

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# PERMIT ISSUED CITY OF PORTLAND

NOV 30 2010

BUILDING INSPECTION

## PERMIT

~~RECEIVED~~

Permit Number: 101412

NOV 30 2010

Please Read Application And Notes If Any Attached

This is to certify that City of Portland 511 PLAZA LIMITED PARTNERSHIP-MTL Renovations/Michae

has permission to interior-renovations-inc new bar, partition wall

Dept. of Building Inspector  
City of Portland Maine

AT -511 CONGRESS ST

CBL 037 D002001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Gauthier

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Carrie Burke 11/30/10*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1412	Issue Date:	CBL: 037 D002001
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Location of Construction: 511 CONGRESS ST	Owner Name: 511 PLAZA LIMITED PARTNERS	Owner Address: ONE CANAL PLAZA	Phone:
Business Name:	Contractor Name: MTL Renovations/ Michael Lionetta	Contractor Address: 347 Cumberland Ave Portland	Phone: 2078388367
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Commercial - Restaurant	Proposed Use: Commercial - Restaurant - interior renovations inc new bar, partition wall	Permit Fee: \$80.00	Cost of Work: \$6,000.00	CEO District: 1
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FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>*See Conditions</i>	INSPECTION: Use Group: A-2 Type 2B IBC-2003 Signature: <i>[Signature]</i> 11/30/10
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**Proposed Project Description:**  
interior renovations inc new bar, partition wall

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved	<input checked="" type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied
Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 11/12/2010	<b>Zoning Approval</b>		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>11/15/10</i>	Date:	Date: <i>requires A</i>

**PERMIT ISSUED**

NOV 30 2010

City of Portland

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1412	Issue Date:	CBL: 037 D002001
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Location of Construction: 511 CONGRESS ST	Owner Name: 511 PLAZA LIMITED PARTNERS	Owner Address: ONE CANAL PLAZA	Phone:
Business Name:	Contractor Name: MTL Renovations/ Michael Lionetta	Contractor Address: 347 Cumberland Ave Portland	Phone: 2078388367
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Commercial - Restaurant	Proposed Use: Commercial - Restaurant - interior renovations inc new bar, partition wall	Permit Fee: \$80.00	Cost of Work: \$6,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied *See Conditions	INSPECTION: Use Group: A-2 Type: 2B I 26-2003 Signature: [Signature] 11/30/10	

Proposed Project Description: interior renovations inc new bar, partition wall	Signature: [Signature]	Signature: [Signature]
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: ldobson	Date Applied For: 11/12/2010	<b>Zoning Approval</b>
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: [Signature] 11/15/10</p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p><b>Historic Preservation</b></p> <p><i>within</i></p> <p><input type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p><i>Any exterior work requires separate Review and Approval</i></p> <p>Date: _____</p>
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**PERMIT ISSUED**

NOV 30 2010

City of Portland

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

  X   Framing/Rough Plumbing/Electrical: Prior to Any Insulating, drywalling or covering.

  X   Final inspection required at completion of work including health inspection.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1412	Date Applied For: 11/12/2010	CBL: 037 D002001
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Location of Construction: 511 CONGRESS ST	Owner Name: 511 PLAZA LIMITED PARTNERS	Owner Address: ONE CANAL PLAZA	Phone:
Business Name:	Contractor Name: MTL Renovations/ Michael Lionetta	Contractor Address: 347 Cumberland Ave Portland	Phone: (207) 838-8367
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - Restaurant - interior renovations inc new bar, partition wall	Proposed Project Description: interior renovations inc new bar, partition wall
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 11/15/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> <li>1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.</li> <li>2) This property shall remain a restaurant use with an accessory bar area. Any change of use shall require a separate permit application for review and approval.</li> <li>3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</li> </ol>			

Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 11/30/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> <li>1) Approval of City license is subject to health inspections per the Food Code.</li> <li>2) New or renovated cafe, restaurant, lounge, bar or retail establishment where food or drink is sold and/or prepared shall meet the requirements of the City and State Food Codes</li> <li>3) Equipment must be installed in compliance with the UL listing and the manufacturer's specifications</li> <li>4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial kitchen exhaust hood systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.</li> <li>5) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.</li> </ol>			

Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Keith Gautreau	Approval Date: 11/16/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> <li>1) All means of egress to remain accessible at all times</li> <li>2) Fire extinguishers required. Installation per NFPA 10</li> <li>3) All construction shall comply with City Code Chapter 10.</li> <li>4) This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.</li> </ol>			



# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

\_\_\_\_\_ 11-12 20 10 \_\_\_\_\_

Received from Shanghai Tokyo

Location of Work 511 Congress

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 80

Building (IL)  Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 37-D-2

Check #: \_\_\_\_\_ Total Collected \$ 80

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>511 CONGRESS ST.</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>37</u> Block# <u>D</u> Lot# <u>2</u>		Applicant *must be owner, Lessee or Buyer* Name <u>John Chou</u> Address <u>511 CONGRESS ST.</u> City, State & Zip <u>PORTLAND, ME. 04101</u>
Telephone: <u>677 8237066</u>	Lessee/DBA (If Applicable) <u>SHANGHAI - TOKYO</u>	Owner (if different from Applicant) Name Address City, State & Zip
Cost Of Work: \$ <u>6000.00</u>	C of O Fee: \$ _____	Total Fee: \$ <u>80</u>
Current legal use (i.e. single family) <u>COMMERCIAL Restaurant</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>INTENTION RENOVATIONS, I.C.' NEW BAR, PARTITION WALL Restaurant</u>		
Contractor's name: <u>MICHAEL J. LIONETTA DBA MTL RENOVATIONS</u> Address: <u>347 CUMBERLAND AVE.</u> City, State & Zip: <u>PORTLAND, ME. 04101</u> Telephone: <u>207-8388367</u> Who should we contact when the permit is ready: <u>MICHAEL</u> Telephone: _____ Mailing address: <u>SAME AS ABOVE</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

RECEIVED  
NOV 12 2010  
Dept. of Building Inspection  
City of Portland, Maine

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorized the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Michael J. Lionetta Date: 11/12/10

This is not a permit; you may not commence ANY work until the permit is issued



# M.H.I.

Michael J. Lionetta

(207) 838-8367

511 CONGRESS ST  
SHANGHAI - TOKYO

REMOVE EXISTING NON-LOAD BEARING WALLS  
CONSTRUCT NEW PARTITION WALLS ALLOWING TO  
DESIGN OF 2X4 METAL STUDS, DBL SIDED  
1/2" DRYWALL WITH ELECTRIC SUPPLY.

INSTALL NEW BARS BY OUTSIDE CONTRACTOR  
RE-ROUTE PLUMBING AND ELECTRICAL BY OUTSIDE  
CONTRACTORS.

MATERIALS AND LABOR: 6000.00  
"ESTIMATE"



One Canal Plaza, Suite 500  
Portland, ME 04101

T 207 671 1240  
F 207 712 2647

[www.boulos.com](http://www.boulos.com)

November 12, 2010

John Chow  
Alice Z. Inc.  
511 Congress Street  
Portland, ME 04101

**RE: Tenant's Work  
511 Congress Street, Suite 102  
Portland, ME 04101**

Dear John:

Please be advised that the Landlord has received your plan for work to be completed in above referenced location dated November 12, 2010.

Please consider this letter as notice that the Landlord has approved the plan. Tenant agrees that all work shall be at its sole cost and expense and completed in compliance with all applicable federal, state and municipal building codes and ordinances.

Prior to work commencement all contractors and subcontractors shall provide a Certificate of Insurance as outlined below:

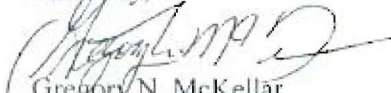
All insurance shall be written to include the interests of the Owner(s) and Agent and shall be provided hereunder on a primary and non-contributory basis, and in any event, all policies shall be endorsed to require the insured to furnish the Owner(s) and Agent thirty (30) days prior written notice of any material change in or cancellation thereof. Before commencing work hereunder, Contractor shall furnish Agent on behalf of the Owner(s) with a certificate evidencing the required insurance and additional insured status as follows:

**511 Plaza, LP (owner) and CBRE/Boulos Property Management (agent)**

Please be aware that Landlord may, at its option, require you to remove all tel/data wiring installed by you before or during your tenancy upon the expiration of your Lease and at your expense.

Thank you for working with us to ensure that your space becomes an asset to both your business and the building.

Sincerely,

  
Gregory N. McKellar  
Property Manager

Enclosure

112.5 in

196 in

LADIES

MEN

DOOR  
OPENING

KITCHEN

← 6' + →

LOUNGE BAR

TWO DOOR  
COOLER

SODA

ICE BIN

SHELF

3'

3'

RECEPTION

SHELF

196 in

↑ 3' +  
↓

78 in

← 6' + →

SUSHI BAR

176 in

CEILING 8' 11" WALL TO BE 10' TALL  
DENOTES NEW WALL (2x4 METAL STUDS)

CUSTOMER NAME: John Chow

ADDRESS: 511 Congress St

COMPANY: Shanghai Tokyo

CITY: Portland

STATE/ZIP: ME 04101

PHONE: 617-823-7066

FAX:

SCALE: 0.012

FILE NAME: Floor Plan.FS

ORDER DATE: 11/01/2010

JOB NO.: 101101847P

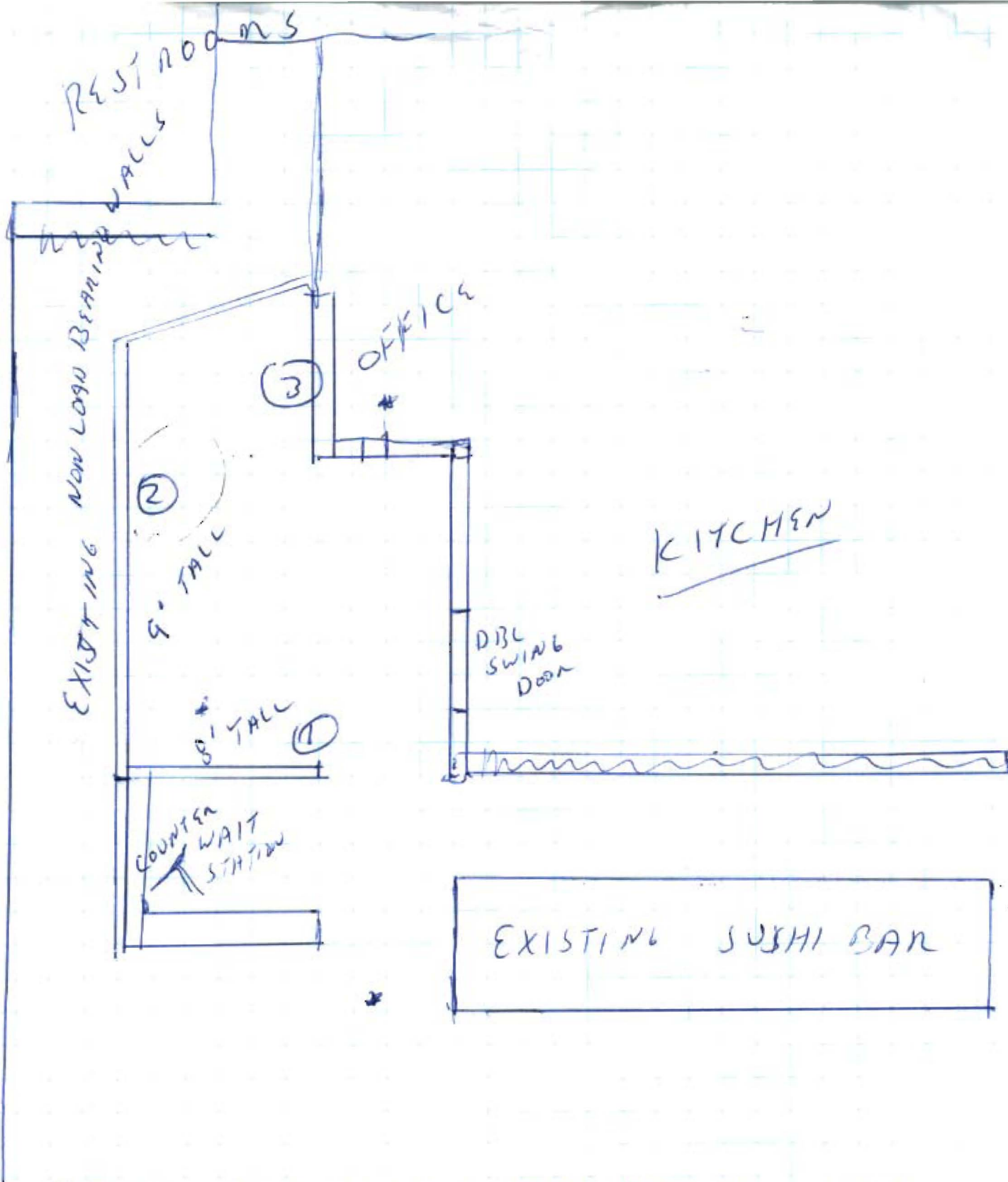
ESTIMATE: \$ \$0.00

(\$0 = NO PRICE) PLUS 6.25% MA TAX

DATE: 11/11/2010

©2009 EXCEL SIGN & DECORATION CORP. ALL RIGHTS RESERVED

EXISTING 4' BOOTHS



REMOVE EXISTING NON LOAD BEARING WALLS MARKED # 1, 2, 3 AND INSTALL NEW PARTITION WALL

SEATING AREA