

RECEIVED
OCT 13 2011
Dept. of Building Inspections
City of Portland Maine

511 CONGRESS STREET
Fourth Floor - July 18, 2011
Scale: 3/16"=1'-0"

Environments at Work <small>BEYOND THINKING IN THE WORKSPACE</small> 300 A. Street Boston, MA 02210 Phone: 617-830-5300 Fax: 617-830-5310	PROJECT: AMCC FOURTH FLOOR 511 CONGRESS STREET PORTLAND, ME	DATE: 02/07/11 DRAWN BY: J. SMITH CHECKED BY: PAGE SCALE: 1/4" = 1'-0" NOT FOR CONSTRUCTION	DATE: 07/18/11 DRAWN BY: J. SMITH CHECKED BY: PAGE SCALE: 1/4" = 1'-0" NOT FOR CONSTRUCTION	DATE: 07/18/11 DRAWN BY: J. SMITH CHECKED BY: PAGE SCALE: 1/4" = 1'-0" NOT FOR CONSTRUCTION	DATE: 07/18/11 DRAWN BY: J. SMITH CHECKED BY: PAGE SCALE: 1/4" = 1'-0" NOT FOR CONSTRUCTION
	REVISION DATE: 07/18/11 REVISION DESCRIPTION: BY LADDER'S GREG/T FOR REVIEW:	NOTES:	NOTES:	NOTES:	NOTES:

GENERAL NOTES

GENERAL ARCHITECTURAL NOTES

1. ALL DIMENSIONS GIVEN TO FACE OF MTL STUD.
2. ALL EXISTING PARTITIONS, NOT IN CONTRACT, TO BE PATCHED AND PREPARED TO RECEIVE NEW FINISHES WHEN INTERSECTED WITH NEW PARTITIONS WITHIN SCOPE OF CURRENT WORK. ALL NEW PARTITIONS TO INCLUDE FIBERGLASS BATT INSULATION IN WALLS AND ONE STRIP OF BATT STRADDLING PARTITION ABOVE CEILING LEVEL.
3. CONTRACTOR TO PROVIDE BLOCKING CONCEALED WITHIN PARTITION FOR SECURE ATTACHMENT OF MILLWORK CONSTRUCTION AND EQUIPMENT.
4. ALL DOOR OPENINGS TO BE PRE-FINISHED. OFFSET 6" FROM FINISH FACE OF PERPENDICULAR PARTITION, U.N.O.
5. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE, AND IN PROPER ALIGNMENT.
6. ALL DOORS SHALL HAVE 1'-6" CLEAR ON STRIKE SIDE OF DOOR.
7. RELOCATE EXISTING SECURITY, FIRE SAFETY, ELECTRICAL/ TELE/ DATA DEVICES TO ADJOINING OR ADJACENT WALL, U.N.O (SEE PLAN FOR SPECIFIC LOCATIONS).

GENERAL DEMOLITIONS NOTES

1. IN AREA OF WORK, G.C. SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL EXISTING CONSTRUCTION WHICH IS TO REMAIN.
2. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT WITH THE ARCHITECT BEFORE PROCEEDING.
3. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON THE DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
4. REMOVE ALL PARTITIONS, DOORS, FINISHES, FIXTURES AND EQUIPMENT INDICATED BY DASHED LINES TYP.
5. CONTRACTOR TO REMOVE AND DISPOSE OF ALL CARPET AND LEAVE ALL VCT. CONTRACTOR TO TRENCH AND BACKFILL EXISTING SLAB FOR NEW PLUMBING FIXTURES. PREP AND NEW FLOOR FINISHES BY OTHERS.
6. CONTRACTOR TO PREPARE EXISTING SLAB AS REQUIRED FOR NEW FLOOR FINISHES.
7. ANY/ ALL EXISTING FIREPROOFING FOUND ON EXISTING STRUCTURE (COLUMNS, BEAMS, SLAB) SHALL BE PROTECTED & REMAIN INTACT.
8. IN PARTITIONS TO BE REMOVED - REMOVE AND CAP ALL ELECTRICAL OUTLETS, SWITCHES, THERMOSTATS, WIRES, ETC. TO THEIR SOURCE AS REQUIRED IN ACCORDANCE WITH ALL STATE AND LOCAL CODES.
9. CONTRACTOR TO REMOVE ALL DEBRIS FROM SITE AND DISPOSE OF PER ALL STATE AND LOCAL ORDINANCES.
10. SALVAGE ALL SECURITY, FIRE/SAFETY, ELECTRICAL/ TELE/ DATA DEVICES TO BE RELOCATED. REFER TO ARCHITECTURAL NOTES FOR MORE INFORMATION.
11. PROTECT ALL FINISHES, MILLWORK, FURNITURE, EQUIPMENT, ETC. THAT IS TO REMAIN. SECTION OFF AREAS WITH PROPER DUST BARRIERS DURING DEMOLITION.

GENERAL ELECTRICAL NOTES

1. ALL ELECTRICAL INSTALLATIONS AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AS AMENDED, (nfpa 70) OR THE STANDARD BUILDING CODE OF MAINE, LATEST EDITION.
2. ELECTRICAL WORK FOR THE PROJECT INCLUDES REPLACEMENT/ RELOCATION OF EXISTING FIXTURES AS WELL AS SUPPLYING AND INSTALLING NEW FIXTURES AS REQUIRED, TO EXISTING AND NEW CIRCUITS; RELOCATING EXISTING CIRCUIT AND WIRING; TYING NEW DUPLEX OUTLETS TO EXISTING POWER AND/OR LIGHTING CIRCUITS, AND NEW LIGHTING AND POWER FOR NEW SPACES AS REQUIRED.
3. ALL SWITCHES, RECEPTACLES AND OTHER ELECTRICAL LOCATIONS SHALL BE COORDINATED WITH ALL OTHER TRADES.
4. ALL SWITCHES CONTROLLING WIRING SHALL BE MOUNTED 48" AFF.
5. GROUNDING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, UTILITY COMPANY AND ALL AUTHORITIES HAVING JURISDICTION.
6. PROVIDE GROUND FAULT INTERRUPTION (GFI) RECEPTACLES AS PER NEC.
7. FURNISH ROUGH WIRING AND FINAL ACCEPTANCE CERTIFICATE FROM AUTHORITY PERFORMING INSPECTIONS.

GENERAL PLUMBING NOTES

1. ALL WORK SHALL INCLUDE LABOR, MATERIALS AND SERVICES REQUIRED TO COMPLETE THE PLUMBING AND SPRINKLER INSTALLATION.
2. ALL WORK SHALL CONFORM TO THE STANDARDS OF THE MAINE STATE INTERNAL PLUMBING CODE, AND SUBSEQUENT AMENDMENTS. ALL LICENSES AND PERMITS REQUIRED TO BE OBTAINED AND PAID FOR BY THE PLUMBING CONTRACTOR.
3. ALL PLUMBING TO BE TESTED AS PER THE LOCAL AUTHORITY AND STATE CODE.

GENERAL HVAC NOTES

1. HVAC WORK INCLUDES REMOVAL AND RELOCATION OF EXISTING DUCTWORK, DIFFUSERS AND RETURNS AS WELL AS, SUPPLY AND INSTALLATION OF ADDITIONAL DUCTWORK, DIFFUSERS AND RETURNS AS REQUIRED TO ACCOMMODATE NEW TENANT'S USE. COMFORT RE-BALANCE OF COMPLETED DUCTWORK LAYOUT. NO NEW UNIT INSTALLATIONS ARE TO OCCUR ON THE PROJECT.
2. COMPLY WITH LOCAL HEATING CODES AND REGULATIONS.
3. BALANCE SYSTEMS AT OR NEAR DESIGN CONDITIONS DURING THE FIRST HEATING SEASON AND COOLING SEASON.
4. INSTALLATION SHALL BE QUIET. GUARANTEE SATISFACTORY AIR CIRCULATION AND ACCEPTABLE NOISE LEVELS.
5. G.C. IS NOT RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF RTU.

INDEX

A1.00	COVER/GENERAL NOTE
D1.01	DEMOLITION PLAN
A1.01	PROPOSED 2nd FLOOR PLAN
A1.02	PROPOSED 4th FLOOR PLAN
A1.03	DETAILS

PROJECT DATA

CODE: INTERNATIONAL BUILDING CODE

EDITION: 2009

AMENDMENTS: OCT 10, 2010

PROJECT NAME: 511 4th Floor Renovation

PROJECT ADDRESS: 511 Congress Street, Portland, ME

MAP AND LOT: - MAP:37 - BLOCK:D - LOT:2

ZONING CLASSIFICATION: B4-Commercial Business

OCCUPANCY TYPE: B

NUMBER OF STORIES: - 9

FULLY SPRINKLED

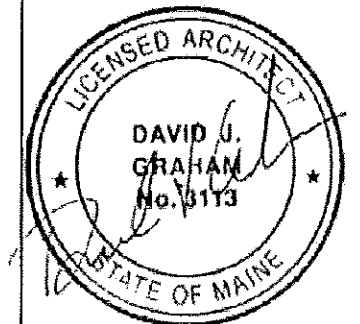


PROJECT

511 Congress Street
4th Floor
Portland, Maine

CLIENT

AMEC
Portland, ME 04101



INFORMATION

Path: m:\boulos\511 congress\dwg1

Issue Date: 09/14/11

Drawn By: DG

Checked By: DG

Revision:

- 1.
- 2.
- 3.
- 4.

TITLE

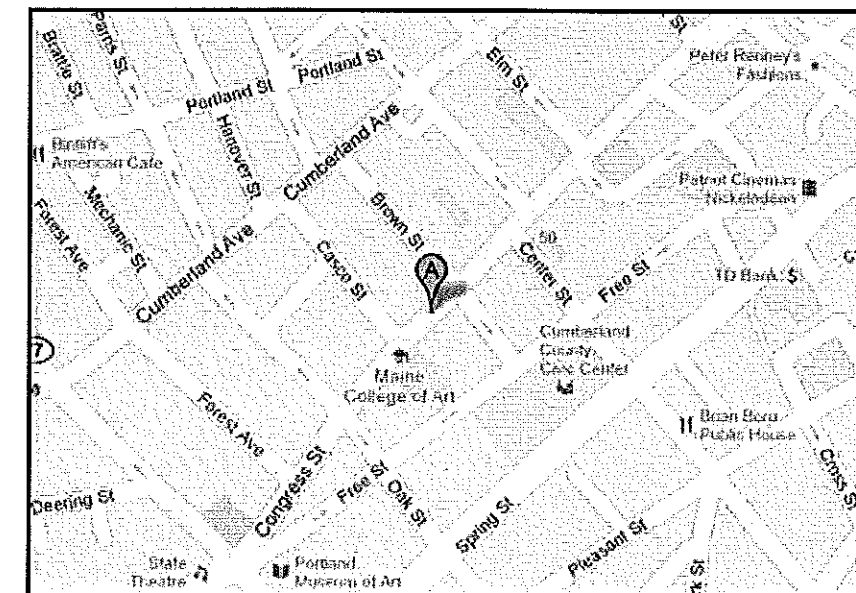
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SCALE

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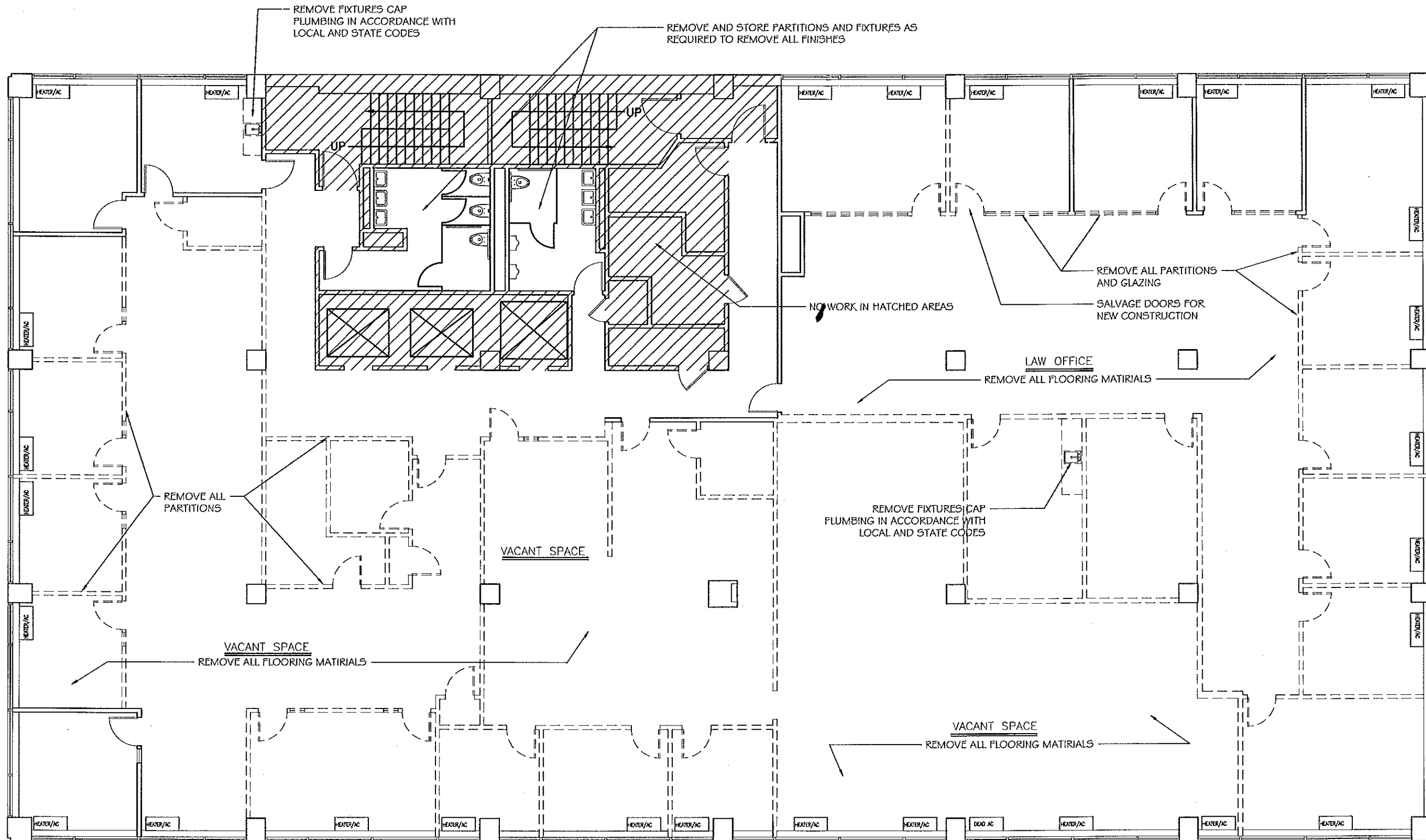
PROJECT LOCATION



ARCHITECTS NOTE

NOTE: LIFE SAFETY, ELECTRICAL & HVAC LAYOUT DIAGRAMS CONTAINED IN THESE DOCUMENTS ARE FOR DESIGN INTENT AND THE COORDINATION WITH PROPOSED BUILDING LAYOUT AND FF&E ITEMS. ELECTRICAL & HVAC SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PERMIT DOCUMENTS OR ENGINEERING REQUIRED AND SHALL COORDINATE FINAL LOCATIONS WITH ARCHITECT, OWNER, CONSTRUCTION MANAGER, AND LOCAL CODE ENFORCEMENT OFFICIAL PRIOR TO COMPLETION OF ROUGH-IN.

A1.00



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1 DANAL PLAZA
SUITE 500
PORTLAND, MAINE
04106
207.232.9256

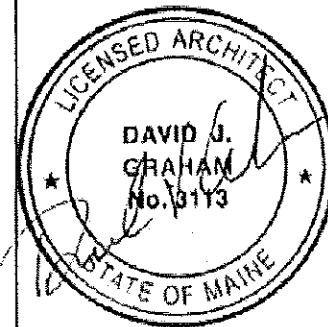
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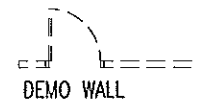
Demo Plan

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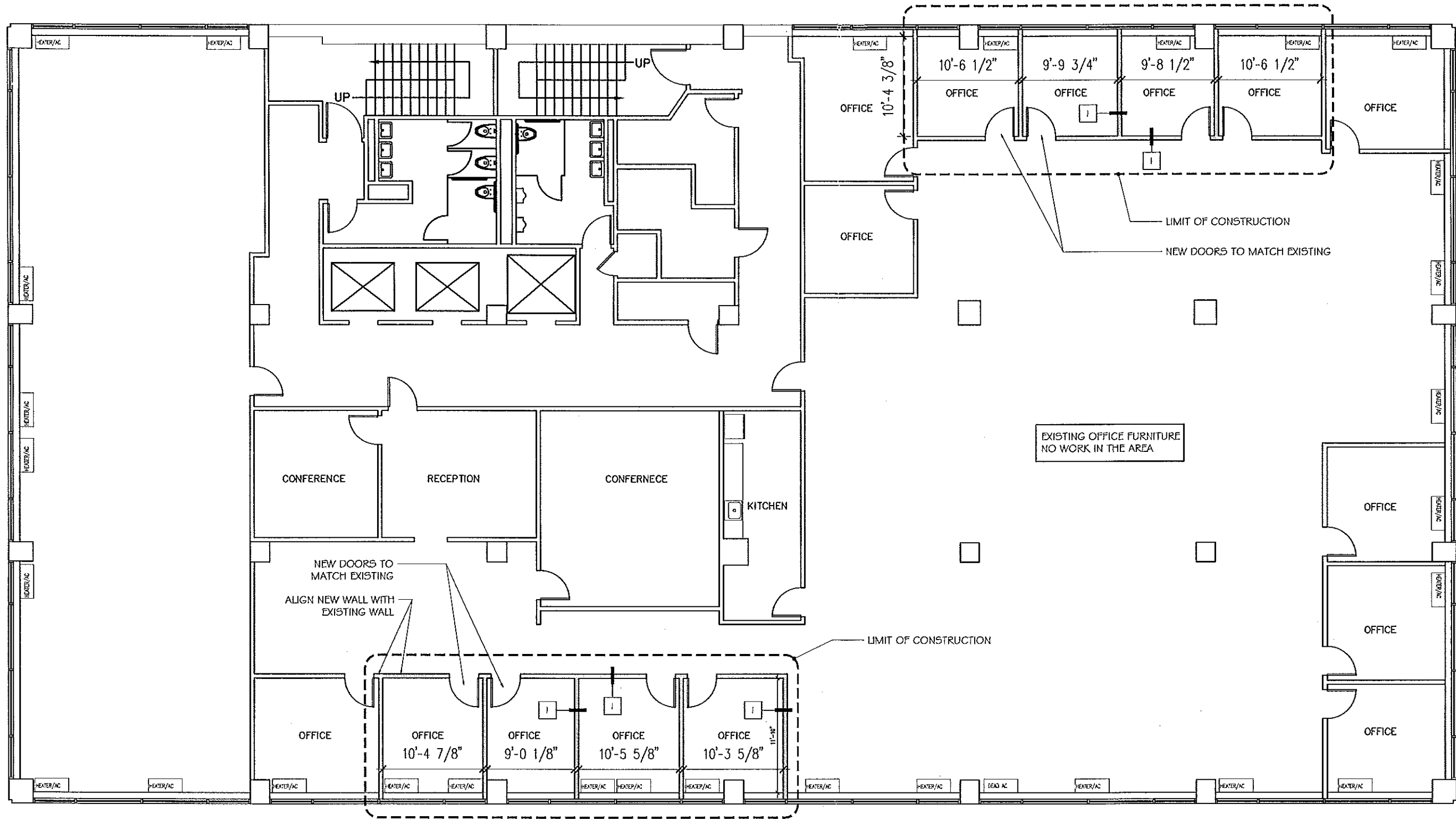
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1 Fourth Floor Demo Plan
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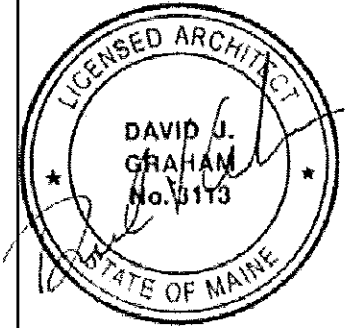


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PROJECT
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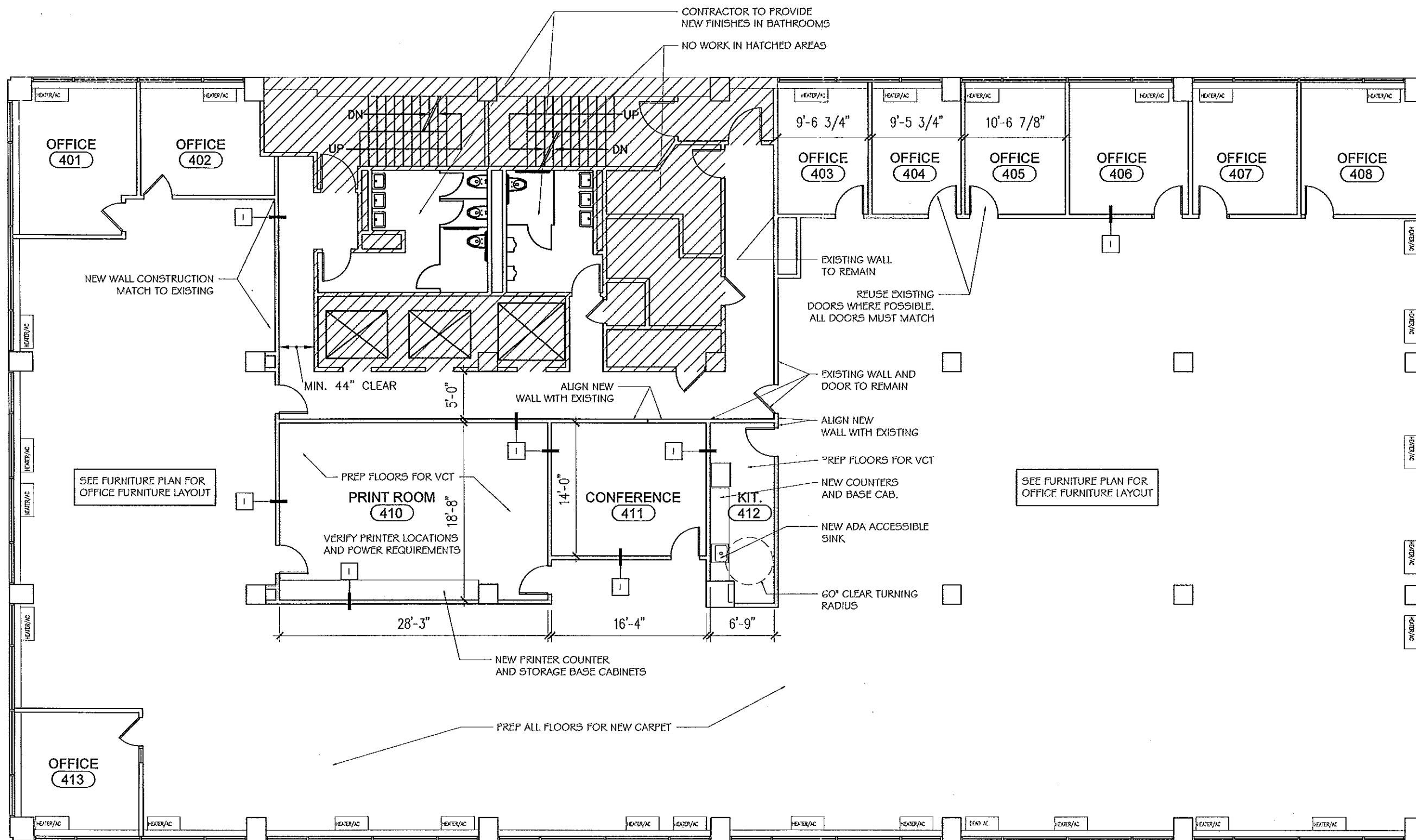
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1 Second Floor Proposed Plan
 SCALE: 3/32"=1'-0"
 NEW WALL CONSTRUCTION

TITLE
 Proposed Floor Plan
 SCALE
 3/32"=1'-0"

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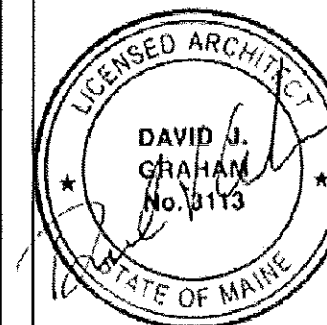
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TITLE

Proposed Floor Plan

SCALE

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1 Fourth Floor Proposed Plan
SCALE: 3/32"=1'-0"

NEW WALL CONSTRUCTION

EXISTING DOOR

NEW DOOR
1'-8" MIN

A1.02



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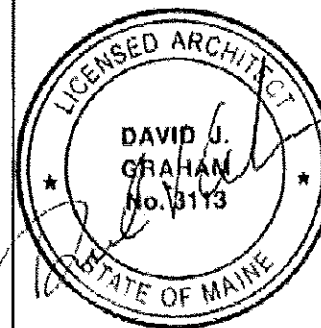
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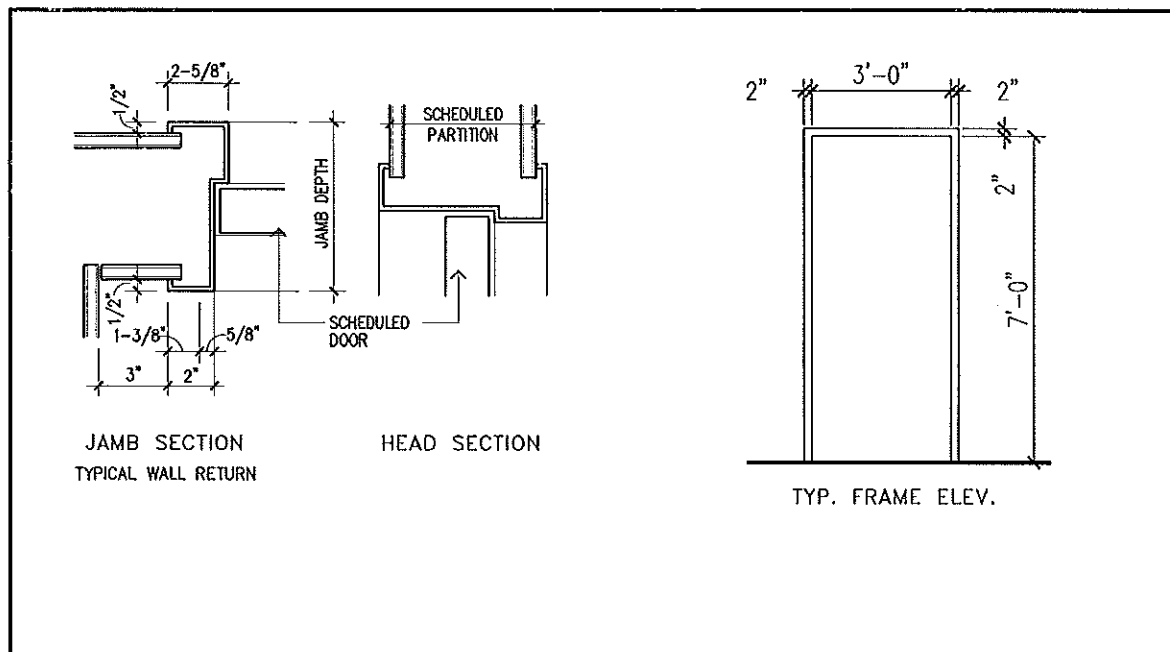
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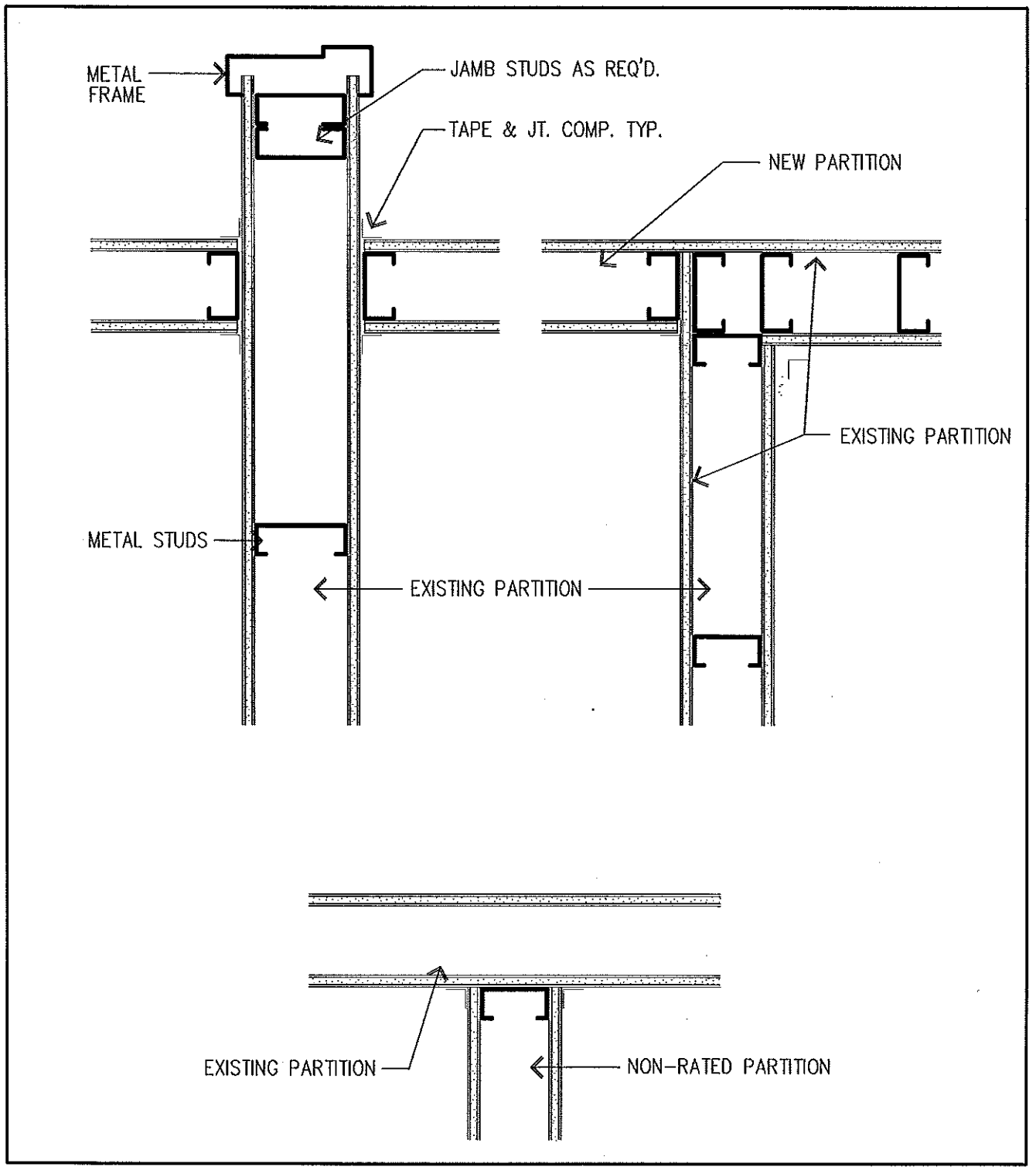
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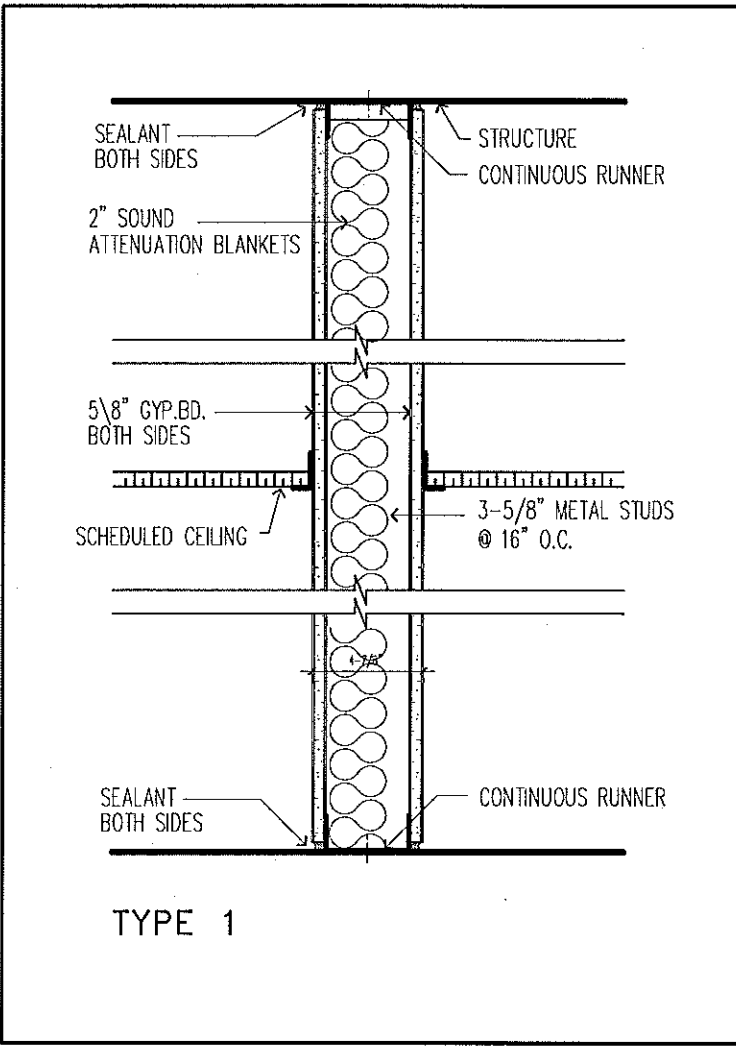
A1.03



2 TYPICAL DOOR JAMB & FRAME
 SCALE: N.T.S.



3 TYPICAL WALL CONNECTIONS
 SCALE: N.T.S.



1 WALL TYPE
 SCALE: 3/32"=1'-0"