

**MARGULIES
& ASSOCIATES**

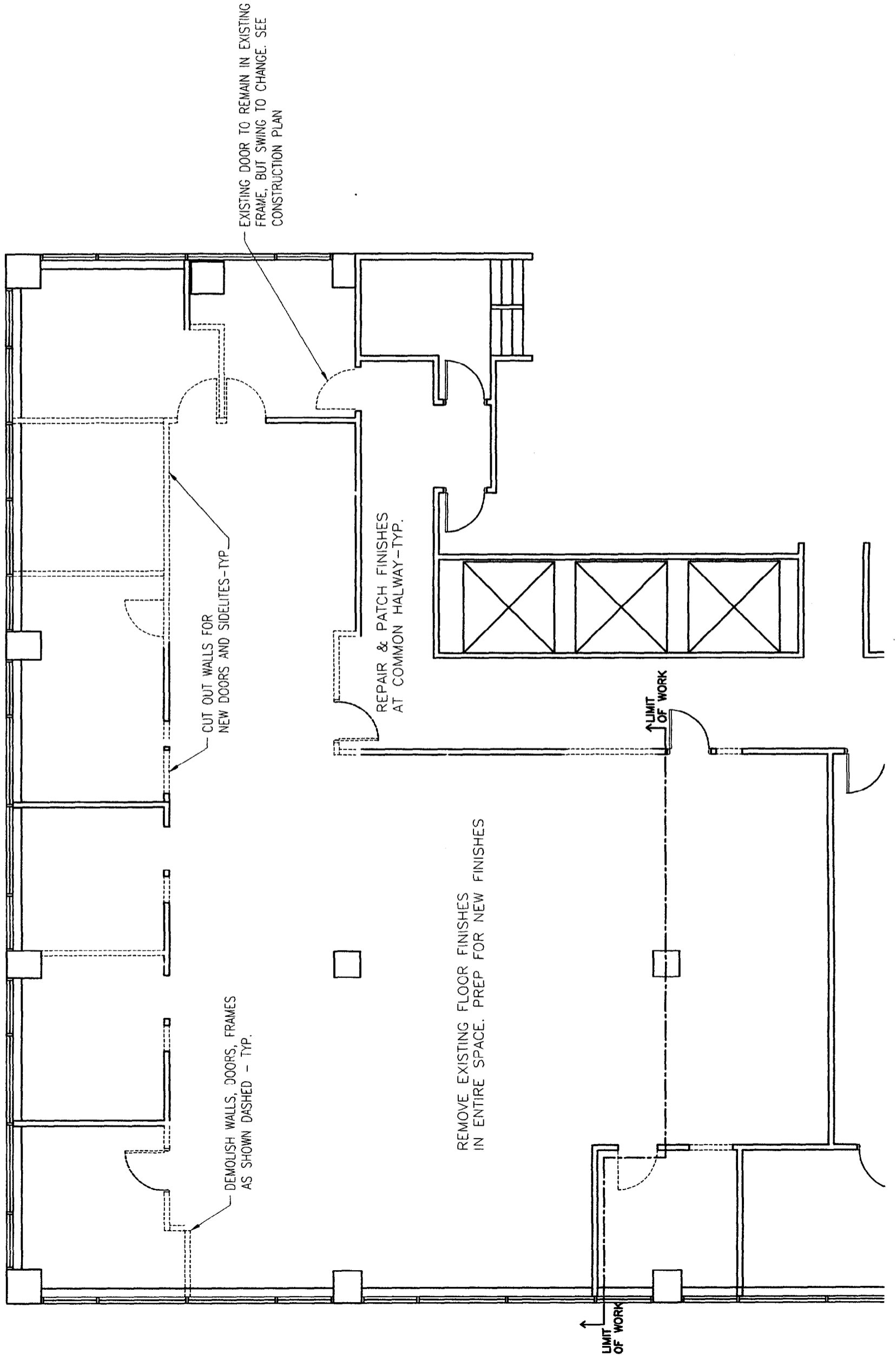
234 CONGRESS SIXTH FLOOR
BOSTON, MA 02110
TEL. (617) 482-3232

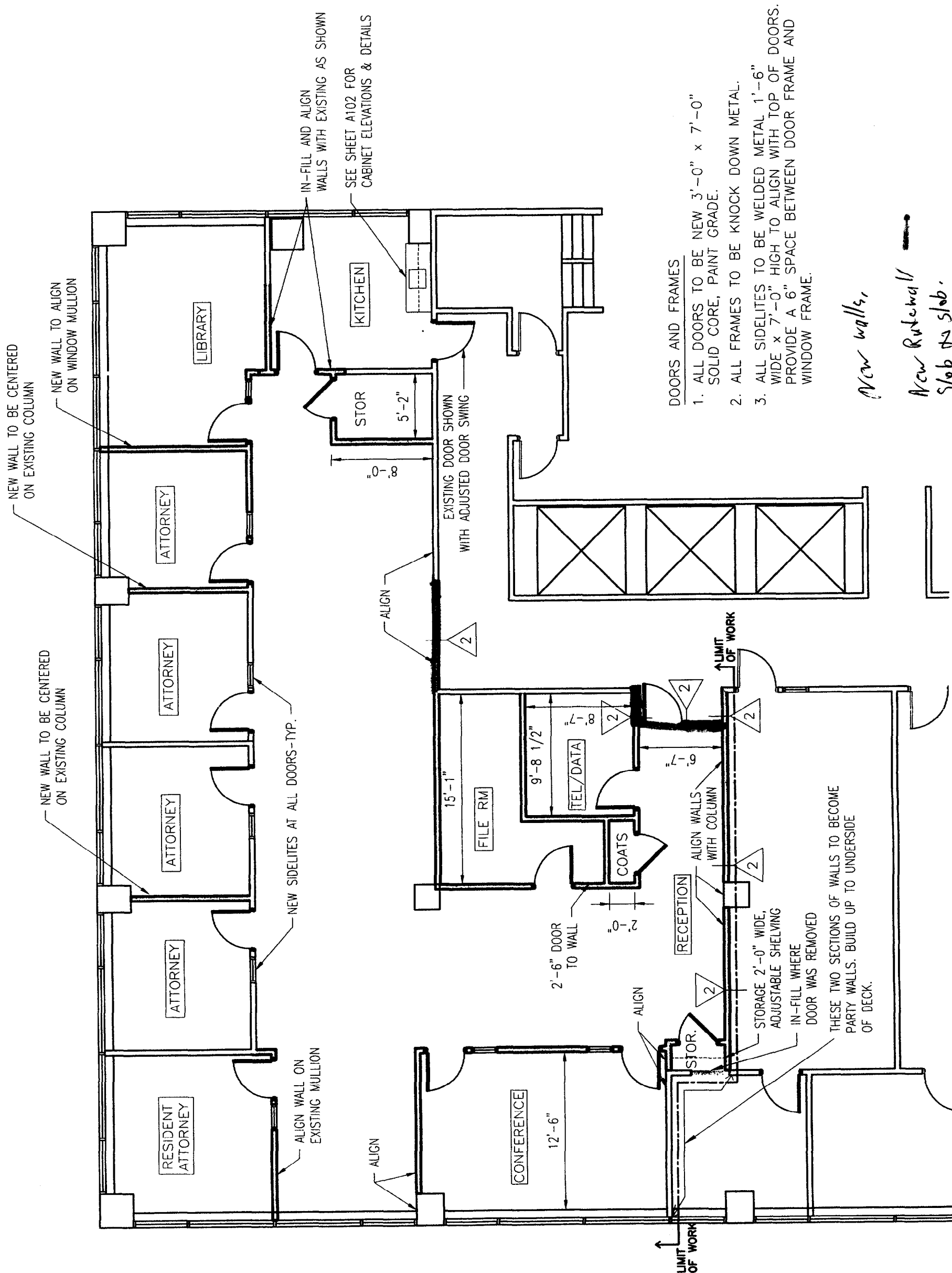
STAMP

REVISIONS

MUTUAL

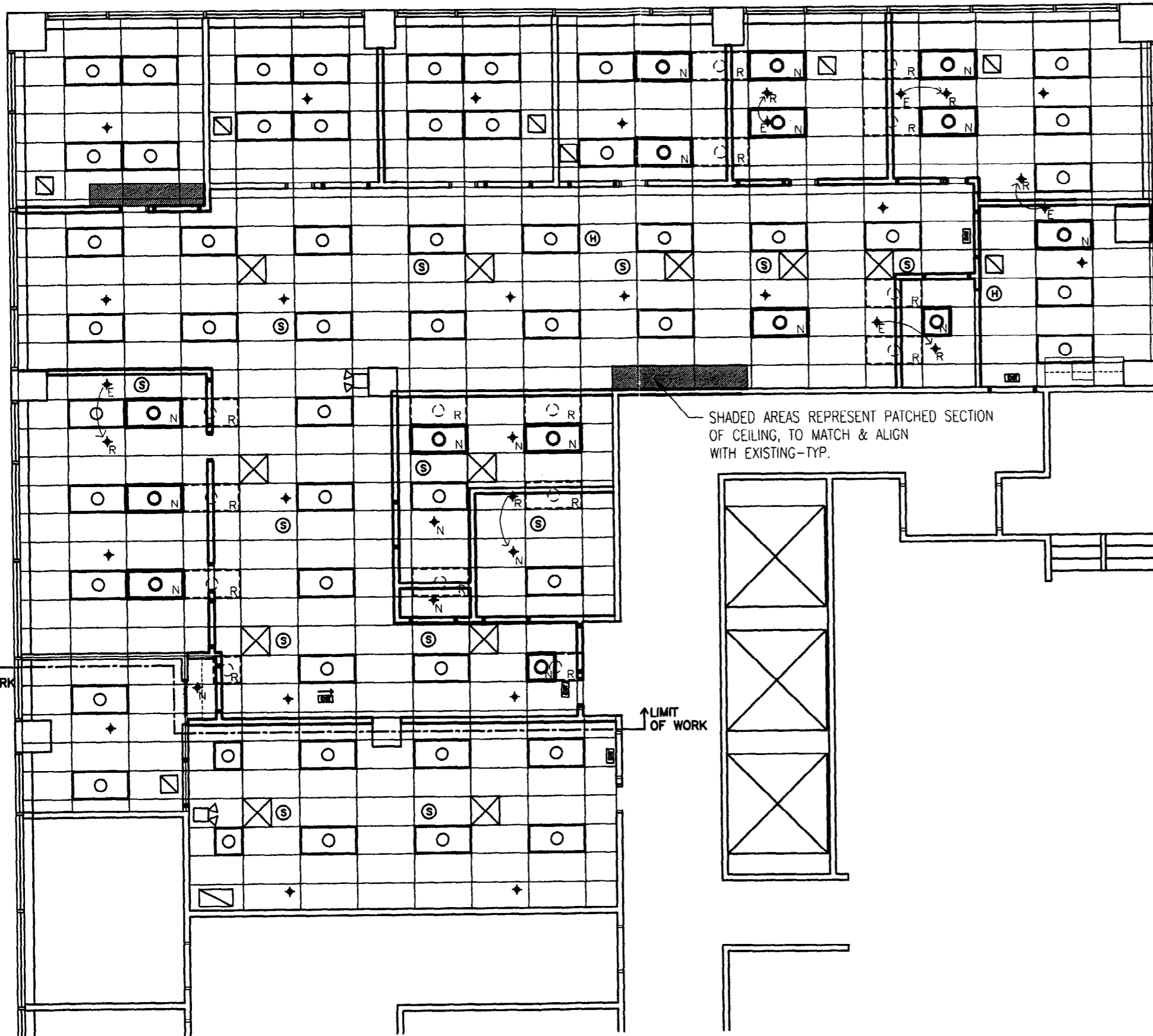
Floor
S STREET
MAINE





- DOORS AND FRAMES**
1. ALL DOORS TO BE NEW 3'-0" x 7'-0" SOLID CORE, PAINT GRADE.
 2. ALL FRAMES TO BE KNOCK DOWN METAL.
 3. ALL SIDELITES TO BE WELDED METAL 1'-6" WIDE x 7'-0" HIGH TO ALIGN WITH TOP OF DOORS. PROVIDE A 6" SPACE BETWEEN DOOR FRAME AND WINDOW FRAME.

New walls,
New Rute wall
Slab to slab.



REFLECTED CEILING PLAN NOTES

1. EXISTING CEILING GRID TO REMAIN. REPAIR AND PATCH AS REQUIRED WHERE SOME WALLS WERE RELOCATED OR ADDED.
2. PROVIDE ALL NEW ACOUSTICAL CEILING TILES IN EXISTING GRID.
2. REMOVE MISC. DEBRIS HANGING FROM CORNERS OF CEILING GRID, TILES DIFFUSERS, SPRINKLER HEADS, TYP.
3. LIGHT FIXTURES SHALL BE LOCATED AS SHOWN ON PLANS. REMOVED AND NEW FIXTURES AS NOTED BELOW.
4. NEW SPRINKLER HEADS, LIGHT FIXTURES, DIFFUSERS AND ANY CEILING MOUNTED ITEMS SHALL BE CENTERED IN CEILING TILES WHERE POSSIBLE.

CEILING LEGEND

- EXISTING 2x4 FLOURESCANT FIXTURE
- REMOVED 2x4 FLOURESCANT FIXTURE
- NEW 2x4 FLOURESCANT FIXTURE
- EXISTING SPRINKLER HEAD
- EXISTING SPRINKLER HEAD SHOWED IN RELOCATED POSITION
- NEW SPRINKLER HEAD
- EXISTING SPEAKERS TO BE REMOVED, AND ALL ASSOCIATED WIRING
- EXISTING HEAT DETECTORS TO REMAIN
- EXISTING SUPPLY DIFFUSER

GENERAL DEMOLITION NOTES:

1. CUT AND REMOVE EXISTING MATERIALS AS REQUIRED FOR NEW CONSTRUCTION. TAKE PRECAUTIONS AND USE PROTECTIVE DEVICES REQUIRED TO ASSURE SUPPORT OF EXISTING WORK TO REMAIN.
2. RE-ROUTE ALL EXISTING PIPING TO REMAIN AS REQUIRED FOR NEW CONSTRUCTION.
3. REMOVE ALL ABANDONED MECHANICAL AND ELECTRICAL EQUIPMENT, DUCTWORK, LIGHT FIXTURES, PIPING, WIRING AND CONDUIT THROUGHOUT THE INTERIOR AND EXTERIOR OF THE BUILDING NOT REQUIRED FOR NEW CONSTRUCTION.
4. REMOVE ALL EXISTING RECEPTACLES, SWITCHES AND CONDUIT ASSOCIATED WITH EXISTING WALLS AND PARTITIONS TO BE DEMOLISHED.
5. REMOVE ALL EXISTING DRYWALL AND FRAMING AS INDICATED ON DRAWINGS AND AS REQUIRED FOR NEW LAYOUT.
6. REMOVE EXIST DOORS, DOOR FRAMES AND SIDELIGHTS AS SHOWN. SAVE FOR RE-USE FOR NEW LAYOUT. G.C. TO VERIFY DOORS AND DOOR FRAMES BEING REUSED ARE IN PROPER WORKING ORDER BOTH FUNCTIONALLY AND AESTHETICALLY.

CONSTRUCTION NOTES:

1. WORK TO COMPLY WITH ALL LOCAL REGULATIONS.
2. INSPECT THE AREA OF WORK PRIOR TO STARTING AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE ACTUAL CONDITIONS.
3. PROVIDE FIRE RATED BLOCKING AT LOCATIONS OF MILLWORK, SHELVES OR OTHER ITEMS TO BE MOUNTED TO WALLS.
4. DIMENSIONS ARE INDICATED TO FACE OF FINISH WALLS U.O.N.
5. MILLWORK TO CONFORM TO ARCHITECTURAL WOODWORK INSTITUTE QUALITY STANDARD -PREMIUM GRADE.
6. PARTITION LAYOUT IS TO BE APPROVED BY ARCHITECT AFTER STUD RUNNERS HAVE BEEN INSTALLED.
7. NEW PARTITIONS SHALL BE PLUMB, SQUARE, STRAIGHT, AND PARALLEL OR PERPENDICULAR TO THE CORE U.O.N. REPAIR & PATCH ALL DAMAGED DRYWALL.
8. FILL HOLES AND PROVIDE ROUGH AND FINAL FLASH PATCH OF THE FLOOR SLAB FOR AN EVEN CARPET OR V.C.T. INSTALLATION.
9. DOORS TO MAINTAIN 6" FROM ADJACENT WALL ON HINGED SIDE OF DOOR U.O.N. DOORS TO BE SOLID CORE, BUILDING STANDARD U.O.N.
10. MAINTAIN RATED CONSTRUCTION AT ALL PENETRATIONS.
11. PROVIDE FIRE EXTINGUISHER CABINETS AND EXTINGUISHERS AS REQUIRED BY CODE.
12. THE ARCHITECT RESERVES THE RIGHT TO MOVE ANY FIXTURE, RECEPTACLE, OR BUILT-IN OBJECT A REASONABLE DISTANCE PRIOR TO THE WALLS BEING FINISHED.
13. REPAIR DAMAGE TO EXISTING WALLS AT AREAS OF DEMOLITION AND OTHER WALLS WITHIN THE LIMITS OF WORK.
14. DO NOT SCALE DRAWINGS, DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE PLANS SHALL GOVERN OVER SMALL SCALE PLANS. IF UNABLE TO LOCATE DIMENSIONS OF ANY ITEM OF WORK, CONSULT THE ARCHITECT PRIOR TO CONSTRUCTION.
15. DO NOT SCREW, GLUE, OR OTHERWISE ATTACH ANYTHING TO THE BASE BUILDING ALUMINUM WINDOW SYSTEM.
16. ANY FIREPROOFING/ PROTECTION DISTURBED BY THIS CONSTRUCTION MUST BE REPLACED.
17. PROVIDE CLEAR PLASTIC CORNER GUARDS AT OUTSIDE GWB CORNERS. MANUFACTURER: LEXAN 4'-0" L WITH 3/4" WINGS.
18. COORDINATE KEY PAD ACCESS WITH LIBERTY MUTUAL'S SECURITY VENDOR.
19. PROVIDE BUILDING STANDARD WINDOW BLINDS ON ALL EXTERIOR WINDOWS

4th floor

JAN 20 2004

LIB

PROJECT

Office
Renovations

DRAWING TITLE

DEMOLITION PLAN,
CONSTRUCTION PLAN
REFLECTED CEILING
PLAN

DATE

12-17-03

SCALE

AS NOTED

DRAWN BY

APPROVED BY

PROJECT NO.
LIB03J.00

DRAWING NO.

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