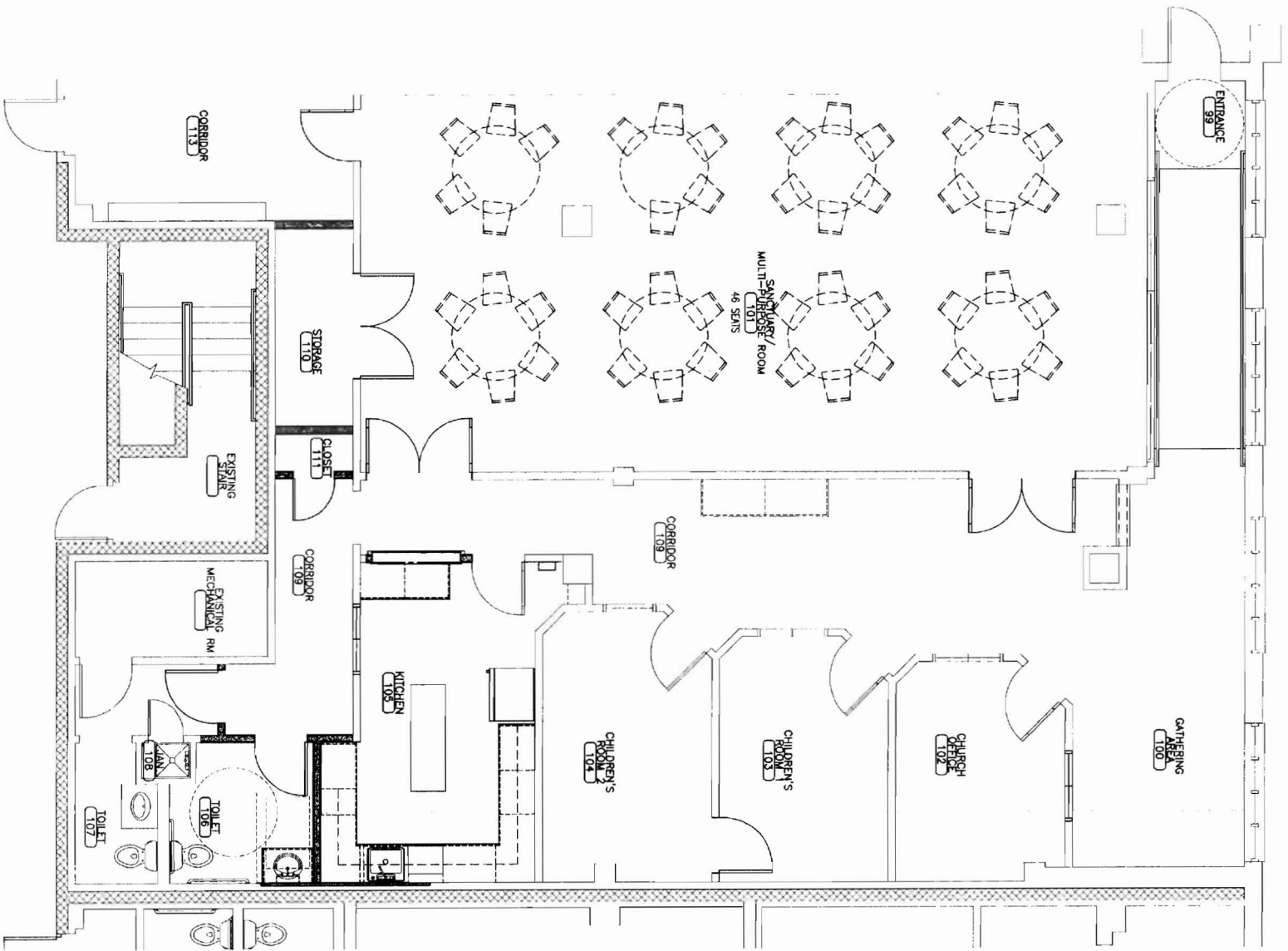


Benedict B. Walter, AIA  
President

JAN 13 2009



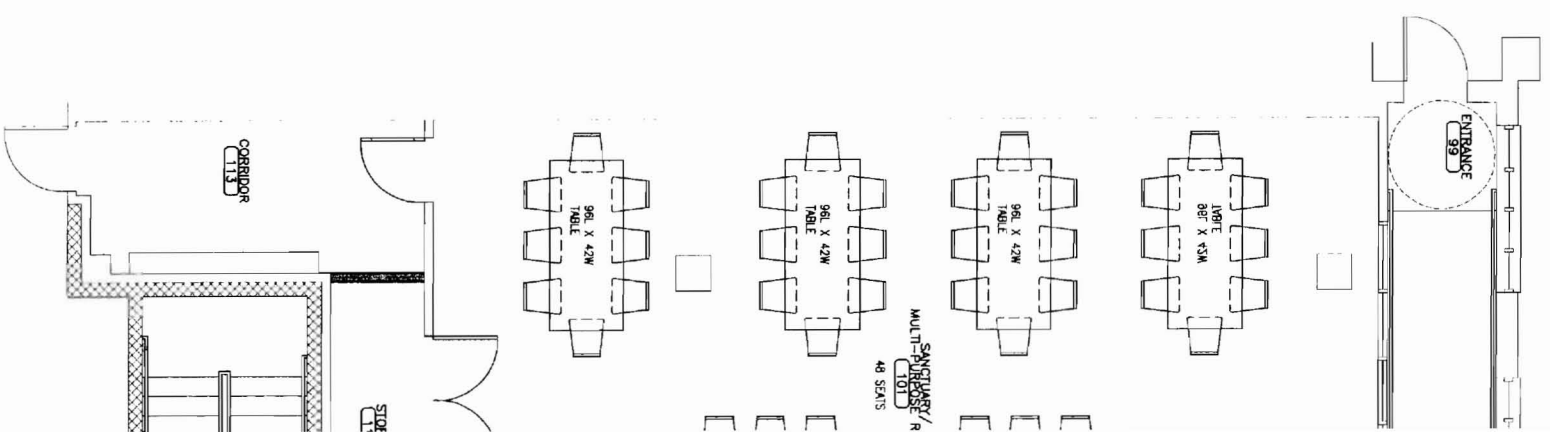
NO PLACE FOR SWK  
 & DOOR. CAN NOT  
 ENTER MEN'S ROOM  
 W/O GOING THRU  
 WOMEN'S ROOM



3

3' ROUND TABLES LAYOUT  
REFERENCED FROM:

SCALE: 1/4" = 1'-0"



4

3' RECTANGULAR TABLES LAYOUT  
REFERENCED FROM:

## DOOR SCHEDULE

ROOM NAME	DOOR						FRAME		HARDWARE AND LOCK FUNCTION	MANUFACTURER	MODEL NO.	FINISH	LABEL	REMARKS
	NO.	SIZE			TYPE	MATL.	TYPE	MATL.						
		W	H	T										
ENTRANCE	99	EXISTING DOOR & FRAME TO REMAIN												LEVER HARDWARE TO MATCH EXISTING EXISTING DOOR, DOOR FRAME, CLOSER, AND K
SANCTURARY / MULTI-PURPOSE ROOM	101A	(2) 36"	80"	1 3/4"	HG	SOLID CORE WOOD		WOOD	NEW PANIC SET - 8700, SURFACE VERTICAL ROD EXIT DEVICE, EXISTING CLOSER AND KICKPLATE TO REMAIN	SARGENT	-	TO MATCH EXISTING	LEVER HARDWARE TO MATCH EXISTING NEW DOOR, NEW WOOD FRAME	
SANCTURARY / MULTI-PURPOSE ROOM	101B	(2) 36"	80"	1 3/4"	HG	SOLID CORE WOOD		WOOD	PANIC SET - 8700, SURFACE VERTICAL ROD EXIT DEVICE, CLOSER, KICKPLATE	SARGENT	-	TO MATCH EXISTING	LEVER HARDWARE TO MATCH EXISTING NEW DOOR, NEW WOOD FRAME	
SANCTURARY / MULTI-PURPOSE ROOM	101C	36"	80"	1 3/4"	HG	SOLID CORE WOOD		WOOD	PANIC SET - 8700, SURFACE VERTICAL ROD EXIT DEVICE, CLOSER, KICKPLATE	SARGENT	-	TO MATCH EXISTING	LEVER HARDWARE TO MATCH EXISTING RELOCATED DOOR, NEW WOOD FRAME AS REQ	
CHILDREN'S ROOM 1	103	36"	80"	1 3/4"	FLUSH	SOLID CORE WOOD		WOOD	PUBLIC ENTRANCE 16, KICKPLATE	SARGENT	10-LINE	TO MATCH EXISTING	LEVER HARDWARE TO MATCH EXISTING RELOCATED DOOR, NEW WOOD FRAME AS REQ	
TOILET	106	36"	80"	1 3/4"	FLUSH	SOLID CORE WOOD		WOOD	PRIVACY 65	SARGENT	10-LINE	TO MATCH EXISTING	LEVER HARDWARE TO MATCH EXISTING RELOCATED DOOR, NEW WOOD FRAME AS REQ	
STORAGE	110	(2) 36"	80"	1 3/4"	FLUSH	SOLID CORE WOOD		WOOD	STOREROOM 04, SURFACE BOLTS, TOP AND BOTTOM STRIKES ON INACTIVE LEAF	SARGENT	10-LINE	TO MATCH EXISTING	LEVER HARDWARE TO MATCH EXISTING RELOCATED DOOR, NEW WOOD FRAME	
CLOSET	111	28"	80"	1 3/4"	FLUSH	SOLID CORE WOOD		WOOD	STOREROOM 04	SARGENT	10-LINE	TO MATCH EXISTING	LEVER HARDWARE TO MATCH EXISTING NEW DOOR, NEW WOOD FRAME	
CORRIDOR	113	EXISTING DOOR & FRAME TO REMAIN								NEW PANIC SET - 8700, SURFACE VERTICAL ROD EXIT DEVICE, EXISTING CLOSER AND KICKPLATE TO REMAIN	SARGENT	-	TO MATCH EXISTING	LEVER HARDWARE TO MATCH EXISTING EXISTING DOOR, DOOR FRAME, CLOSER, AND K

### NOTES:

- HG = HALF GLASS - 24x36 TEMPERED GLASS LITE
- EX = EXISTING DOOR, DOOR FRAME AND HARDWARE TO REMAIN
- ALL NEW LEVER HARDWARE & FINISHES TO MATCH EXISTING

### 1 DOOR SCHEDULE

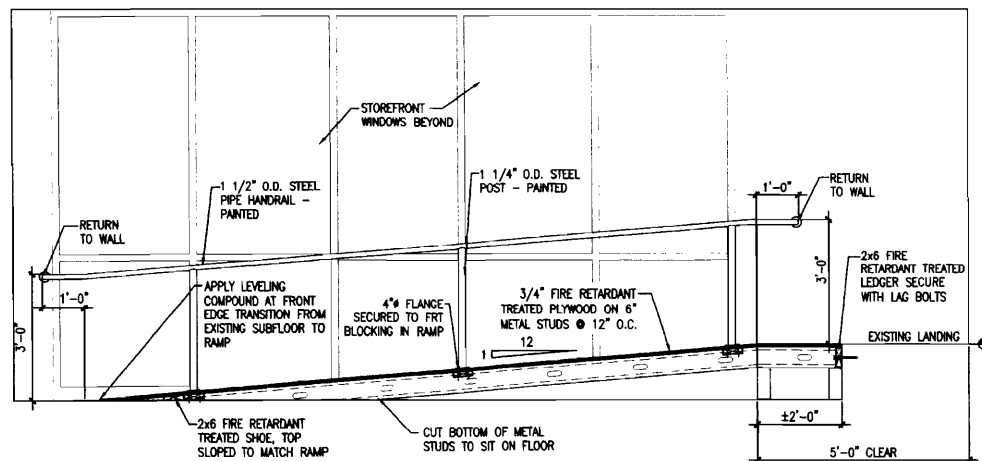
REFERENCED FROM:

PARTITION TYPE	WALL PARTITION SCHEDULE	
	GENERAL WALL DESCRIPTION	GENERAL PICTORIAL
◇	<p>3 5/8" METAL STUDS @ 16" O.C. TO UNDERSIDE OF CEILING.</p> <p>BOTH SIDES: 5/8" TYPE "X" GWB TO FULL HEIGHT. CONTINUOUS 3 1/2" SOUND ATTENUATION BATTS.</p>	

### 4 WALL TYPE

REFERENCED FROM:

SCALE: 3/4" = 1'-0"



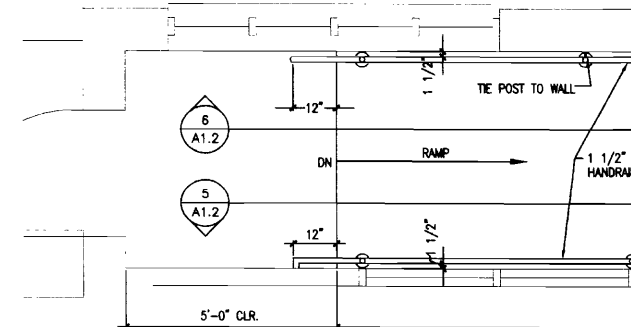
### 5 RAMP DETAIL

REFERENCED FROM:

SCALE: 1/2" = 1'-0"

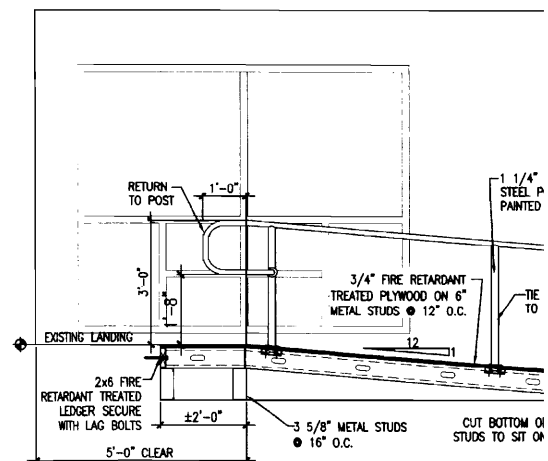
### 3 ENLARGED PLAN

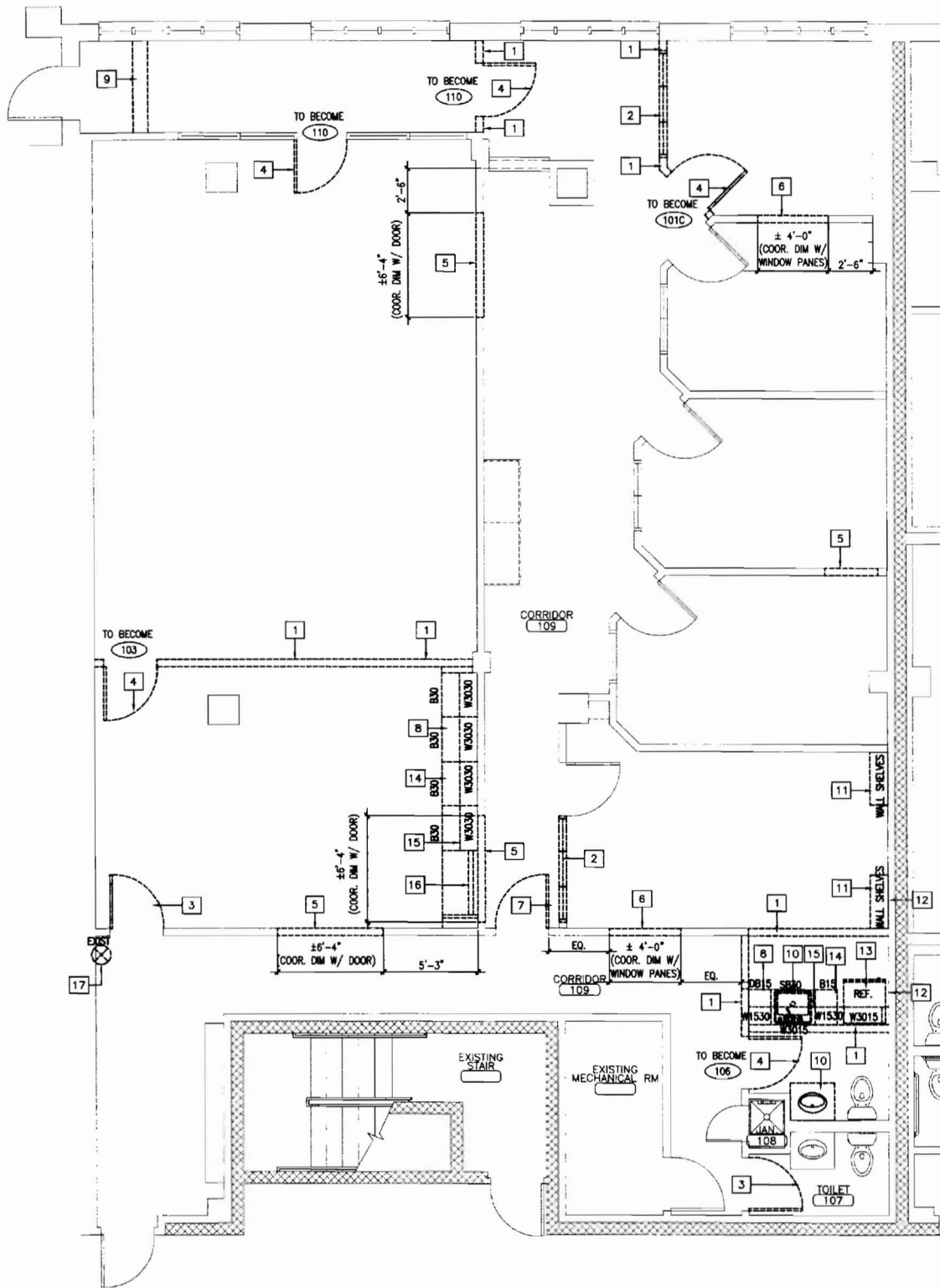
REFERENCED FROM:



### 6 RAMP DETAIL

REFERENCED FROM:





### GENERAL REMOVALS NOTES:

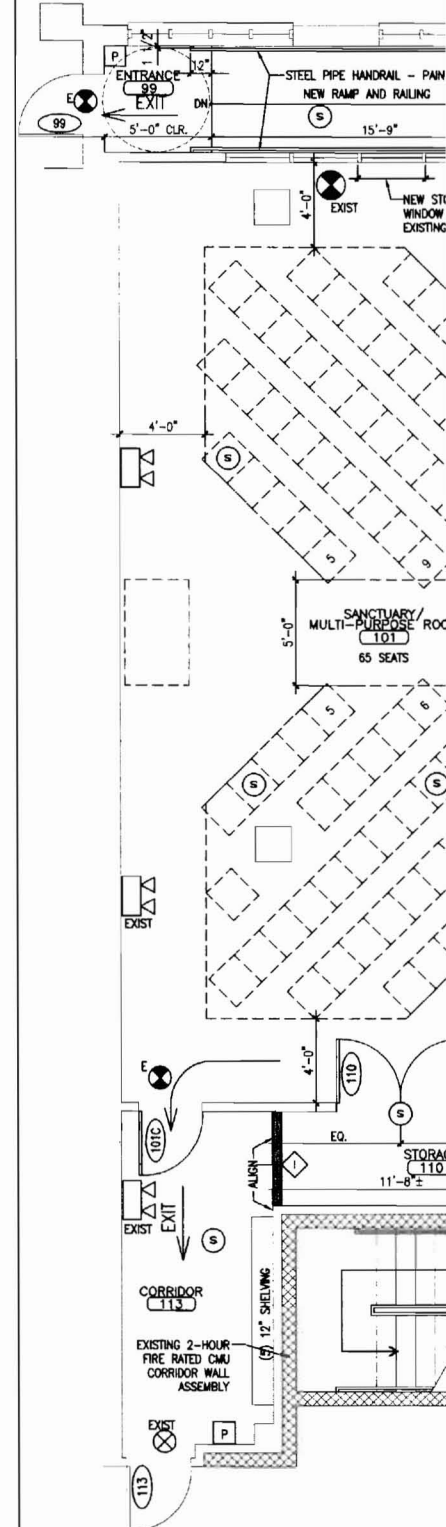
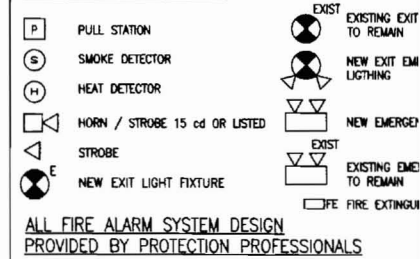
1. SAFELY STORE ALL ITEMS INDICATED TO BE SALVAGED AND REINSTALLED. REPLACE ANY DAMAGED ITEMS OR COMPONENTS.
2. PATCH AND REPAIR ALL ADJACENT SURFACES INDICATED TO REMAIN WHICH ARE DAMAGED DURING THE REMOVALS PROCESS.
3. PATCH AND REPAIR ALL WALL SURFACES, TYPICAL ALL SPACES. PREPARE WALL SURFACES FOR NEW FINISHES PER FINISH MANUFACTURER'S RECOMMENDATIONS. REFERENCE PARTITION SCHEDULE FOR FURTHER INFORMATION.
4. PATCH AND/OR REPLACE ALL DAMAGED OR DISTURBED EXISTING SPRAY APPLIED FIRE PROOFING AS REQUIRED DUE TO SCOPE OF WORK. PREPARE EXISTING SURFACES AND APPLY FIRE PROOFING AS PER MANUFACTURER'S RECOMMENDATIONS.
5. THE CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORT, BRACING AND SHORING AS REQUIRED FOR ANY AND ALL REMOVALS. TEMPORARY BRACING, SUPPORT AND SHORING SHALL BE IN PLACE PRIOR TO ANY AND ALL REMOVALS.
6. THE CONTRACTOR SHALL CUT, PATCH, AND REPAIR ANY AND ALL WALL SURFACES AS REQUIRED FOR INSTALLATION OF BLOCKING THAT IS REQUIRED BY THE INSTALLATION OF CABINETS AND WALL CABINETS. PROVIDE BLOCKING FOR ALL CABINETS AND WALL CABINETS TYPICAL. PROVIDE NEW PAINT FINISHES WITHIN THE ENTIRE SPACE.

### GENERAL REMOVALS NOTES:

- 1 REMOVE EXISTING GWB PARTITION ASSEMBLY COMPLETE.
- 2 REMOVE EXISTING INTERIOR WINDOWS AND ASSOCIATED HARDWARE. SALVAGE AND REINSTALL AS INDICATED WITHIN THE FLOOR PLAN
- 3 REMOVE EXISTING DOOR, FRAME & ASSOCIATED HARDWARE COMPLETE.
- 4 REMOVE EXISTING DOOR, FRAME & ASSOCIATED HARDWARE COMPLETE. SALVAGE DOOR AND REINSTALL AS INDICATED ON THE FLOOR PLAN. PROVIDE NEW FRAME AND TRIM CASING AS REQUIRED.
- 5 REMOVE PORTION OF EXISTING GWB PARTITION FOR RELOCATE OR NEW DOOR AND FRAME.
- 6 REMOVE PORTION OF EXISTING GWB PARTITION FOR RELOCATE INTERIOR WINDOW
- 7 REMOVE EXISTING DOOR ONLY. DOOR FRAME TO REMAIN.
- 8 REMOVE EXISTING COUNTERTOP COMPLETE.
- 9 REMOVE EXISTING INTERIOR WOOD STAIRCASE, HANDRAIL AND ASSOCIATED HARDWARE COMPLETE.
- 10 REMOVE EXISTING SINK VANITY AND ASSOCIATED PLUMBING COMPLETE.
- 11 REMOVE WALL SHELVING COMPLETE. PATCH AND REPAIR WALL SURFACES AS REQUIRED.
- 12 REMOVE GWB AT WALL FOR NEW PLUMBING WORK - PATCH & REPAIR GWB WALL.
- 13 REMOVE EXISTING REFRIGERATOR. SAVE FOR OWNER
- 14 REMOVE EXISTING BASE CABINETS COMPLETE. PATCH AND REPAIR GWB SURFACES AS REQUIRED.
- 15 REMOVE EXISTING WALL CABINETS COMPLETE. PATCH AND REPAIR GWB SURFACES AS REQUIRED.
- 16 REMOVE EXISTING PHONE PANEL BOARD AND ASSOCIATED WIRING COMPLETE.
- 17 REMOVE EXISTING EXIT LIGHT FIXTURE COMPLETE.

Code Analysis	Code Reference	Code Requirements	Code Performance	Code Requirements
Category	IBC 2006	Code Requirements	IBC 2006	Code Requirements
Use Group	308	A-2 Assembly uses assembly	8.12.1	Assembly uses plans of adjacent assembly
	304.1	S - Business	8.11.1	Business uses for office
Building Construction	1 802.2 802.2.1.2	Type I - Noncombustible	WPA 206	Construction: Type I (Unimpacted) + 1000, approved level of wall height
Occupant Load	1 1004.1.1	Assembly: Unencumbered Seating + 20/sq ft Business: 100/sq ft + 170/sq ft	17.2.1.2	Assembly: 100/sq ft + 170/sq ft Business: 100/sq ft + 170/sq ft
		Assembly: 100/sq ft + 170/sq ft Business: 100/sq ft + 170/sq ft		Assembly: 100/sq ft + 170/sq ft Business: 100/sq ft + 170/sq ft
Total = 82				Total = 82 Occupants
Means of Egress			77.8	Assembly: Common path of travel + 30' min (Empowered); Business: Common path of travel + 30' min (Empowered)
			77.8	Assembly: Dead-End Exit + 30' min (Empowered); Business: Dead-End Exit + 30' min (Empowered)
			77.8	Assembly: Travel Distance Limit + 200' min (Empowered); Business: Same Distance Limit + 200' min (Empowered)
			7A.1.1	Minimum number of exits + 2
Emergency Lighting				Provided
Fire Suppression System	802.2.1.3	Not required (Exception)	12.5.5.3 (1)	Not required
Fire Alarm System				Provided
Smoke Detectors				Provided
Exit Signage				Provided

### SYMBOL LEGEND:



**1** REMOVALS FLOOR PLAN  
REFERENCED FROM:

**2** FLOOR PLAN  
REFERENCED FROM:

SCALE: 1/4" = 1'-0"

# DOOR SCHEDULE

ROOM NAME	DOOR							FRAME		HARDWARE AND LOCK FUNCTION	MANUFACTURER	MODEL NO.	FINISH	LABEL	REMARKS
	NO.	SIZE			TYPE	MATERIAL	TYPE	MATERIAL							
		W	H	T											
ENTRANCE	99	EXISTING DOOR & FRAME TO REMAIN									NEW PANIC SET - 8700, SURFACE VERTICAL ROD EXIT DEVICE, EXISTING CLOSER AND KICKPLATE TO REMAIN	SARGENT	-	TO MATCH EXISTING	LEVER HARDWARE TO MATCH EXISTING DOOR, DOOR F
SANCTUARY / MULTI-PURPOSE ROOM	101A	(2) 36"	80"	1 3/4"	HG	SOLID CORE WOOD		WOOD	PANIC SET - 8700, SURFACE VERTICAL ROD EXIT DEVICE, CLOSER, KICKPLATE	SARGENT	-	TO MATCH EXISTING	LEVER HARDWARE TO MATCH NEW DOOR, NEW WOOD		
SANCTUARY / MULTI-PURPOSE ROOM	101B	(2) 36"	80"	1 3/4"	HG	SOLID CORE WOOD		WOOD	PANIC SET - 8700, SURFACE VERTICAL ROD EXIT DEVICE, CLOSER, KICKPLATE	SARGENT	-	TO MATCH EXISTING	LEVER HARDWARE TO MATCH NEW DOOR, NEW WOOD		
SANCTUARY / MULTI-PURPOSE ROOM	101C	36"	80"	1 3/4"	HG	SOLID CORE WOOD		WOOD	PANIC SET - 8700, SURFACE VERTICAL ROD EXIT DEVICE, CLOSER, KICKPLATE	SARGENT	-	TO MATCH EXISTING	LEVER HARDWARE TO MATCH RELOCATED DOOR, NEW		
CHILDREN'S ROOM 1	103	36"	80"	1 3/4"	FLUSH	SOLID CORE WOOD		WOOD	PUBLIC ENTRANCE 16, KICKPLATE	SARGENT	10-LINE	TO MATCH EXISTING	LEVER HARDWARE TO MATCH RELOCATED DOOR, NEW		
TOILET	106	36"	80"	1 3/4"	FLUSH	SOLID CORE WOOD		WOOD	PRIVACY 65	SARGENT	10-LINE	TO MATCH EXISTING	LEVER HARDWARE TO MATCH RELOCATED DOOR, NEW		
STORAGE	110	(2) 36"	80"	1 3/4"	FLUSH	SOLID CORE WOOD		WOOD	STOREROOM 04, SURFACE BOLTS, TOP AND BOTTOM STRIKES ON INACTIVE LEAF	SARGENT	10-LINE	TO MATCH EXISTING	LEVER HARDWARE TO MATCH RELOCATED DOOR, NEW		
CLOSET	111	28"	80"	1 3/4"	FLUSH	SOLID CORE WOOD		WOOD	STOREROOM 04	SARGENT	10-LINE	TO MATCH EXISTING	LEVER HARDWARE TO MATCH NEW DOOR, NEW WOOD		
CORRIDOR	113	EXISTING DOOR & FRAME TO REMAIN									NEW PANIC SET - 8700, SURFACE VERTICAL ROD EXIT DEVICE, EXISTING CLOSER AND KICKPLATE TO REMAIN	SARGENT	-	TO MATCH EXISTING	LEVER HARDWARE TO MATCH EXISTING DOOR, DOOR F

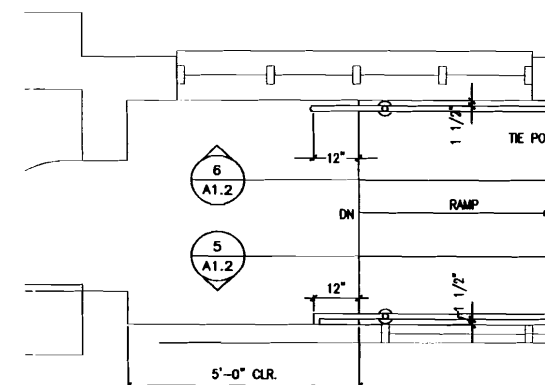
## NOTES:

- HG = HALF GLASS - 24x36 TEMPERED GLASS LITE
- EX = EXISTING DOOR, DOOR FRAME AND HARDWARE TO REMAIN
- ALL NEW LEVER HARDWARE & FINISHES TO MATCH EXISTING

## 1 DOOR SCHEDULE

REFERENCED FROM:

PARTITION TYPE	WALL PARTITION SCHEDULE	
	GENERAL WALL DESCRIPTION	GENERAL PICTORIAL
◇	<p>3 5/8" METAL STUDS @ 16" O.C. TO UNDERSIDE OF CEILING.</p> <p>BOTH SIDES: 5/8" TYPE "X" GWB TO FULL HEIGHT. CONTINUOUS 3 1/2" SOUND ATTENUATION BATTS.</p>	<p>TAGGED SIDE</p> <p>OPPOSITE SIDE</p>



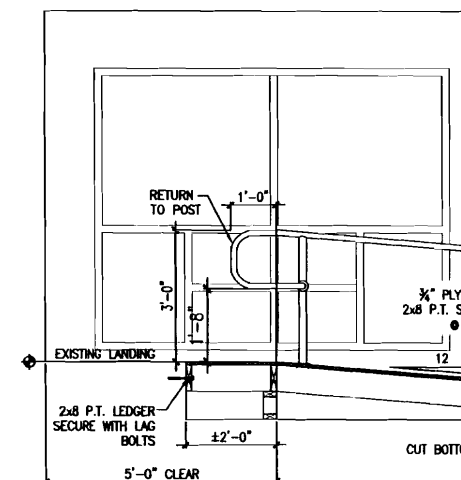
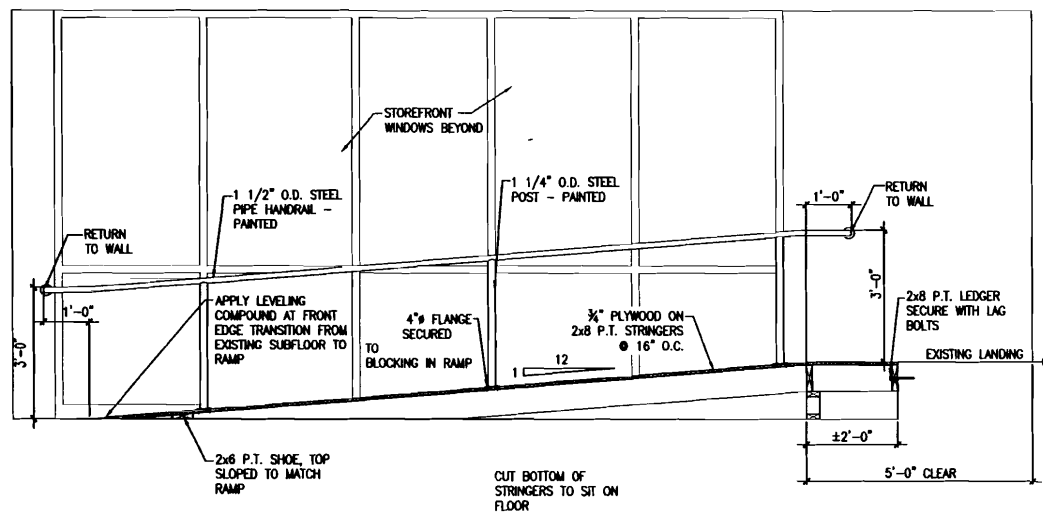
## 4 WALL TYPE

REFERENCED FROM:

SCALE: 3/4" = 1'-0"

## 3 ENLARGED PLAN

REFERENCED FROM:



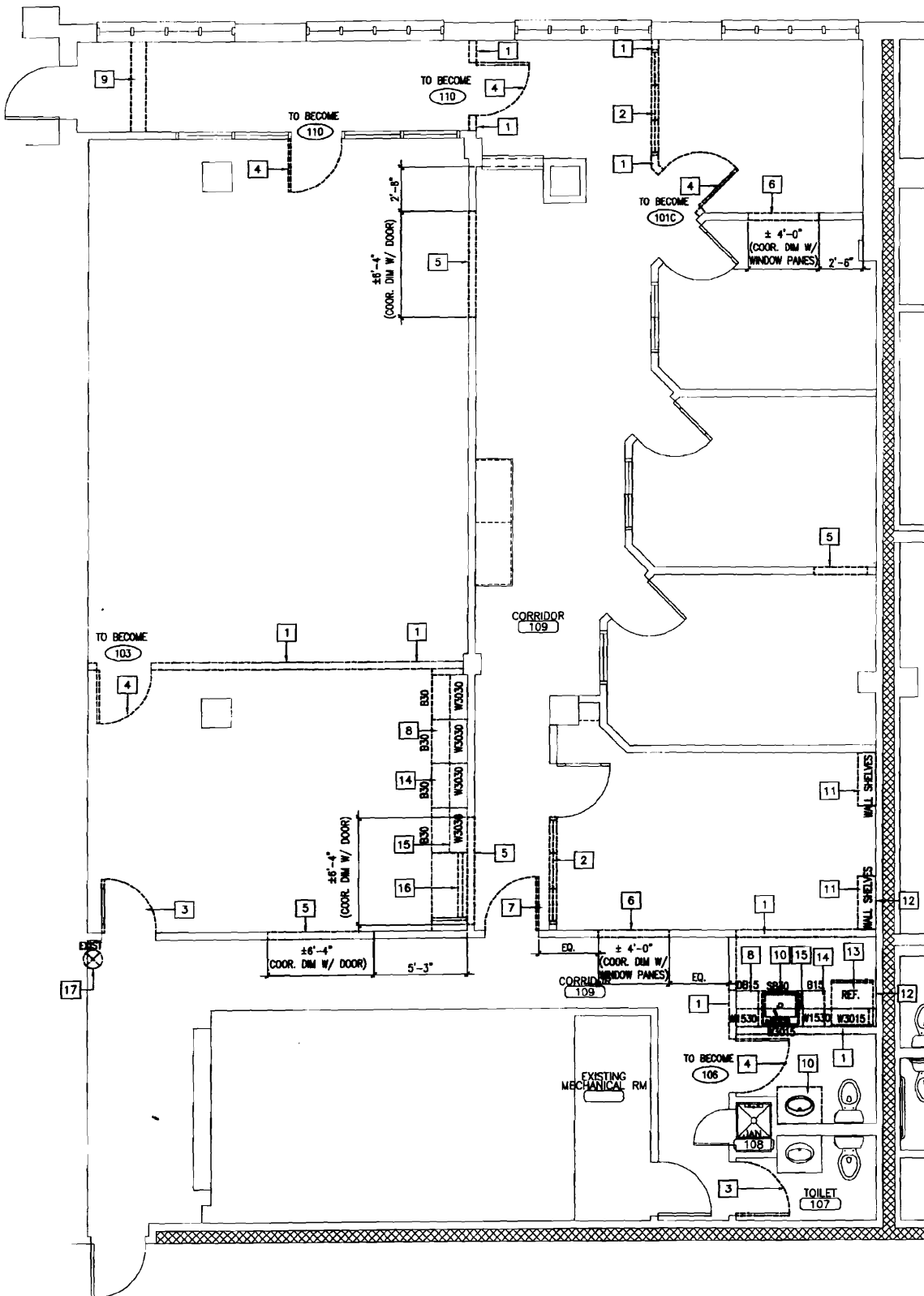
## 5 RAMP DETAIL

REFERENCED FROM:

SCALE: 1/2" = 1'-0"

## 6 RAMP DETAIL

REFERENCED FROM:



## GENERAL REMOVALS NOTES:

1. SAFELY STORE ALL ITEMS INDICATED TO BE SALVAGED AND REINSTALLED. REPLACE ANY DAMAGED ITEMS OR COMPONENTS.
2. PATCH AND REPAIR ALL ADJACENT SURFACES INDICATED TO REMAIN WHICH ARE DAMAGED DURING THE REMOVALS PROCESS.
3. PATCH AND REPAIR ALL WALL SURFACES, TYPICAL ALL SPACES. PREPARE WALL SURFACES FOR NEW FINISHES PER FINISH MANUFACTURER'S RECOMMENDATIONS. REFERENCE PARTITION SCHEDULE FOR FURTHER INFORMATION.
4. PATCH AND/OR REPLACE ALL DAMAGED OR DISTURBED EXISTING SPRAY APPLIED FIRE PROOFING AS REQUIRED DUE TO SCOPE OF WORK. PREPARE EXISTING SURFACES AND APPLY FIRE PROOFING AS PER MANUFACTURER'S RECOMMENDATIONS.
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6. THE CONTRACTOR SHALL CUT, PATCH, AND REPAIR ANY AND ALL WALL SURFACES AS REQUIRED FOR INSTALLATION OF BLOCKING THAT IS REQUIRED BY THE INSTALLATION OF CABINETS AND WALL CABINETS. PROVIDE BLOCKING FOR ALL CABINETS AND WALL CABINETS TYPICAL. PROVIDE NEW PAINT FINISHES WITHIN THE ENTIRE SPACE.

## GENERAL REMOVALS NOTES:

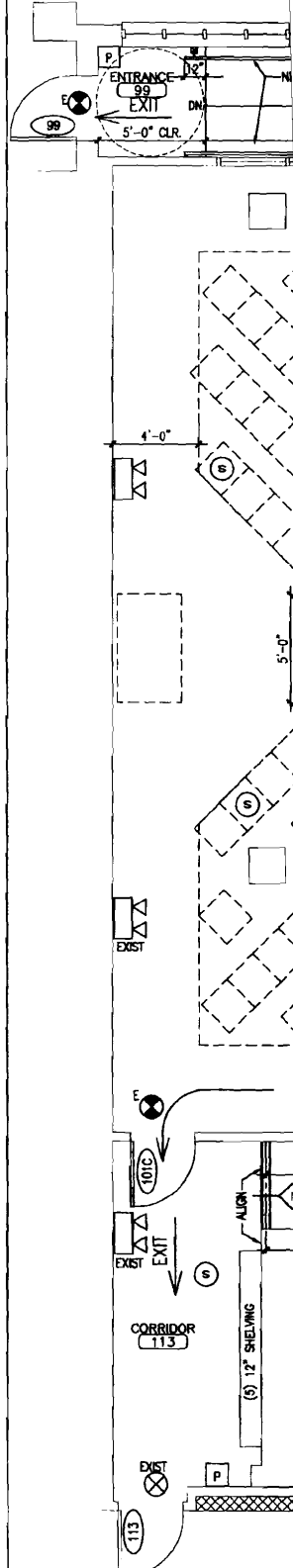
- 1 REMOVE EXISTING GWB PARTITION ASSEMBLY COMPLETE.
- 2 REMOVE EXISTING INTERIOR WINDOWS AND ASSOCIATED HARDWARE. SALVAGE AND REINSTALL AS INDICATED WITHIN THE FLOOR PLAN
- 3 REMOVE EXISTING DOOR, FRAME & ASSOCIATED HARDWARE COMPLETE.
- 4 REMOVE EXISTING DOOR, FRAME & ASSOCIATED HARDWARE COMPLETE. SALVAGE DOOR AND REINSTALL AS INDICATED ON THE FLOOR PLAN PROVIDE NEW FRAME AND TRIM CASING AS REQUIRED.
- 5 REMOVE PORTION OF EXISTING GWB PARTITION FOR RELOCATE OR NEW DOOR AND FRAME.
- 6 REMOVE PORTION OF EXISTING GWB PARTITION FOR RELOCATE INTERIOR WINDOW
- 7 REMOVE EXISTING DOOR ONLY. DOOR FRAME TO REMAIN.
- 8 REMOVE EXISTING COUNTERTOP COMPLETE.
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- 10 REMOVE EXISTING SINK VANITY AND ASSOCIATED PLUMBING COMPLETE.
- 11 REMOVE WALL SHELVING COMPLETE. PATCH AND REPAIR WALL SURFACES AS REQUIRED.
- 12 REMOVE GWB AT WALL FOR NEW PLUMBING WORK - PATCH & REPAIR GWB WALL.
- 13 REMOVE EXISTING REFRIGERATOR. SAVE FOR OWNER
- 14 REMOVE EXISTING BASE CABINETS COMPLETE. PATCH AND REPAIR GWB SURFACES AS REQUIRED.
- 15 REMOVE EXISTING WALL CABINETS COMPLETE. PATCH AND REPAIR GWB SURFACES AS REQUIRED.
- 16 REMOVE EXISTING PHONE PANEL BOARD AND ASSOCIATED WIRING COMPLETE.
- 17 REMOVE EXISTING EXIT LIGHT FIXTURE COMPLETE.

Classified New Light Fixture	Manufacturer	Model	Quantity	Notes
Fluorescent	Philips	FC 200	1	Remove
Code Analysis	ICC 308	ICC 308	1	Remove
Chimney	Reference	Code Requirements	Reference	Code Requirements
Door	800	A-2 Assembly area egress	6.1.1.1	Assembly area egress of egress assembly
Door	801.1	D - Business	6.1.1.1.1	Business area by office
Building Construction	IBC 2.2	Type I - Noncombustible	IBC 2.2	Construction Type I (IB) Unprotected - 200, required upon level of egress
Computer Load	IBC 1.1	Assembly, Unprotected (other) and other 1-1/2 GSP; Business = 150 GSP	IBC 1.1	Assembly, Load concentrated = 150 GSP; Business, Load Concentrated = 150 GSP
		Assembly 1500 = 15		Assembly 1500 = 15
		Business 1500 = 15		Business 1500 = 15
		Total = 32		Total = 60 Occupants
Roof of Space				
			77A	Assembly, Occupant load of 1500 = 20' x 20' x 10' (1500 sq ft) = 1500 sq ft
			77A	Assembly, Occupant load of 1500 = 20' x 20' x 10' (1500 sq ft) = 1500 sq ft
			77A	Assembly, Occupant load of 1500 = 20' x 20' x 10' (1500 sq ft) = 1500 sq ft
			7A-1.1	Minimum number of exits = 2
Emergency Lighting				Fulfilled
Fire Suppression System	IBC 2.1.3	Not required (Storage)	IBC 2.1.3(1)	Not required
Fire Alarm System				Fulfilled
Smoke Detectors				Fulfilled
Handicap Access				Fulfilled
Handicap Access				Fulfilled

## SYMBOL LEGEND:

- P PULL STATION
- S SMOKE DETECTOR
- H HEAT DETECTOR
- HORN / STROBE 15 cd OR LISTED
- △ STROBE
- ⊗ NEW EXIT LIGHT FIXTURE

ALL FIRE ALARM SYSTEM DESIGN PROVIDED BY PROTECTION PRO



## 1 REMOVALS FLOOR PLAN

REFERENCED FROM:

## 2 FLOOR PLAN

REFERENCED FROM:

SCALE: 1/4" = 1'-0"



## DOOR SCHEDULE

ROOM NAME	DOOR						FRAME		HARDWARE AND LOCK FUNCTION	MANUFACTURER	MODEL NO.	FINISH	LABEL	REMARKS
	NO.	SIZE			TYPE	MATERIAL	TYPE	MATERIAL						
		W	H	T										
ENTRANCE	99	EXISTING DOOR & FRAME TO REMAIN								NEW PANIC SET - 8700, SURFACE VERTICAL ROD EXIT DEVICE, EXISTING CLOSER AND KICKPLATE TO REMAIN	SARGENT	-	TO MATCH EXISTING	LEVER HARDWARE TO EXISTING DOOR, DOOR
SANCTUARY / MULTI-PURPOSE ROOM	101A	(2) 36"	80"	1 3/4"	HG	SOLID CORE WOOD		WOOD	PANIC SET - 8700, SURFACE VERTICAL ROD EXIT DEVICE, CLOSER, KICKPLATE	SARGENT	-	TO MATCH EXISTING	LEVER HARDWARE TO NEW DOOR, NEW WORK	
SANCTUARY / MULTI-PURPOSE ROOM	101B	(2) 36"	80"	1 3/4"	HG	SOLID CORE WOOD		WOOD	PANIC SET - 8700, SURFACE VERTICAL ROD EXIT DEVICE, CLOSER, KICKPLATE	SARGENT	-	TO MATCH EXISTING	LEVER HARDWARE TO NEW DOOR, NEW WORK	
SANCTUARY / MULTI-PURPOSE ROOM	101C	36"	80"	1 3/4"	HG	SOLID CORE WOOD		WOOD	PANIC SET - 8700, SURFACE VERTICAL ROD EXIT DEVICE, CLOSER, KICKPLATE	SARGENT	-	TO MATCH EXISTING	LEVER HARDWARE TO RELOCATED DOOR, NEW WORK	
CHILDREN'S ROOM 1	103	36"	80"	1 3/4"	FLUSH	SOLID CORE WOOD		WOOD	PUBLIC ENTRANCE 16, KICKPLATE	SARGENT	10-LINE	TO MATCH EXISTING	LEVER HARDWARE TO RELOCATED DOOR, NEW WORK	
TOILET	106	36"	80"	1 3/4"	FLUSH	SOLID CORE WOOD		WOOD	PRIVACY 85	SARGENT	10-LINE	TO MATCH EXISTING	LEVER HARDWARE TO RELOCATED DOOR, NEW WORK	
STORAGE	110	(2) 36"	80"	1 3/4"	FLUSH	SOLID CORE WOOD		WOOD	STOREROOM 04, SURFACE BOLTS, TOP AND BOTTOM STRIKES ON INACTIVE LEAF	SARGENT	10-LINE	TO MATCH EXISTING	LEVER HARDWARE TO NEW DOOR, NEW WORK	
CLOSET	111	28"	80"	1 3/4"	FLUSH	SOLID CORE WOOD		WOOD	STOREROOM 04	SARGENT	10-LINE	TO MATCH EXISTING	LEVER HARDWARE TO NEW DOOR, NEW WORK	
CORRIDOR	113	EXISTING DOOR & FRAME TO REMAIN								NEW PANIC SET - 8700, SURFACE VERTICAL ROD EXIT DEVICE, EXISTING CLOSER AND KICKPLATE TO REMAIN	SARGENT	-	TO MATCH EXISTING	LEVER HARDWARE TO EXISTING DOOR, DOOR

### NOTES:

1. HG = HALF GLASS - 24x36 TEMPERED GLASS LITE
2. EX = EXISTING DOOR, DOOR FRAME AND HARDWARE TO REMAIN
3. ALL NEW LEVER HARDWARE & FINISHES TO MATCH EXISTING

### 1 DOOR SCHEDULE

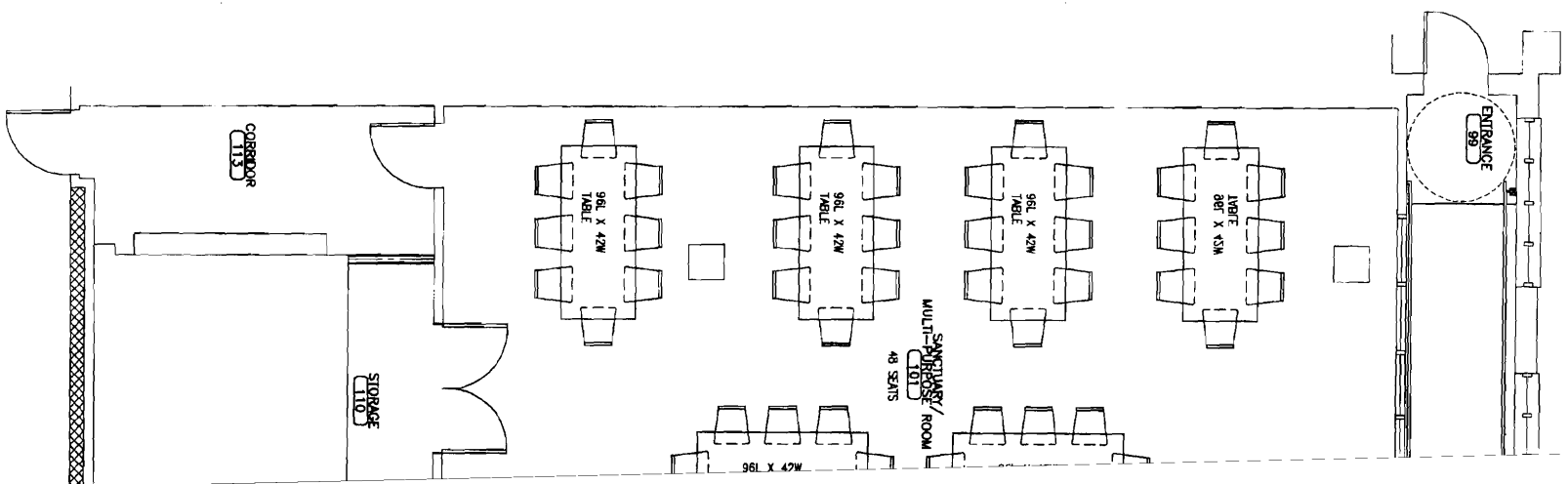
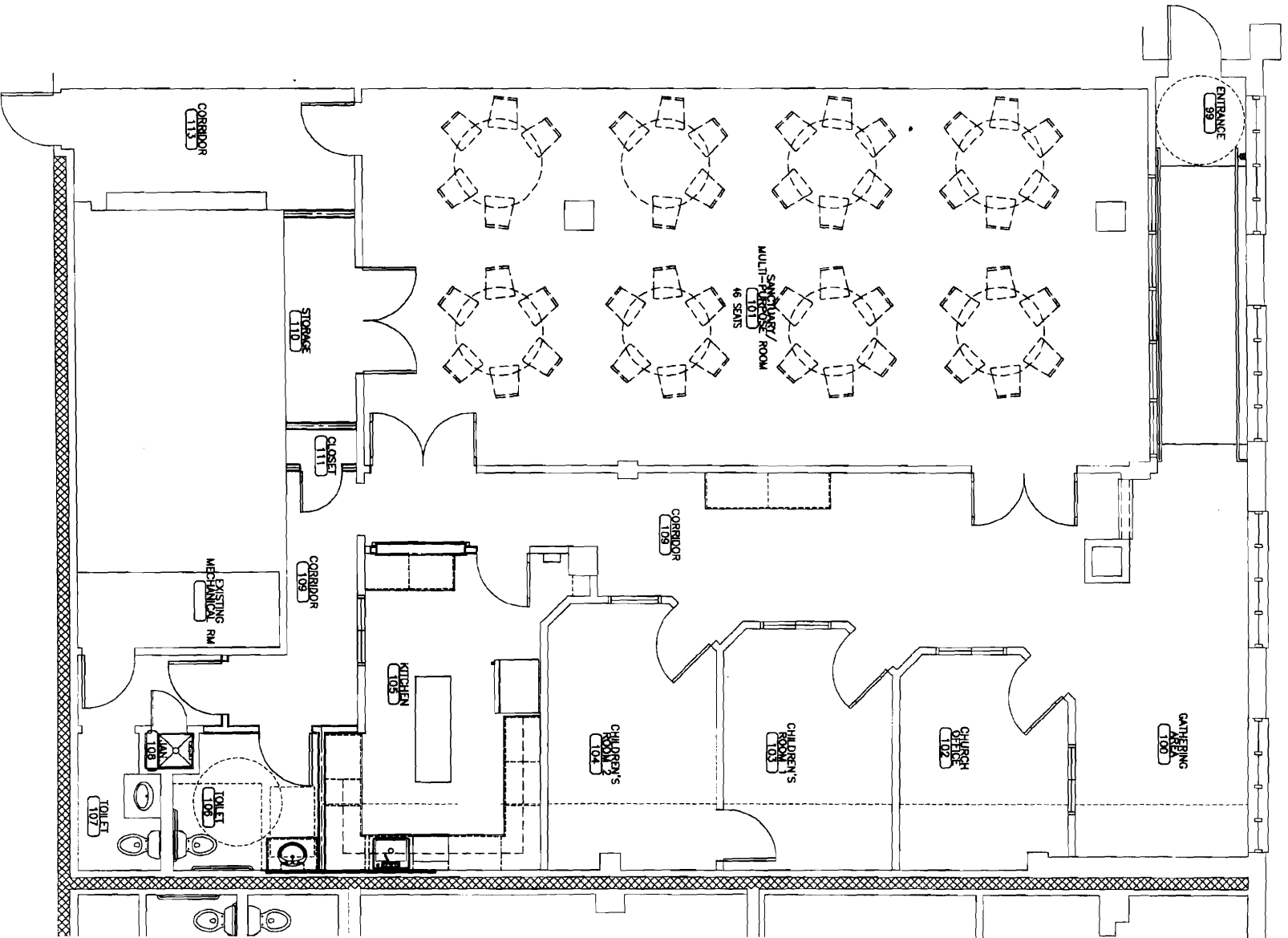
REFERENCED FROM:

PARTITION TYPE	WALL PARTITION SCHEDULE	
	GENERAL WALL DESCRIPTION	GENERAL PICTORIAL
①	<p>3 5/8" METAL STUDS @ 16" O.C. TO UNDERSIDE OF CEILING.</p> <p>BOTH SIDES: 5/8" TYPE "X" GWB TO FULL HEIGHT. CONTINUOUS 3 1/2" SOUND ATTENUATION BATTS.</p>	

### 4 WALL TYPE

REFERENCED FROM:

SCALE: 3/4" = 1'-0"



3

3' ROUND TABLES LAYOUT

REDUCED FROM:

SCALE: 1/4" = 1'-0"

4

3' RECTANGULAR TABLES LAYOUT

REDUCED FROM: