

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that 511 PLAZA, LP

Located At 511 CONGRESS ST

Job ID: 2011-09-2326-ALTCOMM

CBL: 037- D-002-001

has permission to Make interior alterations on 2nd & 4th floors for tenant fit up for AMEC provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupanecy is required, it must be

Fire Prevention Officer

[Signature] 10/13/11
Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

closed

SCANNED

11-3-11 DWU/BKL Bldg close-in 4th floor only
Elec to be plenum rated

12-15-11 DWU/BKL close-in 2nd floor OK

1-3-12 DWU/BKL Final OK



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Date 2011 09 23 26

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>511 Congress St 2nd Floor, 4th Floor</u>		
Total Square Footage of Proposed Structure/Area <u>11,500 SF (FLOOR AREA)</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>037 0002001</u>	Applicant *must be owner, Lessee or Buyer* Name <u>511 PLAZA, LP %</u> Address <u>CBRE/BOULOS 04101</u> City, State & Zip <u>1 CANAL PLAZA</u>	Telephone: <u>871-1290</u>
Lessee/DBA (If Applicable) <u>AMEC (consolidated with MACTEC, EXISTING TENANT IN BUILDING)</u>	Owner (if different from Applicant) Name Address <u>N/A</u> City, State & Zip	Cost Of Work: \$ <u>220,000⁰⁰</u> C of O Fee: \$ _____ Total Fee: \$ <u>2,220</u> ^{ESTIMATED}
Current legal use (i.e. single family) <u>OFFICE</u> If vacant, what was the previous use? <u>OFFICE</u> Proposed Specific use: <u>OFFICES FOR AMEC</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>o TENANT IMPROVEMENTS PER THE ATTACHED PLANS.</u> <u>o UPDATE FINISHES & FIXTURES IN BATHROOMS ON THE 4th FLOOR.</u>		
Contractor's name: <u>CBRE/BOULOS</u> Address: <u>1 CANAL PLAZA</u> City, State & Zip <u>PORTLAND 04101</u> Telephone: <u>871-1290</u> Who should we contact when the permit is ready: <u>PAUL URENECH</u> Telephone: <u>733-1172</u> Mailing address: <u>SAME</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Paul Urenech Date: 9/13/11

This is not a permit; you may not commence ANY work until the permit is issue

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Close In Elec/Plmb/Frame prior to insulate or gyp

2. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-09-2326-ALTCOMM

Located At: 511 CONGRESS ST

CBL: 037- D-002-001

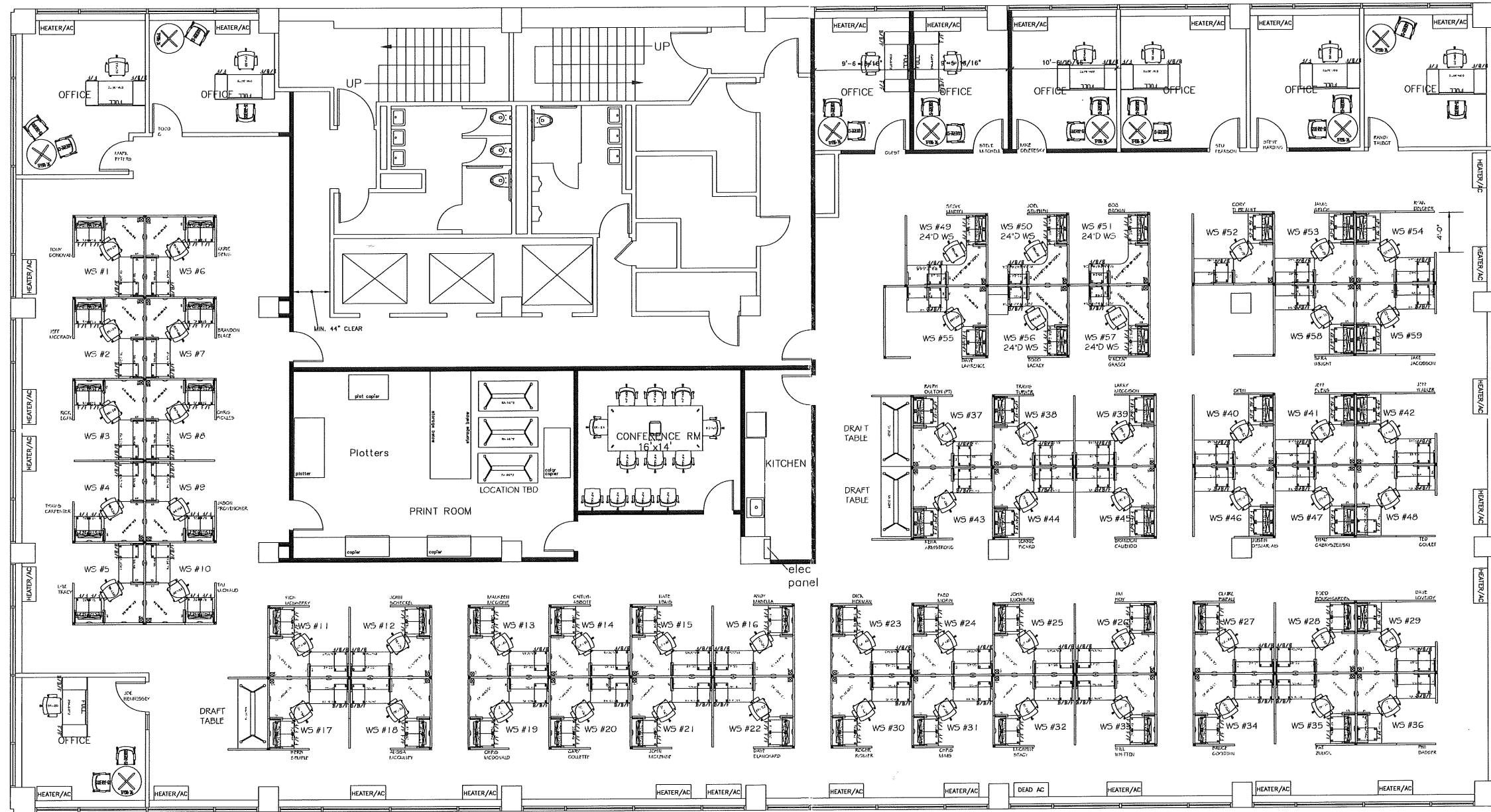
Conditions of Approval:

Building:

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

Fire:

1. All construction shall comply with City Code Chapter 10.
2. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
3. Fire extinguishers are required. Installation per NFPA 10.
4. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model.
5. A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads.
6. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
7. Non-combustible construction of this structure requires all construction to be Non-combustible.
8. Any cutting and welding done will require a Hot Work Permit from Fire Department.
9. The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.



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OCT 13 2011

511 CONGRESS STREET
 Fourth Floor - July 18, 2011
 Scale: 3/16"=1'-0"

NOTES:

NOTES:

REVISION DATE: FOR REVIEW
 REVISION DESCRIPTION: BY L. ROGERS 5/26/11

PROJECT: AMEC
 FOURTH FLOOR
 511 CONGRESS STREET
 PORTLAND, ME

PROJECT: FURNITURE LAYOUT
 DATE: 5/28/11
 PROJECT#: 100942

DRAWN BY: J. SMITH
 CHECKED BY: PAGE
 NOT FOR CONSTRUCTION
 SCALE: 1/8"=1'-0"
 INSTALL: JAC-BUILT

Environments at Work
 FRESH THINKING IN THE WORKSPACE
 300 A Street
 Suite 4 MA 02210
 Phone: 617-890-5300
 Fax: 617-890-5310

GENERAL NOTES

GENERAL ARCHITECTURAL NOTES

1. ALL DIMENSIONS GIVEN TO FACE OF MTL STUD.
2. ALL EXISTING PARTITIONS, NOT IN CONTRACT, TO BE PATCHED AND PREPARED TO RECEIVE NEW FINISHES WHEN INTERSECTED WITH NEW PARTITIONS WITHIN SCOPE OF CURRENT WORK. ALL NEW PARTITIONS TO INCLUDE FIBERGLASS BATT INSULATION IN WALLS AND ONE STRIP OF BATT STRADDLING PARTITION ABOVE CEILING LEVEL.
3. CONTRACTOR TO PROVIDE BLOCKING CONCEALED WITHIN PARTITION FOR SECURE ATTACHMENT OF MILLWORK CONSTRUCTION AND EQUIPMENT.
4. ALL DOOR OPENINGS TO BE PRE-FINISHED. OFFSET 6" FROM FINISH FACE OF PERPENDICULAR PARTITION, U.N.O.
5. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE, AND IN PROPER ALIGNMENT.
6. ALL DOORS SHALL HAVE 1'-6" CLEAR ON STRIKE SIDE OF DOOR.
7. RELOCATE EXISTING SECURITY, FIRE SAFETY, ELECTRICAL/ TELE/ DATA DEVICES TO ADJOINING OR ADJACENT WALL, U.N.O (SEE PLAN FOR SPECIFIC LOCATIONS).

GENERAL DEMOLITIONS NOTES

1. IN AREA OF WORK, G.C. SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL EXISTING CONSTRUCTION WHICH IS TO REMAIN.
2. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT WITH THE ARCHITECT BEFORE PROCEEDING.
3. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON THE DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
4. REMOVE ALL PARTITIONS, DOORS, FINISHES, FIXTURES AND EQUIPMENT INDICATED BY DASHED LINES TYP.
5. CONTRACTOR TO REMOVE AND DISPOSE OF ALL CARPET AND LEAVE ALL VCT. CONTRACTOR TO TRENCH AND BACKFILL EXISTING SLAB FOR NEW PLUMBING FIXTURES. PREP AND NEW FLOOR FINISHES BY OTHERS.
6. CONTRACTOR TO PREPARE EXISTING SLAB AS REQUIRED FOR NEW FLOOR FINISHES.
7. ANY/ ALL EXISTING FIREPROOFING FOUND ON EXISTING STRUCTURE (COLUMNS, BEAMS, SLAB) SHALL BE PROTECTED & REMAIN INTACT.
8. IN PARTITIONS TO BE REMOVED - REMOVE AND CAP ALL ELECTRICAL OUTLETS, SWITCHES, THERMOSTATS, WIRES, ETC. TO THEIR SOURCE AS REQUIRED IN ACCORDANCE WITH ALL STATE AND LOCAL CODES.
9. CONTRACTOR TO REMOVE ALL DEBRIS FROM SITE AND DISPOSE OF PER ALL STATE AND LOCAL ORDINANCES.
10. SALVAGE ALL SECURITY, FIRE/SAFETY, ELECTRICAL/ TELE/ DATA DEVICES TO BE RELOCATED. REFER TO ARCHITECTURAL NOTES FOR MORE INFORMATION.
11. PROTECT ALL FINISHES, MILLWORK, FURNITURE, EQUIPMENT, ETC. THAT IS TO REMAIN. SECTION OFF AREAS WITH PROPER DUST BARRIERS DURING DEMOLITION.

GENERAL ELECTRICAL NOTES

1. ALL ELECTRICAL INSTALLATIONS AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AS AMENDED, (nfpa 70) OR THE STANDARD BUILDING CODE OF MAINE, LATEST EDITION.
2. ELECTRICAL WORK FOR THE PROJECT INCLUDES REPLACEMENT/ RELOCATION OF EXISTING FIXTURES AS WELL AS SUPPLYING AND INSTALLING NEW FIXTURES AS REQUIRED, TO EXISTING AND NEW CIRCUITS; RELOCATING EXISTING CIRCUIT AND WIRING; TYING NEW DUPLEX OUTLETS TO EXISTING POWER AND/OR LIGHTING CIRCUITS, AND NEW LIGHTING AND POWER FOR NEW SPACES AS REQUIRED.
3. ALL SWITCHES, RECEPTACLES AND OTHER ELECTRICAL LOCATIONS SHALL BE COORDINATED WITH ALL OTHER TRADES.
4. ALL SWITCHES CONTROLLING WIRING SHALL BE MOUNTED 48" AFF.
5. GROUNDING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, UTILITY COMPANY AND ALL AUTHORITIES HAVING JURISDICTION.
6. PROVIDE GROUND FAULT INTERRUPTION (GFI) RECEPTACLES AS PER NEC.
7. FURNISH ROUGH WIRING AND FINAL ACCEPTANCE CERTIFICATE FROM AUTHORITY PERFORMING INSPECTIONS.

GENERAL PLUMBING NOTES

1. ALL WORK SHALL INCLUDE LABOR, MATERIALS AND SERVICES REQUIRED TO COMPLETE THE PLUMBING AND SPRINKLER INSTALLATION.
2. ALL WORK SHALL CONFORM TO THE STANDARDS OF THE MAINE STATE INTERNAL PLUMBING CODE, AND SUBSEQUENT AMENDMENTS. ALL LICENSES AND PERMITS REQUIRED TO BE OBTAINED AND PAID FOR BY THE PLUMBING CONTRACTOR.
3. ALL PLUMBING TO BE TESTED AS PER THE LOCAL AUTHORITY AND STATE CODE.

GENERAL HVAC NOTES

1. HVAC WORK INCLUDES REMOVAL AND RELOCATION OF EXISTING DUCTWORK, DIFFUSERS AND RETURNS AS WELL AS, SUPPLY AND INSTALLATION OF ADDITIONAL DUCTWORK, DIFFUSERS AND RETURNS AS REQUIRED TO ACCOMMODATE NEW TENANT'S USE. COMFORT RE-BALANCE OF COMPLETED DUCTWORK LAYOUT. NO NEW UNIT INSTALLATIONS ARE TO OCCUR ON THE PROJECT.
2. COMPLY WITH LOCAL HEATING CODES AND REGULATIONS.
3. BALANCE SYSTEMS AT OR NEAR DESIGN CONDITIONS DURING THE FIRST HEATING SEASON AND COOLING SEASON.
4. INSTALLATION SHALL BE QUIET. GUARANTEE SATISFACTORY AIR CIRCULATION AND ACCEPTABLE NOISE LEVELS.
5. G.C. IS NOT RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF RTU.

INDEX

- A1.00 COVER/GENERAL NOTE
- D1.01 DEMOLITION PLAN
- A1.01 PROPOSED 2nd FLOOR PLAN
- A1.02 PROPOSED 4th FLOOR PLAN
- A1.03 DETAILS

PROJECT DATA

CODE: INTERNATIONAL BUILDING CODE

EDITION: 2009

AMENDMENTS: OCT 10, 2010

PROJECT NAME: 511 4th Floor Renovation

PROJECT ADDRESS: 511 Congress Street, Portland, ME

MAP AND LOT: - MAP:37 - BLOCK:D - LOT:2

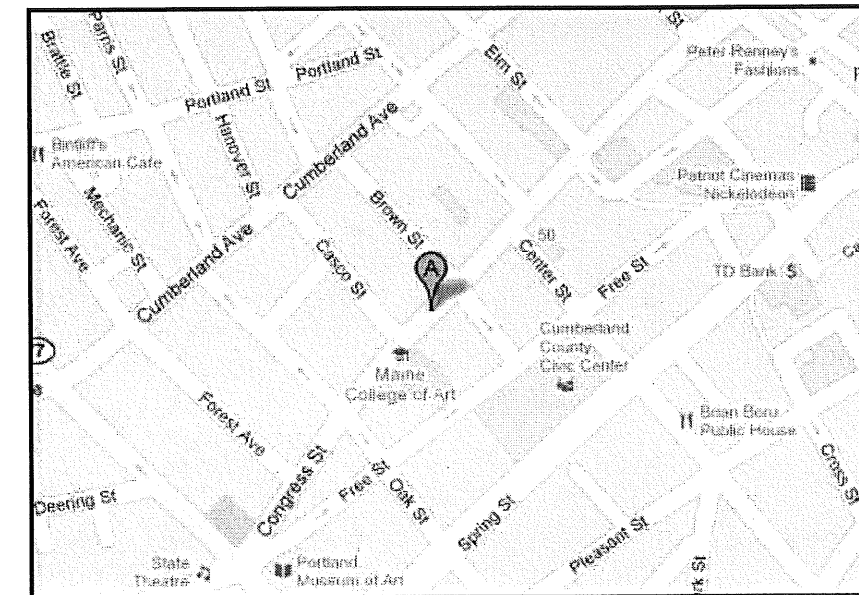
ZONING CLASSIFICATION: B4-Commercial Business

OCCUPANCY TYPE: B

NUMBER OF STORIES: - 9

FULLY SPRINKLED

PROJECT LOCATION



ARCHITECTS NOTE

NOTE: LIFE SAFETY, ELECTRICAL & HVAC LAYOUT DIAGRAMS CONTAINED IN THESE DOCUMENTS ARE FOR DESIGN INTENT AND THE COORDINATION WITH PROPOSED BUILDING LAYOUT AND FF&E ITEMS. ELECTRICAL & HVAC SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PERMIT DOCUMENTS OR ENGINEERING REQUIRED AND SHALL COORDINATE FINAL LOCATIONS WITH ARCHITECT, OWNER, CONSTRUCTION MANAGER, AND LOCAL CODE ENFORCEMENT OFFICIAL PRIOR TO COMPLETION OF ROUGH-IN.



GRAHAM ARCHITECTS
1 CANAL PLAZA
SUITE 500
PORTLAND, MAINE
04046
207.232.9256

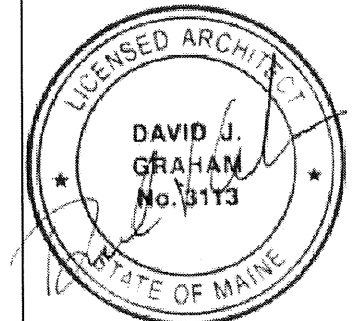
WWW.GRAHAMARCHITECTS.COM

PROJECT

511 Congress Street
4th Floor
Portland, Maine

CLIENT

AMEC
Portland, ME 04101



INFORMATION

Path: m:\boulos\511 congress\dwgl

Issue Date: 09/14/11

Drawn By: DG

Checked By: DG

Revision:

- 1.
- 2.
- 3.
- 4.

TITLE

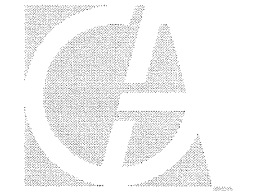
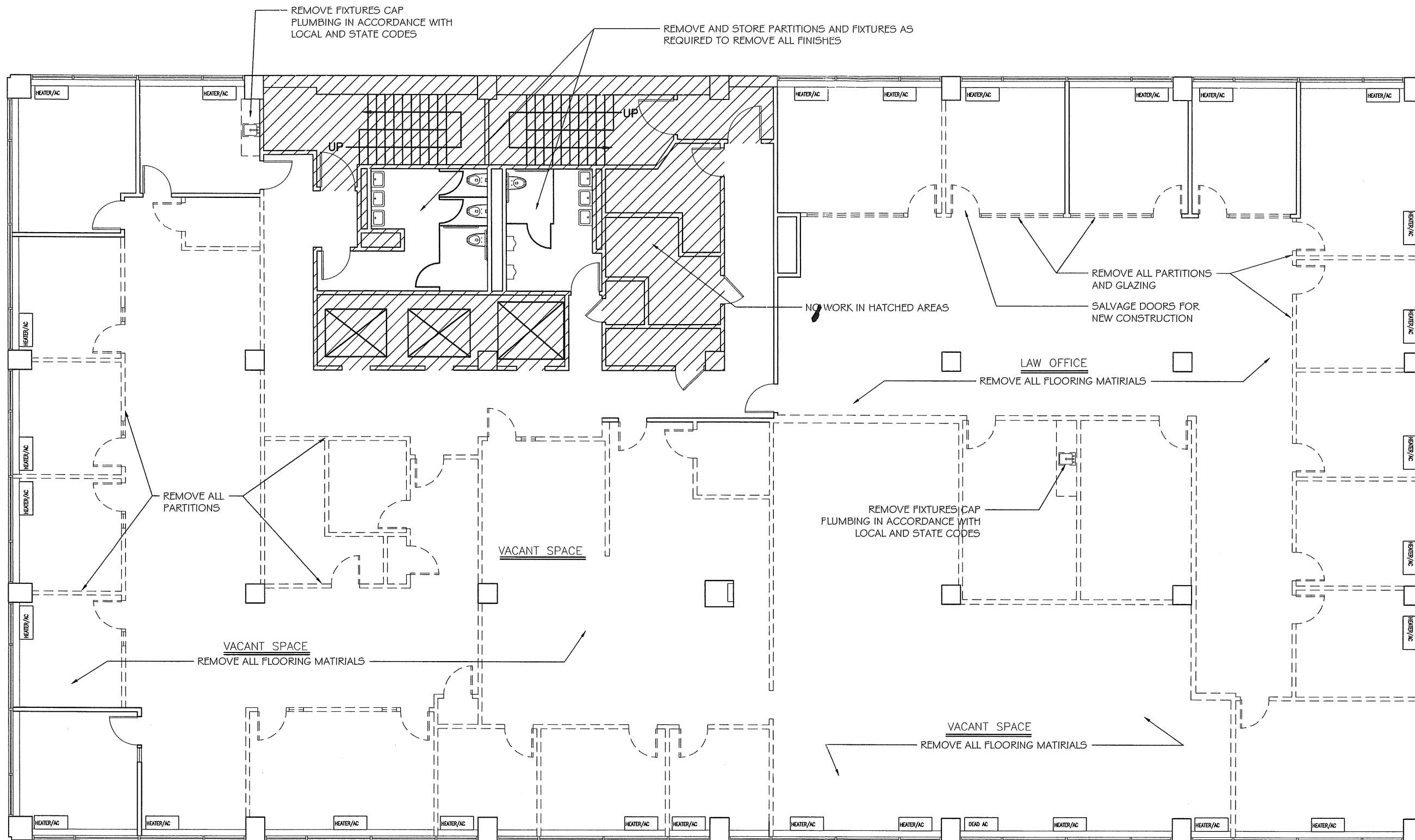
Title Sheet

SCALE

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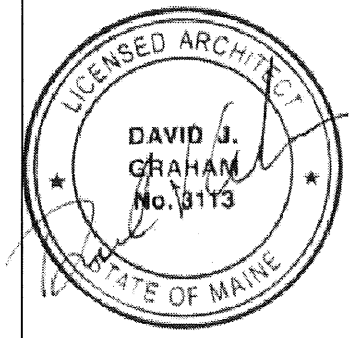
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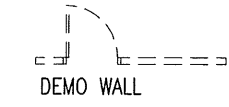
PROJECT
 511 Congress Street
 4th Floor
 Portland, Maine

CLIENT
 AMEC
 Portland, ME 04101



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 Checked By: DG
 Revision:
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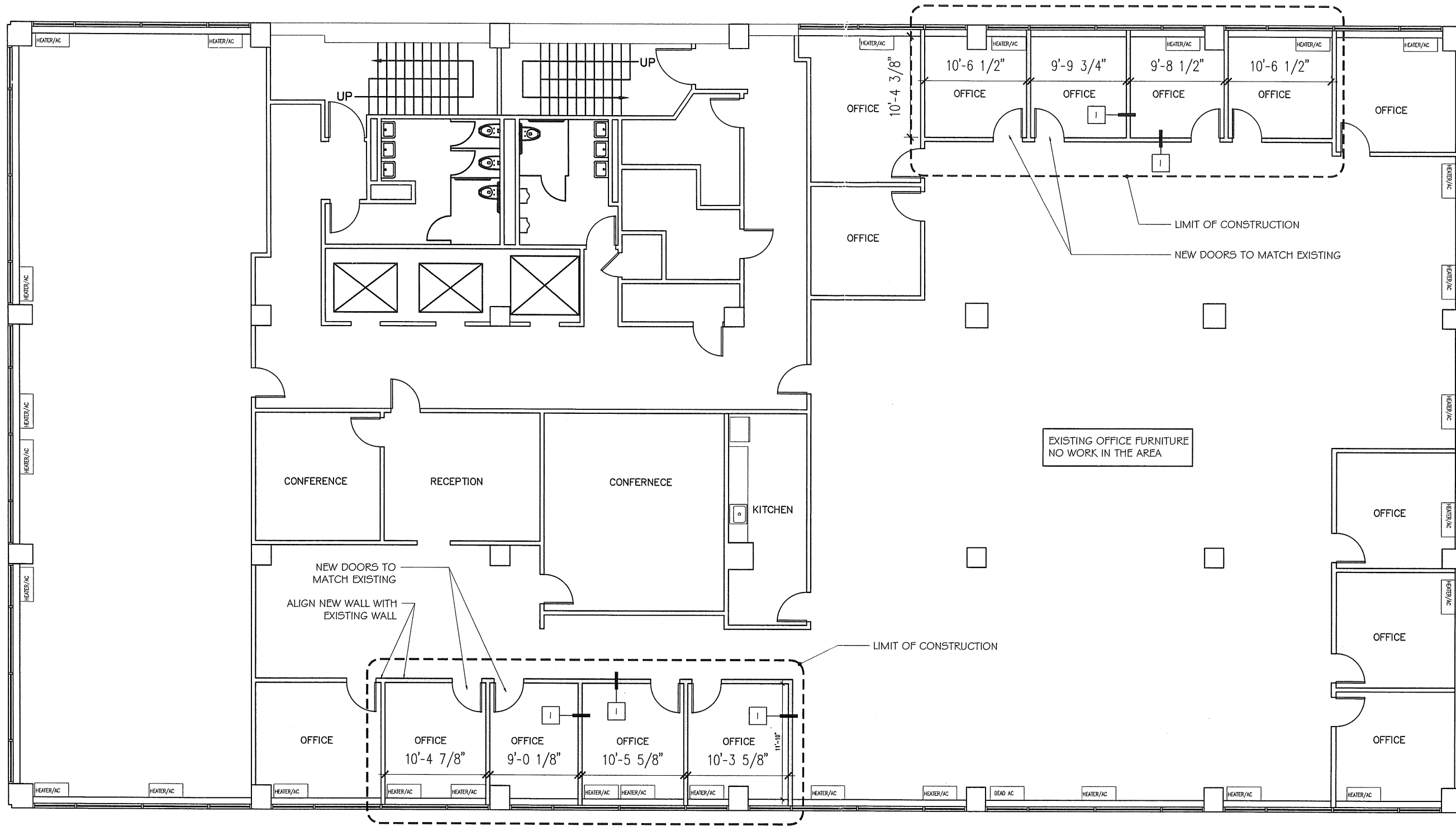
1 Fourth Floor Demo Plan
 SCALE: 3/32"=1'-0"



TITLE
 Demo Plan
 SCALE
 3/32"=1'-0"

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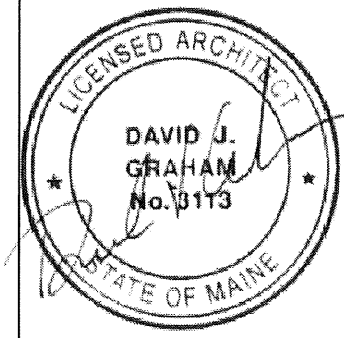
D1.01



1 Second Floor Proposed Plan
 SCALE: 3/32"=1'-0"
 NEW WALL CONSTRUCTION

PROJECT
 511 Congress Street
 4th Floor
 Portland, Maine *2nd*

CLIENT
 AMEC
 Portland, ME 04101



INFORMATION
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 Issue Date: 09/14/11
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 Revision:
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 2.
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 4.

TITLE
 Proposed Floor Plan
 SCALE
 3/32"=1'-0"

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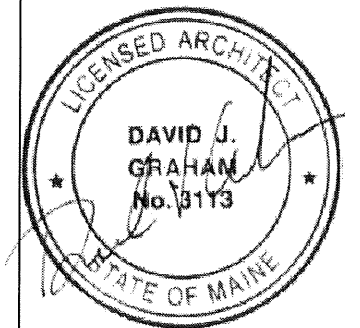


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 1 CANAL PLAZA
 SUITE 500
 PORTLAND, MAINE 04048
 207.232.9256

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PROJECT
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 4th Floor
 Portland, Maine

CLIENT
 AMEC
 Portland, ME 04101

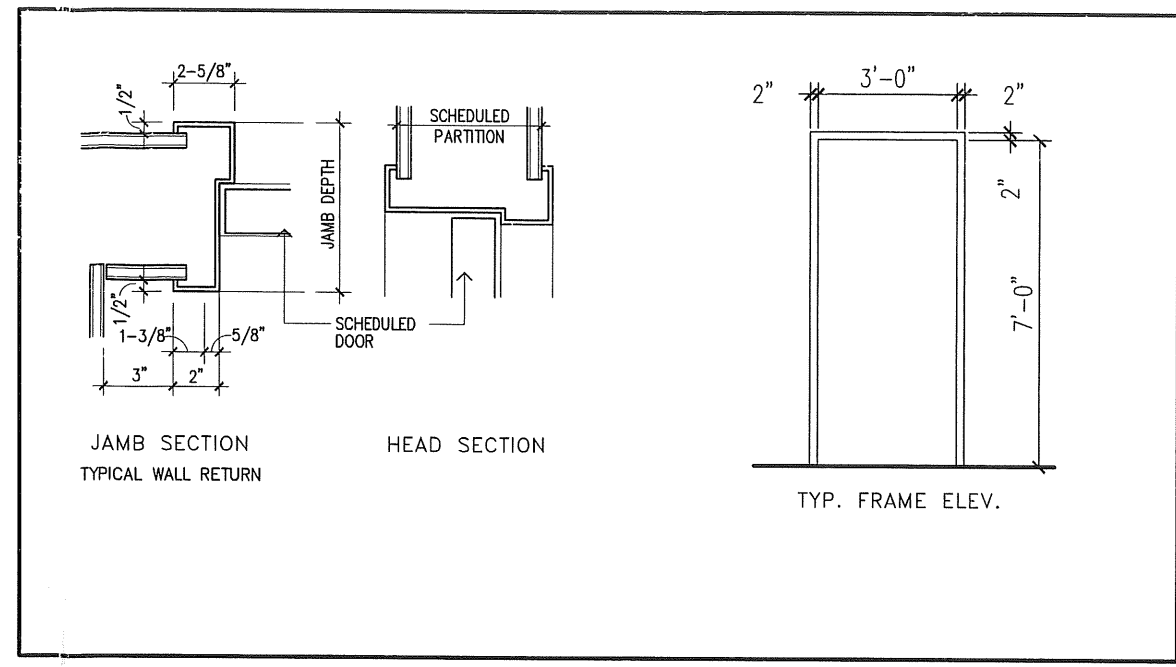


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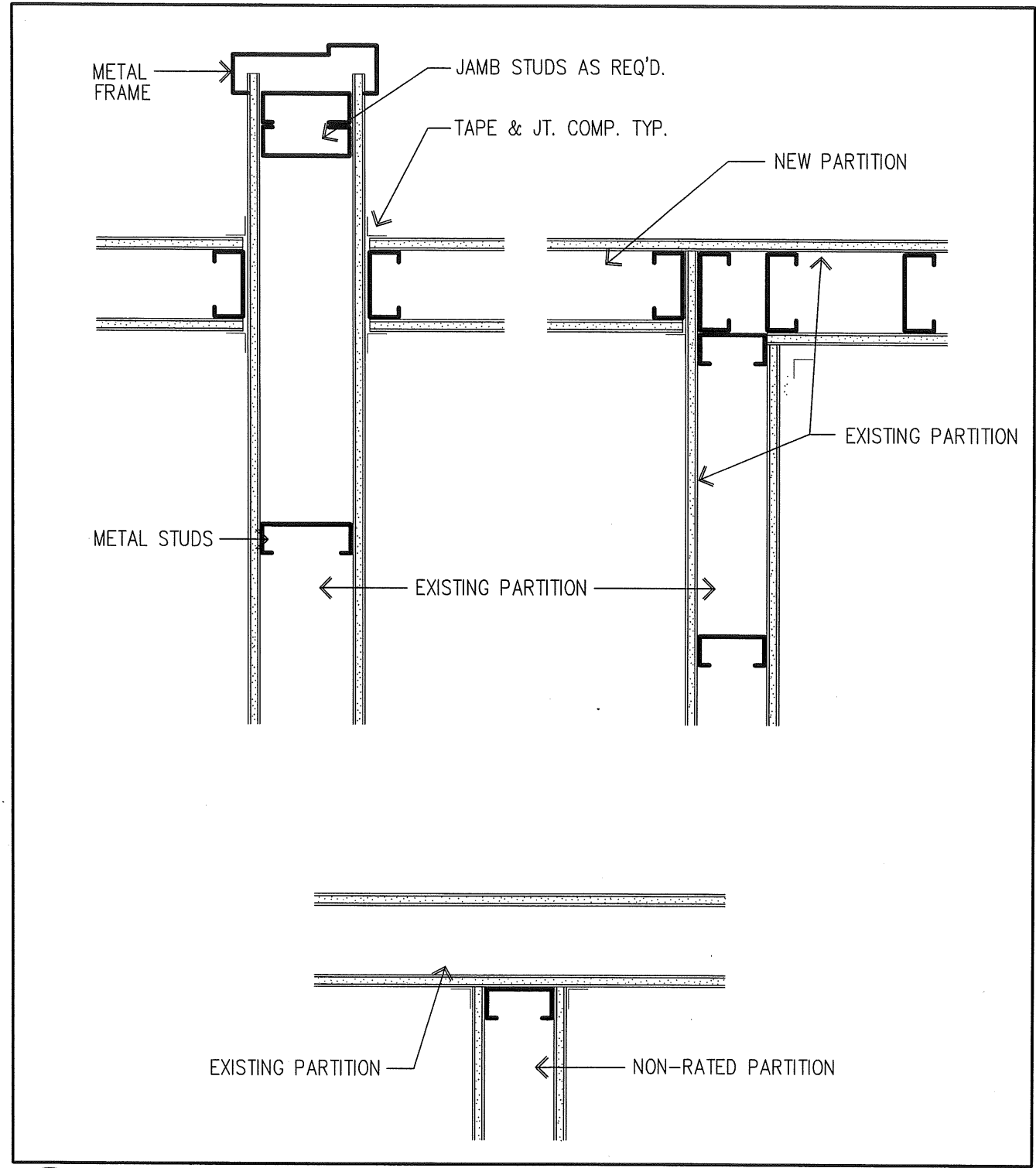
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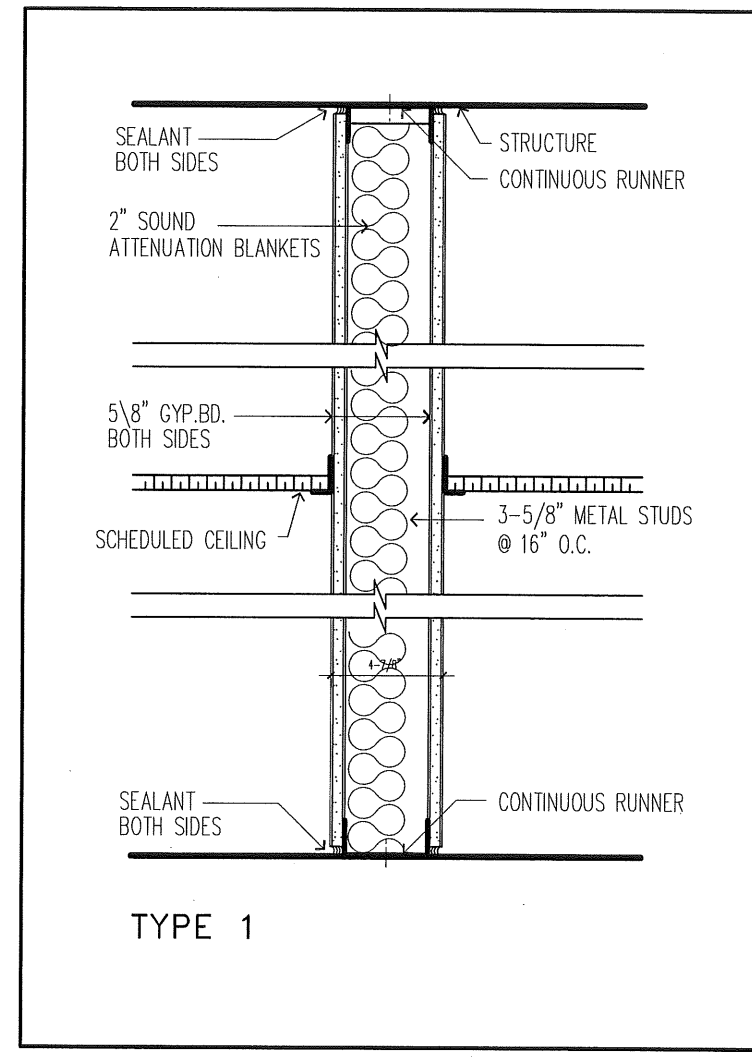
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2 TYPICAL DOOR JAMB & FRAME
 SCALE: N.T.S.



3 TYPICAL WALL CONNECTIONS
 SCALE: N.T.S.



1 WALL TYPE
 SCALE: 3"=1'-0"

TYPE 1