

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

BUILDING INSPECTION

PERMIT

PERMIT ISSUED

Permit Number: 080661

JUL 14 2008

CITY OF PORTLAND

This is to certify that 511 PLAZA LIMITED PARTNERSHIP (D.C. Home Improvement)

has permission to Make half wall to full wall exterior renovations

AT 511 CONGRESS ST

L-037 D002001

provided that the person or persons who perform or supervise the work accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is loaded or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Cruz

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

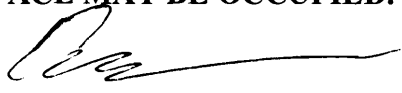
Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

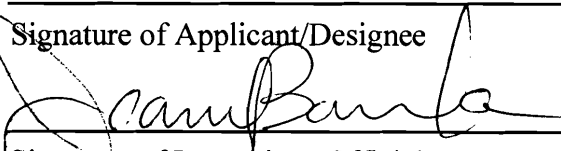
Final inspection required at completion of work, including health inspection

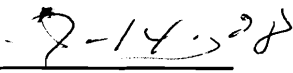
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

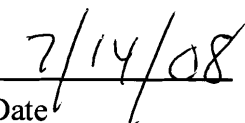
**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

  
\_\_\_\_\_  
Signature of Applicant/Designee

  
\_\_\_\_\_  
Signature of Inspections Official

  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Date

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0661	Issue Date:	CBL: 037 D002001
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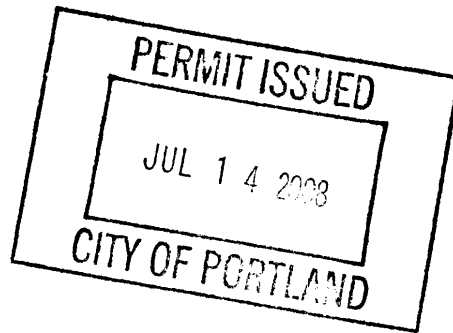
Location of Construction: 511 CONGRESS ST	Owner Name: 511 PLAZA LIMITED PARTNERS	Owner Address: ONE CANAL PLAZA	Phone:
Business Name:	Contractor Name: R C Home Improvement	Contractor Address: 1155 Washington Ave Portland	Phone 2074501485
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Commercial - D'Angelo Sandwich Shop	Proposed Use: Commercial - "Thai Chef Buffet" - Make half wall to full wall & interior renovations	Permit Fee: \$50.00	Cost of Work: \$2,500.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: <i>A2</i> Type: <i>2B</i> <i>IBC-2003</i>	

Proposed Project Description: Make half wall to full wall & interior renovations	Signature: <i>Craig Cross</i>	Signature: <i>JMB 7/14/08</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) <i>within</i>		
Action: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: <i>S</i>		Date: <i>6/12/08</i>

Permit Taken By: Idobson	Date Applied For: 06/12/2008	<b>Zoning Approval</b>		
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  <input type="checkbox"/> Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Denied Date: <i>6/12/08</i>	<p><b>Zoning Appeal</b></p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved  <input type="checkbox"/> Denied Date: <i>6/12/08</i>	<p><b>Historic Preservation</b></p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>S</i>
	<p style="text-align: center;"><b>CERTIFICATION</b></p> <p>I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.</p>		



SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 08-0661	<b>Date Applied For:</b> 06/12/2008	<b>CBL:</b> 037 D002001
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<b>Location of Construction:</b> 511 CONGRESS ST	<b>Owner Name:</b> 511 PLAZA LIMITED PARTNERS	<b>Owner Address:</b> ONE CANAL PLAZA	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> R C Home Improvement	<b>Contractor Address:</b> 1155 Washington Ave Portland	<b>Phone:</b> (207) 450-1485
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

<b>Proposed Use:</b> Commercial - "Thai Chef Buffet" - Make half wall to full wall & interior renovations	<b>Proposed Project Description:</b> Make half wall to full wall & interior renovations
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 06/12/2008

**Note:****Ok to Issue:** 

- 1) This property is located within the Pedestrian Activities District (PAD) which restricts first floor uses to retail-like, restaurants or service oriented uses. Any change of use SHALL required a permit for review PRIOR to the change of use.
- 2) This section of the property shall remain a restaurant use. Any change of use shall require a separate permit application for review and approval.
- 3) Separate permits shall be required for any new signage.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 07/14/2008

**Note:****Ok to Issue:** 

- 1) Approval of license is subject to health inspections per the Food Code.
- 2) New restaurant, lounge or bar must meet the requirements of the City and State Food Codes
- 3) The basement is only approved for storage, no occupancy allowed at this time.
- 4) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 5) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Greg Cass      **Approval Date:** 06/13/2008

**Note:****Ok to Issue:** 

- 1) Non- combustible construction of this structure requires all construction to be Non-combustable.
- 2) Emergency lights and exit signs are required
- 3) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 4) All construction shall comply with NFPA 101

**Comments:**

7/11/2008-jmb: Mark S. (hood installer) submitted the kitchen floor plan and detail of the buffet area. Alex came in and paid for the additional cost of work. I verified with city clerk that the previous seating was 90 so existing conditions on the bathroom.

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<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

7/7/2008-jmb: Spoke to Richard C. Contractor for details: If alcohol is served, wall construction type, if the basement is being used, need floor plan and stair location, questioned dumbwaiter use, dishwasher if serving on reusable ware, if booths are existing, he says there will be tables and chairs, will need layout, grease trap, floor drains, may need another hand sink. Also if served buffet style, what is the layout? Also, the cost of work is very low. He will research and submit.

7/9/2008-jmb: A man named Alex (accountant) dropped off a plan for the wall construction. I reviewed all other items and gave him a copy of the list.

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Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

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\_\_\_\_\_  
Signature of Applicant/Designee

  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature of Inspections Official

  
\_\_\_\_\_  
Date

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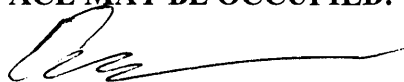
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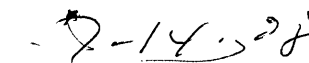
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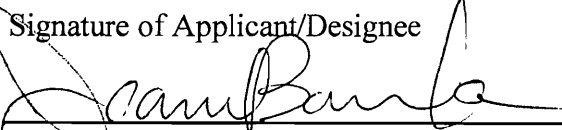
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Signature of Applicant/Designee

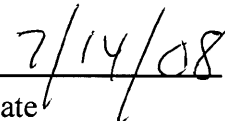


Date



Signature of Inspections Official

Date





# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>511 Congress St</u>		
Total Square Footage of Proposed Structure/Area <u>2875 SF</u>		Square Footage of Lot <u>42570 SF</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>37      D      2</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>SUWANNA SANGUANTONKALLAYA</u> Address <u>803 FOREST AVE</u> City, State & Zip <u>PORTLAND, ME 04103</u>	Telephone: <u>879-2577</u>
Lessee/DBA (If Applicable) <u>THAI CHEF BUFFET</u> <u>511 CONGRESS ST</u> <u>PORTLAND, ME</u> <u>04101</u>	Owner (if different from Applicant) Name <u>511 PLAZA LP</u> <u>90 BOULOS PROPERTY</u> Address <u>MANAGEMENT</u> <u>ONE CANAL PLAZA</u> City, State & Zip <u>PORTLAND, ME 04101</u>	Cost Of Work: \$ <u>2500.00</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>RESTAURANT</u> If vacant, what was the previous use? <u>D'ANGELO SANDWICH SHOP</u> Proposed Specific use: <u>THAI BUFFET</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description:		
Contractor's name: <u>RC Home Improvement</u> Address: <u>1155 Washington Ave</u> City, State & Zip: <u>Portland ME</u> Telephone: <u>4150-1485</u> Who should we contact when the permit is ready: <u>899-5079</u> Telephone: <u>899-5079</u> Mailing address: <u>Same</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Richard [Signature] Date: 6-9-08

This is not a permit; you may not commence ANY work until the permit is issue

802  
2  
11/10



- 1 Build wall off existing counter top to ceiling, sheetrock with  $\frac{5}{8}$  Fireguard drywall on kitchen side and  $\frac{1}{2}$  inch drywall on outside.  
No electrical or plumbing required.
  - 2 Cut 55 inch opening in front counter top for serving food from kitchen
  - 3 Build wall off counter top to light incasement.
  - 4 Remove door and wider opening approx 3 Feet. Close opening behind door with wall approx 6 Foot by 10 foot
- ⑤ No plumbing or electrical required except for Step 2 which was done by a master electrician whose name can be forwarded if required. No structural walls were disturbed for any construction

One Canal Plaza, Suite 500  
Portland, ME 04101

T 207.871.1290  
F 207.772.2647

[www.boulos.com](http://www.boulos.com)

June 11, 2008

City of Portland  
Inspections Division  
389 Congress Street, Room 315  
Portland, Maine 04101

**RE: Authorization for Construction/Renovations  
Thai Chef Buffet, 511 Congress Street, Portland, Maine**

To Whom It May Concern:

CB Richard Ellis/Boulos Property Management, authorized agent for 511 Plaza, LP, (Owner), hereby authorizes the proposed construction/renovations submitted by Thai Chef Buffet, (Tenant), to the former D'Angelos space located at the above referenced property.

In accordance with Article 11 (a) of the Lease Agreement dated May 29, 2008, Tenant shall perform all such alterations, renovations, and improvements in a good, workmanlike and reasonable manner, and in accordance with all applicable laws, codes. Tenant assumes all cost, liability and responsibility for such alterations, renovations and improvements.

Please feel free to contact me at 207-553-1772 or via email at [gmckellar@boulos.com](mailto:gmckellar@boulos.com) if I may be of further assistance with this matter.

Sincerely,



Gregory McKellar  
Property Manager

Cc: Alex Greenwald, Thai Chef Buffet

ORIGINAL  
COUNTER

191

METAL  
STUDS 16" O/C

5/8" FIRE RATED  
SHEET ROCK

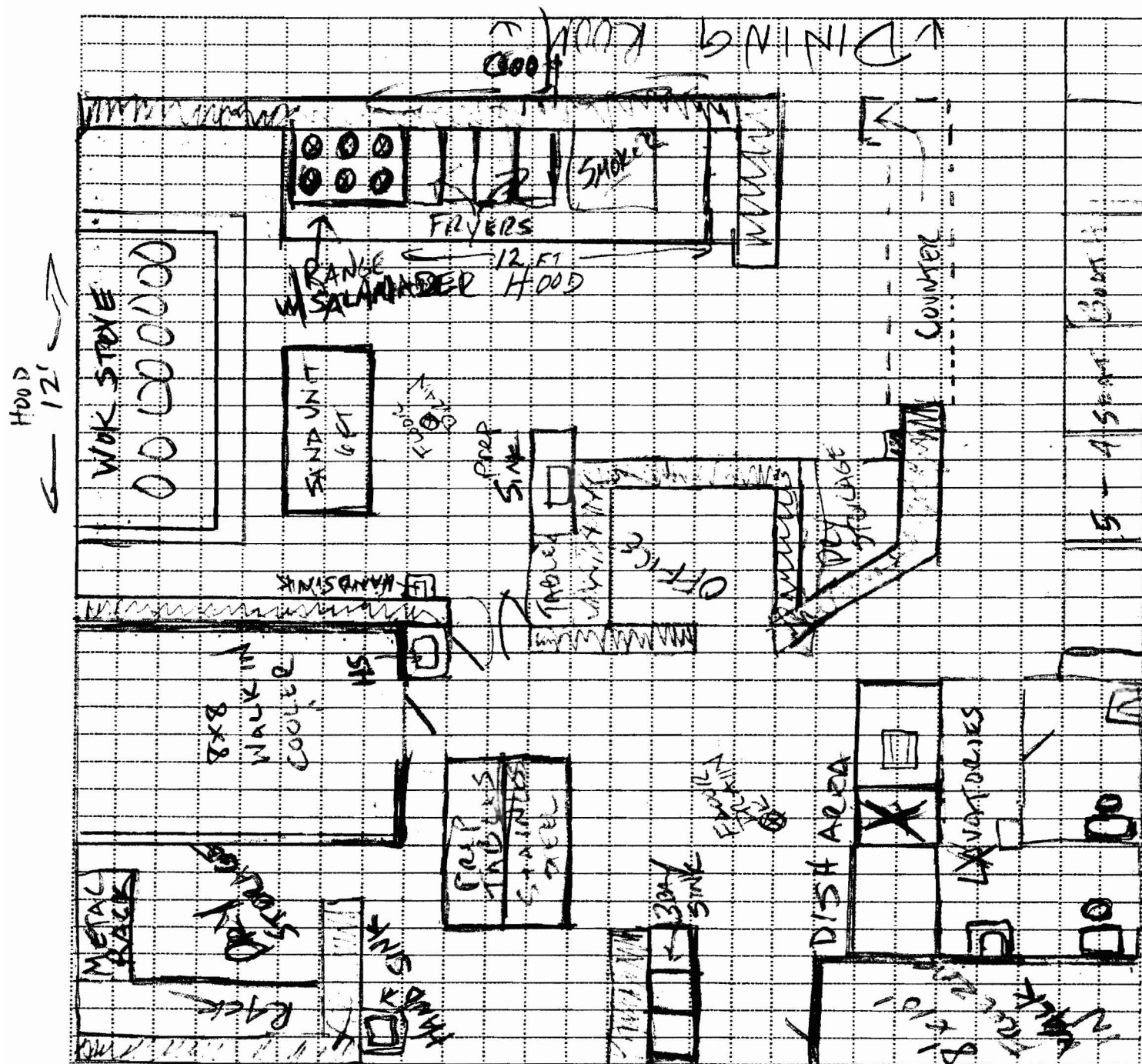
ELECTRICAL  
STAYS

PROPOSED  
WALL

JUL - 9 2008

THAI CHAE  
511 CONGRESS ST

Use this grid to draw a floor plan including square footage, or provide an engineered floor plan.



Each square is approximately 1/4 inch by 1/4 inch. Please include square Footage.  
 \* NO BASEMENT USAGE

TOTAL 2,300 S.F.  
 INC. DINING

Floor plan should include the following items:

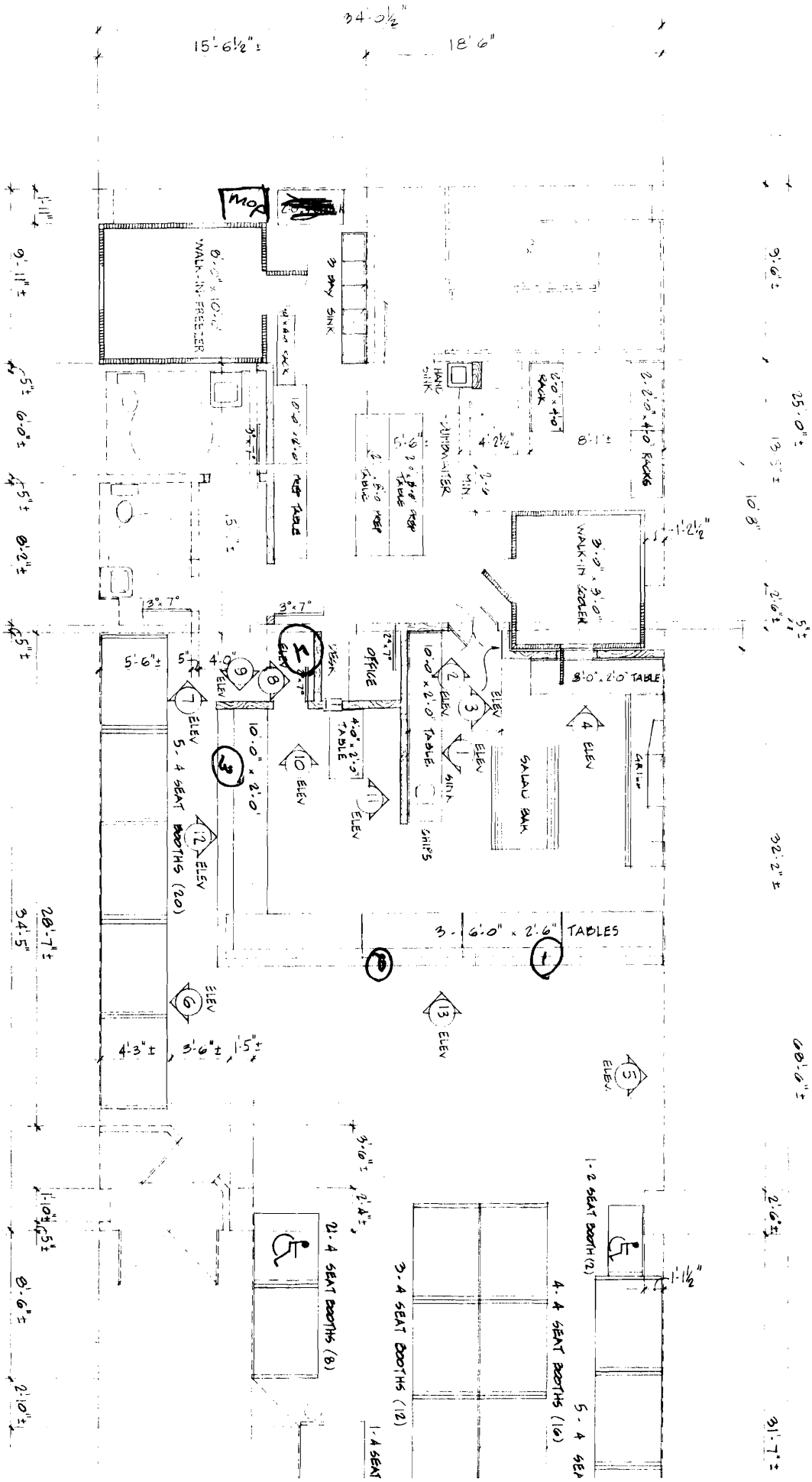
Sinks:	Toilet Facilities:	Refrigeration:	Facilities:
1. Hand Washing	1. Water Closets	1. Walk-in Coolers	1. Food Preparation Areas
2. Ware Washing	2. Lavatories	2. Walk-in Freezers	2. Food Storage Areas
3. Utility	3. Urinals	3. Freestanding Coolers	3. Trash/Refuse/Redemption Areas
4. Food Prep	4. Other	4. Freestanding Freezers	4. Dining Areas
5. Dipper Wells		5. Other	5. Break Rooms/Office
6. Other			6. Equipment/Counters/Seats/Tables
			7. Dry Storage/All Other Storage

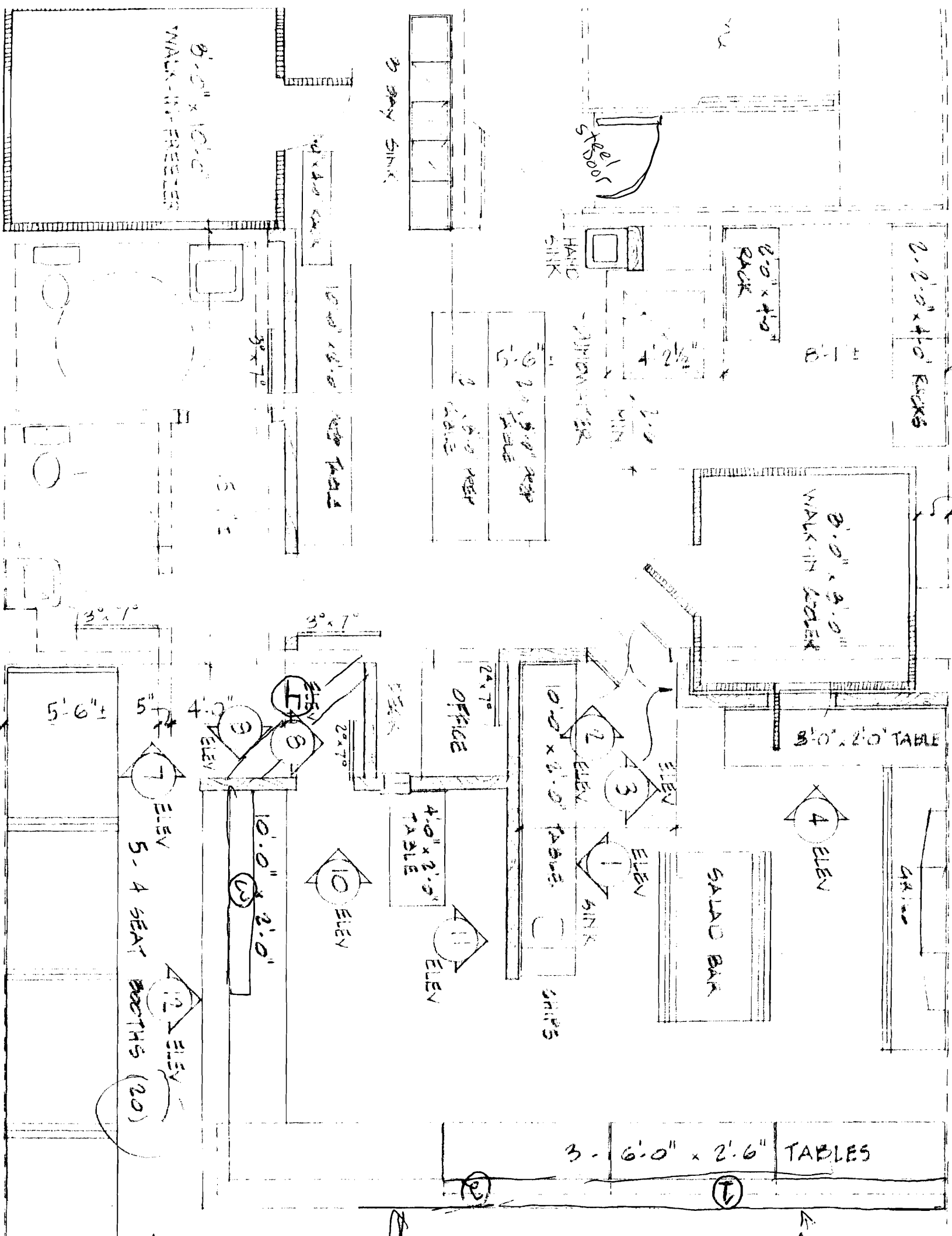
511 CONGRESS

001-9 2008

# FLOOR PLAN

1/4" = 1'-0"





0' 1 1/2" ±

5 1/2" ± 6'-0" ±

5 1/2" ± 8'-2 1/2" ±

5 1/2" ±

28'-7" ±  
34'-5"