

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 050501

Please Read
Application And
Notes, if Any,
Attached

This is to certify that Hega Realty Trust/KDA Development
has permission to renovate floors 2-5 add 6th floor
AT 545 Congress St Call 037 C017001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid or closed-in. HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. Jay Kelley P.F.D. 5/19/05
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 5/31/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 545 Congress St

CBL 037 C017001

Issued to Hega Realty Trust/KDA Development

Date of Issue 05/22/2007

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 05-0501 , has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

6th Floor
Penthouse

APPROVED OCCUPANCY

Residential Condominium
Use Group R2/M
Type 5A
IBC 2003

Limiting Conditions:

none

**This certificate supersedes
certificate issued**

Approved:

.....
(Date)

.....
Inspector

.....
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-050
 Issue Date: JUN - 2 2005
 CIP# 057 C017001

Location of Construction: 545 Congress St	Owner Name: Hega Realty Trust	Owner Address: 218 East Rd	Phone:
Business Name:	Contractor Name: KDA Development	Contractor Address: PO Box 6799 Scarborough	Phone: 207-8833618
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	Plane: B-3

Past Use: Commercial	Proposed Use: Commercial/ renovate floors 2-5 add 6th flr unit <i>6th floor penthouse New: 1D.U</i>	Permit Fee: \$12,696.00	Cost of Work: \$1,400,000.00	CEO District: 1
Proposed Project Description: renovate floors 2-5 add 6th flr unit <i>5th floor: 2 res. D.U 4th floor: 3 res. D.U 3rd floor: 3 res. D.U 2nd floor: 5 res. D.U 1st floor: P.A.D. uses/retail like Basement: retail storage - trash Rm</i>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>JUK P.F.D. 5-19-05</i>	INSPECTION: Use Group: <i>M/R2</i> Type: <i>3A</i> <i>5/3/05</i> Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) <i>within P.A.D.</i> Action: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: <i>[Signature]</i> Date: <i>5/10/05</i>		

Permit Taken By: Idobson	Date Applied For: 04/28/2005	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 13 zone C</i> <input checked="" type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>#2005-0051</i> Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK with Conditions</i> Date: <i>[Signature]</i> 5/10/05	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK. TITLE		DATE	PHONE

6/6/05 OK to place concrete for
elevator. AR

6/9/05 concrete placement. AR

6/13/05 concrete placement. AR

~~6/17/05~~

6/24/05 concrete placement. AR

10/4/05 Framing first floor and plumbing
cellar + first floor. AR

10/21/05 met w/ Architect and w/Kenny. Cellar

OK to "note" w/ 2 layers of " " and questions on
door extending into street. AR / Mike
Mugent

10/

12/13/05 1 Month Bar OK framing, pl. and elec. system.
AR

1/25/06 plumb on 3rd 4th 5th OK AR

545 Congress St

Basement - retail storage / trash
Room

1st floor - PAD District - to be
retail like - sep. permits
Reg

2nd floor: 5 res. D.U.

3rd floor: 3 res. D.U.

4th floor: 3 res. D.U.

5th floor: 2 res D.U.

6th floor: 1 res D.U. is Above
New floor
New

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0501	Date Applied For: 04/28/2005	CBL: 037 C017001
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Location of Construction: 545 Congress St	Owner Name: Hega Realty Trust	Owner Address: 218 East Rd	Phone:
Business Name:	Contractor Name: KDA Development	Contractor Address: PO Box 6799 Scarborough	Phone (207) 883-3618
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

Proposed Use: Commercial/ renovate floors 2-5 add 6th flr unit	Proposed Project Description: renovate floors 2-5 add 6th flr unit
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Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 06/01/2005
Note: **Ok to Issue:**

- 1) The areas of new construction must comply with the 2003 International Energy Conservation Code.
- 2) The Special inspection program is being amended to include tables 1704.3 and 1704.4 of the 2003 IBC. David Tetreault has been notified.
- 3) The Fire pole shown on the plans is not approved as part of this permit. David Lloyd has been notified.
- 4) Fire protection system for the lintels must be submitted and approved prior to implementation.
- 5) Fire Shutters and doors including elevator doors must conform to Section 715 with regard to fire resistance rating and Smoke pressure testing.
These products must be reviewed and approved prior to installation.
- 6) Exterior Deck Structural details and Guard specs must be submitted for review and approval prior to installation.
- 7) Mechanical plans and specs, including a fire separation penetration protection plan must be submitted for approval prior to that phase of construction.
- 8) The overall building height as presented must be 75 feet or less, (See definition), The rooftop structure that allows roof deck access cannot be habitable space or storage and is exempt from the building height. (see section 504.3)

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Jay Kelley **Approval Date:** 05/19/2005
Note: **Ok to Issue:**

- 1) Sprinkler system is installed in accordance with NFPA 13 sprinkler code and installed to specifications
- 2) All construction is done in accordance with NFPA 101 Life safety Code and built to specifications according to plans

Location of Construction: 545 Congress St	Owner Name: Hega Realty Trust	Owner Address: 218 East Rd	Phone:
Business Name:	Contractor Name: KDA Development	Contractor Address: PO Box 6799 Scarborough	Phone (207) 883-3618
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

Dept: Fire **Status:** Approved **Reviewer:** Lt. MacDougal **Approval Date:** 03/14/2005
Note: **Ok to Issue:**

Dept: Planning **Status:** Approved with Conditions **Reviewer:** Ethan Macomber **Approval Date:** 03/22/2005
Note: As of 3/22/2005, Okay to issue permit for interior demolition work only. Applicant should be advised that a 10 day appeal period for the approval of the amended subdivision is in effect until Friday, April 1st. Building permit should not be issued until all conditions of approval are met. **Ok to Issue:**

Comments:

5/23/2005-mjn:

I have commenced the review of the building plans and require the following or have the following questions:

- 1) The Spec Book does not list NFPA 252 or UL 10C, as referenced tests for the Side Hinged doors.
- 2) Fire pole. According to the ICC, it's not prohibited but I have some concerns so we should figure out how we're going to provide the highest level of protection we can.
- 3) A. 10.A figure 1. Please make sure that the first stairway does not exceed 12 feet from landing to landing.
- 4) Need the Sound transmission classifications for the Floor Ceiling and Party wall assemblies and well as the assemblies that separated the D/U's from the common areas.
- 5) First floor right second means if egress is through and unassigned room, this may conflict with Section 1013.2. Please provide a code justification.
- 6) These plans are being reviewed based on the installation of a full NFPA 13 system. NOT a 13R system.
- 7) Please provide a Code justification for the use of AID FIREFILM II, and please indicate where it will be used.
- 8) No handrails are shown on the "rear stairway" on AI and A2. (and other floor plans) Does the Typical on AIO.A provide us with the assurance that all stairways will have code compliant handrails?
- 9) Need structurals for exterior porches/balconies with Guard Rail Details.
- 10) Although implied, by the fact that Dave T. stamped the plans, I'm looking for specific commentary that the existing building has been evaluated and will carry the new loads imposed by the vertical expansion.
- 11) Because this is a seismic B, Kenneth Recker's letter does not address the 1614.1.1. Please review.
- 12) Please review Tables 1704.3 and 1704.4 as well as the remainder of Chapter 17. It appears that the statement of special inspections is incomplete



Commercial Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of my kind are accepted.

Location/Address of Construction: 545 Congress Street		
Total Square Footage of Proposed Structure 29,524	Square Footage of Lot 5,713	
Tax Assessor's Chart, Block & Lot Chart# 037 Block# C Lot# 17	Owner: Congress Joint Development, LLC	Telephone: (207) 883-3618
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: David Lloyd Archetype, PA 48 Union Wharf Portland, ME 04101 (207) 772-6022	Cost Of Work \$ 1,400,000 Fee: \$ 12,621
Current Specific use: <u>Business/Mercantile</u>		
Proposed Specific use: <u>Residential/Mercantile</u>		
Project description: <u>Renovation of floors 2-5, add 6th floor unit.</u>		
Contractor's name, address	<p>5-13-05 "Copy"</p> <p>Mike S.</p> <p>I think you may have this permit. This is added info that needs to be with it.</p> <p>Donna</p>	
Who should we contact with Mailing address: Congress PO Box 6 Scarborough		
	Scarborough, ME 04070 (207) 883-3618	Phone: (207) 883-3618

Please submit all of the do so will result in the a

At the discretion of the Planning further information stop by the

Application Checklist. Failure to

may be required prior to permit approval. For 74-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: 4-28-05
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Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit: you may not commence any work until the Permit is issued.



Commercial Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Total Square Footage of Proposed Structure 29,524		Square Footage of Lot 5,713
Tax Assessor's Chart, Block & Lot Chart# 037 Block# C Lot# 17	Owner: Congress Joint Development, LLC	Telephone: (207) 883-3618
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: David Lloyd Archetype, PA 48 Union Wharf Portland, ME 04101 (207) 772-6022	Cost Of Work: \$ <u>1,400,000</u> Fee: \$ 12,621
Current Specific use: <u>Business/Mercantile</u>		
Proposed Specific use: <u>Residential/Mercantile</u>		
Project description: Renovation of floors 2-5, add 6th floor unit.		
Contractor's name, address & telephone: Kerry Anderson KDA Development, PO Box 6799, Scarborough, ME 04070 (207) 883-3618		
Who should we contact when the permit is ready: <u>Kerry Anderson</u>		
Mailing address: Congress Joint Development, LLC PO Box 6799 Scarborough, ME 04070 Phone: (207) 883-3618		

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>4-28-0</u>
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Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



Commercial Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Total Square Footage of Proposed Structure 29,524		Square Footage of Lot 5,713
Tax Assessor's Chart, Block & Lot Chart# 037 Block# C Lot# 17	Owner: Congress Joint Development, LLC	Telephone: (207) 883-3618
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: David Lloyd Archetype, PA 48 Union Wharf Portland, ME 04101 (207) 772-6022	Cost Of Work \$ <u>1,400,000</u> Fee: \$ 12,621
Current Specific use: <u>Business/Mercantile</u>		
Proposed Specific use: <u>Residential/Mercantile</u>		
Project description: <u>Renovation of floors 2-5, add 6th floor unit.</u>		
Contractor's name, address & telephone: Kerry KDA		(207) 883-3618
Who should we contact when the permit is ready		
Mailing address: Congress Joint Development, PO Box 8799 Scarborough, ME 04070		(207) 883-3618

"COPY"

Please include this with the preliminary Subm. Hcd Building Permit application

Please submit all of the information out do so will result in the automatic denial

At the discretion of the Planning and Development further information stop by the Building Inspector

I hereby certify that I am the Owner of record of the na authorized by the owner to make this application as his/ if a permit for work described in this application is issue areas covered by this permit at any reasonable hour to e

ist. Failure to

ior to permit approval. For

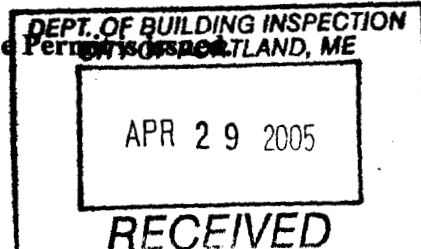
used work and that I have been of this jurisdiction. In addition, all have the authority to enter all

Signature of applicant:

Date: 4-20-05

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.





City of Portland Site Plan Application

If you or the property owner owes red estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Address of Proposed Development: 545 Congress Street		Zone: B3
Total Square Footage of Proposed Structure: 24,840 sq. ft.		Square Footage of Lot: 0.162 Acres
Tax Assessor's Chart, Block & Lot: Chart# 037 Block# C Lot# 17	Property owner's mailing address: Congress Joint Development.LLC P.O. Box 6799 Scarborough, ME 04070	Telephone #: (207) 883-3618
Consultant/Agent, mailing address, phone # & contact person: David Lloyd Archetype, P.A. 48 Union Wharf Portland, ME 04101 (207) 772-6022	Applicant's name, mailing address, telephone #/Fax#/Pager#: David Lloyd Archetype, P.A. 48 Union Wharf Portland, ME 04101 Tel: (207) 772-6022 Fax: (207) 772-4056	Project name: Winslow Building
<p>Proposed Development (check all that apply)</p> <p> <input type="checkbox"/> New Building <input checked="" type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ <input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____) <input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Stormwater Quality (\$250.00) <input type="checkbox"/> Section 14403 Review (\$400.00 + \$25.00 per lot) <input type="checkbox"/> Other _____ </p> <p>Major Development (more than 10,000 sq. ft.)</p> <p> <input type="checkbox"/> Under 50,000 sq. ft. (\$500.00) <input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00) <input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00) <input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00) <input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00) <input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee) </p> <p>Minor Site Plan Review</p> <p> <input type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee) </p> <p>Plan Amendments</p> <p> <input checked="" type="checkbox"/> Planning Staff Review (\$250.00) <input type="checkbox"/> Planning Board Review (\$500.00) </p>		
- Please see next page -		

FROM DESIGNER: Archetype, P.A.

DATE: 4/28/05

Job Name: Winslow Lofts

Address of Construction: 545 Congress St

2003 International Building Code

Construction project was designed according to the building code criteria listed below

Building Code and Year ICC 2003 Use Group Classification(s) M & R-2

Type of Construction 3-A

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Yes

Is the Structure mixed use? Yes if yes, separated or non separated (see Section 302.3) Separated

Supervisory alarm system? Yes Geotechnical/Soils report required? (See Section 1802.2) _____

STRUCTURAL DESIGN CALCULATIONS

S1 Submitted for all structural members
(106.1, 106.1.1)

N/A Live load reduction
(1603.1.1, 1607.9, 1607.10)

N/A Roof live loads (1603.1.2, 1607.11)

**DESIGN LOADS ON CONSTRUCTION DOCUMENTS
(1603)**

Roof snow loads (1603.1.3, 1608)

60 PSF Ground snow load, P_g (1608.2)

Uniformly distributed floor live loads (1603.1.1, 1607)

47 PSF If $P_f \geq 18$ psf, flat-roof snow load, P_f
(1608.3)

Floor Area Use

Loads Shown

1.0 If $P_g > 10$ psf, snow exposure factor, C_e
(Table 1608.3.1)

Dwelling Units

40 PSF

1.0 If $P_g > 10$ psf, snow load importance
factor, I_s (Table 1604.5)

Stairs & Comdors

100 PSF

1.0 Roof thermal factor, C_r (Table 1608.3.2)

N/A Sloped roof snowload, P_s (1608.4)

Wind loads (1603.1.4, 1609)

B Seismic design category (1618.3)

ASCE 7-02 Design option utilized (1609.1.1, 1609.6)

1H Basic seismic-force-resisting system
(Table 1617.6.2)

85 MPH Basic wind speed (1609.3)

R=2 1/2 Response modification coefficient, R ,
and deflection amplification factor, C_d
(Table 1617.6.2)

Cat II Iw=1.0 Building category and wind importance
factor, I_w (Table 1604.5, 1609.5)

Simplified Analysis procedure (1616.8, 1677.5)

B Wind exposure category (1609.4)

549K Design base shear (1617.4, 1617.5.1)

+/-0.18 Internal pressure coefficient (ASCE 7)

Max 26.0 PSF Component and cladding pressures
(1609.1.1, 1609.6.2.2)

Flood loads (1603.1.6, 1612)

N/A Flood hazard area (1612.3)

Max 19.0 PSF Main force wind pressures (1609.1.1,
1609.6.2.1)

N/A Elevation of structure

Earthquake design data (1603.1.5, 1614 - 1623)

Other loads

N/A Concentrated loads (1607.4)

IBC 2003 Design option utilized (1614.1)

N/A Partition loads (1607.5)

I Seismic use group ("Category")
(Table 1624.5, 1616.2)

N/A Impact loads (1607.8)

SDS=0.250

SD1=0.067 Spectral response coefficients, S_{DS} &
 S_{D1} (1616.1)

N/A Misc. loads (Table 1607.6, 1607.81,
1607.7, 1807.12, 1807.13, 1610,
1611, 2404)

B Site class (1615.1.5)

Applicant: KDA Development/Hega Realty Trust Date: 5/10/05
Address: 545 Congress St C-B-L: 37-C-17

CHECK-LIST AGAINST ZONING ORDINANCE

#05-0501

Date - Existing Bldg

Zone Location - B-3

Interior or corner lot - Tolman PLACE

Proposed Use/Work - To change the use of 2nd - 5th floors & add a 6th floor with apt & penthouse above
Basement: storage for retail & trashroom

Sewage Disposal - City

Lot Street Frontage -

Front Yard - N/A

Rear Yard - N/A

Side Yard - N/A

Projections -

Width of Lot - new const. → 6th floor: penthouse above: 1 residential D.U.
Height - 100' MAX per Downtown height overlay map - 88' scaled

Lot Area -

Lot Coverage/Impervious Surface - 100% permitted

Area per Family - N/A

Off-street Parking - 2 spaces required for the one top unit
See FAX DATED 5/17/05 showing parking residential D.U.
Planning Bd approved parking off site nearby for ≈ 14 parking spaces around the corner from Bldg

Loading Bays - N/A

Site Plan - # 2005-0051

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 13 - Zone C



22 Oakmont Drive
Old Orchard Beach, ME
04064-4121

207.934.8038
Fax 207.934.8039

May 24, 2005

Bill Hopkins
Archetype, P.A.
48 Union Wharf
Portland, ME 04101

Subject : Winslow Lofts
545 congress street
Portland, ME

Dear Bill,

This letter is in response to questions and comments related to the structural system contained in Mike Nugent's memorandum dated 5/23/2005.

9. The basic framing for balconies is shown on sheet S4, revision I dated 05/06/05. Handrails are shown on sheet A12. I will confirm the structural capacity and code conformance of handrails and issue sketches as required.
10. I have performed a structural evaluation of the existing building and determined that it is capable of supporting the additional gravity loads imposed by the vertical expansion.
11. The addition increased the seismic load by more than 5%. Therefore I have _____ designed the new reinforced masonry walls to resist all of the seismic and wind loading. The new addition including the new masonry walls meets the requirements for new structures as required by IBC/2003 section 1614.1.1.1.
12. I believe that the Statement of Special Inspections dated 4/22/05 addresses all of the inspections required by chapter 17 of IBC/2003. I will revise and include any other inspections required by the City of Portland Inspections Division.

Sincerely,

STRUCTURAL DESIGN CONSULTING, INC

David Tetreault, P.E.



March 29, 2005
05085

Mr. David Lloyd
Archetype P.A.
48 Union Wharf
Portland, ME 04101

Proposed Penthouse Addition, 537 Congress Street, Portland, Maine

Dear David:

In accordance with your request, the undersigned visited the subject project with you on March 16, 2005 to observe foundation conditions for the existing building. The building is an existing five-story brick building with full basement near the intersection of Oak Street and Congress Street.

We understand that your client proposes a residential penthouse addition to the top of the building. **You** requested that we visit the building and observe bearing conditions to determine the site class under the International Building Code (IBC).

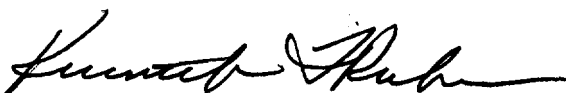
The foundation walls of the building consist of large mortared field stones. The foundation walls appear to be in very good condition with tight joints. Bedrock was exposed in several locations throughout the basement, and it appeared that the foundation walls were bearing on bedrock. The exposed bedrock was sound and intact with minor fractures. In one sump below the basement, drill casts could be seen from the original rock excavation for the sump.

In our opinion, the building is likely founded on sound intact bedrock, and the appropriate site class in accordance with the IBC is Class B; the site response coefficient F_a is 1.0 for short period spectral response acceleration S_s of 0.375g; the site response coefficient F_v is 1.0 for the 1-second period spectral response acceleration S_1 of 0.10g.

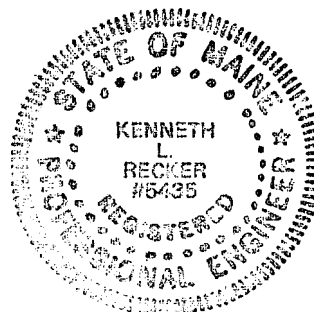
If you have questions or need more information, please contact us.

Sincerely,

SEBAGO TECHNICS, INC.



Kenneth L. Recker, P.E.
Geotechnical Engineering Manager



KLR:klr/jc

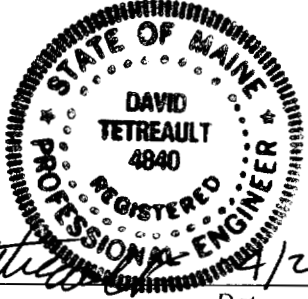
STATEMENT OF SPECIAL INSPECTIONS

PROJECT: Winslow Lofts
LOCATION: 545 Congress Street
Portland, Maine
OWNER: Congress Joint Development, LLC
P.O. 6799
Scarborough, ME 04070
ARCHITECT OF RECORD: Archetype, P.A.
48 Union Wharf
Portland, ME 04101
STRUCTURAL ENGINEER OF RECORD: Structural Design Consulting, Inc.
22 Oakmont Drive
Old Orchard Beach, ME 04064-4121

This Statement of Special Inspections is submitted as a condition of permit issuance in accordance with Section 1704 of the 2003 International Building Code. It includes a Schedule of Special Inspection Services applicable to this project as well as the name of the Special Inspection Coordinator, and the names of other agencies intended to be retained for conducting these inspections.

The Special Inspection Coordinator shall keep records of all inspections listed herein, and shall periodically furnish Interim Special Inspection Reports to the Building Code Official and to the Architect of Record. All discrepancies shall be brought to the immediate attention of the Contractor for correction. If the discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Code Official and the Architect of Record. A Final Report of Special Inspections documenting completion of all special inspections and correction of all discrepancies noted in inspection records shall be submitted to the Building Code Official.

Job site safety and means and methods of construction are solely the responsibility of the Contractor. Materials and activities to be inspected do not include the Contractor's equipment and methods used to erect or install the materials listed.

Prepared by: 
David Tetreault 4/22/05
Signature Date

Owner's Authorization:

Signature Date

Building Code Official's Acceptance
[Signature] 5/31/05
Signature Date
w/ CONDITIONS
SEE PERMIT
CONDITIONS
[Signature]

SPECIAL INSPECTION AGENCIES

1. SPECIAL INSPECTION COORDINATOR:

David Tetreault, P.E.
Structural Design Consulting, Inc.
22 Oakmont Drive
Old Orchard Beach, ME 04064-4121
207-934-8038

2. TESTING AGENCY:

Sebago Technics
One Chabot Street
Westbrook, ME 04098-1339
207-856-0277

3. TESTING AGENCY:

Summit Labs
1039 Riverside Drive
Portland, ME 040103
207-797-3311

4. TESTING AGENCY:

Elite Inspection Services, Inc.
220 Industrial Way
Portland, ME 040101
207-797-2284

*Note The inspection and testing agents shall be engaged by the Owner or the Owner's Agent and **not** by the Contractor or Subcontractor whose work is being inspected or tested. Any conflict of interest shall be disclosed to the Building Official prior to commencement of work.*

1. Fabricators

Item	Agent No.	Scope
Structural Steel	1	Verify that fabricator maintains detailed fabrication and quality control procedures.

2. Soils and Foundations

Item	Agent No.	Scope
Subgrade Preparation	2	Observe excavation and footing bearing surface.

3. Cast-In-Place Concrete

Item	Agent No.	Scope
Mix Design	1	Review suppliers mix design and laboratory test reports or strength tests. Review concrete batch tickets and verify compliance with approved mix design.
Inspection of reinforcing steel	1	Inspect size, spacing, cover, positioning and grade of reinforcing steel. Verify that reinforcing bars are free of form oil and other deleterious materials. Inspect bar laps. Verify that bars are adequately tied and supported on chairs or bolsters
Concrete Placement	1	Inspect concreting operations during placement.
Material Testing	3	Sample and test concrete for slump, air content, temperature and compressive strength.
Concrete Curing	1	Inspect curing, hot weather and/or cold weather protection procedures.

-

4. Wood

Item	Agent No.	Scope
Materials	1	Review materials for conformance with Contract Documents.
Details	1	Review framing details for conformance with Contract Documents.

5. Structural Steel

Item	Agent No.	Scope
Materials	1	Review material for conformance with Contract Documents including reinforcing, mortar and grout mixes.
Welding	4	Perform visual inspection of all welds. Welds deemed questionable by visual inspection, all partial and full penetration welds, and any other welds indicated on the Contract Documents shall be tested by Liquid penetrant inspection, magnetic particle inspection, radiographic inspection or Ultrasonic Inspection
High-Strength Bolts	4	Periodic inspection of installation and tightening of high-strength bolts.
Details	1	Review framing details for conformance with Contract Documents.

6. Masonry

Item	Agent No.	Scope
Mix Design	1	Review proportions of site-prepared mortar and grout
Inspection of reinforcing steel	1	Inspect size, spacing, cover, positioning and grade of reinforcing steel. Verify that reinforcing bars are free of form oil and other deleterious materials. Inspect bar laps. Verify that bars are adequately tied and supported on chairs or bolsters
Details	1	Review details for conformance with Contract Documents.

Memorandum

To: Mike Nugent

From: Bill Hopkins

Date: May 24, 2005

Re: Response to your comments of 5/23/2005 on Winslow Lofts

1. Attached is a revision to our door specification referencing UL 100
2. The fire pole is a request of the owner, not within the code.
3. The distance in the first to second floor of the 2nd floor stairway is 11'-11 3/8" by calculation. We have added a note on sheet A10A that no construction commence until this dimension is verified.
4. The STC rating of the D/U and corridor separation wall (W1) is 50 to **54**. The floor ceiling assemblies are untested and we have sent them to an acoustical engineer for analysis.
5. The right hand tenant, Patagonia, is an existing occupancy of 1487 gross sq. ft. with an occupant load of **49.5** (based on 30 ft gross) and a travel distance in the store of 68 feet. The rear storage room is existing. New construction in the store is limited to increasing the fire separation rating both above and below and adding a stairwell thru the storage room in the rear. We believe the existing occupancy generally meets egress compliance with an occupant load less then 50 (Table 1014.1) and common path of travel in the retail store of less then 75 ft. (Sec. 1013.3). The storage room will have its own its means of egress thru the stair tower or the retail store.
6. The sprinkler system is **NFPA 13**.
7. A/D Firefilm II Meets ASTM E 84 and E1 19 Fire tests as referenced in **IBC** standards. The intended use, at this time, is for 3 exposed window lintels on the second floor which exceed 6R.
8. We no longer show handrails on our stairs but rely on the typical details. We have added an additional note to ensure we will have handrails on both sides of all stairs.

Items 9, 10, 11 and 12 are addressed by David Tetreault P.E.

SECTION 08110- STEEL DOORS AND FRAMESPART I- GENERAL1.01 Work Included

Furnish Hollow Metal Work as shown on the contract drawings and as specified in this section. General Conditions and Supplementary Conditions as described in Division 1 apply to this section.

- A. Non- rated and fire rated hollow metal doors and frames.
- B. Hardware reinforcing anchors and accessories.

1.02 Related Sections

- | | | |
|----|---|---------------|
| A. | Unit Masonry, mortar filling of frames | Section 04200 |
| B. | Rough and finish carpentry, installation of steel doors and frames. | Section 06000 |
| C. | Architectural Woodwork | Section 06400 |
| D. | Stile & Rail wood doors. | Section 08212 |
| F. | Finish Hardware | Section 08710 |
| G. | Glazing | Section 08800 |
| H. | Painting | Section 09900 |

1.03 References

- A. ANSI A115 - Preparation of doors and frames for finish hardware
- B. ASTM A653 - Steel Sheet, Zinc Coated by Hot dipped process
- C. NAAMM HMMA 810-87 Hollow metal doors.
- D. NAAMM HMMA 820-87 Hollow metal frames.
- E. NFPA 80 1994, Fire Doors and Windows.
- F. UL 10B, Fire test of door assemblies
- G. UL 10C Positive Pressure Fire Tests of Door Assemblies

1.04 Quality Assurance

- A. Provide hollow metal work from one of the listed manufacturers specializing in this type of work.
- B. Labeled doors and frames shall be provided for those openings that require fire ratings as determined and scheduled by the Architect. Such doors and frames shall be constructed as tested and approved by Intertek Testing (WHI), U.L or other recognized testing agency having a factory testing service.

1.05 Submittals

- A. Submit manufacturer's specifications for fabrication and installation data

- B. Submit (6) *Six* copies of shop drawings for fabrication and installation. Include details of each frame type, elevations door design, condition at opening, location, anchor details, and joint connections for oversized frames. Provide schedules of doors and frames using the same reference numbers as those used on the contract drawings.
- C. Samples:
 - 1. A sample door showing edge, top and bottom construction, core materials, hinge reinforcement.
 - 2. A sample of a typical frame showing welded corner joint, welded hinge reinforcing plate, dust covers, and all anchors.
 - 3. Samples submitted shall be of the same production type and shall represent in respects the **quality** of work to be furnished by the manufacturer. No work represented by the samples shall be fabricated until samples are approved and any downgrading of **quality** demonstrated by the samples may be cause for rejection of the work.
 - 4. Physical samples shall be Submitted at the same time as the written documents and shall remain in the Architects possession until substantial completion of work.

1.06 Schedulina and Sequencing

- A. Coordinate work with other trades, reference Division 1, Section 01010, Summary of Work.

1.07 Delivery and Handling

- A. Delivery, storage and handling of the hollow metal work shall be accomplished in such a manner as required to prevent damage including deterioration of Prime Coat Finish.
- B. Doors shall be stored in an upright position in a protected and dry area. Place bottom of doors on wood strips over the ground or floor. Doors shall also be shimmed to provide at least 1 / 4 inch space between units.

1.08 Warrantee

- A. Provide a (1) one year manufacturers warranty under the provisions of Section 01700. This warranty period shall be effective at the substantial completion date specified by the Architect.

PART 2- PRODUCTS

2.01 Acceptable Manufacturer

- A. Subject to compliance with the requirements of this specification, provide steel doors and frames from the following HMMA member.
 - 1. De La Fontaine Industries Inc
1-800-565-9230
 - 2. Philipp Manufacturing Co
1-413-527-4444

- 3. Steelcraft Corporation
1-513-745-6400
- 4. Ceco Corporation
1-615-661-5030

2.02 Materials

- A. Interior doors and frames:
 - 1. Galvanized steel in accordance with ASTM **A653**, designation 2075 with a minimum thickness of .25 oz per sq/foot total both sides.
- B. Interior door cores:
 - 1. Impregnated small cell glued honeycomb, compatible with fire rated requirements.
- C. Door Faces:
 - 1. Interior doors, **18** Gauge up to 3'0 wide doors, **16** gauge over **3'0** wide.
- D. Frames:
 - 1. Interior frames, **16** Gauge, **14** Gauge over **4' 0** wide

2.03 Steel Door Construction

- A. Doors shall be made of commercial quality, level, hot dipped galvanized metal in accordance with ASTM **A653** and shall be free of scale, pitting or surface defects.
- B. All doors shall be of the type and size shown on drawings and shall be **PA** series lock seam on edge (no visible seams on face) as manufactured by De La Fontaine Industries. Door thickness shall be **1 3/4"** unless noted different on plans.
- C. Doors shall be strong, rigid and neat in appearance, free of warpage or buckle. Corner bends shall be true, straight and of minimum radius for the gauge of metal specified.
- D. For interior doors, cores shall be glued honeycomb core compatible with fire rated requirements spanning the full thickness of the interior spaces.
- E. Tops and bottoms of the doors shall have an inverted channel made of **18** gauge galvanized steel spot welded 5" on center to the face skins.
- F. Doors shall be beveled **1/8"** in 2" on both stiles.
- G. Hardware Reinforcements:
 - 1. Doors shall be mortised, reinforced, drilled and tapped at the factory for fully template hardware only, in accordance with the approved hardware schedule and templates provided by hardware supplier. Where surface mounted hardware is used doors shall be reinforced only, drilling and tapping shall be done in the field.
 - 2. Minimum gauge reinforcing plates are as follows:
 - Hinges & Pivots **10** gauge.
 - Lock face, Flush bolts, Closers **12** gauge.
 - All other reinforcements **16** gauge

- H. Labeled doors: see 2.06 of this specification.
- I. Finish: After fabrication, all tool marks and surface imperfections shall be dressed filled and sanded. Doors shall then be primed using a rust-inhibitive zinc rich primer which is fully cured before shipping.

2.05 Steel Door Frame Construction

- A. Hollow metal frames shall be made of commercial **quality**, level, hot dipped galvanized metal in accordance with ASTM A653 and shall be free of scale, pitting or surface defects.
- B. All frames shall be welded (1) piece of the type and size shown on drawings with integral trim similar to De La Fontaine's SR or DR series.
- C. All finished work shall be strong and rigid, neat in appearance, square, true.
- D. Jamb depths, trim profile and backbends shall be as scheduled in the drawings by the Architect.
- E. Corner joints shall have all contact edges closed tight, with trim faces mitered face welded and stops butted.
- F. When shipping limitations so dictate, frames for large openings shall be fabricated in sections for field splicing.
- G. Hardware reinforcements:
 - 1. Frames shall be mortised, reinforced, drilled and tapped at the factory for fully template hardware only, in accordance with the approved hardware schedule and the templates supplied by the hardware supplier. Where surface-mounted hardware is used frames shall be reinforced only, drilling and tapping shall be done in the field.
 - 2. Minimum gauge reinforcing plates are as follows:
 - Hinge and pivot reinforcements 10 gauge
 - All other hardware reinforcements 12 gauge
- H. Floor anchors:
 - 1. Floor anchors shall be securely welded to the inside each jamb, with two holes provided for floor anchorage, Minimum gauge is 16 gauge.
- I. Jamb anchors:
 - 1. For installation in masonry walls, use a minimum of 3 adjustable wire (0.156 diam) anchors per jamb leg for up to 7' 0 high frames. Add an additional anchor per 2' 0" portion thereafter.
 - 2. For installation in stud partitions, use a minimum of 3 welded "Z" type (18 gauge, min) anchors per jamb leg for up to 7' 0 high frames. Add an additional anchor per 2' 0 portion thereafter.
 - 3. For installation in previously placed concrete, masonry or structural steel, use prepared opening anchors that are full width and that are flush with the inside dimension of the face. Fasteners for such anchors are provided by others, except

when frame is a Fire Rated frame.

- J. Frames over 4' 0" wide shall have a 12 gauge reinforcement in the header (full width and length of inside dimension of head) welded to the header. These are NOT to be used as lintels or load bearing members, and are provided by others.
- K. Dust cover boxes shall be used in all masonry applications to protect hardware cutouts from dust and masonry. They shall be made of minimum 22 Gauge materials. Dust boxes shall also be used to cover the back of the strike reinforcement on all frames including stud partition installations.
- L. Welded frames shall have temporary spreader bars tack welded at the bottom of each leg to serve as a brace during shipping and handling. These are to be removed before final installation.
- N. Finish: After fabrication, remove tool marks, surface imperfections, exposed surfaces shall be sanded smooth, dressed the complete units shall be primed using a primer that is fully cured before shipping.

2.06 Labeled Doors and Frames

- A. Labeled doors and frames shall be provided for those openings requiring fire protection ratings as determined and scheduled by the Architect. Such doors and frames shall be constructed as tested and approved by Intertek Testing Laboratories (WHI) U.L. or other nationally recognized testing agency having a factory inspection service.
- B. For any door or frame specified or shown on drawings that cannot qualify as fire rated because of its design or other reasons, the Architect must be advised before bid date. An addendum shall be provided at that time.

PART 3- _____ ION

3.01 Site Storage and Handling

- A. Scratches caused by shipping or handling shall be touched up with a rust inhibitive primer. Materials shall be stored on planks or on dunnage, in a dry location and covered to protect them from damage and the elements.

3.02 Installation

- A. Prior to installation, frames must be verified for correctness in size, swing squareness, alignment, twist and plumbness. Permissible tolerances shall not exceed the following and shall not exceed HMMA standards:
 1. Squareness +/- 1/16": Measured on a line at 90 degrees.
 2. Alignment +/- 1/16": Measured on horizontal line.
 3. Twist +/- 1/16": Measured at face corners.
 4. Plumbness +/- 1/16": Measured on the jamb at the floor.
- B. Proper door clearances:
 1. Fit NON fire rated doors with the following clearances;
 - Jamb & heads: 3/32" max.
 - Meeting edges at pairs: 1/8" max.
 - Bottom: 3/4" max, where NO threshold is used.

Winslow Lofts – Portland, ME

REVISION 5/24/05

3/8 max, where thresholds are used.

2. Fit fire rated doors with clearances as specified in NFPA 80.

END OF SECTION

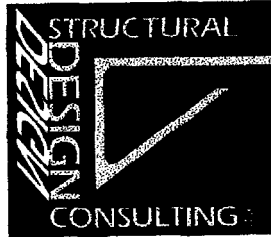
Section 08110-6

Memorandum

To: David Lloyd
From: Mike Nugent/Inspections Division Director
Date: 5/23/2005
Re: Winslow Lofts (037 C017)

I have commenced the review of the building plans and require the following or have the following questions:

- 1) The Spec Book does not list NFPA 252 or UL 10C, as referenced tests for the Side Hinged doors.
- 2) Fire pole. According to the ICC, it's not prohibited but I have some concerns so we should figure out how we're going to provide the highest level of protection we can.
- 3) A.I.O.A figure 1. Please make sure that the first stairway does not exceed 12 feet from landing to landing.
- 4) Need the Sound transmission classifications for the Floor Ceiling and Party wall assemblies and well as the assemblies that separated the D/U's from the common areas.
- 5) First floor right second means if egress is through and unassigned room, this may conflict with Section 1013.2. Please provide a code justification.
- 6) These plans are being reviewed based on the installation of a full NFPA 13 system. NOT a 13R system.
- 7) Please provide a Code justification for the use of A/D FIREFILM II, and please indicate where it will be used.
- 8) No handrails are shown on the "rear stairway" on A1 and A2. (and other floor plans) Does the Typical on AIO.A provide us with the assurance that all stairways will have code compliant handrails?
- 9) Need structurals for exterior porches/balconies with Guard Rail Details.
- 10) Although implied, by the fact that Dave T. stamped the plans, I'm looking for specific commentary that the existing building has been evaluated and will carry the new loads imposed by the vertical expansion.
- 11) Because this is a seismic B, Kenneth Recker's letter does not address the 1614.1.1. Please review.
- 12) Please review Tables 1704.3 and 1704.4 as well as the remainder of Chapter 17. It appears that the statement of special inspections is incomplete.



22 Oakmont Drive
 Old Orchard Beach, ME
 04064-4121
 207.934.8038
 Fax 207.934.8039

May 24,2005

Bill Hopkins
 Archetype, P.A.
 48 Union Wharf
 Portland, ME 04101

Subject : Winslow Lofts
 545 Congress Street
 Portland, ME

Dear Bill,

This letter is in response to questions and comments related to the structural system contained in Mike Nugent's memorandum dated 5/23/2005.

- 9. **The basic** framing for balconies is shown on sheet **S4**, revision **1** dated 05/06/05. Handrails are shown **on** sheet A12. I **will** confirm the structural capacity and code conformance of handrails and issue sketches **as** required.
- 10. I have performed a structural evaluation of the existing building and determined that it **is** capable of supporting the additional gravity **loads** imposed by the vertical **expansion**.
- 11. The addition increased **the** seismic load by **more than 5%**. **Therefore I have** _____ designed the **new** reinforced **masonry** walls to **resist** all of the seismic and wind loading. The new addition including the new masonry walls meets the requirements for new structures **as** required by IBC/2003 section 1614.1.1.1.
- 12. I believe that the Statement **of** Special Inspections dated 4/22/05 addresses all of the inspections required by chapter 17 of IBC/2003. I **will** revise and include **any** other inspections required **by** the City of Portland inspections Division.

Sincerely,

STRUCTURAL DESIGN CONSULTING, INC.

David Tetreault
 David Tetreault, P.E.





CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

TO: Inspector of Buildings **City of Portland, Maine**
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Archetype, P.A.

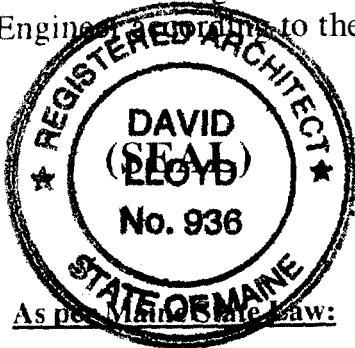
RE: Certificate of Design

DATE: 4/28/05

These plans **and** / or specifications covering construction work **on:**

Winslow Lofts, 545 Congress St.

Have been designed and drawn **up** by the undersigned, a Maine registered Architect /
Engineer, in accordance to the **2003 International Building Code** and local amendments.



As per Maine State Law:

\$50,000.00 or more in new construction, repair
expansion, **addition**, or modification for
Building or Structures, shall be prepared by a
registered **design** Professional.

Signature: 

Title: Architect

Firm: Archetype, P.A.

Address: 48 Union wharf
Portland, ME 04101



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

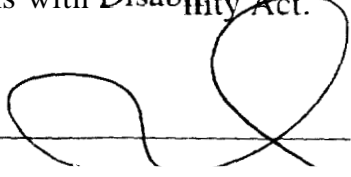
ACCESSIBILITY CERTIFICATE

Designer: Archetype, P.A.

Address of Project: 545 Congress Street

Nature of Project: Renovation of floors 2-5, add 6th floor unit,

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

Signature:  _____

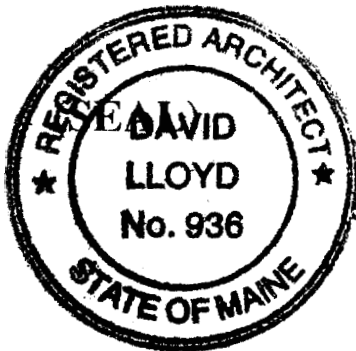
Title: Architect

Firm: Archetype, P A

Address: 48 Union wharf

Portland, ME 04101

Phone: (207) 772-6022



DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAY 17 2005
RECEIVED

10 Dana Street, Suite 400
Portland, Maine 04101
Phone: 207-773-7100
Fax: 207-773-5480
Email: tmoulton@dunham-group.com
www.dunham-group.com

FAX

From The Desk Of
Thomas Moulton, CCIM, SIOR

To: Marge Strimockal Date: 16 may 05
Subject: winslow Lofts Time: 4:30 pm
Fax: 874 -8716 Pages (Including Cover Sheet): 5

Urgent For Review Please Comment Please Reply

545-549 Congress St.
Winslow Lofts

Info per your request

- Parking lease
- Site plan.

Thanks in Advance
😊

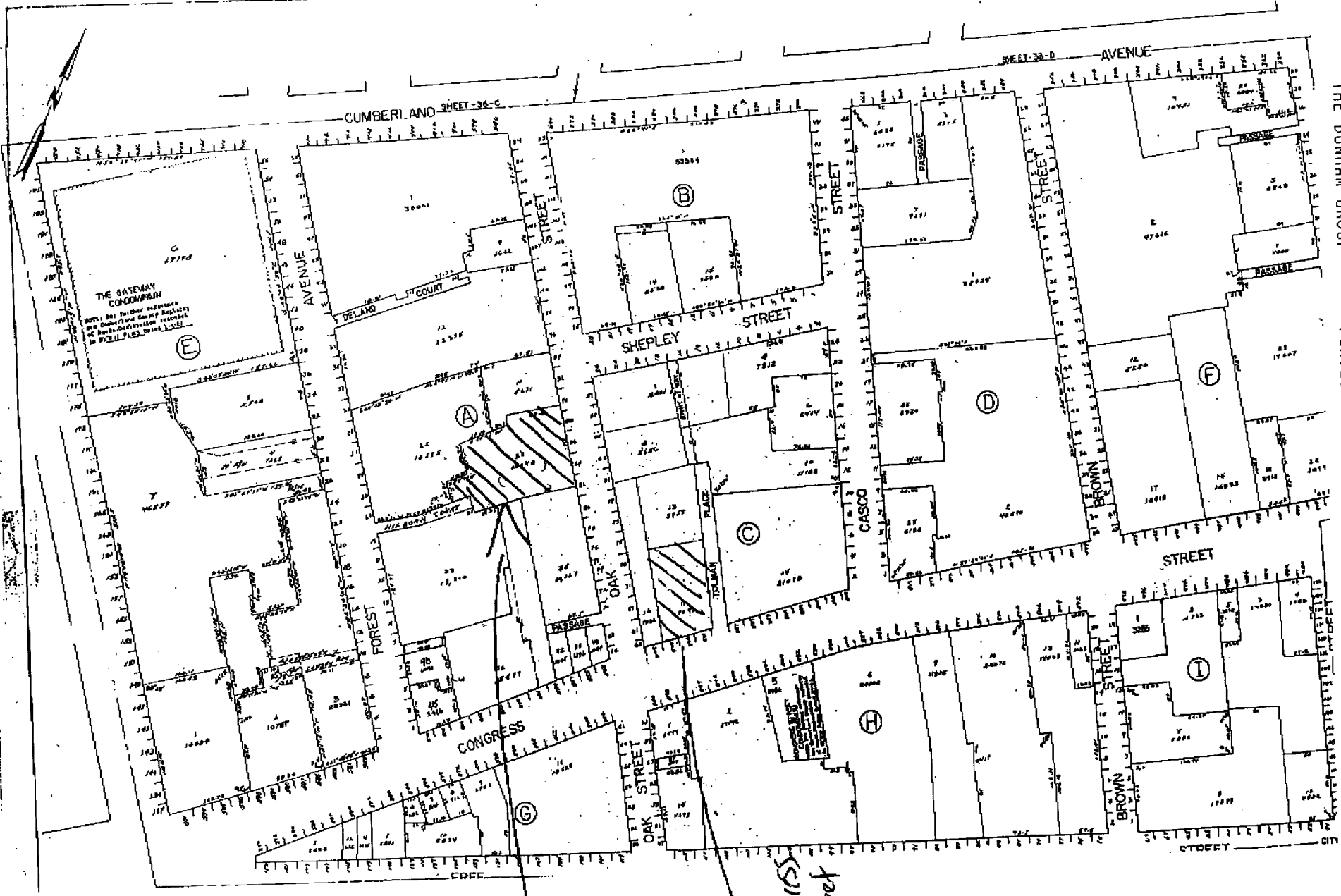
Call me on my cell if you need anything!
450-7100

NAI THE DUNHAM GROUP



COMMERCIAL REAL ESTATE SERVICES WORLDWIDE.

This document is intended for the use of the person to whom it is addressed. It may contain information that is privileged, confidential and exempt from disclosure under applicable law. If you are not the intended recipient, any use of this document is strictly prohibited.



*spaces
curved*

*spaces
bhs-shs
sfr
m/s/r*

PARKING SPACE LEASE

THIS LEASE is by and between Northeast Realty, Inc., a Maine corporation with a mailing address of 567 Congress Street, Portland, Maine 04101 ("Landlord") and Congress Joint Development LLC, a Maine limited liability company with a mailing address of P.O. Box 6799, Scarborough, Maine 04070 ("Tenant").

In consideration of the representations, covenants, and agreements contained herein, the parties hereto covenant and agree as follows:

1. **Lease of Parking Spaces.** Landlord hereby agrees to lease to Tenant up to ~~fourteen (14)~~ ^{fifteen (15)} parking spaces at Landlord's parking lot located at 86 Oak Street, Portland, Maine (depicted on the City of Portland Tax Map 37, Block A as Lot 23 and more particularly described in a deed recorded in the Cumberland County Registry of Deeds in Book 4083, Page 215) (the "Parking Lot"), including access to the leased parking spaces from Oak Street and Forest Avenue. If Tenant requires access from Oak Street, at Tenant's discretion, then Tenant shall pay for the installation of the traditional parking lot equipment necessary for "access card reading." Tenant shall be responsible for maintenance and repairs of this equipment and for the issuing of parking entrance cards to parking clients. The parking spaces leased hereunder shall not be of parking spaces dedicated exclusively to Tenant's use, but at any and all times during the term of this lease, Tenant shall have the right to use and occupy the number of parking spaces leased by Tenant hereunder. Twm
PPC

2. **Term.** The term of this lease shall be ten (10) years, commencing on April 1, 2005 and expiring on March 31, 2015.

3. **Rent.** From April 1, 2005 through December 31, 2006, the gross rent for the parking spaces shall be \$75 per month per space for only the number of spaces available to and required by Tenant under Section 4 below from time to time. From and after January 1, 2007 until the expiration of the term of this lease, the gross rent for the parking spaces leased hereunder shall be no less than the highest rate charged to other of Landlord's parking tenants in Parking Lot. Landlord shall provide Tenant with at least thirty (30) days written notice of any rent increase allowed hereunder prior to the effectiveness hereof. The rent due hereunder by Tenant to Landlord shall be paid to Landlord on or prior to the first business day of each month.

4. **Notification of Tenant's Need for Spaces.** Tenant agrees to notify Landlord upon the execution of this Lease as to Tenant's initial need for parking spaces. The Initial number of parking spaces that Tenant requires is 5. Thereafter, if Tenant requires additional parking spaces, not to exceed the fourteen (14) parking spaces allowed herein or to reduce the number of parking spaces leased hereunder, Tenant shall provide Landlord with thirty (30) days advance written notice of Tenant's need for additional or fewer spaces and the number of parking spaces leased to Tenant hereunder shall be adjusted accordingly within said thirty (30) days. Each time the number of parking spaces leased hereunder are increased or decreased, Tenant shall notify Landlord of the changes and provide to Landlord the license plate number of these additional or removed vehicles, so as to prevent the towing of any properly authorized parked vehicles.

5. **Liability.** Landlord assumes no liability or responsibility for damage or loss to Tenant's vehicles or the contents thereof or to the vehicles and contents thereof of Tenant's assignees or subtenants and any of their guests and invitees.

6. **Assignment and subleasing.** Tenant shall have the right to assign all or a portion of its rights under this Lease to the Winslow Lofts Condominium Association and also shall have the right to

PPC
Twm

sublet parking spaces to purchasers or tenants of units in the Winslow Lofts Condominium (located at 547 Congress Street, Portland, Maine) or others, all without the consent of Landlord. Each time vehicles are subtracted or increased in number, Tenant shall notify Landlord of the changes and provide to Landlord the license plate number of these vehicles, so as to prevent the towing of any properly authorized parked vehicles.

7. Real Estate Taxes, Insurance, and Maintenance. Landlord shall be responsible, at its own expense, for paying all real estate taxes and assessments assessed against the Parking Lot, for insuring the Parking Lot with commercial general liability insurance satisfactory to Landlord, for maintenance of the Parking Lot, including without limitation plowing, salting, sanding, resurfacing, litter pick up, debris removal, fencing, security system maintenance, and restriping, and for electricity for lighting and security systems at the Parking Lot. Landlord shall promptly plow the Parking Lot after any storm generating snowfall exceeding 5 inches and shall keep the Parking Lot (i) paving and striping in reasonably good condition, (ii) lit at night, and (iii) reasonably free of litter and debris that interferes with the use of the parking spaces leased hereunder. Tenant will make every effort to temporarily move and relocate, upon request of Landlord, vehicles parked in the Parking Lot pursuant to this lease for the sole purpose of snow plowing and snow removal during the winter months.

8. Default. In the event of any default by Tenant uncured within ten (10) business days of written notice thereof from Landlord, Landlord shall have the right to terminate this lease by written notice to Tenant and also the right to use all remedies of law, including the right of eviction, and Landlord shall be entitled to all of its costs, including reasonable attorneys' fees, with respect to the successful pursuit of Landlord's remedies hereunder.

9. Miscellaneous. Provided that Tenant complies with all of the terms, conditions and covenants in this lease, Tenant shall be entitled to peaceful and quiet enjoyment of the parking spaces leased hereunder without interference by any party claiming by, through or under Landlord. All notices required hereunder shall be effective upon actual receipt of the notice, and a copy of any notice to Tenant shall be mailed to Thomas W. Moulton, c/o NAI The Dunham Group, 10 Dana Street, Suite 400, Portland, Maine 04101. Landlord and Tenant agree that this lease shall not be recorded but each party hereto agrees, on request of the other, to execute a memorandum of lease in recordable form and mutually satisfactory to the parties. If any provision of this lease or its application to any person or circumstances shall to my extent be invalid or unenforceable, the remainder of this lease and the application of such provision to persons or circumstances other than those as to which it is invalid or unenforceable, shall not be affected thereby and each provision of this lease shall be valid and enforceable to the fullest extent permitted by law. All negotiations, representations and understandings between Landlord and Tenant are incorporated herein and no prior agreements or understandings, written or oral, shall be effective for any purpose. No provision of this lease may be modified or altered except by agreement in writing between Landlord and Tenant, and rights of either party hereunder shall be deemed waived unless waived in a writing signed by the party against whom waiver is claimed. This lease shall be governed exclusively by the provisions hereof and by the laws of the State of Maine.

10. Tenant's obligations under this lease are conditioned upon Tenant's receipt of all necessary permits and approvals for the redevelopment of the Winslow Building. In event that such permits and approvals are not obtained, Tenant may terminate this lease by written notice to Landlord.

PPC
TWM

IN WITNESS WHEREOF, the parties have executed this instrument this 25 day of January, 2005.

Landlord: Northeast Realty, Inc.

By: Penelope P. Carson
Penelope P. Carson
Its duly authorized President

Tenant; Congress Joint Development LLC

By: Thomas W. Moulton
Thomas W. Moulton
Its duly authorized Manager

PR
TWM

October 5, 2004

Sarah Hopkins
Development Review Manager
City of Portland
389 Congress Street
Portland, ME 04101

Re: Residential Subdivision 545- 549 Congress Street, Winslow Building

Dear Sarah:

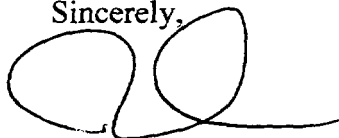
We are submitting our Site Plan Application for the above mentioned project. The existing building is presently a mercantile use on the first floor and business occupancy on floors two through five. Our proposal calls for maintaining the mercantile on the first floor, maintaining business occupancy on the second, converting floors three, four and five to residential and adding a sixth floor of residential. We are also proposing an addition of approximately 450 square feet on the north face of the building on floors two through five. All work takes place in or on the existing footprint. There is no site work contemplated for the development.

Square footage breaks down approximately as follow:

First Floor	4,620 Square Feet	
Second Floor	3,400 Square Feet	} 13600
Third Floor	3,400 Square Feet	
Fourth Floor	3,400 Square Feet	
Fifth Floor	3,400 Square Feet	
Sixth Floor	2,000 Square Feet	
		→ New floor
		<u>20,820 #</u>

Please call with any questions or concerns

Sincerely,



David Lloyd
Architect

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2005-0051
Application I. D. Number

3/7/2005
Application Date

Congress Joint Development
Applicant
P.O. Box 6799. Scarborough. ME 04070
Applicant's Mailing Address

Amendment to Plan - Winslow Buildin
Project Name/Description

Consultant/Agent
Applicant Ph: (207) 883-3618 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

545 - 545 Congress St, Portland, Maine
Address of Proposed Site
037 C017001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) **Amendment to Plan**

24,840 s.f. Proposed Building square Feet or # of Units **B3** Zoning
Acreage of Site

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBNPB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla _____ Subdivision _____ Engineer Review _____ Date _____

Zoning Approval Status:

Reviewer Marge S. - Shop

- Approved Approved w/Conditions See Attached Denied

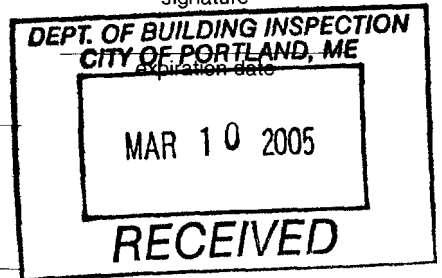
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------------|--|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid | _____ date _____ | _____ amount _____ | |
| <input type="checkbox"/> Building Permit Issue | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date _____ | _____ remaining balance _____ | _____ signature _____ |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date _____ | <input type="checkbox"/> Conditions (See Attached) | |
| <input type="checkbox"/> Final Inspection | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Defect Guarantee Released | _____ date _____ | _____ signature _____ | |



A R C H E T Y P E

March 7, 2005

Ethan Boxer-Macomber, Planner
Dept. of **Planning** and Development
City of Portland
389 Congress Street
Portland, ME. 04101

Re: Winslow Lofts, 545- 549 Congress Street

Dear Ethan,

We are applying for an amendment to the **above** mentioned project. We have changed the second floor from a business **use** to **five (5)** residential units consisting of **two** one-bedroom **and** three studio apartments.

Please **call** with **any** questions.

Sincerely,



David Lloyd
Architect

Who billing will be sent to: (Company, Contact Person, Address, Phone #) Kerry Anderson
Congress Joint Development, LLC
P.O. Box 6799
Scarborough, ME 04070 (207) 883-3618

Submittals shall include (9) separate **folded** packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, & c)
ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process; copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: ci.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: _____

Date: 5-7-05

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

Development in Portland

The City of Portland has instituted the following fees to recover the costs of reviewing development proposals under the Site Plan and Subdivision ordinances: application fee; engineering fee; and inspection fee. Performance and defect guarantees are **also** required by ordinance to cover all site work proposed.

The **Application Fee** covers general planning and administrative processing costs, and is paid at the time of application.

The **Planning** Division is required to send notices to neighbors upon receipt of an application and **prior** to public meetings. The applicant **will** be billed for mailing and advertisement costs. Applicants for development **will** be charged an **Engineering Review Fee**. This fee is charged by the Planning Division for review of on-site improvements of a **civil** engineering nature, such as storm water management as well as the engineering analysis of related improvements **within** the public right-of-way, such as public streets and **utility** connections, **as** assessed by the Department of **Public** Works. The **Engineering** Review fee must be paid before a building permit can be issued. Monthly invoices are sent out by the Planning Division **on** a monthly basis **to** cover engineering **costs**.

A **Performance Guarantee** **will** be required following approval of development plans. This guarantee covers **all** required improvements within the public right-of-way, plus certain site improvements such as landscaping, paving, and drainage improvements. **The Planning** Division **will** provide a cost estimate form for figuring the amount of the performance guarantee, **as** well as sample form letters **to** be filled out by a financial institution.

An Inspection Fee must **also** be submitted to cover inspections to ensure **that** sites are developed in accordance **with** the approved plan. The inspection fee is 2.0% of the performance guarantee amount, or as assessed by the planning or public works engineer. The **minimum** inspection fee is \$300 for development, unless no site improvements are proposed. Public Works inspects work within the City right-of-way and Planning inspects work within the site including pipe-laying **and** connections. (**The contractor must work with inspectors to coordinate** timely inspections, and **should** provide adequate notice before inspections, especially in the case of **final** inspection.)

Upon completion of a development project, the performance guarantee is released, and a **Defect Guarantee** in the amount of 10% of the performance guarantee must be provided. The Defect Guarantee **will** be released after a year.

Other reimbursements to the City include **actual** or apportioned costs for advertising **and** mailed notices. All fees **shall** be paid prior to the issuance of **any** building permit.

For more information on the fees or review process, please call the Planning Division at 874-8719 or 8748721

From: Marge Schmuckal
To: Sarah Hopkins
Date: Thu, Mar 17, 2005 3:54 PM
Subject: Re: The Winslow Block - 545 Congress St.

→ Actually adding a 6th floor
and penthouse w/ home
D.U. - Needs to
show
parking

Zoning is not a problem because it is all within the existing bldg. The use is ok. No setbacks required. They don't even have to show me parking. However, I realize that the PB wants them to show some available parking. The only item, which is not a problem but a reminder, is that the first floor uses are limited to retail-like under the PAD district.

Marge

>>> Sarah Hopkins 03/17 3:50 PM >>>

they are going back to the Board on Tuesday to add 5 more residential units where the swank architectural office was going to be. I guess the only question is whether the zoning is alright.

>>> Marge Schmuckal 03/17/2005 2:43:56 PM >>>

Sarah,

What is the status of this site plan? We have a permit to allow interior demolition. I can sign off on zoning at this point. Please let Mike know whether we can release a permit for demolition only.

Marge

CC: Ethan Boxer-Macomber; Mike Nugent

*Interior Demo only permit
on # 05-0243*

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy

2004-0207
Application I. D. Number
10/6/2004
Application Date
Winslow Building
Project Name/Description

Archetype
Applicant

48 Union Wharf, Portland, ME 04101
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (207) 772-6022 Applicant Fax: (207) 772-4056
Applicant or Agent Daytime Telephone, Fax

545 - 545 Congress St, Portland, Maine
Address of Proposed Site
037 C017001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

24,840 s.f. Proposed Building square Feet or # of Units
Acreage of Site
B3 Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla \$500.00 Subdivision _____ Engineer Review _____ Date 10/6/2004

Zoning Approval Status:

Reviewer Man S. - Inspector
 Denied

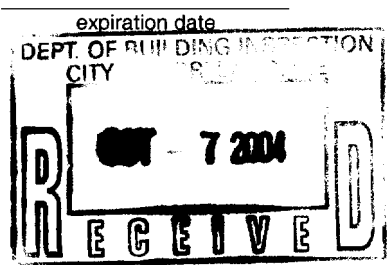
- Approved Approved w/Conditions See Attached

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required. Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Inspection Fee Paid	_____ date _____	_____ amount _____	
<input type="checkbox"/> Building Permit Issue	_____ date _____		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date _____	_____ remaining balance _____	_____ signature _____
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date _____	<input type="checkbox"/> Conditions (See Attached)	
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<input type="checkbox"/> Certificate Of Occupancy	_____ date _____		
<input type="checkbox"/> Performance Guarantee Released	_____ date _____	_____ signature _____	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Defect Guarantee Released	_____ date _____	_____ signature _____	



CITY OF PORTLAND, MAINE

PLANNING BOARD

Lee Lowry III, Chair
Kevin Beal, Vice Chair
John Anton
Orlando E. **Delogu**
Michael Patterson
David Silk
Janice E. Tevanian

January 28,2005

Tom Moulton
Congress Street Joint Development
PO Box 6799
Scarborough, ME 04070

RE: 545 Congress Street – Winslow Building

CBL: 037C017001

Dear Mr.Moulton:

On January 25,2005 the Portland Planning Board voted 7-0 to approve the site plan for the above referenced application. The approval was granted for the project with the following condition(s):

- i. The final design of the project's Congress Street façade shall be in substantial conformance with the approved plans and final architectural finishes and detailing shall be subject to review and approval by the Planning Authority.
- ii. The applicant shall provide two parking spaces in perpetuity.
- iii. That the City Site Lighting Standards are waived for the installation of architectural uplighting as shown on the submitted lighting plans and that the applicant shall submit an exterior lighting plan for the building's Congress Street façade prepared by a professional lighting engineer and in conformance with the City's exterior lighting standards subject to final review and approval by the Planning Authority.
- iv. Any future alteration or restoration of the Congress Street storefronts shall be in conformance with the I33 Downtown Urban Design Guidelines and subject to final review and approval by the City's Urban Designer.

On January 25,2005 the Portland Planning Board also voted 7-0 to approve the subdivision application for the above referenced project. The approval was granted for the project with the following condition(s):

1. Legal condominium documents shall be subject to final review and approval by Corporation Counsel.
- ii. The applicant shall pay \$4,000 into the City's Street Tree Trust for the installation of street trees and related tree well improvements within a two-block vicinity of the subject site.
- iii. The applicant shall provide for a period of 10 years by a lease or otherwise 14 parking spaces at a location subject to final review and approval by Planning staff.

The approval includes the redevelopment and expansion of the Winslow Building at 545 Congress Street including a 6th story rooftop addition. *for a new D.U.*

The approval is based on the submitted site plan and the findings related to site plan and subdivision review standards as contained in Planning Report #5-05, which is attached.

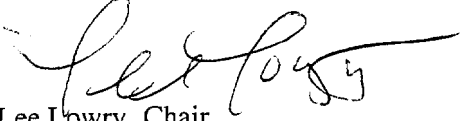
Please note the following provisions and requirements for all site plan approvals:

1. Where submission drawings are available in electronic form, the applicant shall submit any available electronic Autocad files (*.dwg), release 14 or greater, with seven (7) sets of the final plans.
2. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
3. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
4. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
5. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Works representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
6. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Department at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions related to the conditions of approval, the recording of the subdivision plat, or otherwise please contact Ethan Boxer-Macomber at 756-8083 or ebm@portlandmaine.gov.

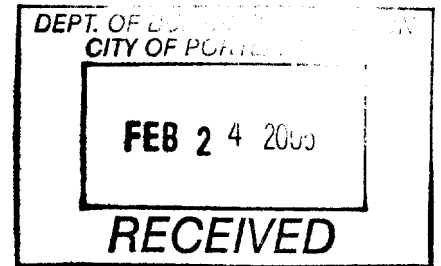
Sincerely,



Lee Lowry, Chair
Portland Planning Board

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development-Review-Services Manager

Ethan Boxer-Macomber, Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Inspections Division
Michael Bobinsky, Public Works Director
Traffic Division
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Assessor's Office
Approval Letter File



From: Marge Schmuckal
To: Sarah Hopkins
Date: Thu, Mar 17, 2005 2:43 PM
Subject: The Winslow Block - 545 Congress St.

Sarah,
What is the status of this site plan? We have a permit to allow interior demolition. I can sign off on zoning at this point. Please let Mike know whether we can release a permit **for** demolition only.
Marge

CC: Mike Nugent

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January 28, 2005

Tom Moulton
Congress Street Joint Development
PO Box 6799
Scarborough, ME 04070

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CBL: 037 C017001

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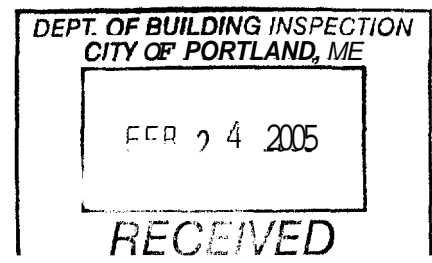
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Sincerely,



Lee Lowry, Chair
Portland Planning Board

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
- - - - Sarah-Hopkins, Development Review Services Manager - - - -
Ethan Boxer-Macomber, Planner
Jay Reynolds, Development Review Coordinator
Marge Schnuckal, Zoning Administrator
Inspections Division
Michael Bobinsky, Public Works Director
Traffic Division
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Assessor's Office
Approval Letter File





Total Square Footage of Proposed Structure: 24,840 sq. ft.		Square Footage of Lot: 0.162 Acres	
Tax Assessor's Chart, Block & Lot: Chart# 037 Block# C Lot# 17		Property owner's mailing address: Congress Joint Development, LLC P.O. Box 6799 Scarborough, ME 04070	
Consultant/Agent, mailing address, phone # & contact person:		Telephone #: (207) 883-3618	
Applicant's name, mailing address, telephone #/ Fax#/ Pager#: David Lloyd Archetype, P.A. 48 Union wharf Portland, ME 04101 Tel: (207) 772-6022 Fax: (207) 772-4056		Project name: Winslow Building	
<p>Proposed Development (check all that apply)</p> <p> <input type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ <input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____) <input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Stormwater Quality (\$250.00) <input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot) <input type="checkbox"/> Other _____ </p> <p>Major Development (more than 10,000 sq. ft.)</p> <p> <input checked="" type="checkbox"/> Under 50,000 sq. ft. (\$500.00) <input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00) <input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00) <input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00) <input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00) <input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee) </p> <p>Minor Site Plan Review</p> <p> <input type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee) </p> <p>Plan Amendments</p> <p> <input type="checkbox"/> Planning staff Review (\$250.00) <input type="checkbox"/> Planning Board Review (\$500.00) </p>			
- Please see next page -			

Who billing will be sent to: (Company, Contact Person, Address, Phone #) Kerry Anderson
Congress Joint Development, LLC
P.O. Box 6799
Scarborough, ME 04070 (207) 883-3618

Submittals shall include (9) separate folded packets of the following:


- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, & c)

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process; copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: ci.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property, in that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to it.

Signature of applicant: 	Date: 10-6-11
---	---------------

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

Development in Portland

The City of Portland has instituted the following fees to recover the costs of reviewing development proposals under the Site Plan and Subdivision ordinances: application fee; engineering fee; and inspection fee. Performance and defect guarantees are also required by ordinance to cover all site work proposed.

The Application Fee covers general planning and administrative processing costs, and is paid at the time of application.

The Planning Division is required to send notices to neighbors upon receipt of an application and prior to public meetings. The applicant will be billed for mailing and advertisement costs. Applicants for development will be charged an Engineering Review Fee. This fee is charged by the Planning Division for review of on-site improvements of a civil engineering nature, such as storm water management as well as the engineering analysis of related improvements within the public right-of-way, such as public streets and utility connections, as assessed by the Department of Public Works. The Engineering Review fee must be paid before a building permit can be issued. Monthly invoices are sent out by the Planning Division on a monthly basis to cover engineering costs.

A Performance Guarantee will be required following approval of development plans. This guarantee covers all required improvements within the public right-of-way, plus certain site improvements such as landscaping, paving, and drainage improvements. The Planning Division will provide a cost estimate form for figuring the amount of the performance guarantee, as well as sample form letters to be filled out by a financial institution.

An Inspection Fee must also be submitted to cover inspections to ensure that sites are developed in accordance with the approved plan. The inspection fee is 2.0% of the performance guarantee amount, or as assessed by the planning or public works engineer. The minimum inspection fee is \$300 for development, unless no site improvements are proposed. Public Works inspects work within the City right-of-way and Planning inspects work within the site including pipe-laying and connections. (The contractor must work with inspectors to coordinate timely inspections, and should provide adequate notice before inspections, especially in the case of final inspection.)

Upon completion of a development project, the performance guarantee is released, and a Defect Guarantee in the amount of 10% of the performance guarantee must be provided. The Defect Guarantee will be released after a year.

Other reimbursements to the City include actual or apportioned costs for advertising and mailed notices. All fees shall be paid prior to the issuance of any building permit.

For more information on the fees or review process, please call the Planning Division at 874-8719 or 874-8721.

CITY OF PORTLAND, MAINE

PLANNING BOARD

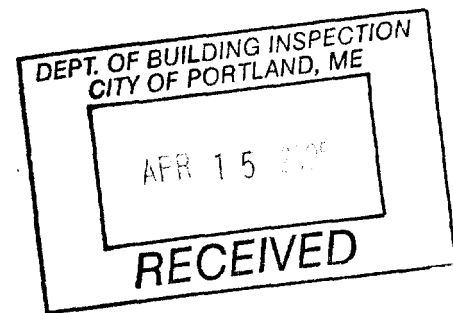
Orlando E. Delogu, Chair
Lee Lowry III, Vice Chair
John Anton
Kevin Beal
Michael Patterson
David Silk
Janice E. Tevastian

March 23, 2005

Tom Moulton
Congress Street Joint Development
PO Box 6799
Scarborough, ME 04070

RE: 545 Congress Street – Winslow Building
Amendment to an Approved Subdivision
Application ID# 2005-0051

CBL: 037 C017001



Dear Mr. Moulton:

On March 22, 2005 the Portland Planning Board voted 7-0 to approve the above referenced application. The approval was granted for the project with the following conditions:

- i. The applicant shall present the Planning Authority with revised water and sewer capacity letters based on the proposed amendment.
- ii. The applicant shall pay an additional \$800 into the City's Street Tree Fund to be applied in close proximity to the subject site.

The approval is for an amendment to a January 25, 2005 approved subdivision within the Winslow Building at **545** Congress Street. The amendment changed the second floor plan from a single professional office unit to five residential units.

The approval is based on the submitted floor plan and the findings related to subdivision review standards as contained in Planning Report #20-05, attached.

Please note the following provisions and requirements for all site plan approvals:

1. Where submission drawings are available in electronic form, the applicant shall submit any available electronic Autocad files (*.dwg), release 14 or greater, with seven (7) sets of the final plans.

Portland Planning Board

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Services Manager
Ethan Boxer-Macomber, Planner
Jay Reynolds, Development Review Coordinator
— Marge Schmuckal, Zoning Administrator
Inspections Division
Michael Bobinsky, Public Works Director
Traffic Division
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Assessor's Office
Approval Letter File

WINSLOW LOFTS

545 CONGRESS STREET
PORTLAND, MAINE

APRIL 18, 2005

IBC 2003 CODE DATA

Use groups M and R-2
Existing Construction= Exterior Masonry/Interior Wood
Construction type: 3A 508.5

Use and Occupancy Sec. 3

Fire Systems Sec. 9

Separated Uses 1st fl M to R-2
1 Hour separation EWxception 302.3.2

NFPA Sprinkler 903.2.7

Standpipe required 905.3.1

Extinguishers- Per Portland Fire Dept
Alarms & Detection by Others

Heights and Areas Sec. 5

Group R-2/ IIIA Construction Sec 5

Means Of Egress Sec. 10

Basement to 1st fl sep.= 3 hrs amended to 2 hrs
Max fire area = 3000 sq. ft.

Wood Stairwayb 1009.5

Corridor rating : 1/2 hour w/ sprinkler T1016.

Stair Shafts 2 hours 1019.1

Fire wall between areas = 2 hours

Height Allowed=75'

Height Proposed = 71'-9" +/- (See A-9)

Stories Allowed = 6

Stories Proposed =6

Fire Resistance Rating Sec 6

Floor, Frame & Roof = 1 hour T602

Interior Bearing Wall = 1 hour

Exterior Non bearing Wall = 0 hour

Exterior Non bearing Wall = 0 hour

Rated Construction Sec 7

3 story shafts 1 hour 707.4

4story + shafts +2 hour 707.4

No roof parapet Req. 704.11.5

Vertical Exposure 0 w/ 1 hr roof 704.10

Fire retardant ply over fire wall 705.6.4

D/U Separation 1 hour fire partition 708.3

Auto closing Fire Shutters 715.3.9

Fire doors & shutters: T-715.3

3/4 hour in 1 hour wall

1-1/2 hour in 2 hour wall

LIST OF DRAWINGS

STRUCTURAL

S1-Foundation Plan and General Notes
S2-1st Floor Framing Plan
S3-2nd Floor Framing Plan
S4-3rd, 4th & 5th Floor Framing Plans
S5-6th Floor Framing Plan
S6-Roof Framing Plan
S7-Framing Sections and Details
S8-Shearwall Elevations and Column Schedule

ARCHITECTURAL

D1-Basement, 1st Floor & 2nd Floor Demolition
D2- 3rd, 4th, & 5th Floor Demolition
B1-Basement Floor Plan
A1-1st Floor Plan
A2-2nd Floor Plan
A3-3rd Floor Plan
A4-4th Floor Plan
A5-5th Floor Plan
A6-6th Floor Plan
A7-Penthouse
A8-Elevations
A9-Building Sections & Details
A10A- Stair #2 7 Stair Details
A10B-Stair Detail
A11-Roof Plan & Details
A12-Exterior Wall Sections & Details
A13-Details
A14-Details
A15-Wall & Floor Types
A16-Wall & Floor Types
A17-Door Schedule
A18-Window Schedule
A19-Lobby Plan & Details

OWNER:

Congress Joint Development, L.L.C.
PO Box 6799
Scarborough, ME 04070
(207) 883-3618

ARCHITECT:

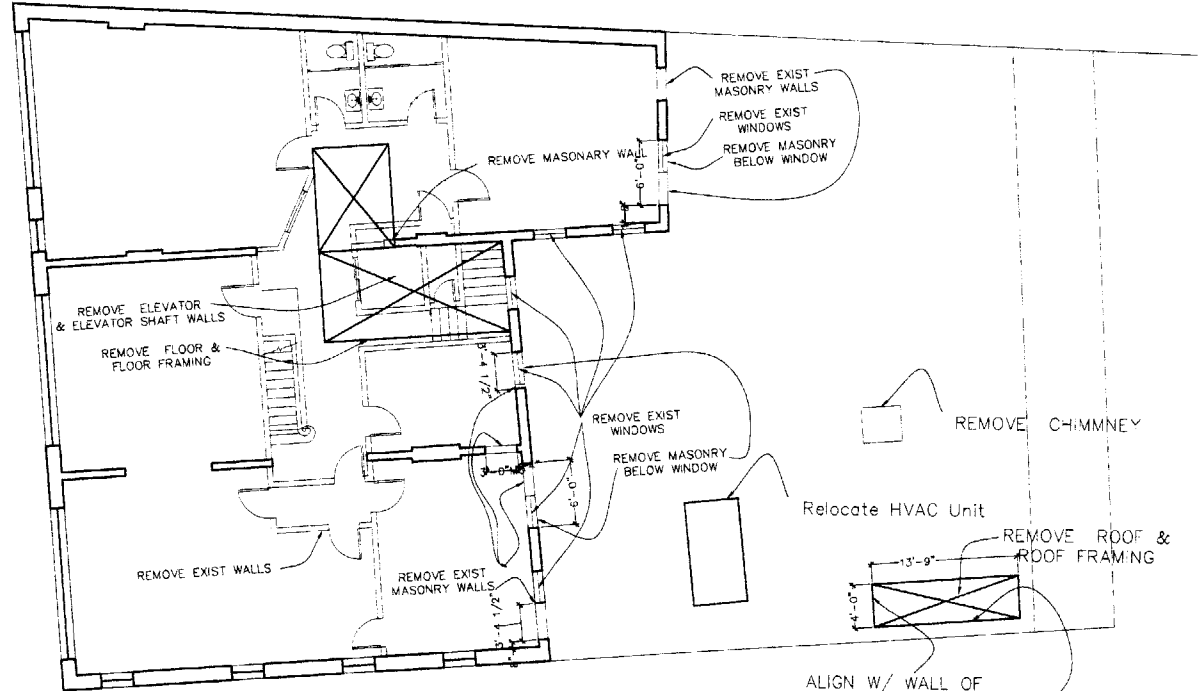
Archetype
48 Union Wharf
Portland, ME 04101
(207) 772-6022

STRUCTURAL ENGINEER:

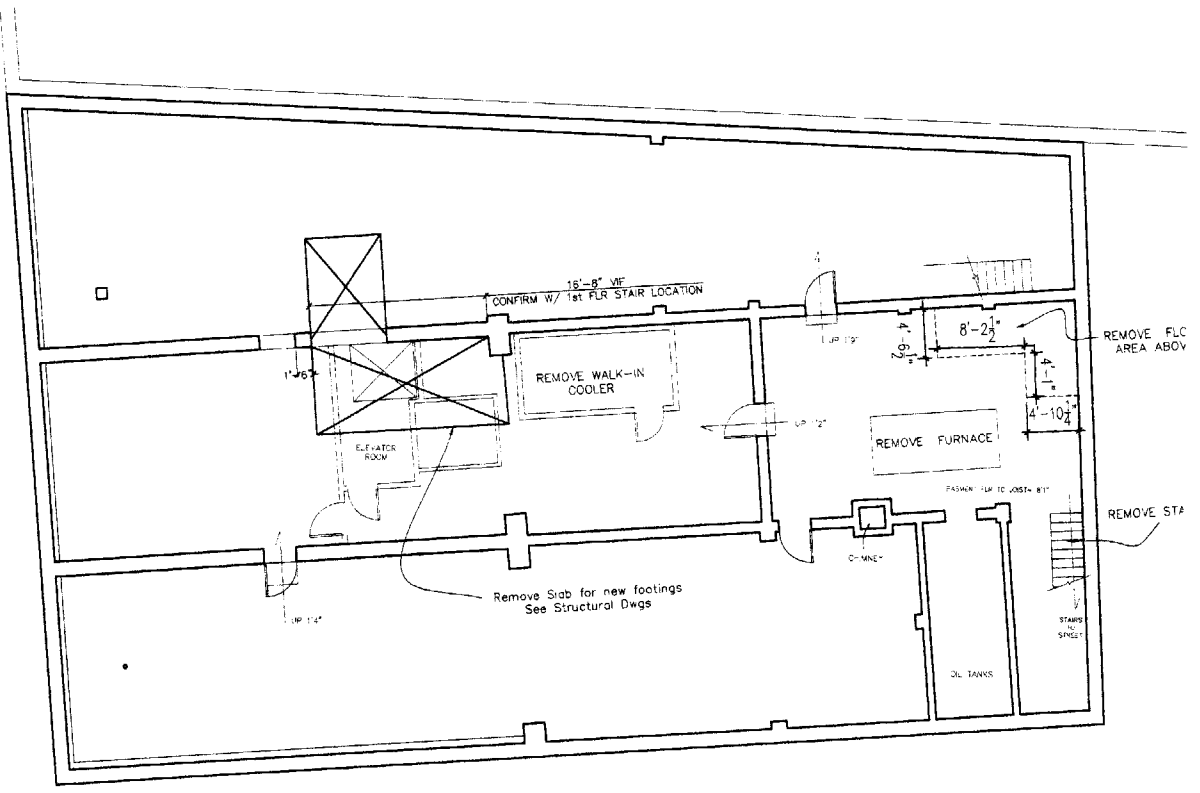
Structural Design Consulting, Inc.
22 Oakmont Drive
Old Orchard Beach, ME 04064
(207) 934-8038

NOTE FOR FLOORS 2 THROUGH 5:
 REMOVE ALL INTERIOR STUD WALLS
 REMOVE ALL INTERIOR PLASTER ON BRICK WALLS
 REMOVE ALL FIN FLOORING DOWN TO WOOD
 REMOVE ALL PLASTER CEILING AND SUSPENDED CEILINGS

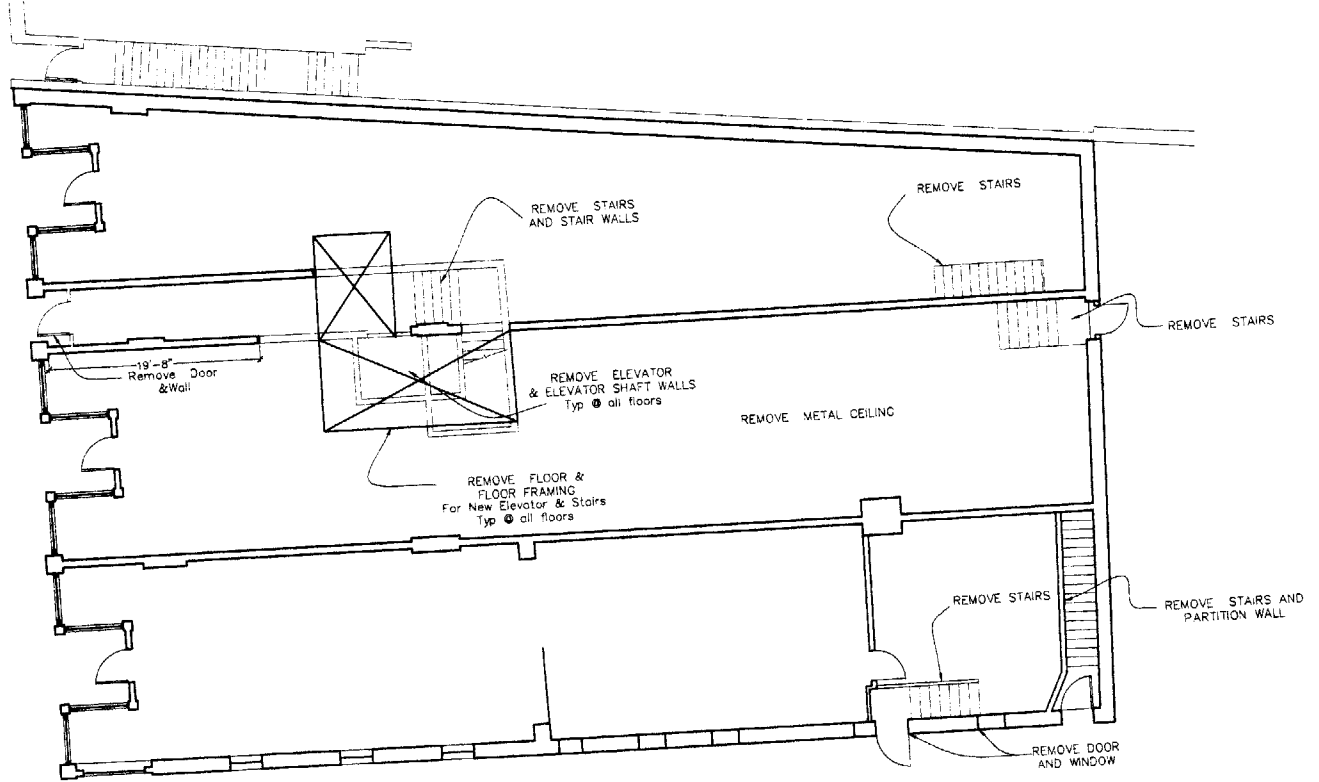
NOTE FOR 1st FLOOR
 REMOVE ALL ACT CEILINGS
 GYPBOARD CEILINGS TO REMAIN



2nd Floor Plan
 Scale: 1/8" = 1'-0"



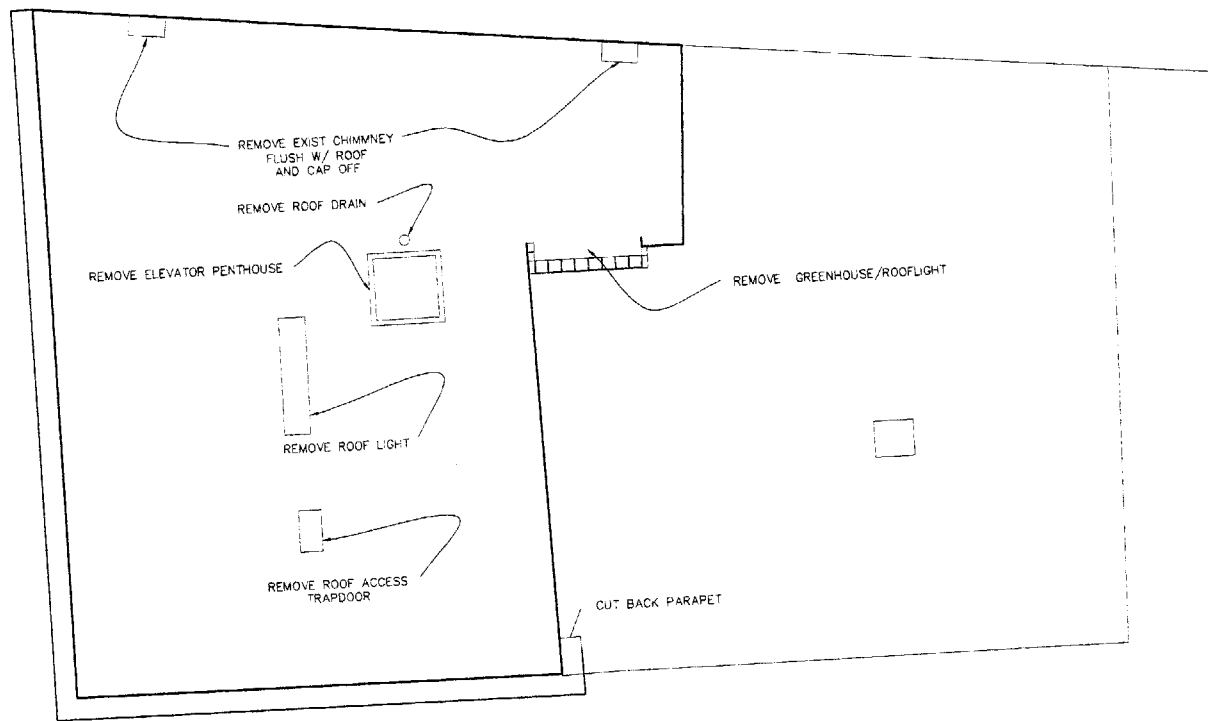
Basement Floor Plan
 Scale: 1/8" = 1'-0"



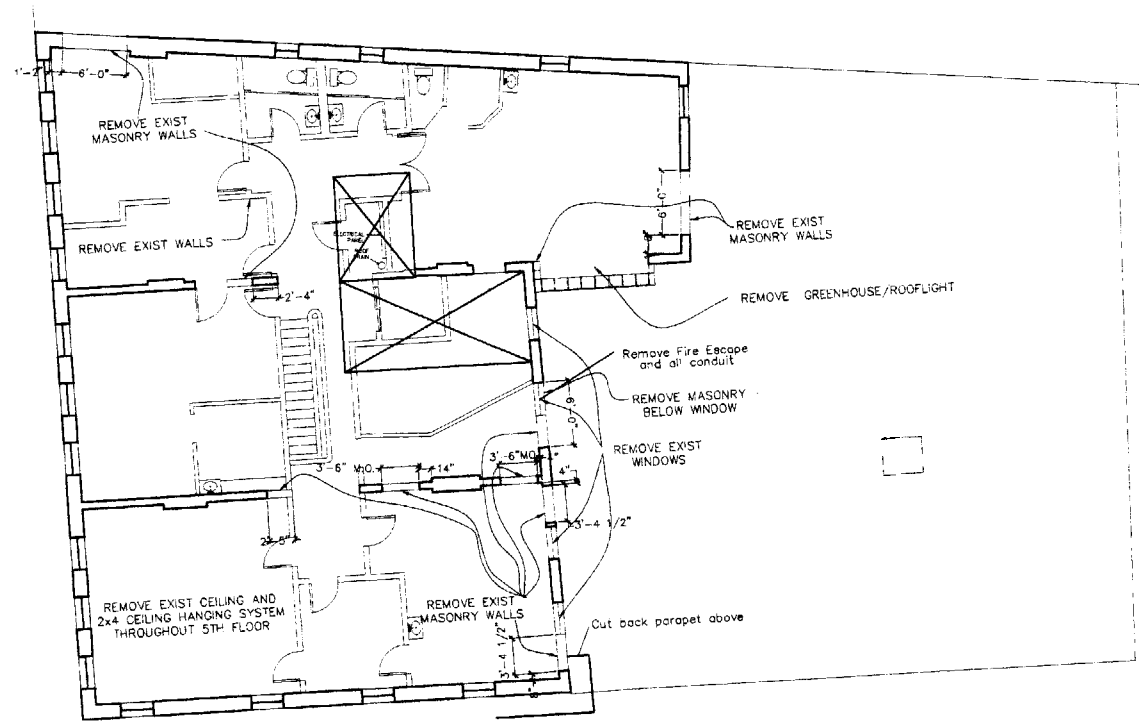
1st Floor Plan
 Scale: 1/8" = 1'-0"

OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C.	
P.O. Box 6799, Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927	
ARCHITECT: ARCHETYPE, P.A. ARCHITECTS	48 Union Wharf, Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
PROJECT: WINSLOW LOFTS 545 CONGRESS STREET PORTLAND, MAINE	
Date	Scale
OCTOBER 2004	1/8" = 1'-0"
Revisions	
DECEMBER 1, 2004	
DECEMBER 9, 2004	
JANUARY 18, 2005	
3-10-05 Issued For Permit	
APRIL 18, 2005	
DEMO PLANS	
D1	

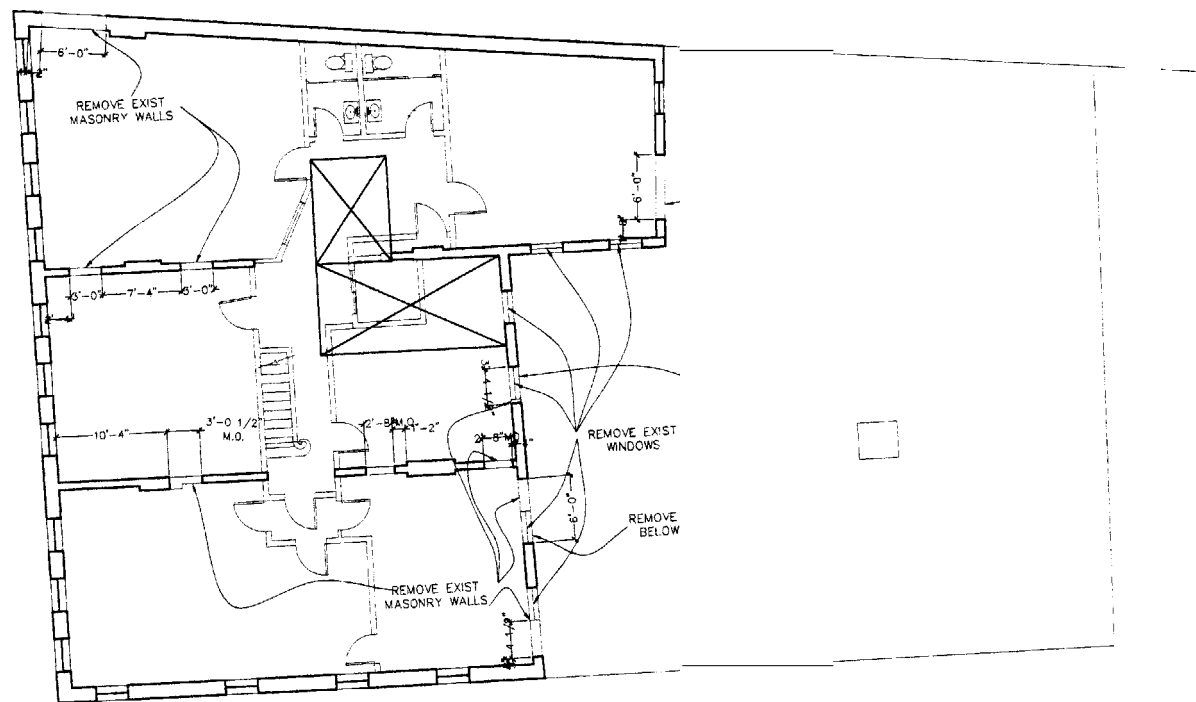
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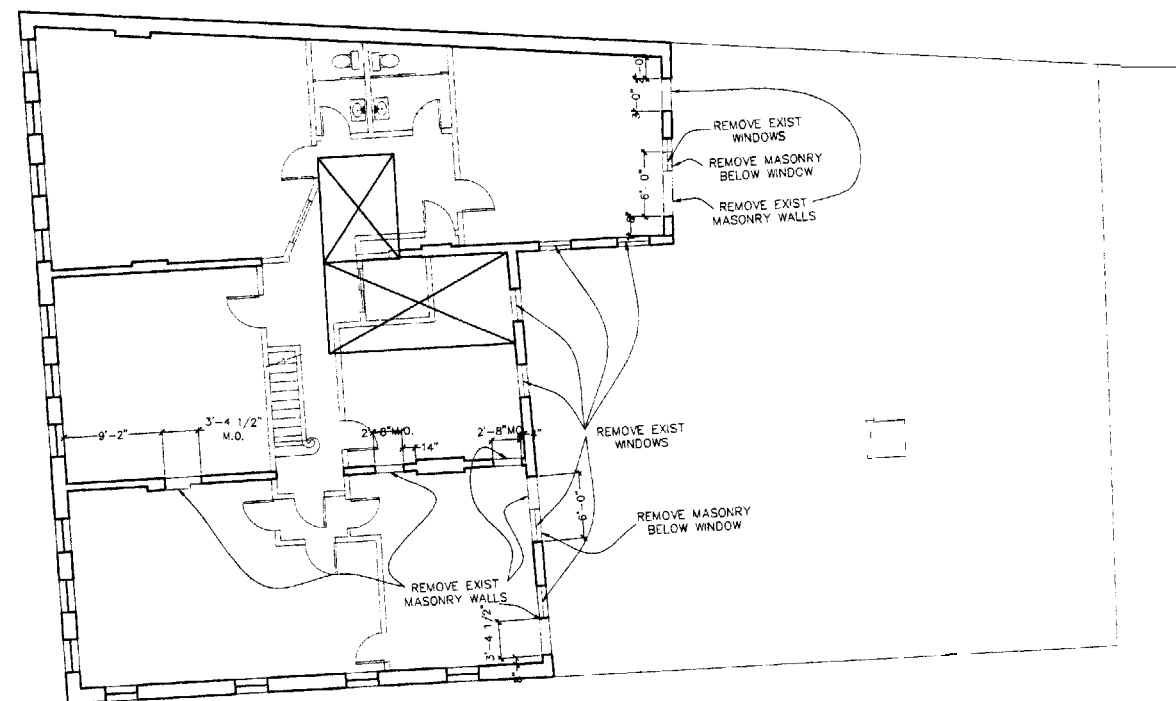
Roof Plan
Scale: 1/8" = 1'-0"



5th Floor Plan
Scale: 1/8" = 1'-0"

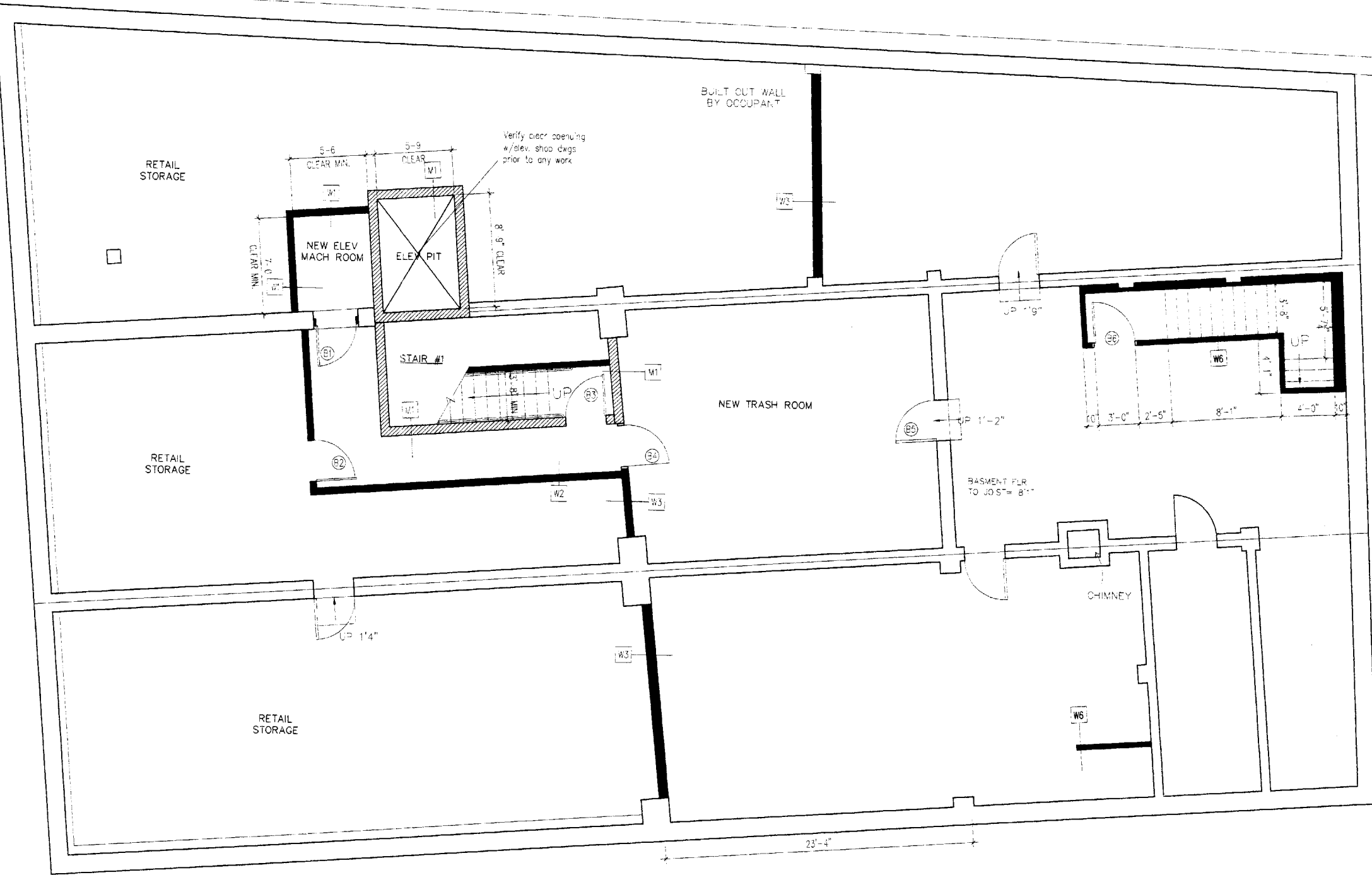


on
= 1'-0"



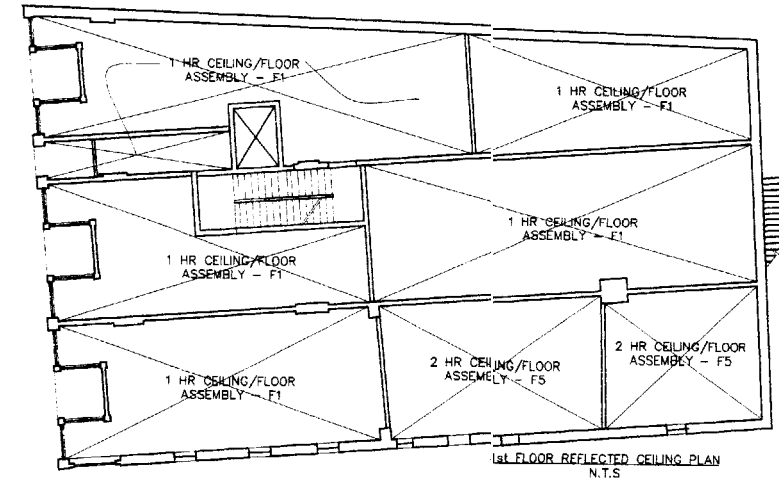
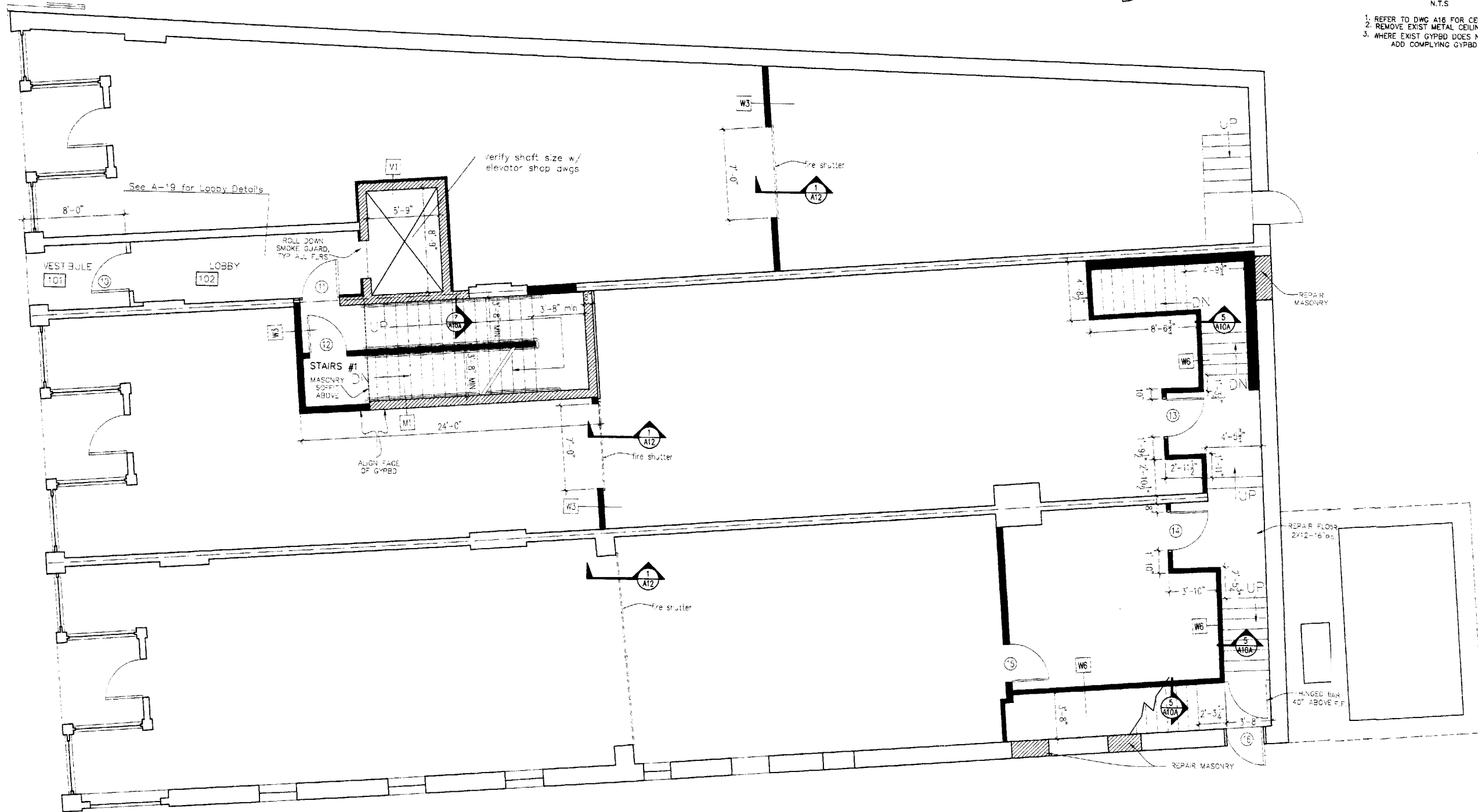
PROJECT:	WINSLOW LOFTS 546 CONGRESS STREET PORTLAND, MAINE
	ARCHITECT: ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
OWNER:	CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927
Date	OCTOBER 2004
Scale	1/8" = 1'-0"
Revisions:	DECEMBER 1, 2004 DECEMBER 9, 2004 JANUARY 18, 2005 3-10-05 Issued For Permit APRIL 18, 2005
DEMO PLANS	
D2	

NOTE:
STAIRS FROM RETAIL SPACE TO
STORAGE TO BE FIELD LOCATED



BASEMENT PLAN

OWNER:	CONGRESS JOINT DEVELOPMENT, L.L.C.	
	P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927	
ARCHITECT:	ARCHETYPE, P.A. ARCHITECTS	
	48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	
PROJECT:	WINSLOW LOFTS	
	545 CONGRESS STREET PORTLAND, MAINE	
Date	Scale	Revisions:
APRIL 18, 2005	1/4" = 1'-0"	
BASEMENT FLOOR PLAN		
B1		

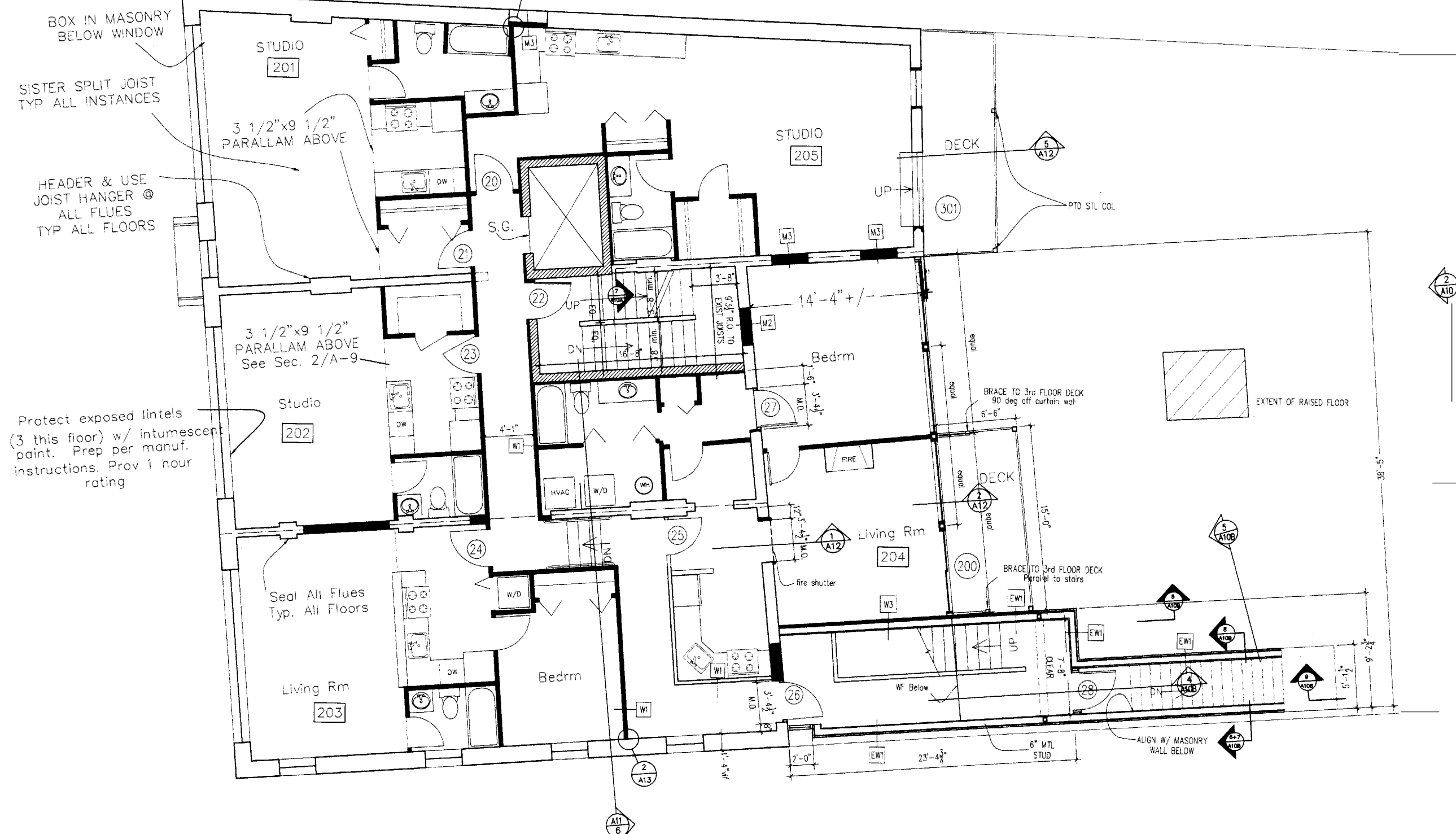


1. REFER TO DWG A16 FOR CEILING/FLOOR ASSEMBLIES
2. REMOVE EXIST METAL CEILING AND HUNG ACT CEILINGS
3. WHERE EXIST GYPBD DOES NOT COMPLY W/ A16
ADD COMPLYING GYPBD OVER EXIST

1st FLOOR PLAN

	OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927		
ARCHITECT:	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	PROJECT:	WINSLOW LOFTS 545 CONGRESS STREET PORTLAND MAINE
Date:	Scale:	Revisions:	
APRIL 18, 2005	1/4" = 1'-0"		
1st FLOOR PLAN			
A1			

NOTE: MINIMUM 1 1/2" DECKING EVERYWHERE



BOX IN MASONRY BELOW WINDOW

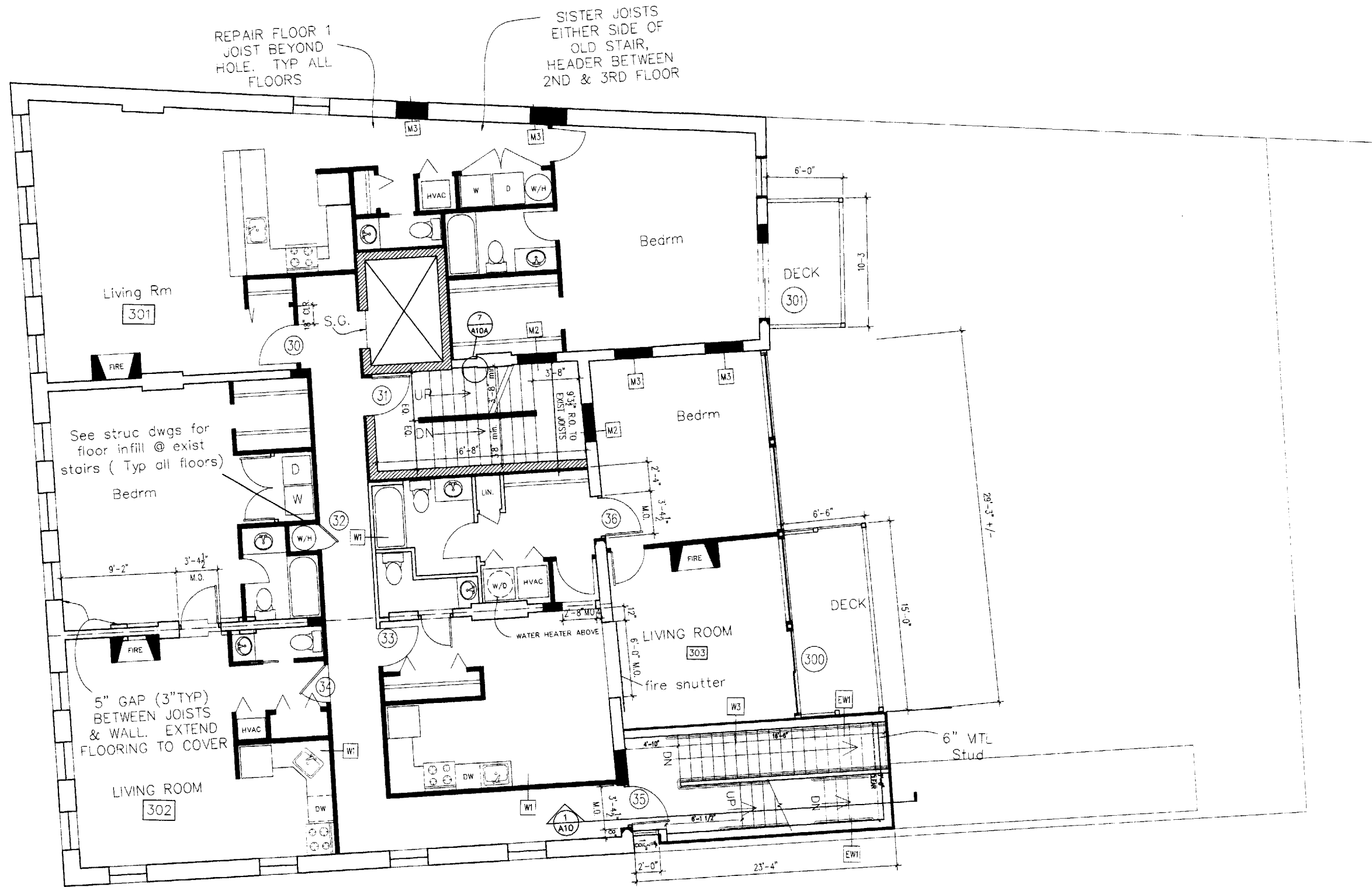
SISTER SPLIT JOIST TYP ALL INSTANCES

HEADER & USE JOIST HANGER @ ALL FLUES TYP ALL FLOORS

Protect exposed lintels (3 this floor) w/ intumescent paint. Prep per manuf. instructions. Prov 1 hour rating

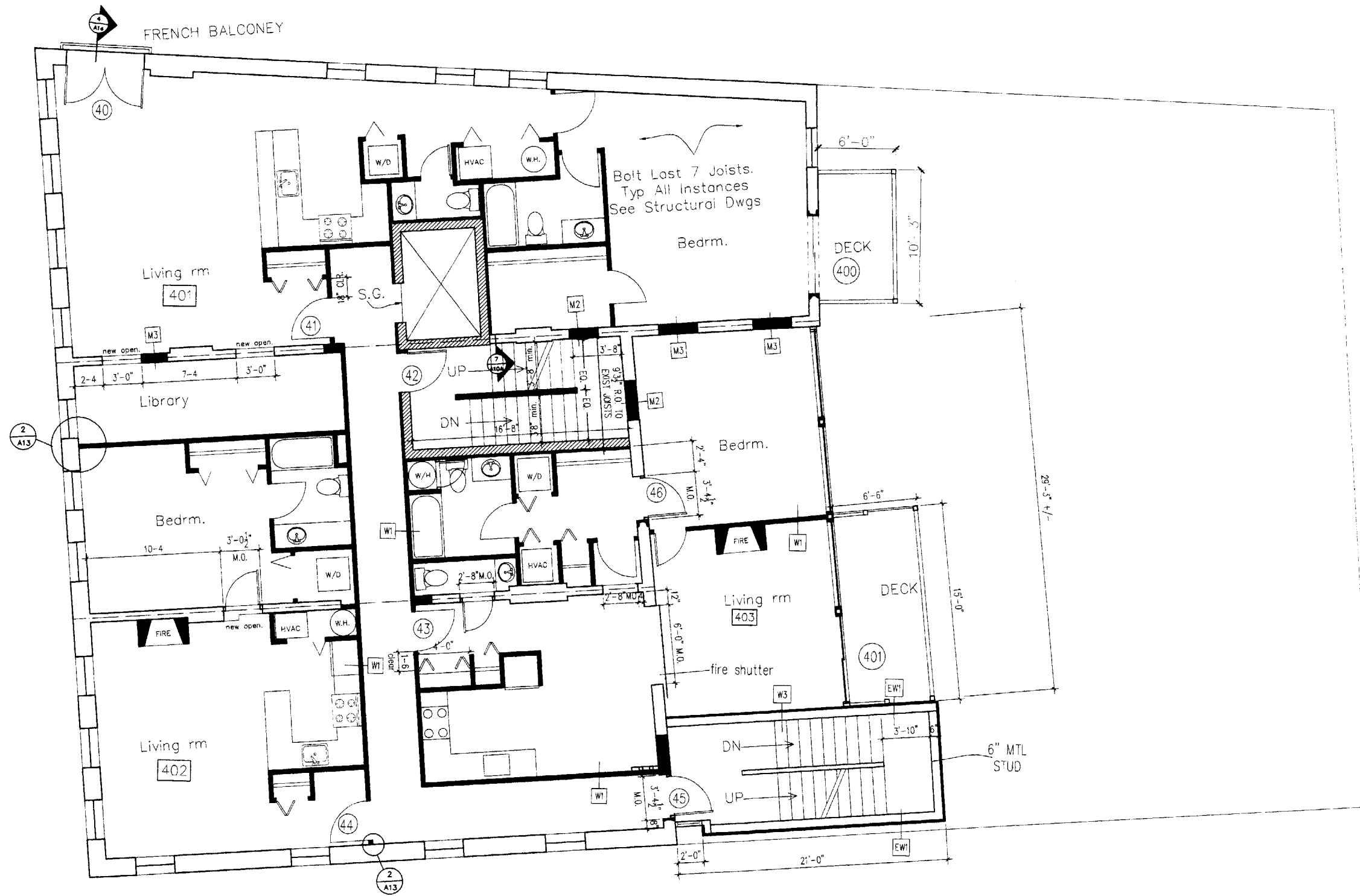
1 2ND FLOOR PLAN
1/4" = 1'-0"

OWNER:	CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927
ARCHITECT:	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
PROJECT:	WINSLOW LOFTS 545 CONGRESS STREET PORTLAND, MAINE
Date:	APRIL 18, 2005
Scale:	1/4" = 1'-0"
Revisions:	
2nd FLOOR PLAN	
A2	



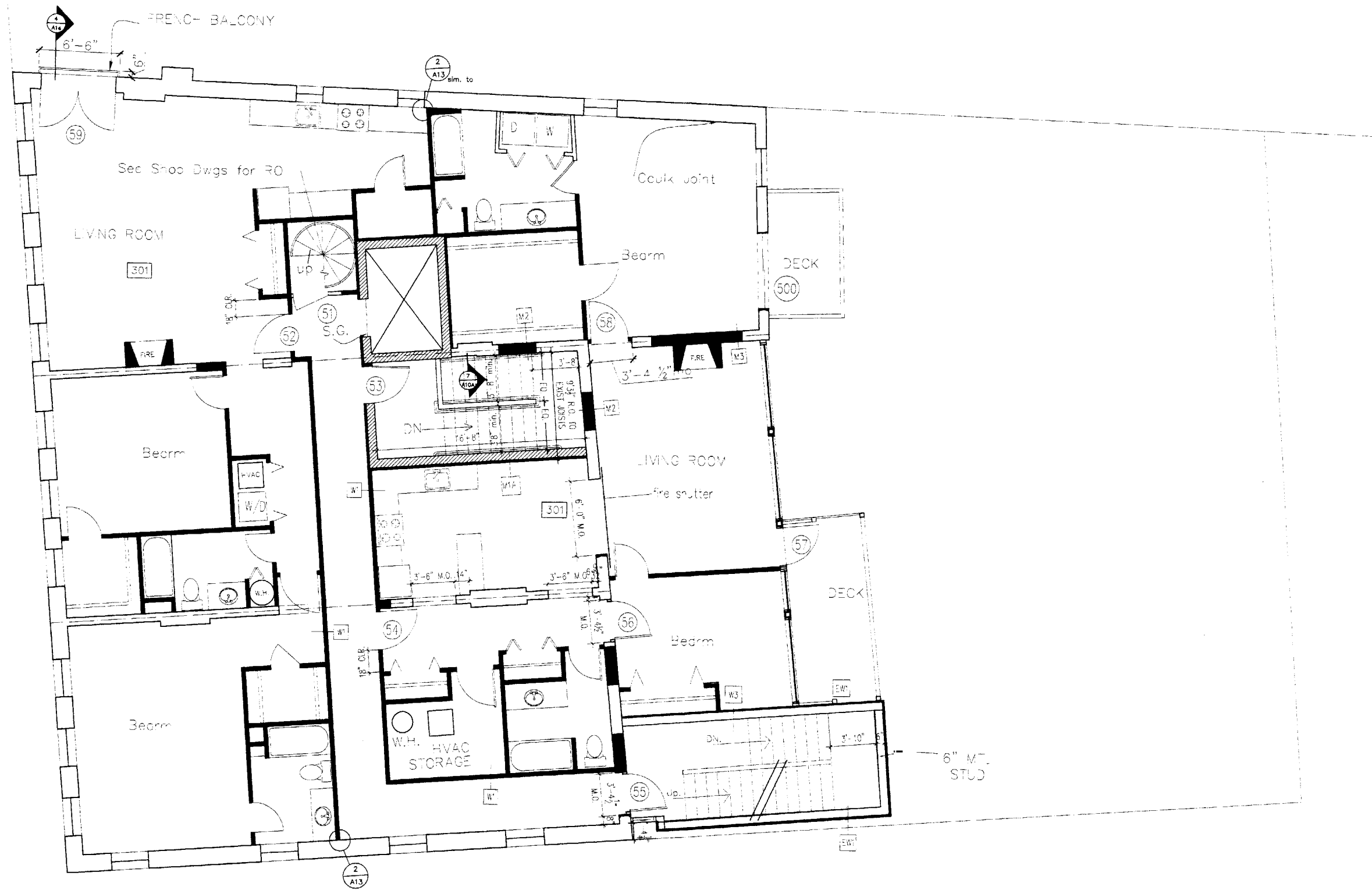
1 3RD FLOOR PLAN
1/4" = 1'-0"

OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799, Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927	ARCHITECT: ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf, Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	PROJECT: WINSLOW LOFTS 546 CONGRESS STREET PORTLAND, MAINE	Date: APRIL 18, 2005 Scale: 1/4" = 1'-0" Revisions:
			3rd FLOOR PLAN
A3			6/27/2005 4:04:31 PM



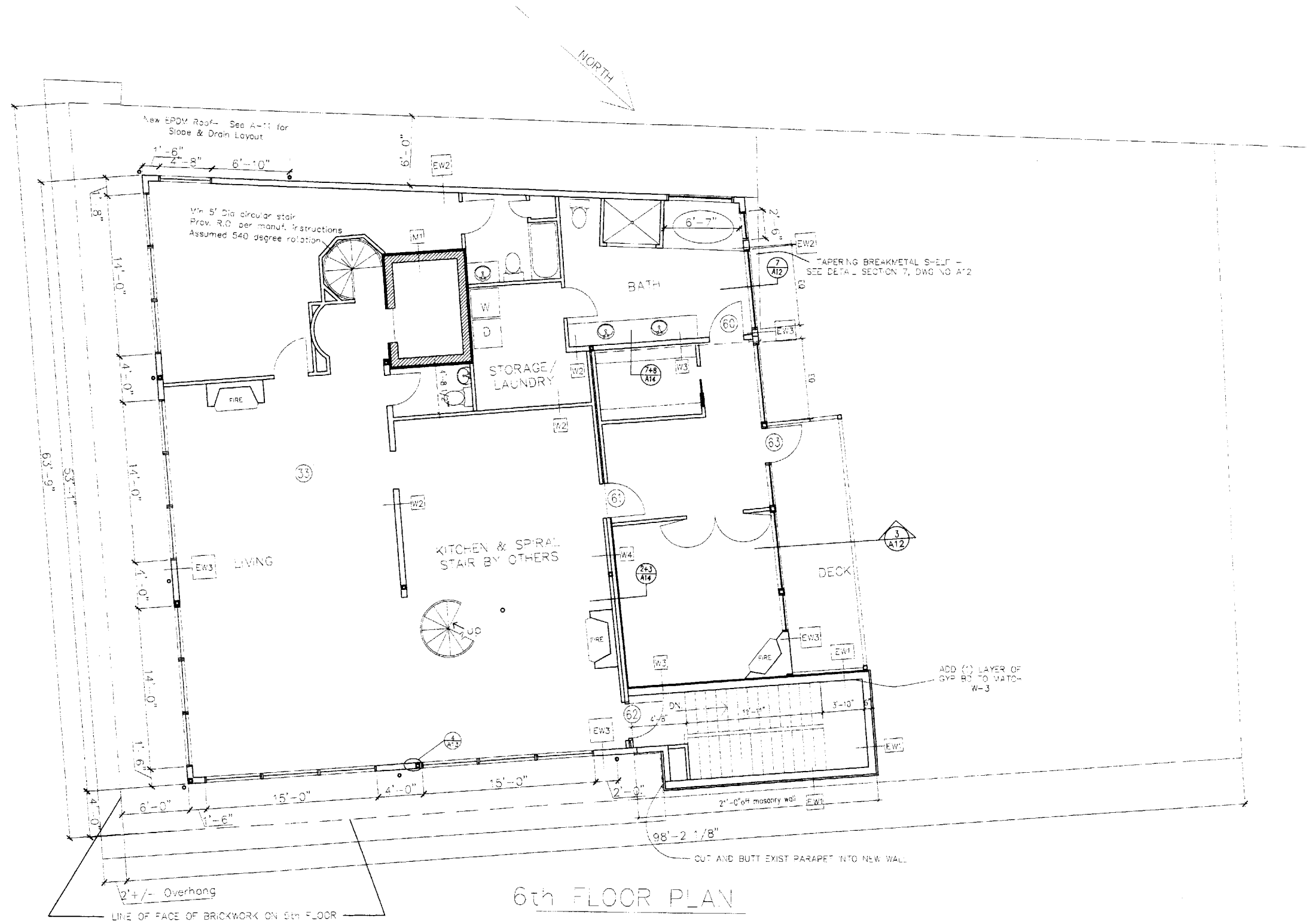
1 4TH FLOOR PLAN
1/4" = 1'-0"

<p>OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927</p>	<p>ARCHITECT: ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056</p>	<p>PROJECT: WINSLOW LOFTS 545 CONGRESS STREET PORTLAND, MAINE</p>	Date	Scale
			APRIL 18, 2005	1/4" = 1'-0"
<p>4th FLOOR PLAN</p>		<p>A4</p>	Revisions:	



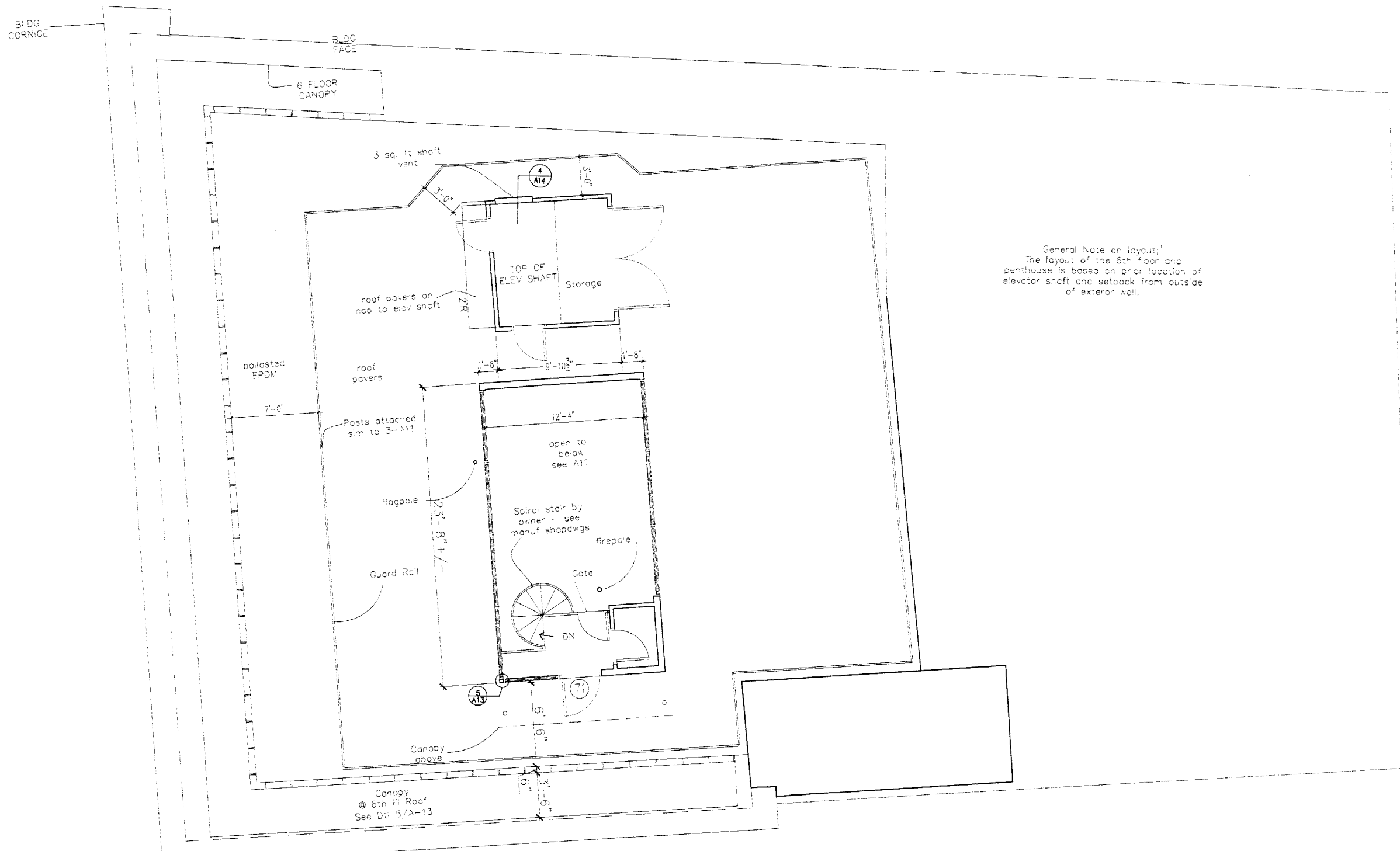
① 5TH FLOOR PLAN
1/4" = 1'-0"

A5	5th FLOOR PLAN	Date: APRIL 18, 2005 Scale: 1/4" = 1'-0" Revisions:	PROJECT: WINSLOW LOFTS 545 CONGRESS STREET PORTLAND, MAINE	ARCHITECT: ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927
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6th FLOOR PLAN

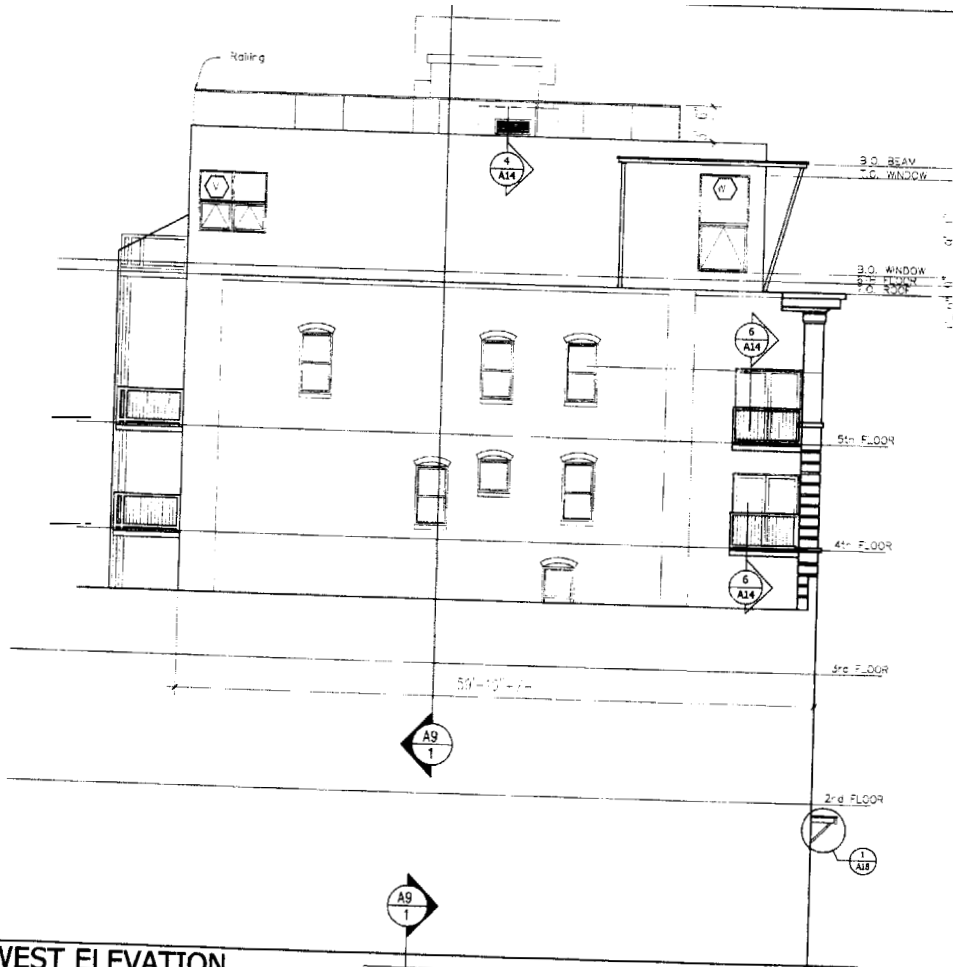
Date APRIL 18, 2005	Scale 1/4" = 1'-0"	Revisions:	PROJECT:	OWNER:
			WINSLOW LOFTS 545 CONGRESS STREET PORTLAND, MAINE	CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799, Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-9927
6th FLOOR PLAN			ARCHITECT:	ARCHITECT:
			ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	ARCHITECT:
A6				



General Note on layout:
 The layout of the 6th floor and penthouse is based on prior location of elevator shaft and setback from outside of exterior wall.

PENTHOUSE-ROOF PLAN

A7	PENTHOUSE-ROOF PLAN	Date: APRIL 18, 2005 Revisions:	Scale: 1/4" = 1'-0"	PROJECT: WINSLOW LOFTS 545 CONGRESS STREET PORTLAND, MAINE	ARCHITECT: ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf, Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799, Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927
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WEST ELEVATION
SCALE: 1/8" = 1'-0"

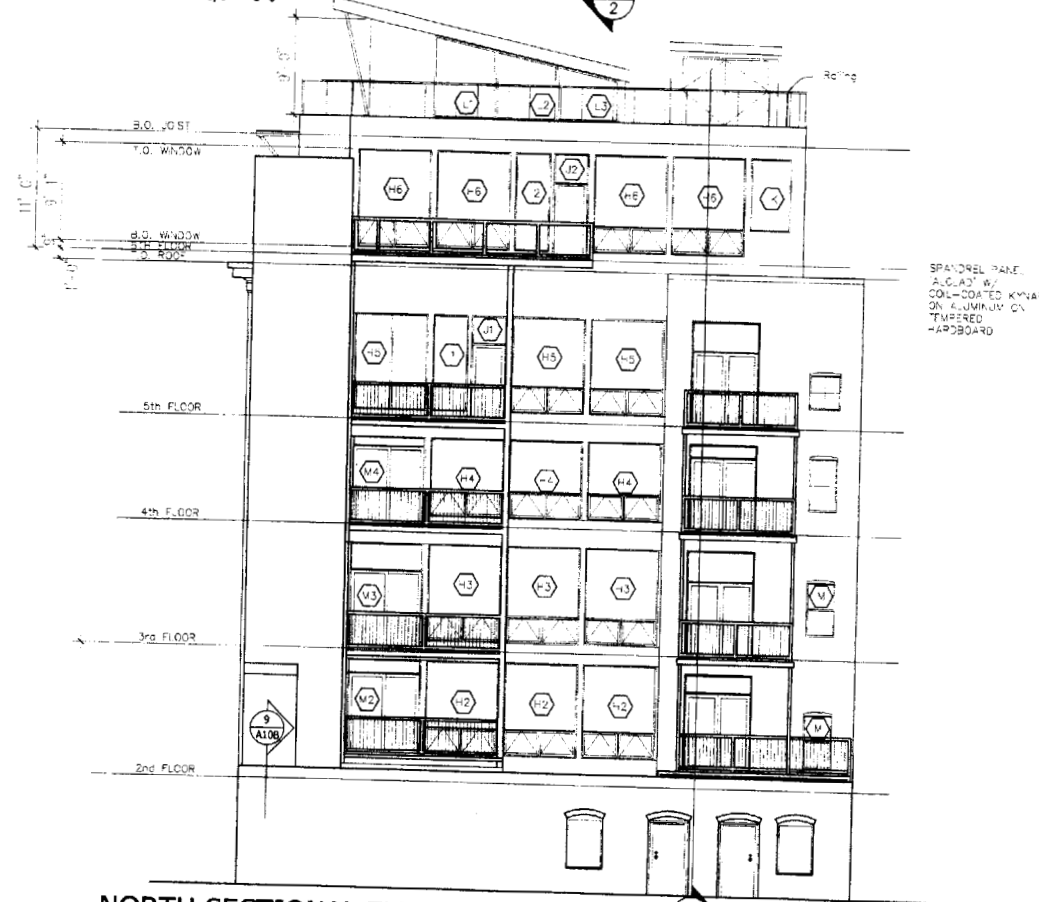


EAST ELEVATION
SCALE: 1/8" = 1'-0"

General Note
Replace Exist windows on Floors 2 thru 5
w/ New aluminum windows

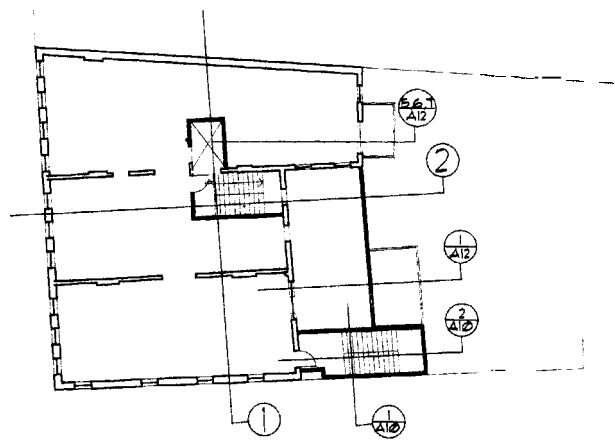


SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

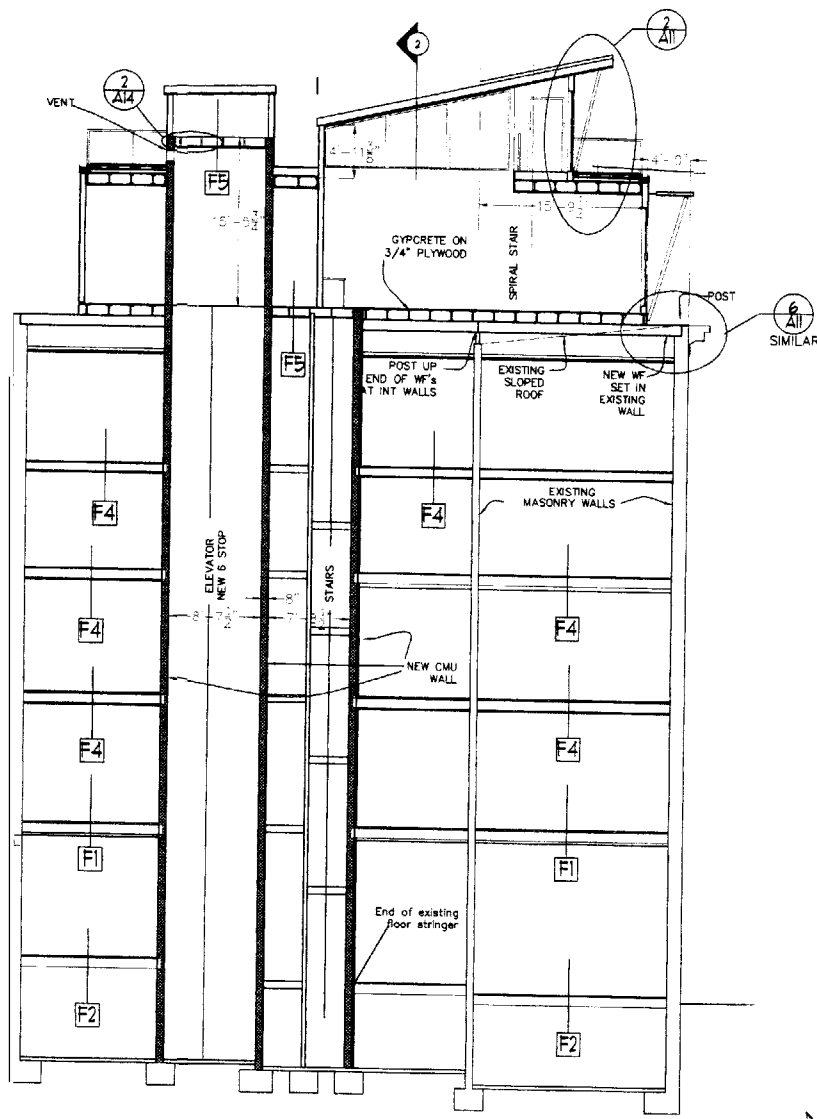


NORTH SECTIONAL ELEVATION
SCALE: 1/8" = 1'-0"

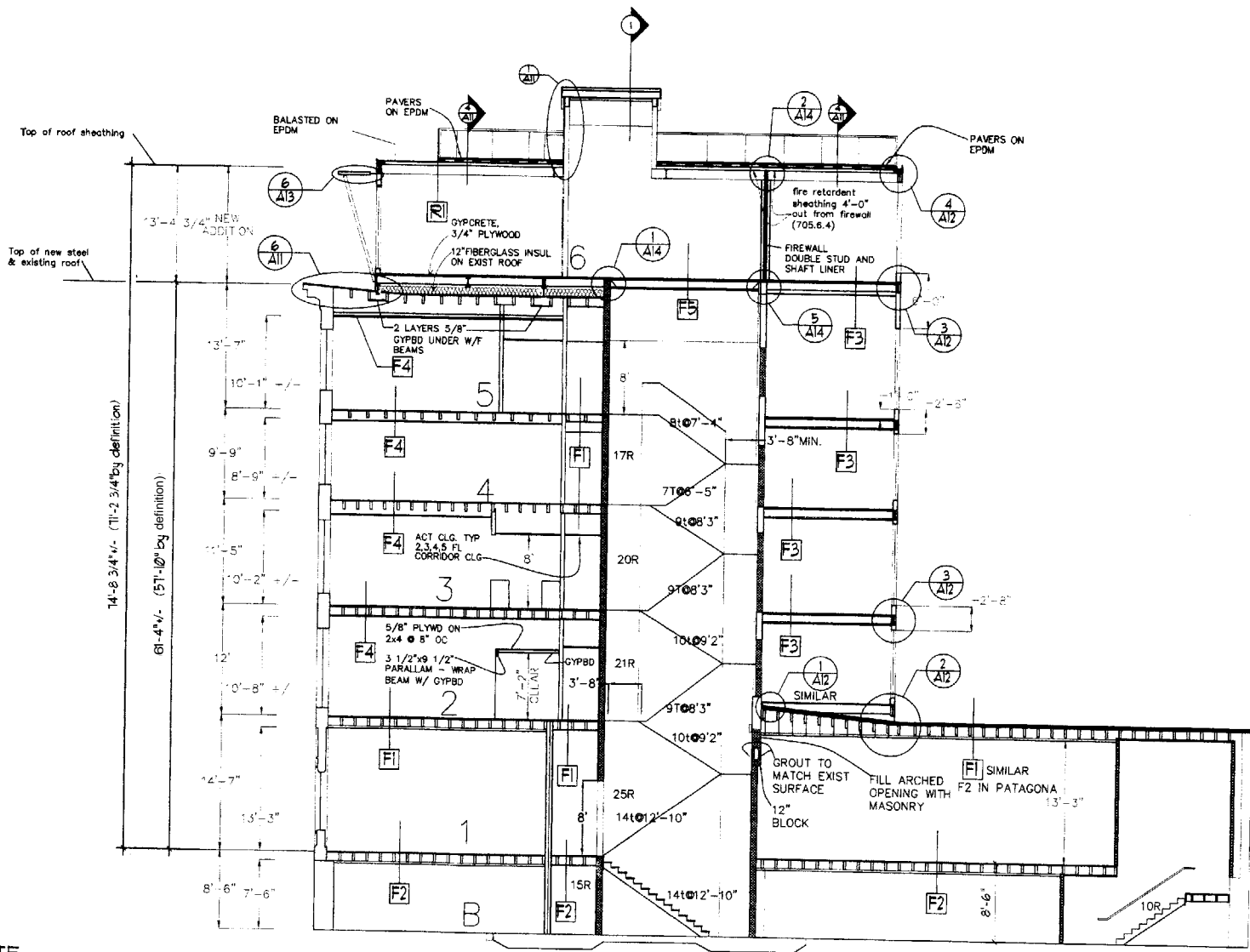
OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C.	ARCHITECT: ARCHETYPE, P.A. ARCHITECTS	PROJECT: WINSLOW LOFTS 545 CONGRESS STREET PORTLAND, MAINE	DATE: APRIL 18, 2005	Scale: 1/8" = 1'-0"
			Revisions:	
P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927		ELEVATIONS		
A8				



KEY PLAN
not to scale



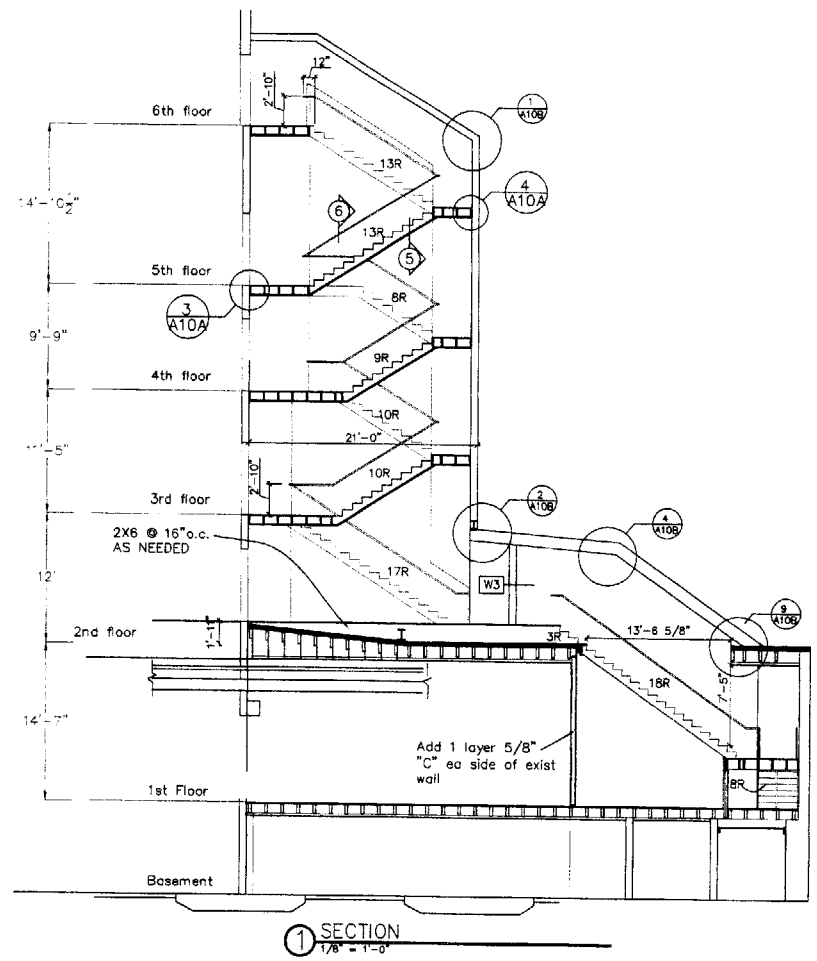
SECTION 1
Scale: 1/8"=1'



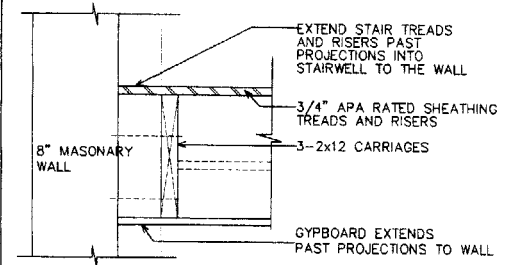
SECTION 2
Scale: 1/8"=1'

NOTE:
FLR TO FLR HEIGHTS VARY BETWEEN BASEMENT AND FIRST FLOOR - VERIFY ALL HEIGHTS PRIOR TO ANY LAYOUT

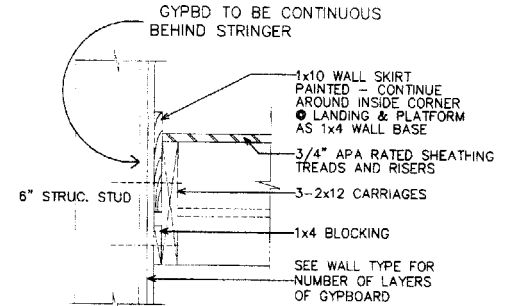
ARCHITECT: ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056		OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927	
PROJECT: WINSLOW LOFTS 545 CONGRESS STREET PORTLAND, MAINE			
Date: APRIL 18, 2005	Scale: 1/8" = 1'-0"		
Revisions:			
BUILDING SECTIONS			
A9			



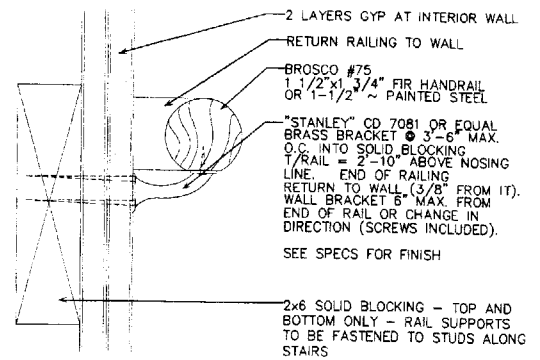
1 SECTION
1/8" = 1'-0"



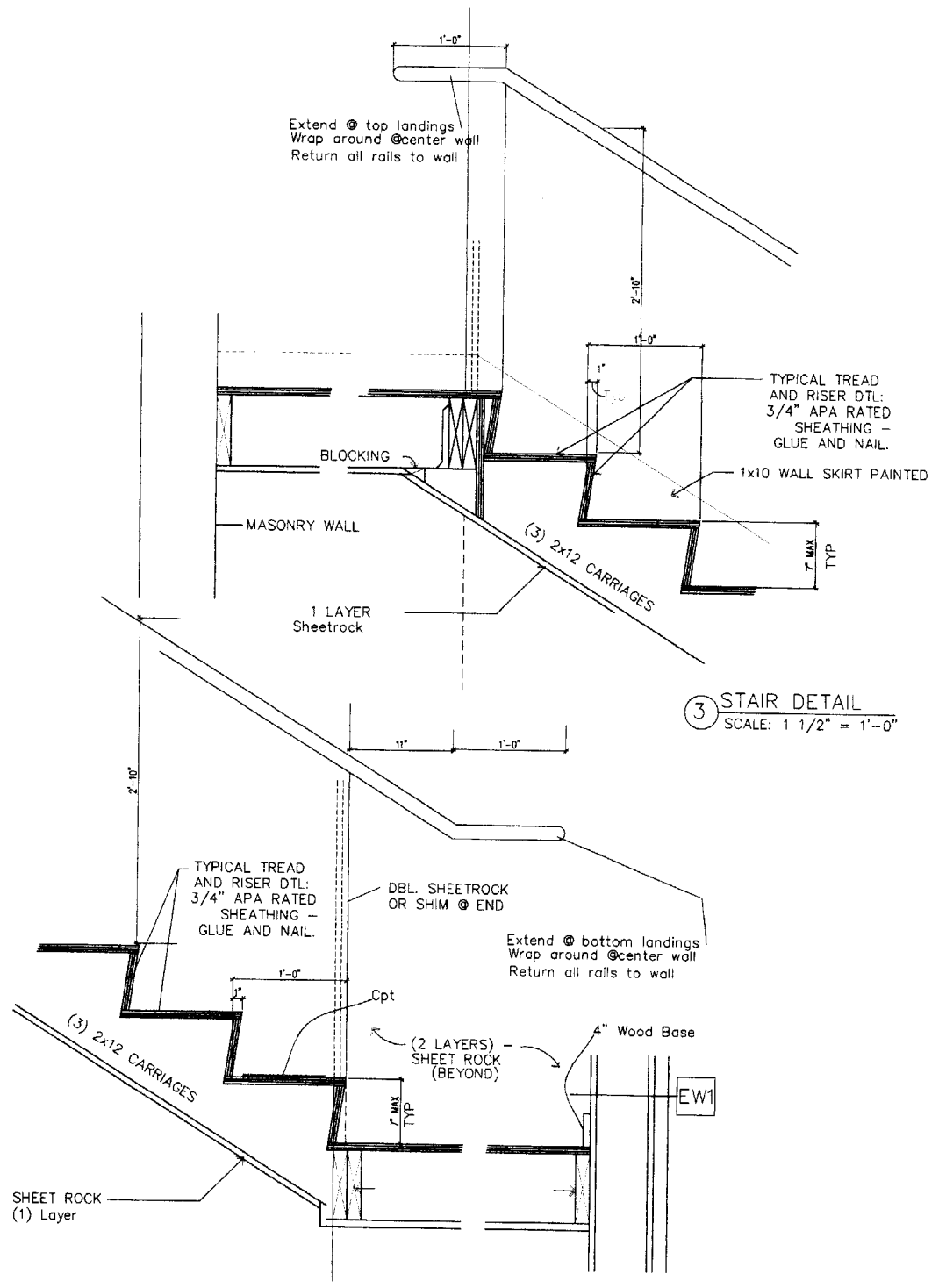
7 STAIR DETAIL
SCALE: 1 1/2" = 1'-0"



5 STAIR DETAIL
SCALE: 1 1/2" = 1'-0"



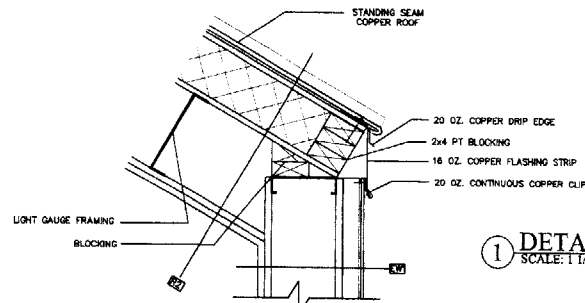
6 STAIR HANDRAIL DET.
SCALE: 6" = 1'-0"



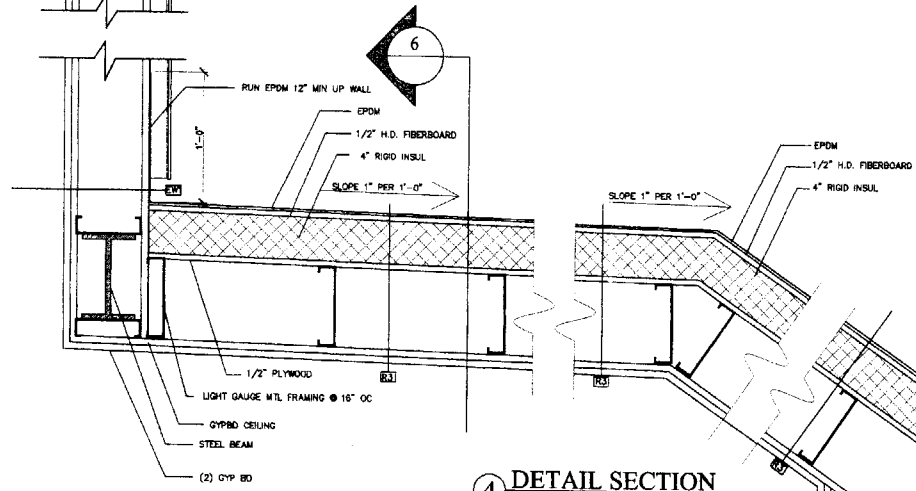
3 STAIR DETAIL
SCALE: 1 1/2" = 1'-0"

4 STAIR DETAIL
SCALE: 1 1/2" = 1'-0"

OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927	
ARCHITECT: ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	PROJECT: WINSLOW LOFTS 545 CONGRESS STREET PORTLAND MAINE
Date: APRIL 18, 2005 Revisions:	Scale: 1/8" = 1'-0"
STAIR #2 & STAIR DETAILS	
A10A	

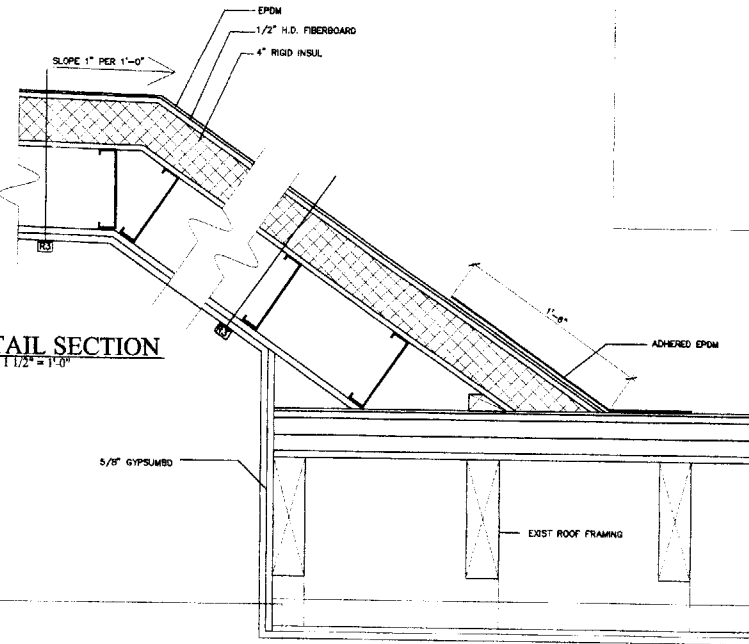


1 DETAIL SECTION
SCALE: 1 1/2" = 1'-0"

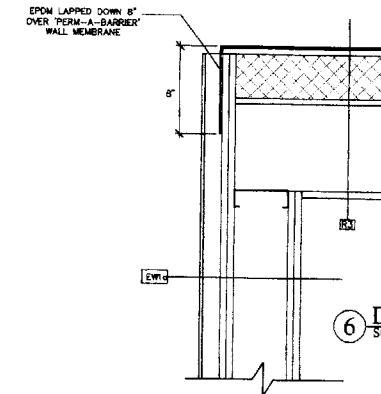


2 DETAIL SECTION
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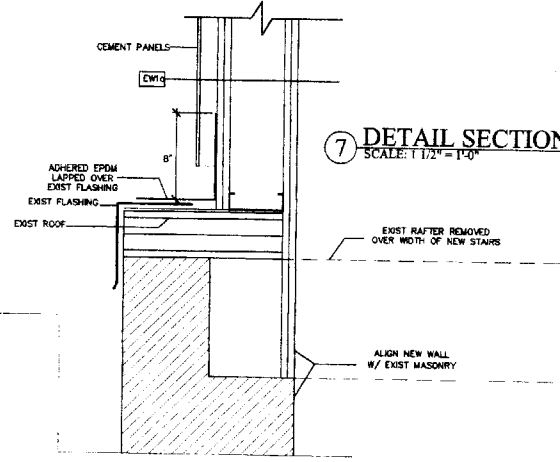
4 DETAIL SECTION
SCALE: 1 1/2" = 1'-0"



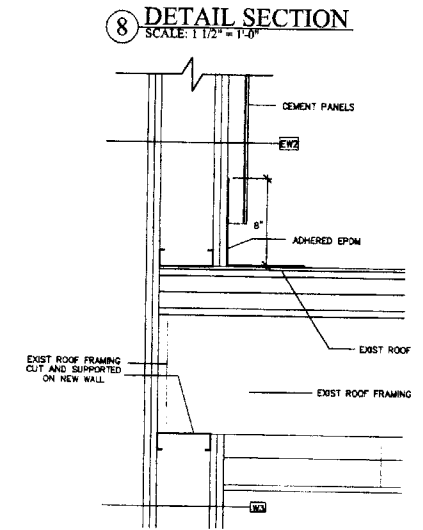
9 DETAIL SECTION
SCALE: 1 1/2" = 1'-0"



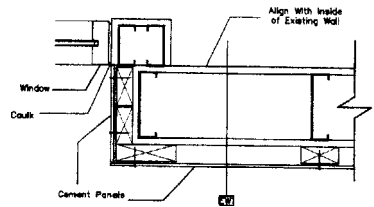
6 DETAIL SECTION
SCALE: 1 1/2" = 1'-0"



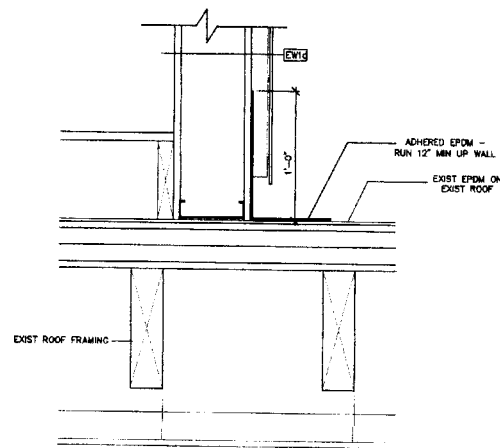
7 DETAIL SECTION
SCALE: 1 1/2" = 1'-0"



8 DETAIL SECTION
SCALE: 1 1/2" = 1'-0"

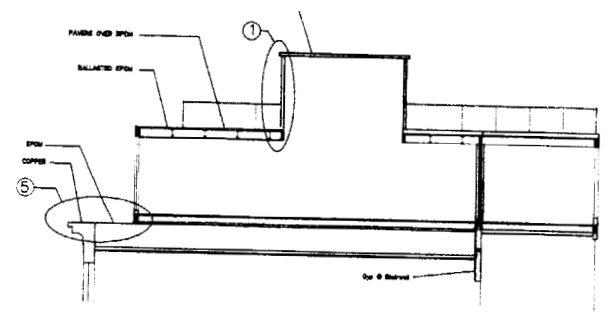


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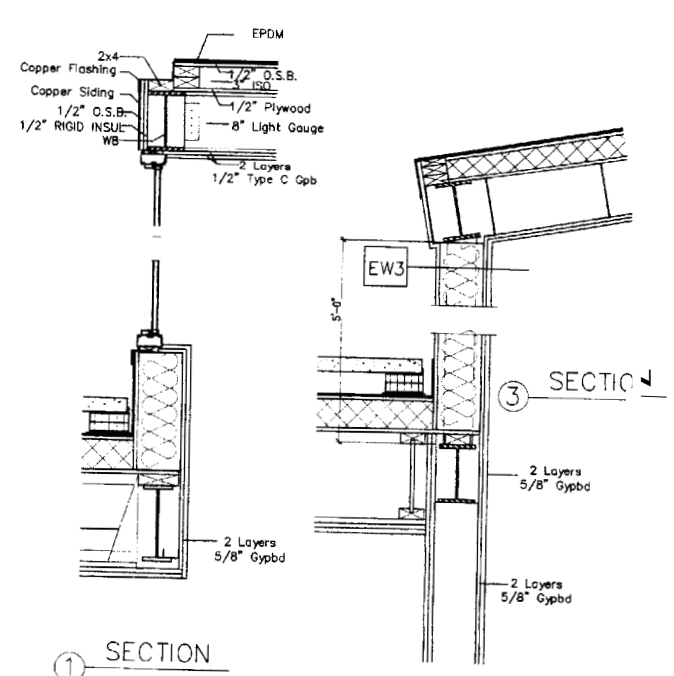


5 DETAIL SECTION
SCALE: 1 1/2" = 1'-0"

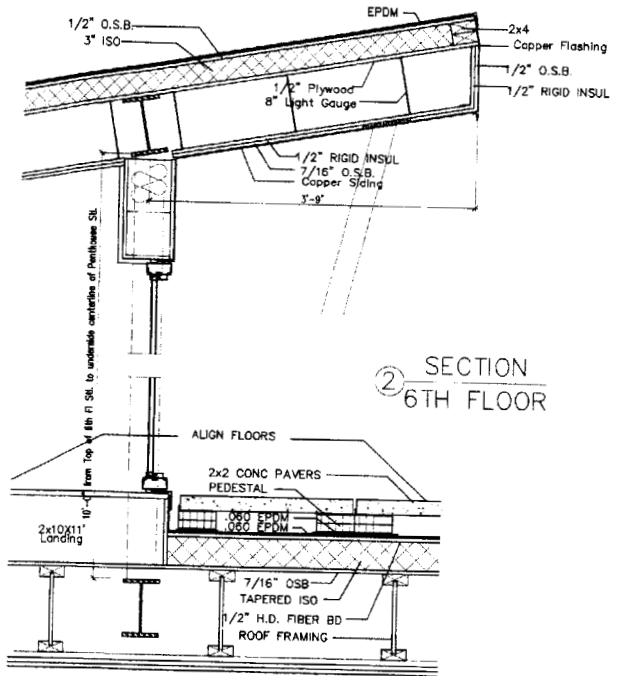
OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C.	
P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927	
ARCHITECT: ARCHETYPE, P.A. ARCHITECTS	48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
PROJECT: WINSLOW LOFTS	545 CONGRESS STREET PORTLAND, MAINE
Date APRIL 18, 2005	Scale 1 1/2" = 1'-0"
Revisions:	
STAIR 2 DETAILS	
A10B	



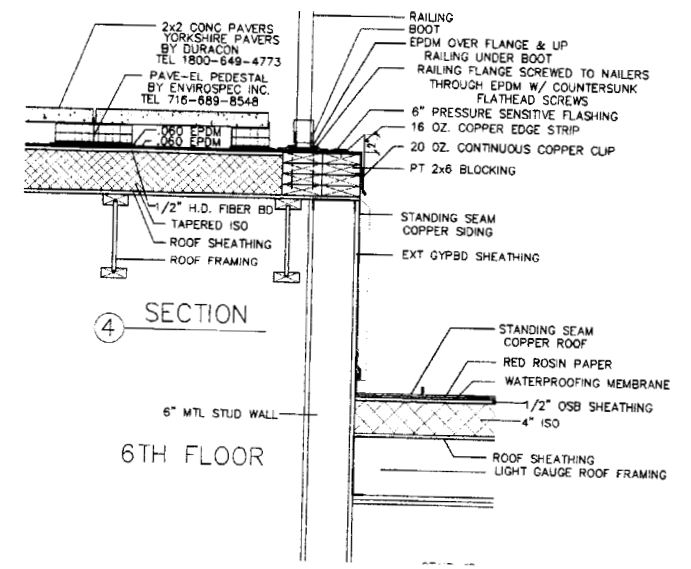
SECTION
1 PENTHOUSE



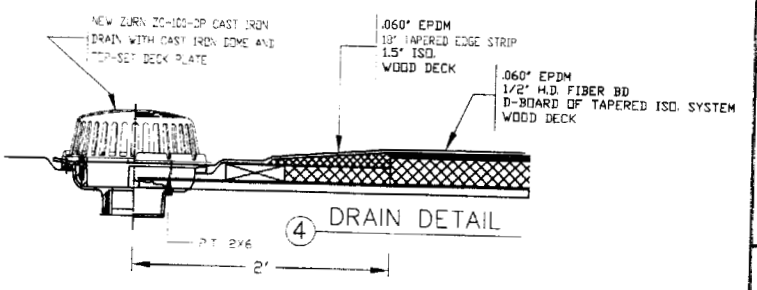
SECTION
2 6TH FLOOR



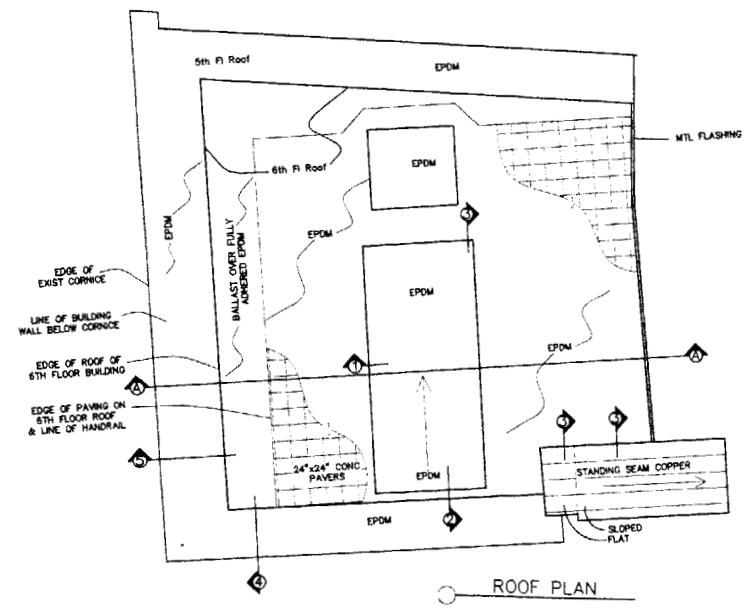
SECTION
3 6TH FLOOR



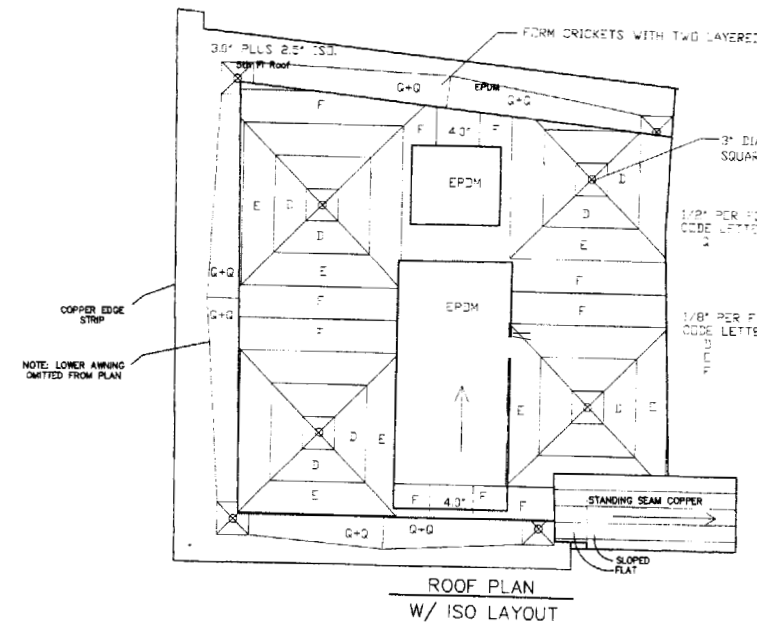
SECTION
4 6TH FLOOR



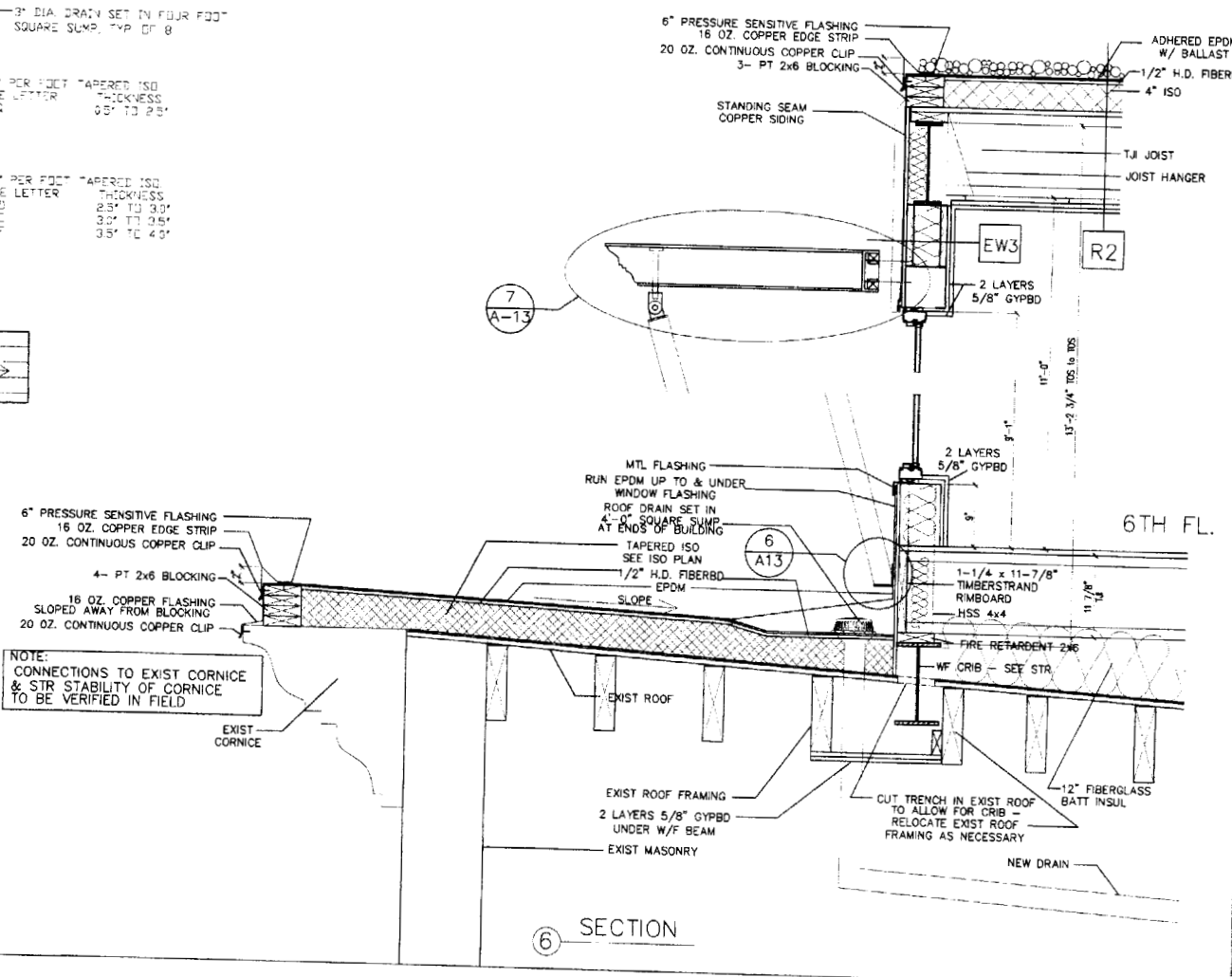
DRAIN DETAIL



ROOF PLAN

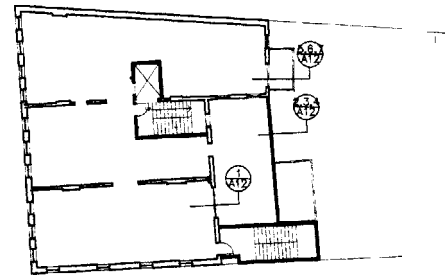


ROOF PLAN
W/ ISO LAYOUT

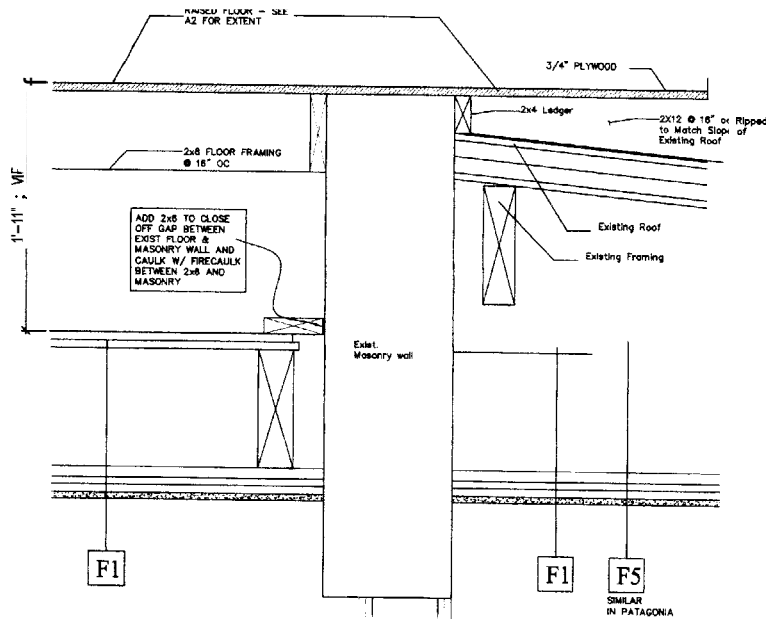


SECTION
6 6TH FL.

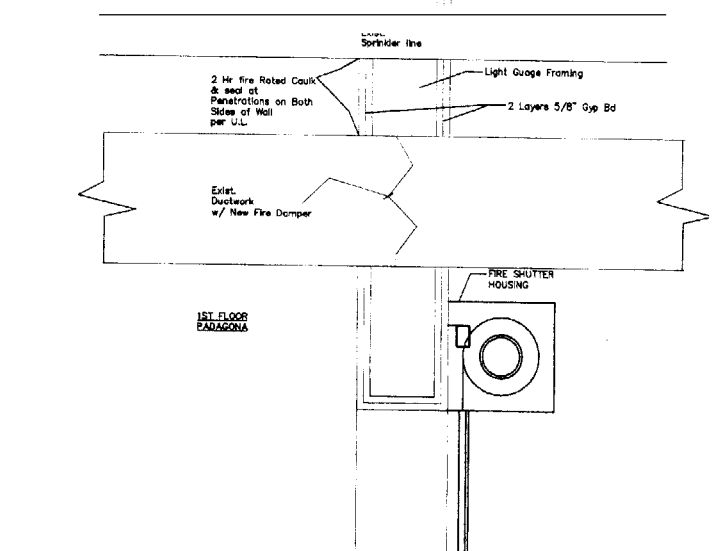
OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C.	P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927
ARCHITECT: ARCHETYPE, P.A. ARCHITECTS	48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
PROJECT: WINSLOW LOFTS 545 CONGRESS STREET PORTLAND, MAINE	
Date: APRIL 18, 2005	Scale: 1" = 1'-0" 3/32" = 1'-0" Revisions:
ROOF PLAN	
A11	



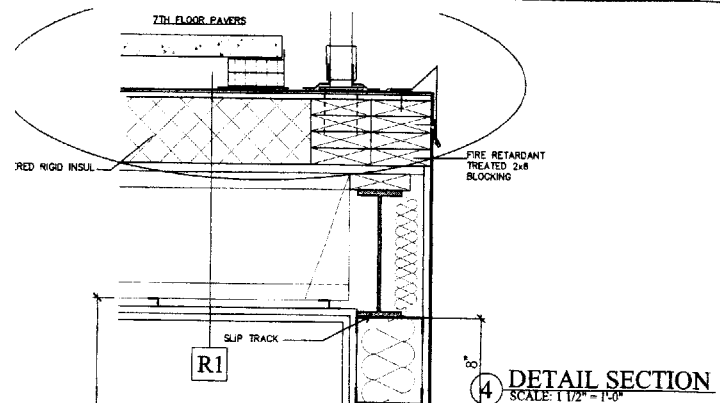
KEY PLAN
not to scale



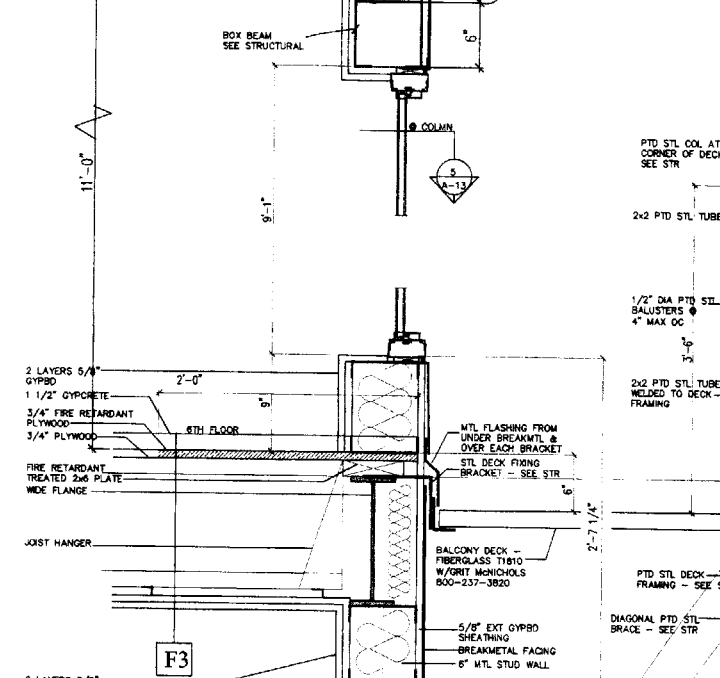
1 DETAIL SECTION
SCALE: 1/2" = 1'-0"



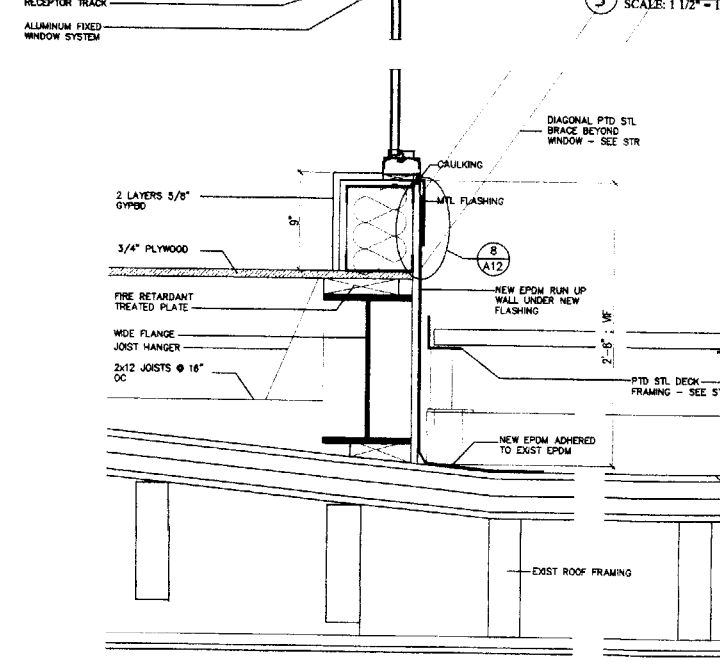
2 DETAIL SECTION
SCALE: 1/2" = 1'-0"



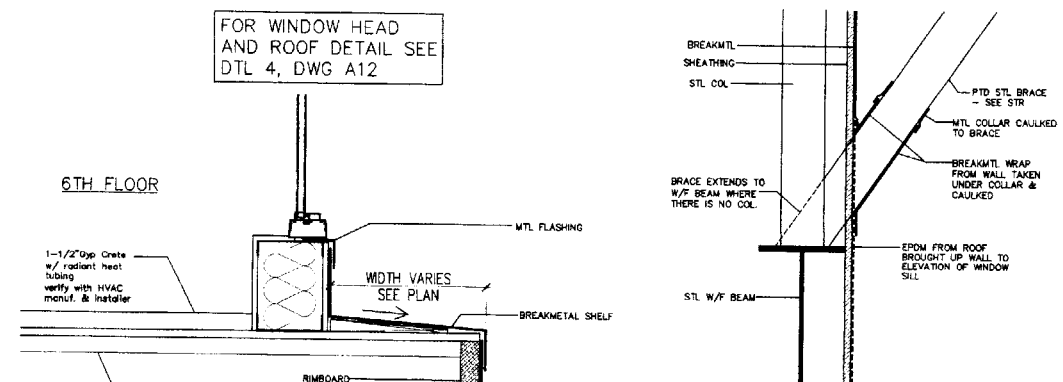
3 DETAIL SECTION
SCALE: 1/2" = 1'-0"



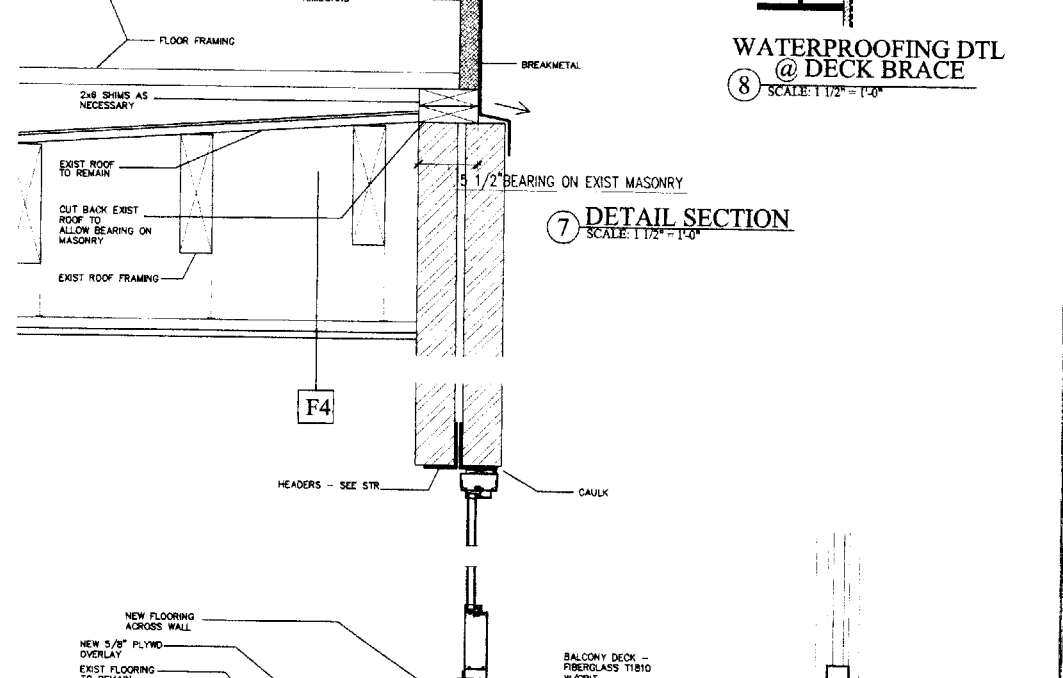
4 DETAIL SECTION
SCALE: 1/2" = 1'-0"



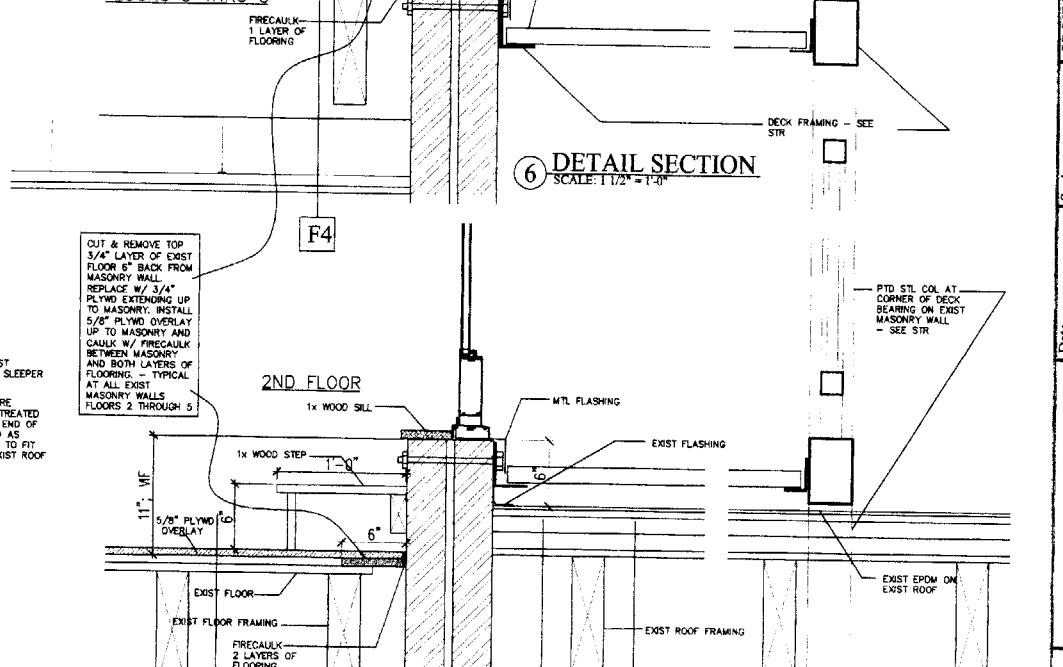
5 DETAIL SECTION
SCALE: 1/2" = 1'-0"



6 DETAIL SECTION
SCALE: 1/2" = 1'-0"

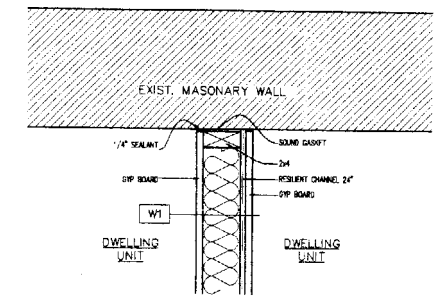


7 DETAIL SECTION
SCALE: 1/2" = 1'-0"

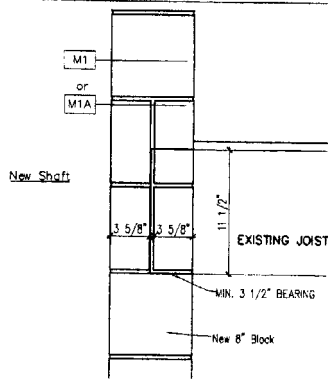


8 DETAIL SECTION
SCALE: 1/2" = 1'-0"

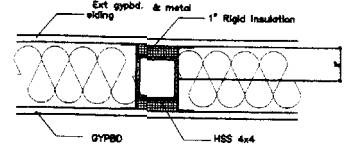
OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C.	P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 881-8927
ARCHITECT: ARCHETYPE, P.A. ARCHITECTS	48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
PROJECT: WLSLOW LOFTS	545 CONGRESS STREET PORTLAND, ME
Date: APRIL 18, 2005	REVISIONS:
Scale: 1/2" = 1'-0"	
EXTERIOR WALL SECTION	
A12	



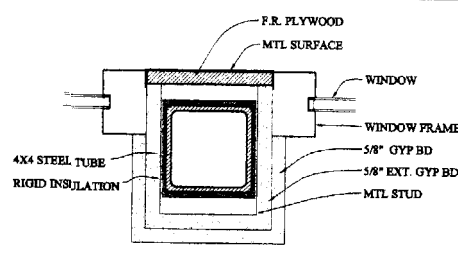
② PLAN DETAIL NEW PARTY WALL TO EXIST MASONRY WALL
SCALE: 1 1/2" = 1'-0"



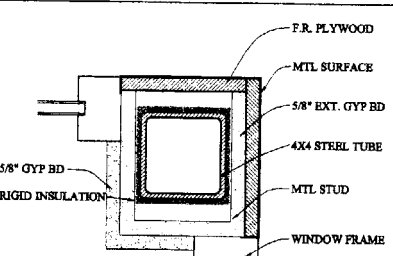
③ SECTION DETAIL @ NEW SHAFTWALL & CUT BACK WOOD STRUCTURE
SCALE: 1 1/2" = 1'-0"



④ PLAN DETAIL COLUMN THROUGH EXTERIOR 6TH FLOOR WALL
SCALE: 1 1/2" = 1'-0"

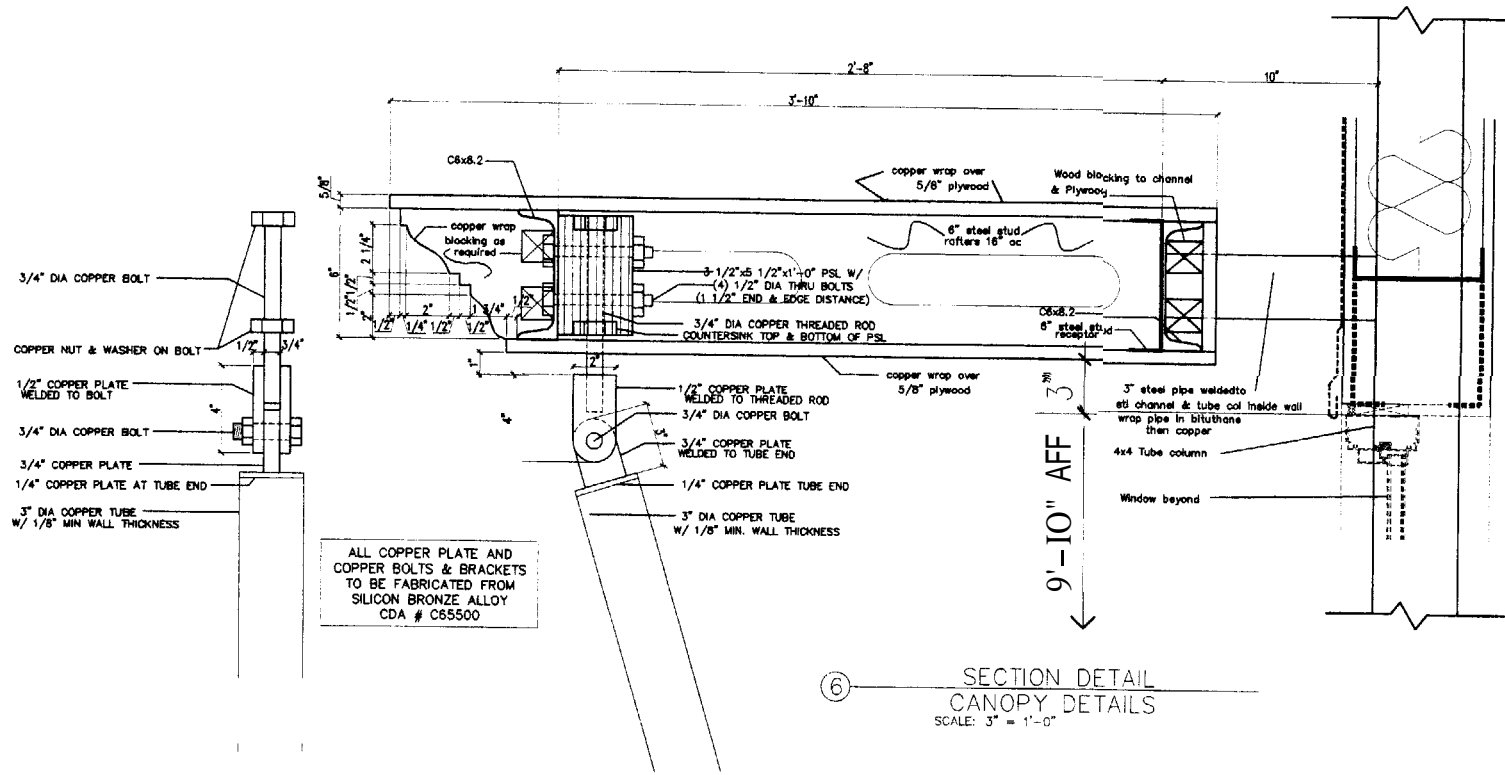


MID WINDOW

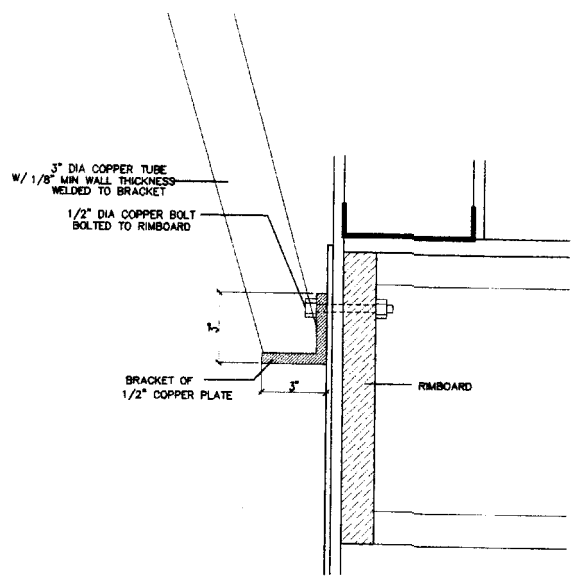


@ CORNER

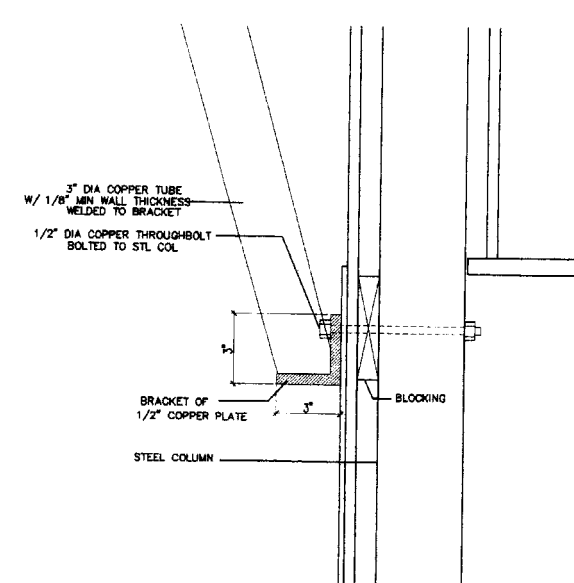
⑤ PLAN DETAIL OF COLUMN IN CURTAIN WALL
SCALE: 3" = 1'-0"



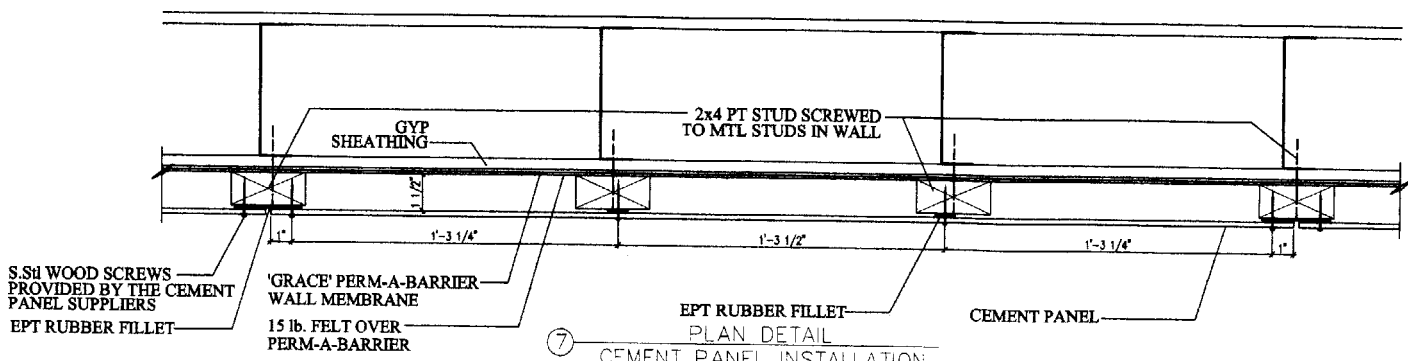
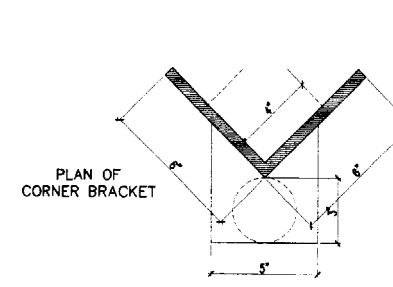
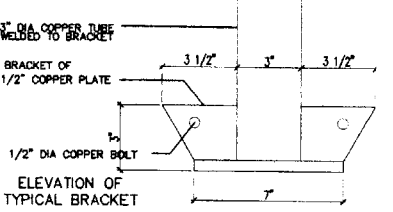
⑥ SECTION DETAIL CANOPY DETAILS
SCALE: 3" = 1'-0"



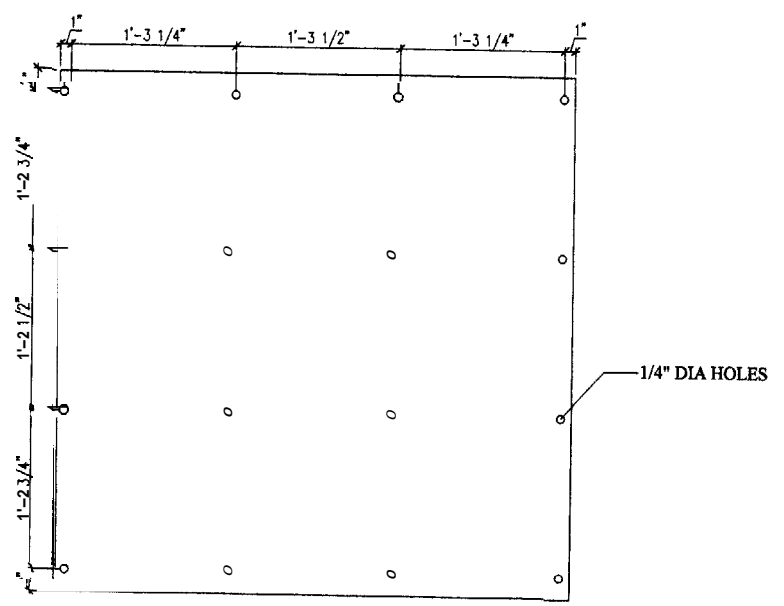
⑩ SECTION DETAIL CANOPY COLUMN SUPPORT
SCALE: 3" = 1'-0"



⑩A SECTION DETAIL CANOPY COLUMN SUPPORT @ STR FRAMING COLUMN
SCALE: 3" = 1'-0"

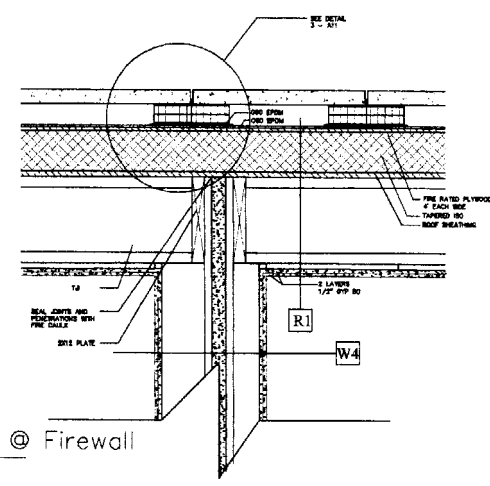
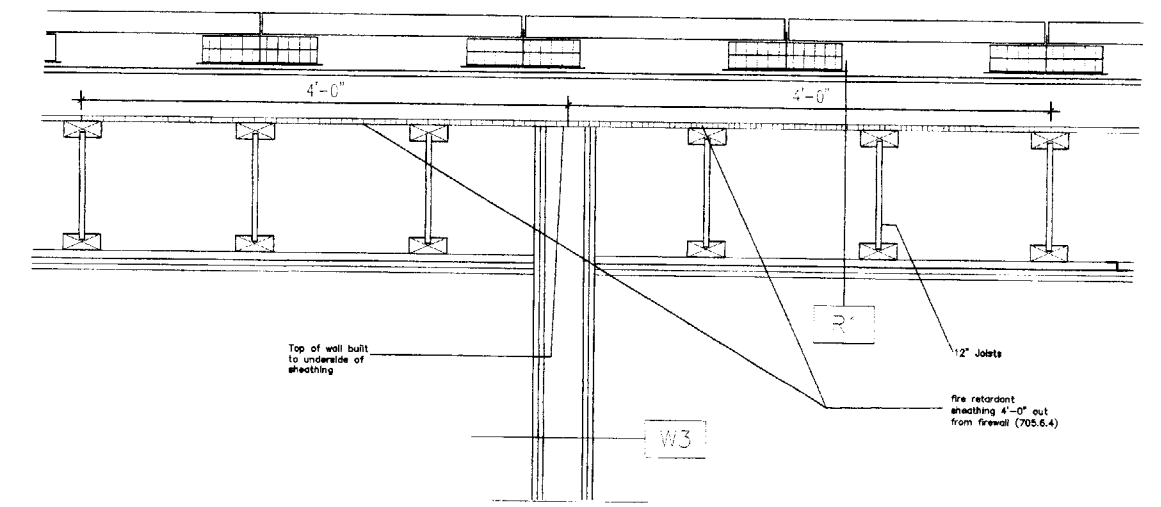
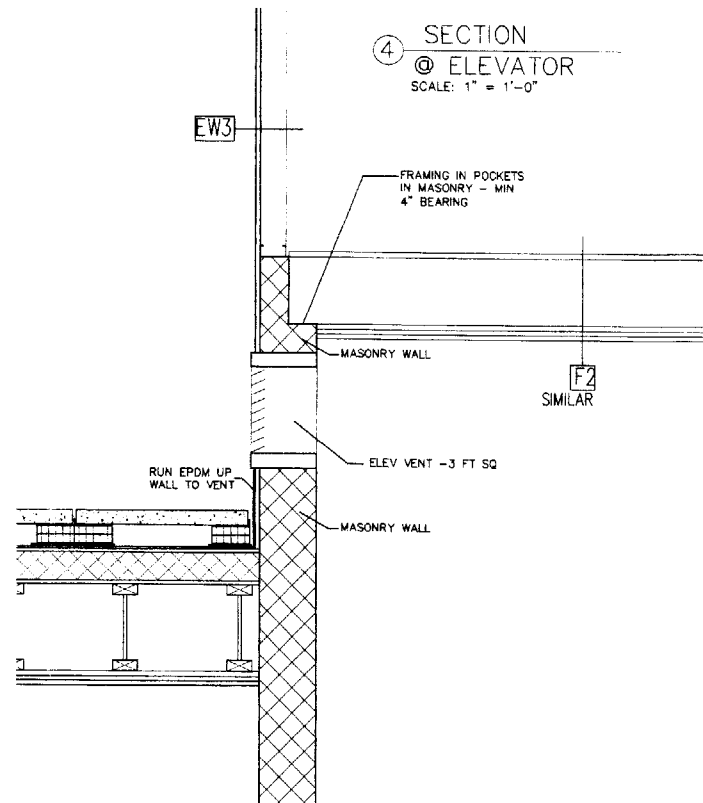
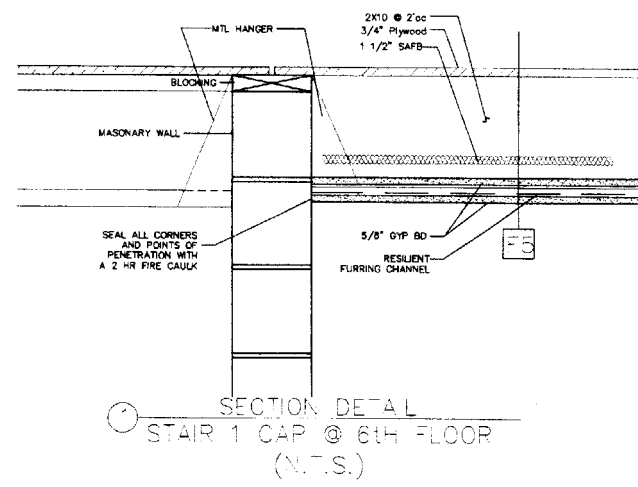


⑦ PLAN DETAIL CEMENT PANEL INSTALLATION
SCALE: 3" = 1'-0"

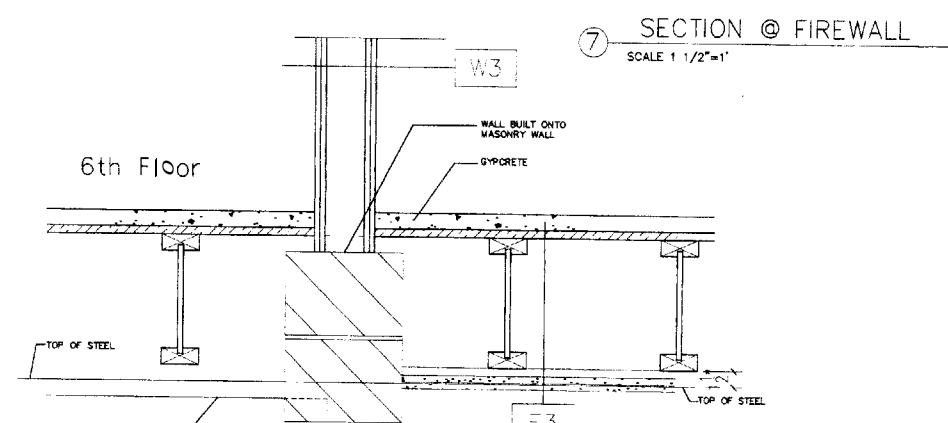


⑧ TYPICAL CEMENT PANEL LOCATION OF SCREW HOLES
SCALE: 1 1/2" = 1'-0"

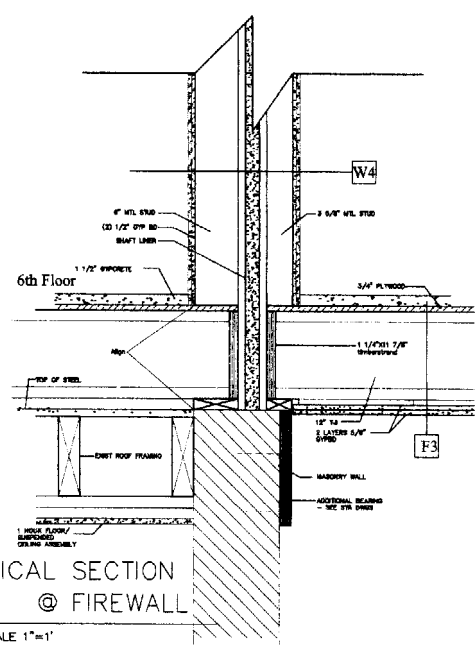
OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927	
ARCHITECT: ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	PROJECT: WINSLOWLOFTS 545 CONGRESS STREET PORTLAND, MAINE
Date: APRIL 18, 2005 Revisions:	Scale: 1/4" = 1'-0"
DETAILS	
A13	



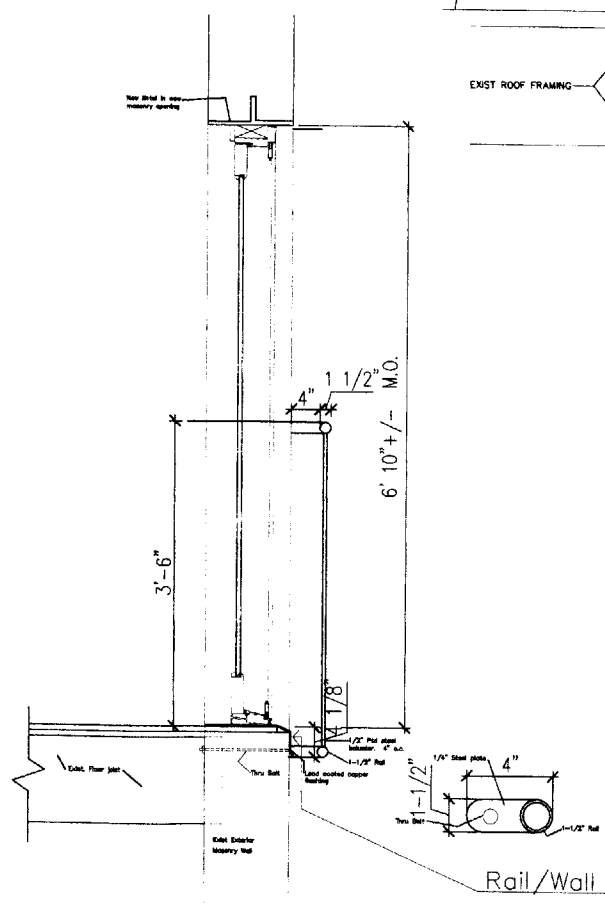
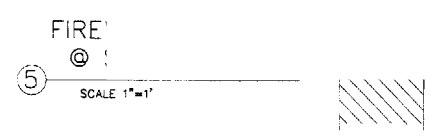
SECTION @ Firewall
SCALE 1" = 1'



SECTION @ FIREWALL
SCALE 1 1/2" = 1'



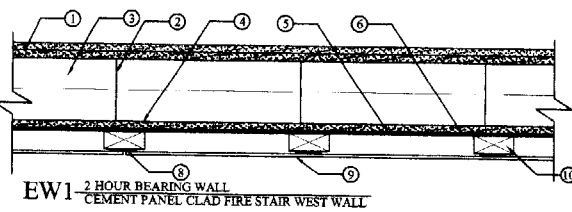
TYPICAL SECTION
@ FIREWALL
SCALE 1" = 1'



SECTION
SCALE 1" = 1'

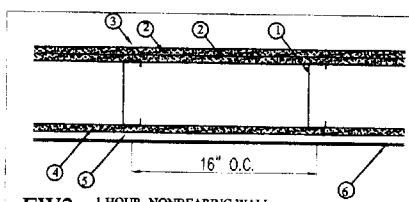
OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927	ARCHITECT: ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	PROJECT: WINSLOW LOFTS 545 CONGRESS STREET PORTLAND, MAINE	Date: APRIL 18, 2005	Scale: 1/4" = 1'-0"
			Revisions:	
DETAILS				
A14				

EXTERIOR WALLS



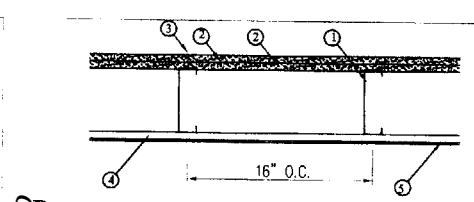
EW1 2 HOUR BEARING WALL
CEMENT PANEL CLAD FIRE STAIR WEST WALL

- EW1 EXTERIOR BEARING WALL RATING - 1 HOUR**
Design No. UL D425
- Gypsum Board - 2 layers 5/8 in. thick wallboard paper, with beveled, square or tapered edges, applied either horizontally or vertically. Wallboard nailed 7 in. OC with 6d cement coated nails 1 7/8 in. long, 0.0915 in. shank diam and 1/4 in.
 - 6" Metal Stud @ 16" O.C.
 - 6" Glass Fiber Insulation
 - 1 Layer 5/8" Exterior Gypsum Board
 - One' Perma-A-BARRIER Wall Membrane
 - 15 lb. Felt Over Perma-A-BARRIER
 - 5.5d Wood Screws Provided By The Cement Panel Supplier (Not Shown)
 - EPT Rubber Felt
 - Cement Panel
 - 2x4 Fire Retardant treated Stud Screwed Through Sheathing To Metal Stud in Wall



EW2a 1 HOUR NONBEARING WALL

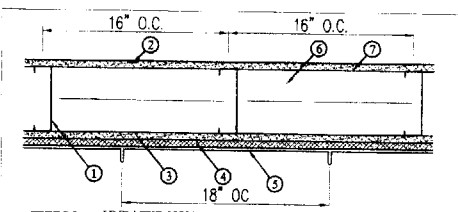
- EW2a NON-BEARING WALL RATING - 1 HOUR**
Design No. UL U419
- 6" Metal Stud
 - Wallboard, Gypsum - 1/2"
 - Long Type 5 steel screws spaced max 24 in. OC, base layer with 1-5/8 in. long Type 5 steel screws spaced max 12 in. OC. Attached to wood studs; base layer with 1-7/8 long 6d coated nails spaced max 14 in. OC. Base layer with 2-3/8 in. long 6d coated nails spaced max 7 in. OC. Base layer installed vertically. Face layers installed horizontally with butt joints offset 16 in. from base layer.
 - Joint Tape and Compound and nail heads (two applications); paper tape, 2 in. wide embedded in first layer of compound over all joints.
 - Beating the U.I. Classification Marking
 - 5/8" Ext Gypsum Board
 - 1/2" Plywood
 - Break metal or Standing seam copper siding (See EW3 for Copper Siding installation)



EW2b 1 HOUR NONBEARING WALL

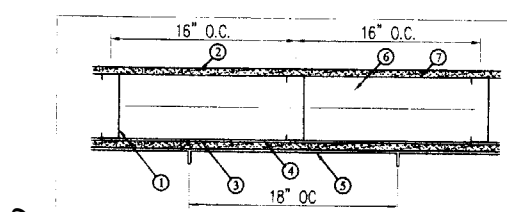
- EW2b NON-BEARING WALL RATING - 1 HOUR**
Design No. UL U419
- 6" Metal Stud
 - Wallboard, Gypsum - 1/2"
 - Long Type 5 steel screws spaced max 24 in. OC, base layer with 1-5/8 in. long Type 5 steel screws spaced max 12 in. OC. Attached to wood studs; base layer with 1-7/8 long 6d coated nails spaced max 14 in. OC. Base layer with 2-3/8 in. long 6d coated nails spaced max 7 in. OC. Base layer installed vertically. Face layers installed horizontally with butt joints offset 16 in. from base layer.
 - Joint Tape and Compound and nail heads (two applications); paper tape, 2 in. wide embedded in first layer of compound over all joints and nail heads.
 - Beating the U.I. Classification Marking
 - 1/2" PT & Fire Retardant treated Plywood
 - Break metal or Standing seam copper siding (See EW3 for Copper Siding installation)

ADD/ALTERNATE NO. 1



EW3a UNRATED NON-BEARING WALLS

- 6" MET STUDS @ 16" OC
- 5/8" GYPSUMBOARD
- 5/8" GYPSUMBOARD SHEATHING
- 1/2" PLYWOOD
- 16 OUNCE STANDING SEAM COPPER SIDING W/ SEAMS @ 18" OC AND CLEATS @ 12" OC VERTICALLY SCREWED TO PLYWOOD OR BREAKMETAL SIDING
- 6" BATT INSULATION
- VAPOR BARRIER

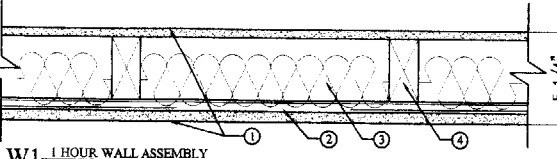


EW3b UNRATED NON-BEARING WALLS

- 6" MET STUDS @ 16" OC
- 5/8" GYPSUMBOARD
- DIENSOLOX® EXTERIOR SHEATHING
- GALV. MET. STRAPPING @ 12" OC VERTICALLY
- 16 OUNCE STANDING SEAM COPPER SIDING W/ SEAMS @ 18" OC AND CLEATS @ 12" OC VERTICALLY SCREWED THROUGH DIENSOLOX TO STRAPPING W/ 316 STAINLESS STEEL SELF-TAPPING SCREWS OR BREAKMETAL SIDING
- 6" BATT INSULATION
- VAPOR BARRIER

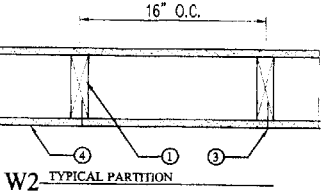
ADD/ALTERNATE NO. 2

INTERIOR WALLS



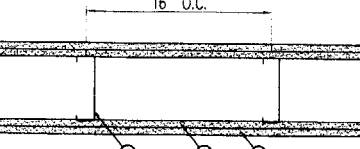
W1 1 HOUR WALL ASSEMBLY
PARTY WALL AND CORRIDOR WALL

- W1 1 HR. WALL ASSEMBLY 90 to 54 STC**
GYPSUM BOARD, WOOD STUDS, RESILIENT CHANNEL, INSULATION
Fire Test: OBU T-3127, (04-44)
Sound Test: RAL TL77-135,5-77
- One layer 5/8" type "X" gypsum board applied parallel to 1/2" resilient channels
 - 1" Type 9 drywall screws 1 1/2" o.c. @ intermediate fluting channels and 6" o.c. @ ends. Resilient fluting channels applied at right angles to 2x4 wood studs @ 24" o.c. with 6d coated nails, 1 7/8" long, 0.081" shank, 1/4" heads, two per joint.
 - 3" of 3-1/2" glass fiber insulation stapled to stud in stud space.
 - 2x4 wood studs @ 16" o.c.



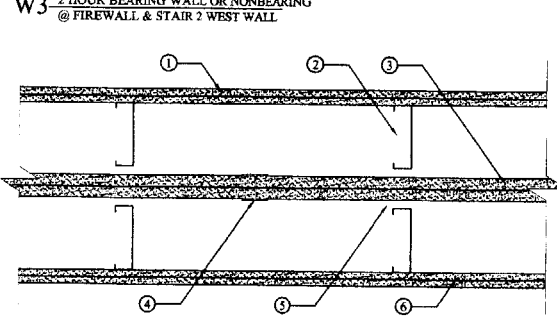
W2 TYPICAL PARTITION

- W2 TYPICAL PARTITION - 0 HOUR**
- Wood or metal studs, min 3-1/2" @ 16" o.c.
 - Nails - 6d cement coated nails 1 7/8 in. long, 0.0915 in. shank diam, 1/4 in. diam heads, and 6d cement coated nails 2-3/8 in. long, 0.113 in. shank diam, 9/32 in. diam heads.
 - Wallboard, Gypsum - 1/2" or 5/8" thick, applied either horizontally or vertically.



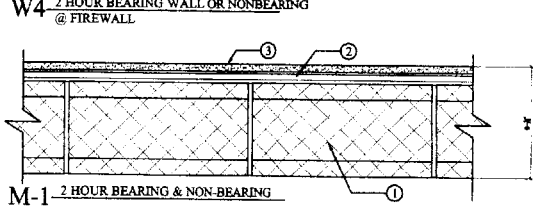
W3 2 HOUR BEARING WALL OR NONBEARING
@ FIREWALL & STAIR ? WEST WALL

- W3 BEARING WALL RATING - 2 HOUR**
Design No. UL U423
- Steel Studs - Min 2 by 6 in., spaced 16 in. OC. Studs cross braced at mid-height and effectively fire stopped at top and bottom of wall.
 - Wallboard, Gypsum - 5/8" or 1" thick, 4 ft. wide, inner layer attached to stud with 1" Type 5 screws @ 24" OC. Outer layer attached to studs with 1-5/8" studs 12" o.c.
- UNITED STATES GYPSUM CO. - Types C,



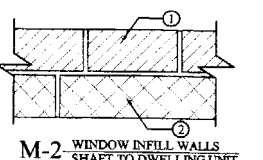
W4 2 HOUR BEARING WALL OR NONBEARING
@ FIREWALL

- W4 BEARING WALL RATING - 2 HOUR**
Design No. U336
- Gypsum Board - 5/8" Type X, 2 Layers
 - Steel Studs - Min 2 by 6 in., spaced 16 in. OC. Studs cross braced at mid-height and effectively fire stopped at top and bottom of wall.
 - Two layers 1/2" x 24" proprietary type "X" gypsum panels inserted between 2" floor and ceiling.
 - 2" steel "H" studs between adjacent parts of gypsum panels.
 - A 3/4" minimum air space must be maintained between steel components and adjacent framing.
 - Gypsum Board - 5/8" Type X, 2 Layers

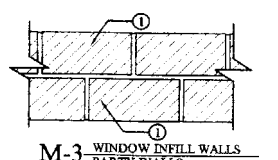


M-1 2 HOUR BEARING & NON-BEARING

- M1 BEARING/NON-BEARING CMU WALL 2-HOUR**
Design No. U705
- D-2 Block
- M1A BEARING/NON-BEARING CMU WALL @ STAIR/ELEVATOR 2-HOUR**
Design No. U705
- D-2 Block
 - 2" Furring channel @ 16" O.C.
 - 5/8" Type X Gyp
- Gypsum Board - 5/8" Type X, 2 Layers

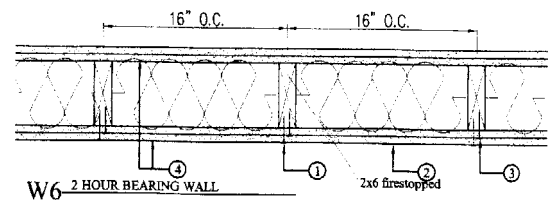


M-2 WINDOW INFILL WALLS
SHAFT TO DWELLING UNIT



M-3 WINDOW INFILL WALLS
PARTY WALLS

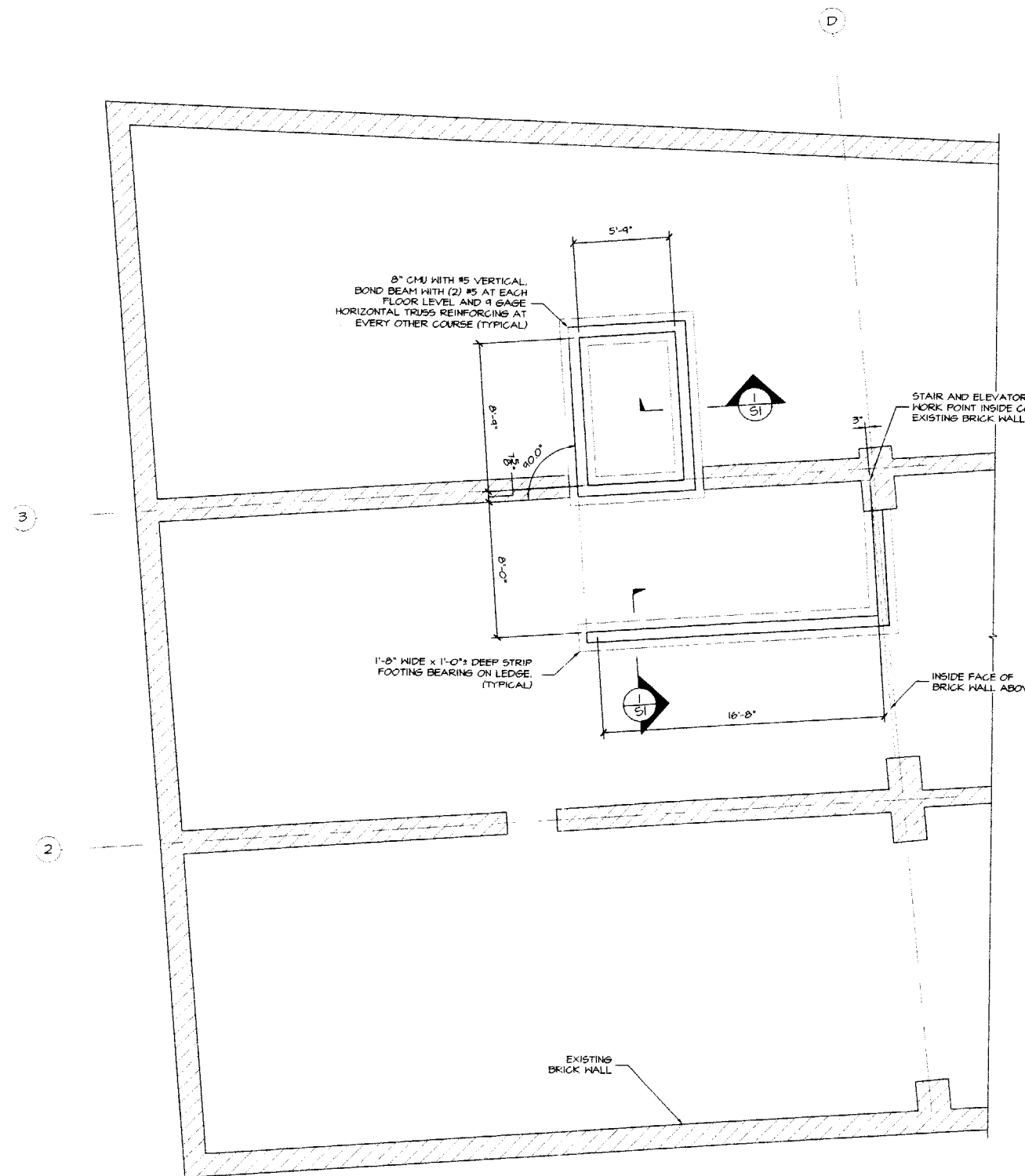
- M2 2-HOUR**
Based on Table 720.1(2) IBC 2003
- Remmed Brick
 - 4" Solid Block
- M3 2-HOUR**
Based on Table 720.1(2) IBC 2003
- Remmed Brick



W6 2 HOUR BEARING WALL

- W6 BEARING WALL RATING - 2 HOUR**
Design No. U501 - Finish Rating - 66 Min.
- Nailheads - Exposed or covered with joint finisher.
 - Joints - Exposed or covered with fiber tape and joint finisher.
 - Nails - 6d cement coated nails 1 7/8 in. long, 0.0915 in. shank diam, 1/4 in. diam heads, and 6d cement coated nails 2-3/8 in. long, 0.113 in. shank diam, 9/32 in. diam heads.
 - Wallboard, Gypsum - 5/8 in. thick, two layers applied either horizontally or vertically. Inner layer attached to studs with the 1-7/8 in. nails spaced 6 in. OC. Outer layer attached to studs over inner layer with the 2-3/8 in. long nails spaced 8 in. OC. Vertical joints located over studs. All joints in these layers staggered with joints in base layer. Joints of each base layer offset with joints of base layer on opposite side.
 - USG Firecode Gum

OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799, Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927	
ARCHITECT: ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf, Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	PROJECT: WINSLOW LOFTS 545 CONGRESS STREET PORTLAND, MAINE
Date: APRIL 18, 2005	Scale: 1/4" = 1'-0"
Revisions:	WALL TYPES
A15	



FOUNDATION PLAN
1/4"=1'-0"

DESIGN CRITERIA:

BUILDING CODE INTERNATIONAL BUILDING CODE/2003

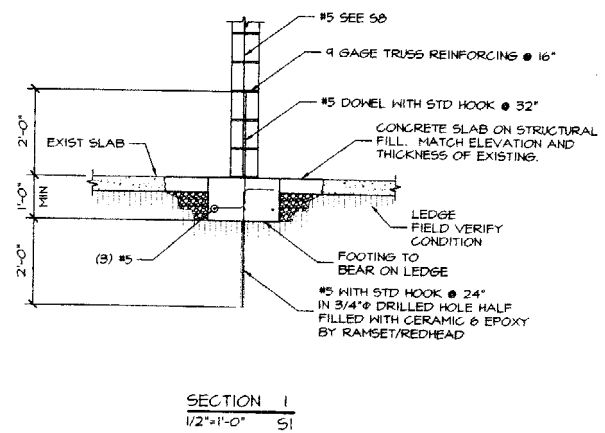
FLOOR LIVE LOAD
Dwelling Units 40 PSF
Public Corridors and Stairs 100 PSF

DEAD LOADS
Floors 11 PSF
Roof 11 PSF

ROOF SNOW LOAD
Ground Snow Load 60 PSF
Exposure Factor, C_e 1.0
Thermal Factor, C_t 1.0
Importance Factor, I_s 1.0
Flat Roof Snow Load, P_f 42 PSF

WIND DESIGN DATA
Basic Wind Speed (3 Sec Gust) 100 MPH
Wind Importance Factor, I_w 1.0
Wind Exposure B
Internal Pressure Coefficient, C_p 0.18
Component & Cladding Design Wind Pressure 26.0 PSF

EARTHQUAKE DESIGN DATA
Seismic Importance Factor, I_e 1.0
Seismic Use Group T
Short Period Spectral Acceleration, S_s 0.375
1 Sec Period Spectral Acceleration, S_1 0.100
Site Class B
Short Period 5% Damped Spectral Response Acceleration, S_{s5} 0.250
1 Sec 5% Damped Spectral Response Acceleration, S_{15} 0.067
Seismic Design Category B
Basic Seismic Force Resisting System Ordinary Reinforced Masonry Shear Walls
Design Base Shear, V 544K
Deflection Amplification Factor, C_d 1 3/4
Response Modification Factor, R 2 1/2
Analysis Procedure Simplified Analysis Procedure



SECTION 1
1/2"=1'-0" S1

22 Oakmont Drive
Old Orchard Beach, ME 04064-1171
207.654.8239
Fax: 207.634.8239

REGISTERED PROFESSIONAL ENGINEER
STATE OF MAINE
NO. 1000
EXPIRES 12/31/2010

STRUCTURAL
DESIGN
CONSULTING I

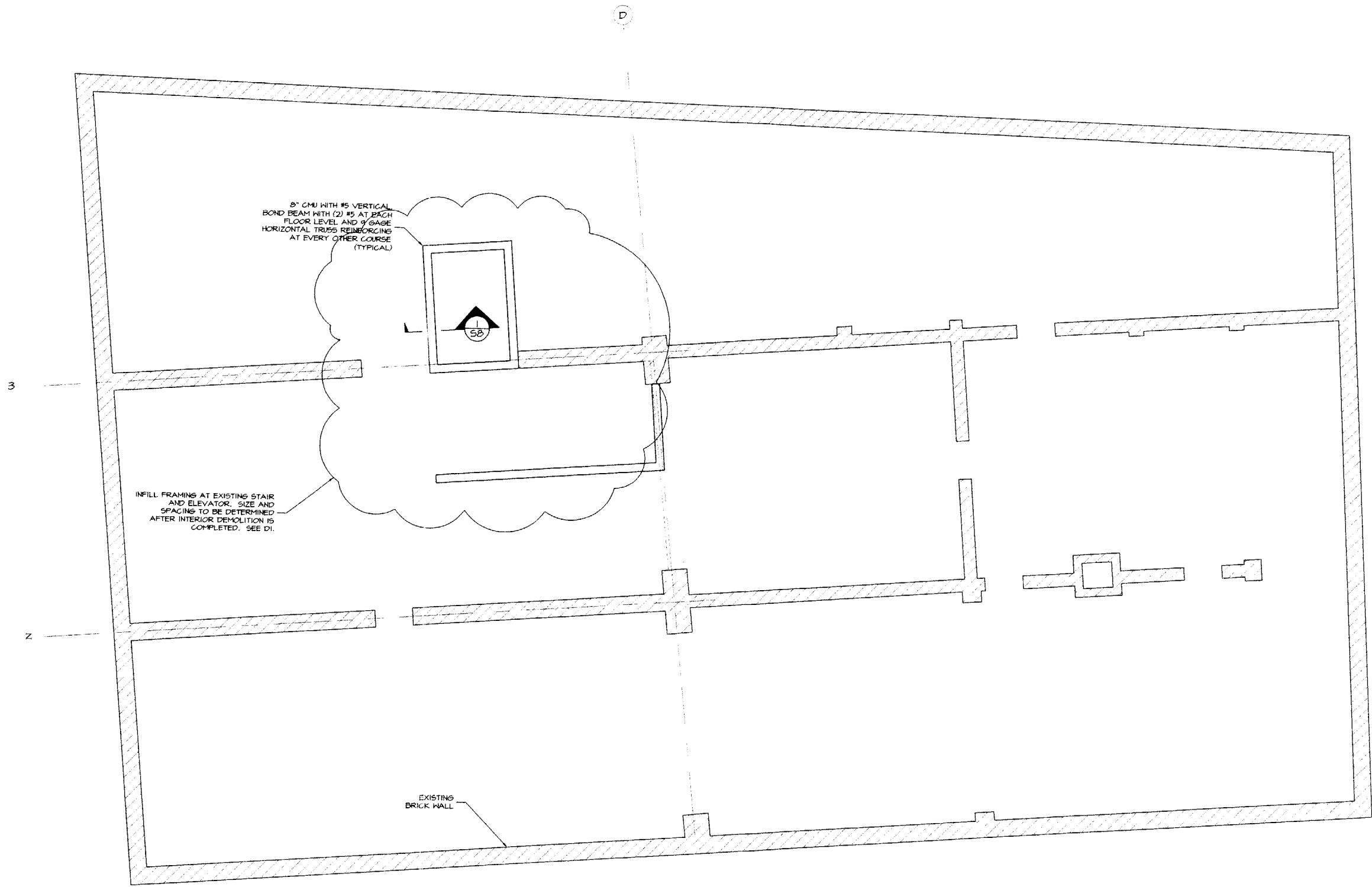
OWNER:
ARCHETYPE, P.A. ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

Project:
WINSLOW LOFTS
CONGRESS STREET
PORTLAND, MAINE

Date: APRIL 22 2005
Scale: 1/4" = 1'-0"
Revisions:

FOUNDATION PLAN
GENERAL NOTES

S1



1ST FLOOR FRAMING PLAN
1/4"=1'-0"



22 Orono Drive
Old Orchard Beach, ME
04064
Tel: 207-934-8421
Fax: 207-934-8096



OWNER:

ARCHETYPE, P.A.
ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

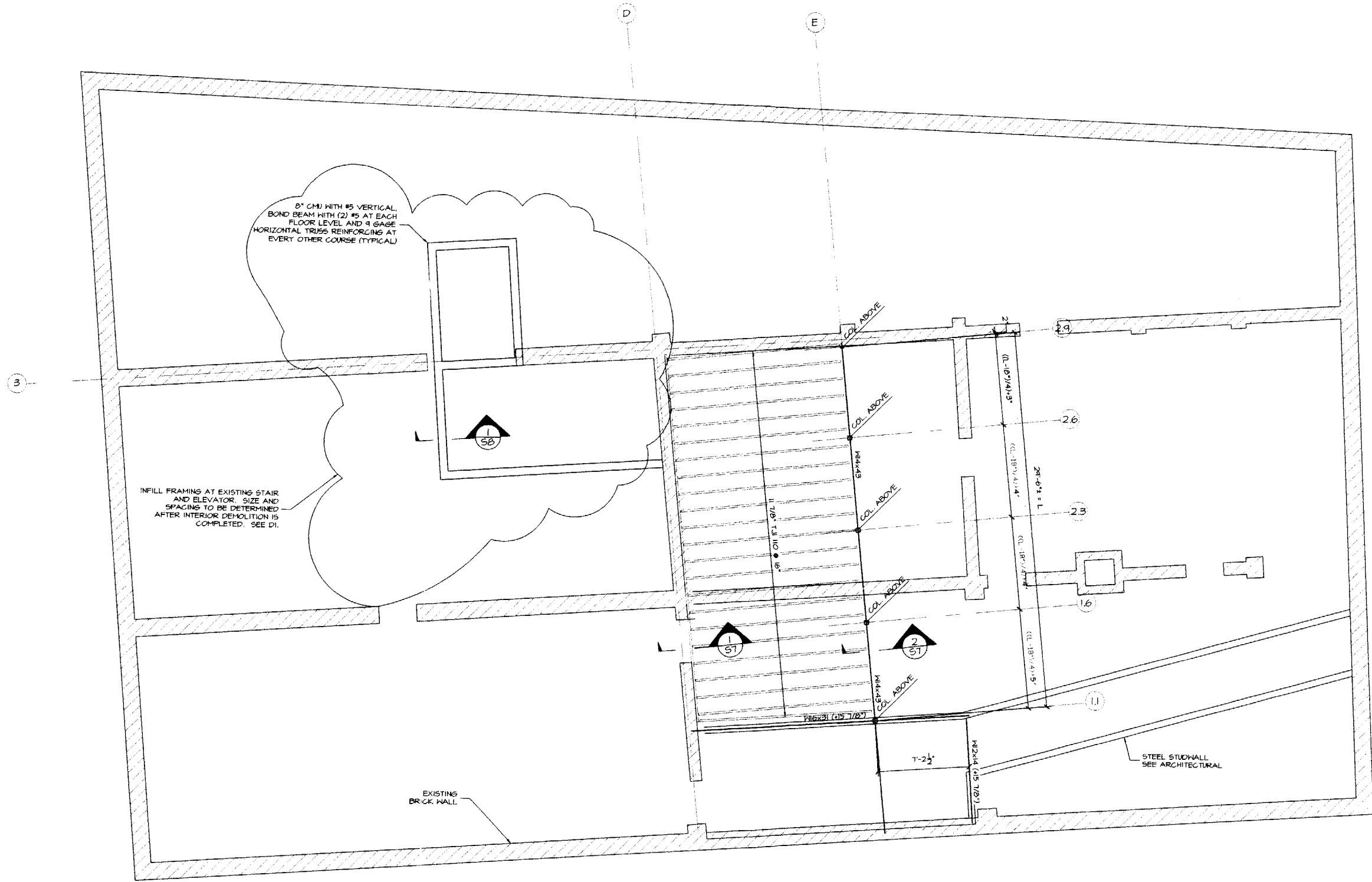
WINSLOW LOFTS
CONGRESS STREET
PORTLAND, MAINE

Project:

Date: APRIL 22, 2005
Scale: 1/4" = 1'-0"
Revisions:

FIRST FLOOR
FRAMING PLAN

S2



2ND FLOOR FRAMING PLAN
 1/4" = 1'-0"
 TOP OF STEEL ELEV = 116'-3" ± UNLESS NOTED (+X")



22 Oldhouse Drive
 Old Orchard Beach, ME
 04064-1211
 207.934.8038



OWNER

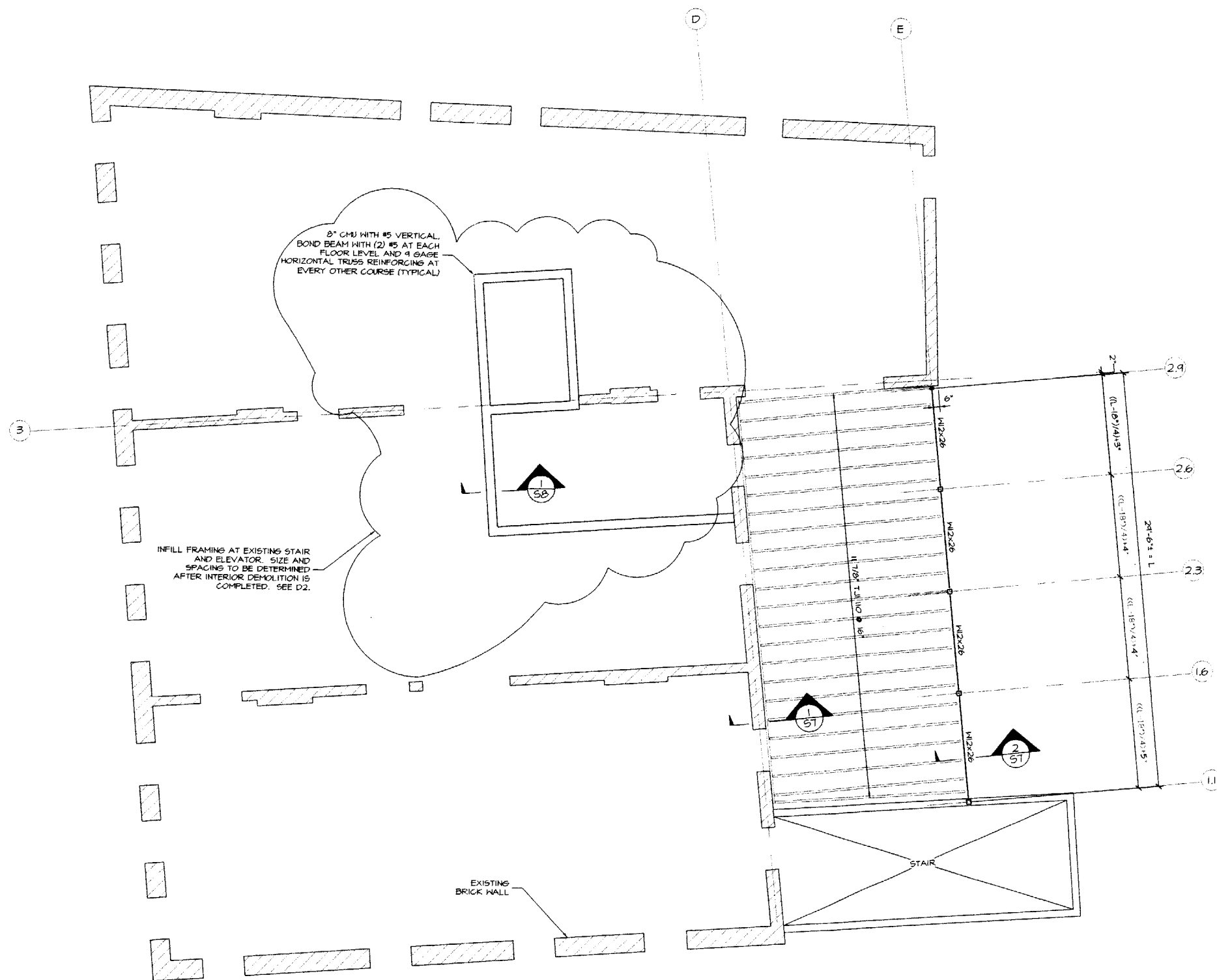
ARCHETYPE, P.A.
 ARCHITECTS
 48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

Project
 WINSLOW LOFTS
 CONGRESS STREET
 PORTLAND, MAINE

Date APRIL 22, 2005
 Scale 1/4" = 1'-0"
 Revisions

SECOND FLOOR
 FRAMING PLAN

S3



3RD, 4TH & 5TH FLOOR FRAMING PLAN

1/4"=1'-0"
 3RD FLOOR TOP OF STEEL ELEV = 126'-4 3/4"
 4TH FLOOR TOP OF STEEL ELEV = 131'-4 3/4"
 5TH FLOOR TOP OF STEEL ELEV = 141'-6 3/4"

SIZES AND LOCATIONS OF MASONRY WALL OPENINGS VARY AT EACH LEVEL. SEE ARCHITECTURAL DRAWINGS AND MASONRY LINTEL SCHEDULE FOR ADDITIONAL INFORMATION.



22 Calumet Drive
 Old Orchard Beach, ME 04064-4121
 207-934-8036
 Fax 207-934-8039



OWNER:

**ARCHETYPE, P.A.
 ARCHITECTS**

48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

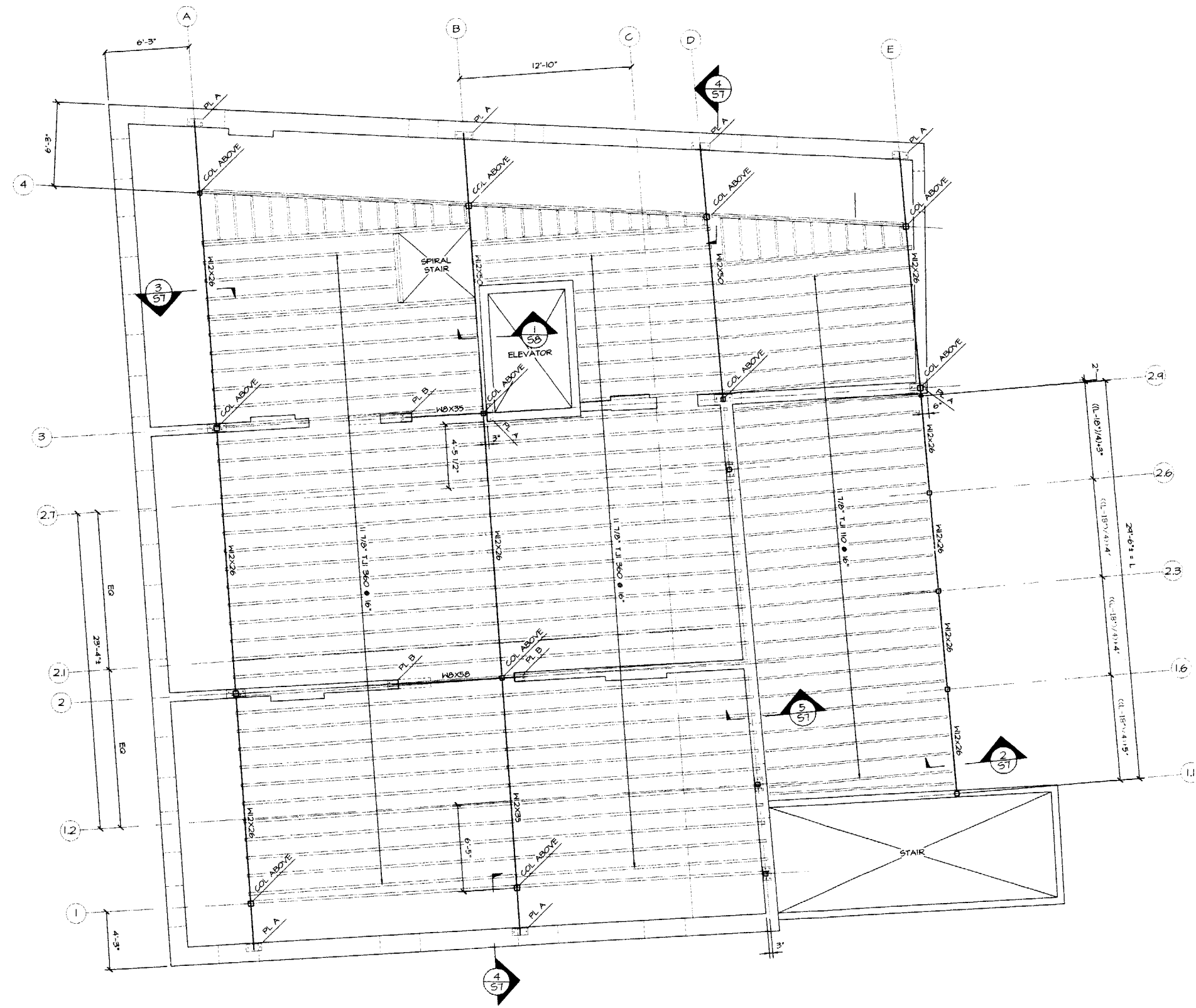
Project:

WINSLOW LOFTS
 CONGRESS STREET
 PORTLAND, MAINE

Date: APRIL 22, 2005
 Scale: 1/4" = 1'-0"
 Revisions:

**3RD, 4TH & 5TH FLOOR
 FRAMING PLAN**

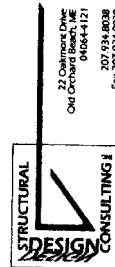
S4



6TH FLOOR FRAMING PLAN

1/4"=1'-0"
LAYOUT NOTES:

- GRIDS A, B AND C ARE PARALLEL TO EXISTING SOUTH EXTERIOR WALL.
- GRIDS 2 AND 3 ARE AT THE CENTERLINE OF EXISTING BRICK WALLS.
- GRID D IS LOCATED 3" FROM THE INSIDE FACE OF THE EXISTING BRICK WALL.
- GRID E IS PARALLEL TO GRID D.
- GRID 4 IS PARALLEL TO EXISTING WEST EXTERIOR WALL.
- GRIDS 1, 2, 2.1 AND 2.7 ARE PERPENDICULAR TO GRIDS B AND C.
- GRIDS 1, 2.3 AND 2.6 ARE PERPENDICULAR TO GRIDS D AND E.
- TOP OF STEEL ELEVATION + 161'-4" (1" ABOVE THE HIGH POINT OF EXISTING BRICK PERIMETER WALLS).



OWNER:

ARCHETYPE, P.A. ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

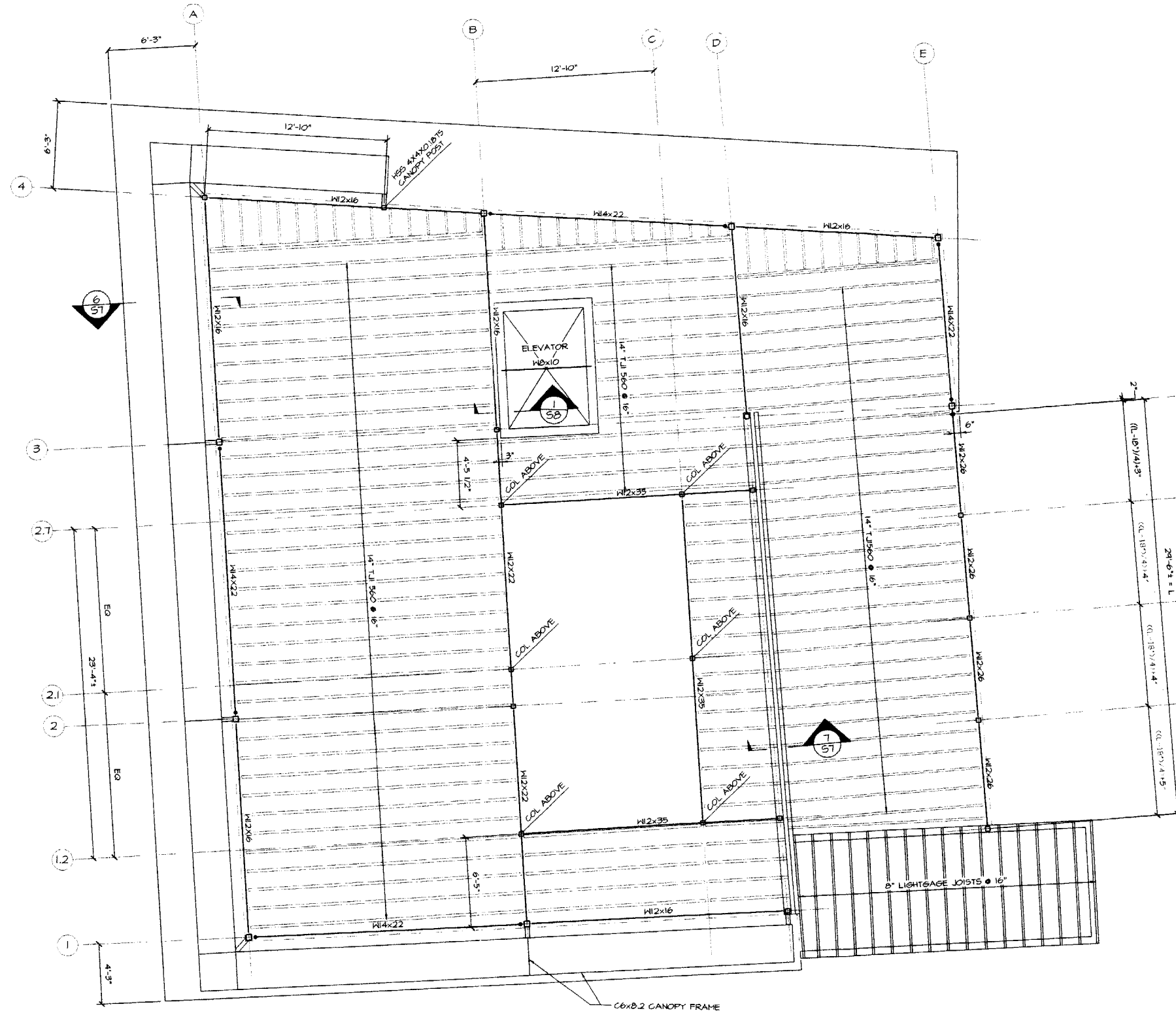
WINSLOW LOFTS
CONGRESS STREET
PORTLAND, MAINE

Project:

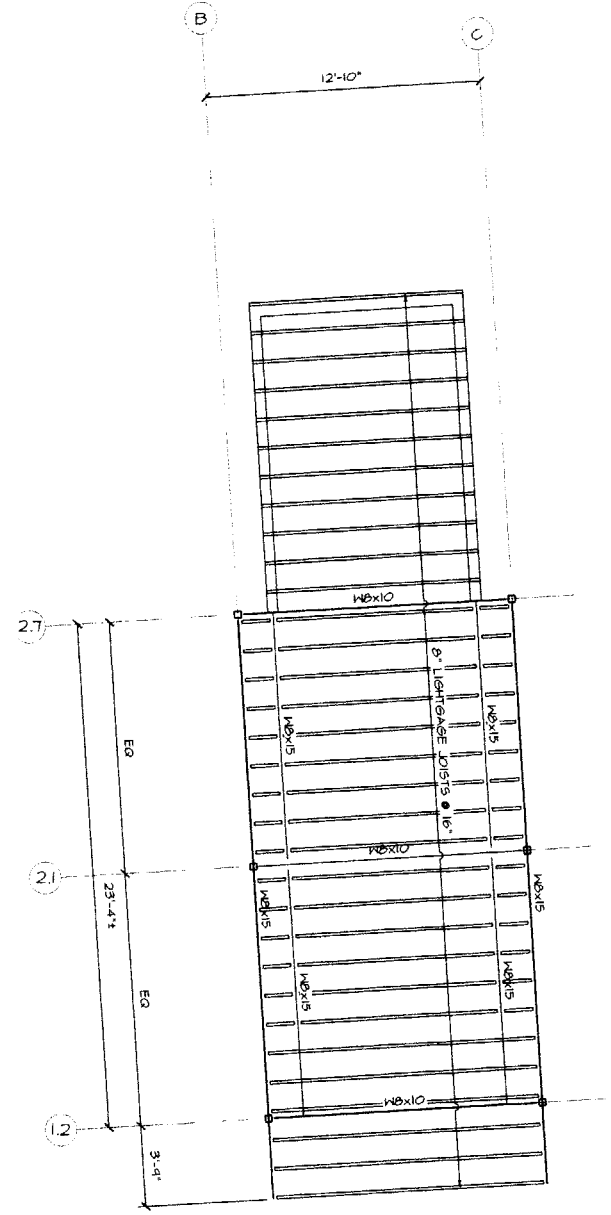
Date: APRIL 22, 2005
Scale: 1/4" = 1'-0"
Revisions:

SIXTH FLOOR FRAMING PLAN

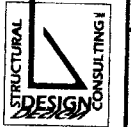
S5



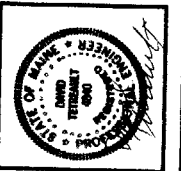
ROOF FRAMING PLAN
 1/4"=1'-0"
 TOP OF STEEL ELEV = 174'-6 3/4"
 • INDICATES MOMENT CONNECTION, SEE S6



PENTHOUSE ROOF FRAMING PLAN
 1/4"=1'-0"



27 CHESTNUT DR.
 OLD ORCHARD BEACH, ME
 04064-4171
 207-934-8338
 Fax: 207-934-8339



OWNER:

**ARCHETYPE, P.A.
 ARCHITECTS**
 48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

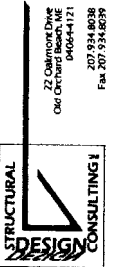
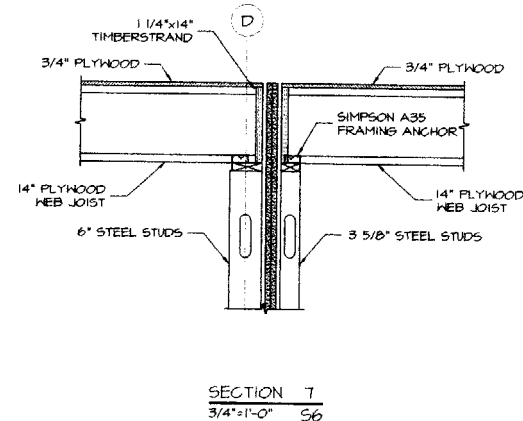
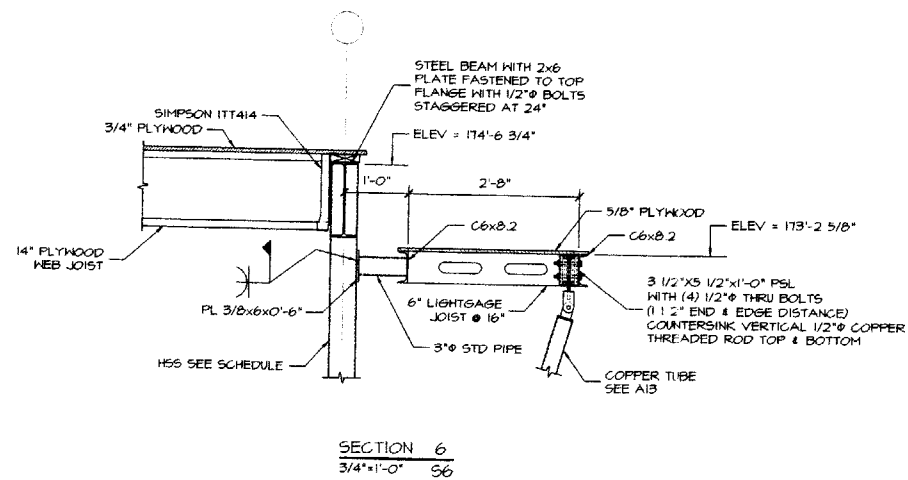
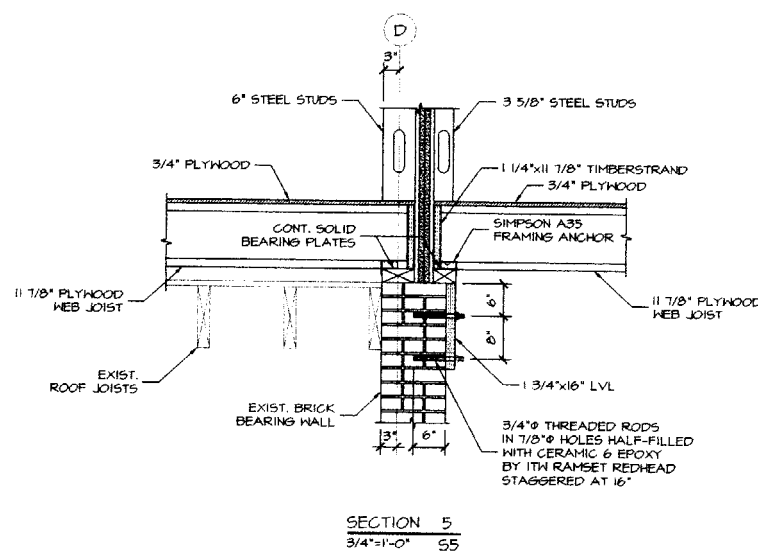
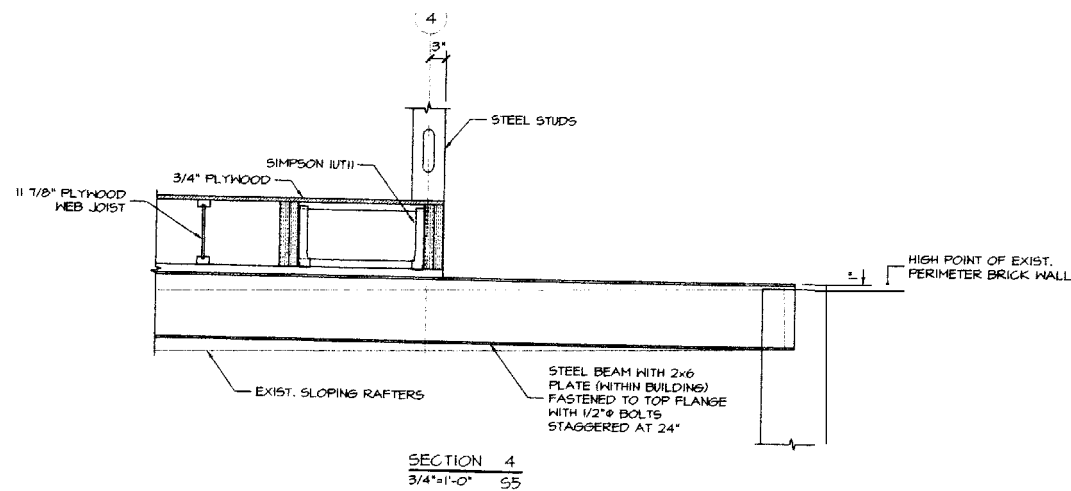
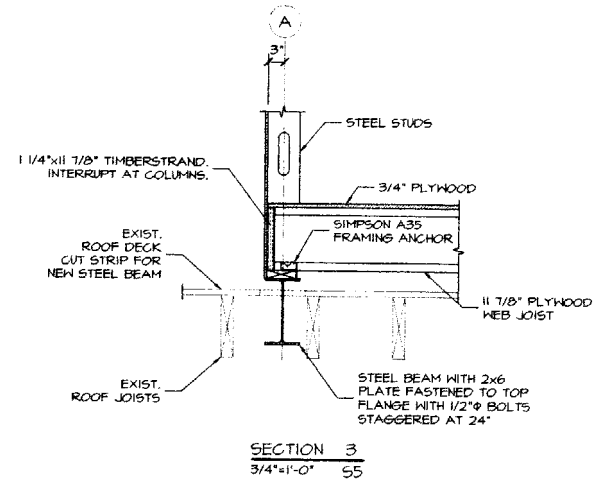
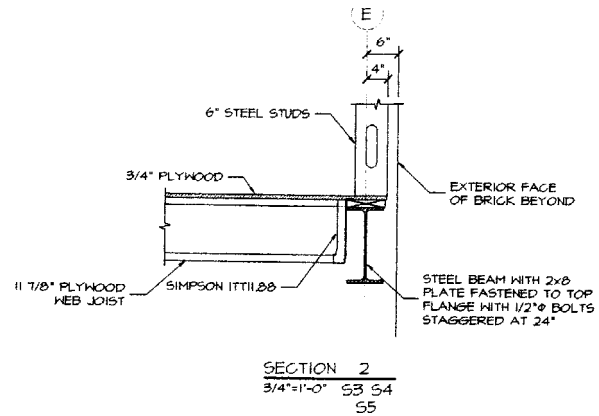
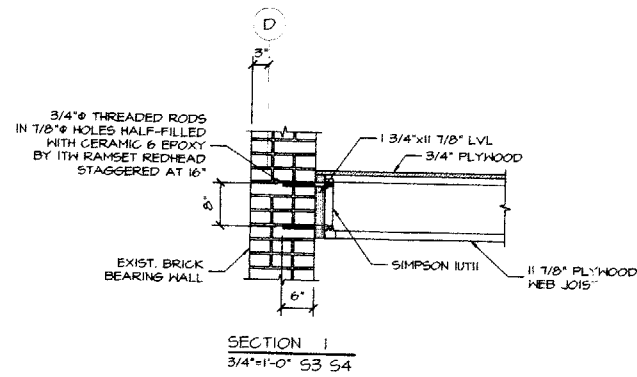
WINSLOW LOFTS
 CONGRESS STREET
 PORTLAND, MAINE

Project:

Date	APRIL 22, 2005
Scale	1/4" = 1'-0"
Revisions:	

ROOF FRAMING PLAN

S6



OWNER:

ARCHETYPE, P.A. ARCHITECTS
48 Union Wharf, Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

WINSLOW LOFTS
CONGRESS STREET
PORTLAND, MAINE

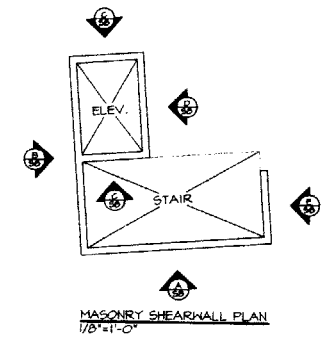
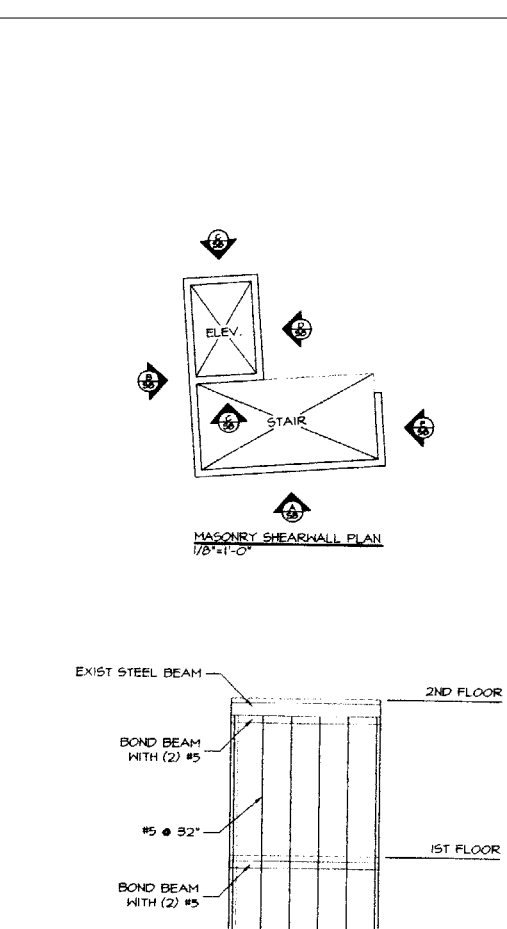
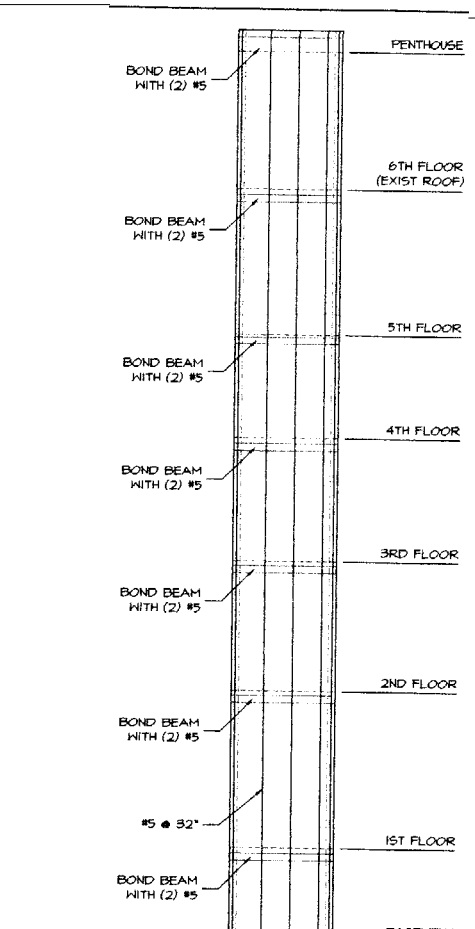
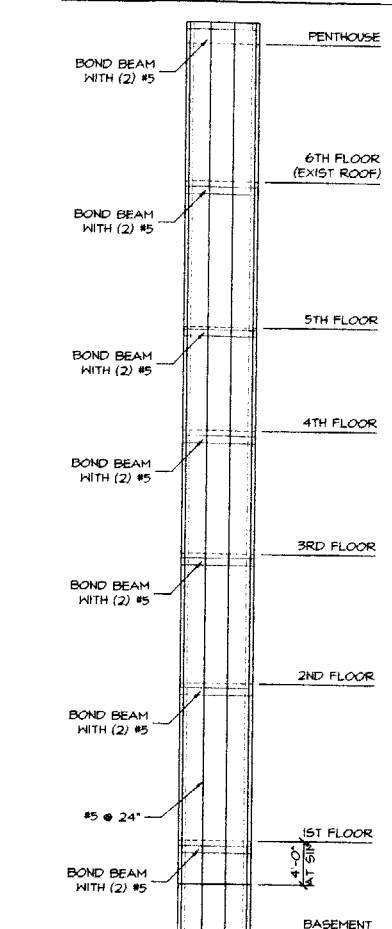
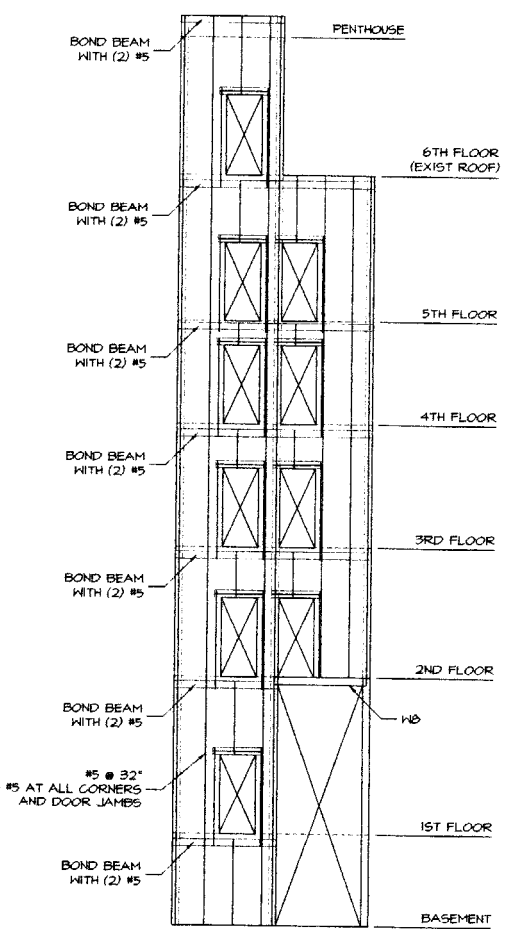
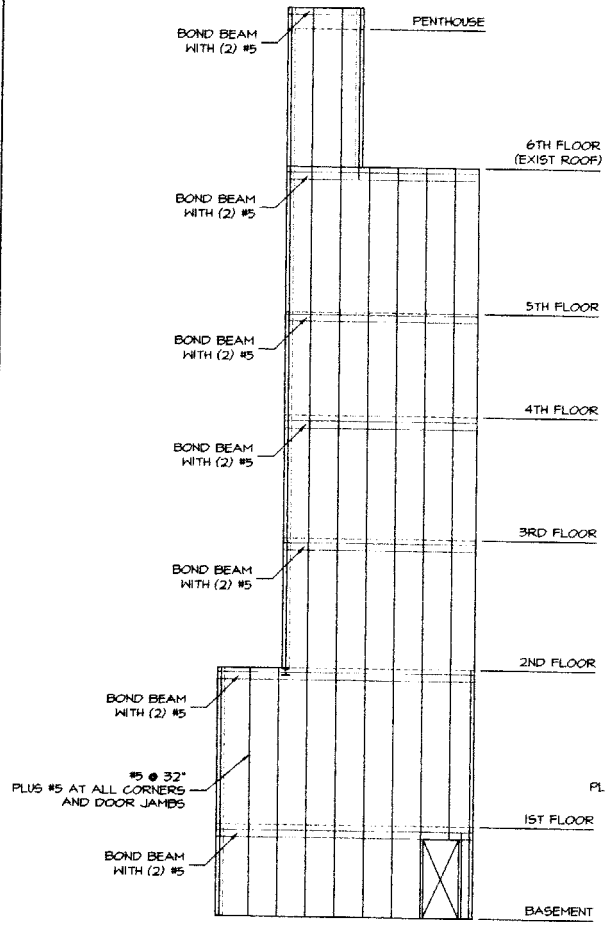
Project:

Scale: 1/4" = 1'-0"

Date: APRIL 22, 2005

Revisions:

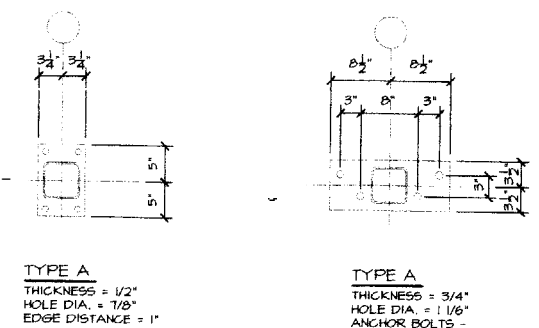
FRAMING SECTIONS AND DETAILS



COLUMN SCHEDULE					
COLUMN MARK	SIZE	BOT. OF BASE PL ELEV.	BASE PL TYPE	TOP OF COLUMN ELEV.	COMMENTS
A-1	H555x5x0.375	161'-4"	A	174'-7 3/4"	
A-2	H555x5x0.375	160'-0"	B	174'-7 3/4"	BEARS ON EXIST. MASONRY. FIELD VERIFY ELEVATION
A-3	H555x5x0.375	160'-0"	B	174'-7 3/4"	BEARS ON EXIST. MASONRY. FIELD VERIFY ELEVATION
A-4	H554x4x0.1875	161'-4"	A	174'-6 3/4"	
B-1	H555x5x0.375	161'-4"	A	174'-7 3/4"	
B-1.2	H554x4x0.1875	174'-6 3/4"	A	185'-2 3/4"	
B-2	H554x4x0.250	161'-4"	A	174'-6 3/4"	
B-2.1	H554x4x0.1875	174'-6 3/4"	A	182'-8 3/4"	
B-2.7	H554x4x0.1875	174'-6 3/4"	A	180'-2 3/4"	
B-3	H554x4x0.250	161'-4"	A	174'-6 3/4"	
B-4	H555x5x0.375	161'-4"	A	174'-7 3/4"	
C-1.2	H554x4x0.1875	174'-6 3/4"	A	185'-2 3/4"	
C-2.1	H554x4x0.1875	174'-6 3/4"	A	182'-8 3/4"	
C-2.7	H554x4x0.1875	174'-6 3/4"	A	180'-2 3/4"	
D-1	H554x4x0.1875	160'-0"	B	174'-6 3/4"	BEARS ON EXIST. MASONRY. FIELD VERIFY ELEVATION
D-1.2	H554x4x0.1875	160'-0"	B	174'-6 3/4"	BEARS ON EXIST. MASONRY. FIELD VERIFY ELEVATION
D-2.7	H554x4x0.1875	160'-0"	B	174'-6 3/4"	BEARS ON EXIST. MASONRY. FIELD VERIFY ELEVATION
D-3	H554x4x0.1875	161'-4"	A	174'-6 3/4"	
D-4	H555x5x0.375	161'-4"	A	174'-7 3/4"	
E-1.1	H554x4x0.1875	117'-6 1/8"	A	174'-6 3/4"	
E-1.6	H554x4x0.1875	116'-3"	A	174'-6 3/4"	
E-2.3	H554x4x0.1875	116'-3"	A	174'-6 3/4"	
E-2.6	H554x4x0.1875	116'-3"	A	174'-6 3/4"	
E-2.9	H554x2x0.1875	116'-3"	A	174'-6 3/4"	ORIENT LONG AXIS PARALLEL TO GRID 2.9
E-3	H555x5x0.375	161'-4"	A	174'-7 3/4"	
E-4	H555x5x0.375	161'-4"	A	174'-7 3/4"	

STEEL ELEVATION NOTE:
 ALL STEEL ELEVATIONS MUST BE FIELD VERIFIED.
 STEEL DESIGN ELEVATIONS ARE BASED ON THE FOLLOWING EXISTING FINISH FLOOR ASSUMED ELEVATIONS:

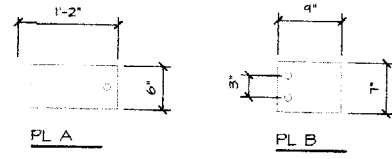
FIRST FLOOR	100'-0"
SECOND FLOOR	114'-1"
THIRD FLOOR	126'-7"
FOURTH FLOOR	138'-0"
FIFTH FLOOR	147'-9"
HIGH POINT PERIMETER BRICK WALL	161'-3"



BASE PLATE DETAILS
1"=1'-0"

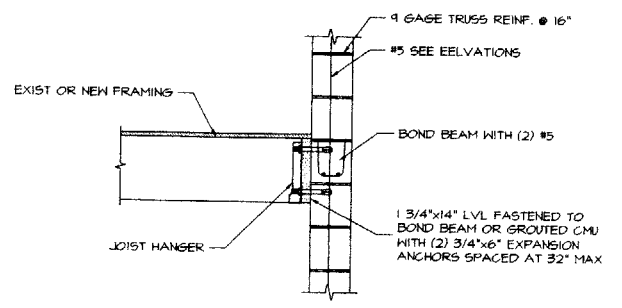
LOOSE LINTEL SCHEDULE	
ROUGH OPENINGS	LINTEL SIZE
UP TO 3'-0"	L4x3x5/16 LLV
>3'-0" TO 4'-6"	L5x3x5/16 LLV
>4'-6" TO 6'-0"	L6x3x5/16 LLV
>6'-0" TO 9'-0"	W8x31 UNO.

PROVIDE 6" BEARINGS AT EACH END
 PROVIDE (1) L FOR EACH 4" OF MASONRY WALL THICKNESS

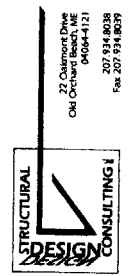


BEARING PLATE DETAILS
1"=1'-0"

THICKNESS = 3/4"
 HOLE DIA. = 1 1/8"
 EDGE DISTANCE = 1 1/2" UNO.
 ANCHOR BOLTS - 3/4" THREADED ROD IN 1/8"x9"x1" DRILLED HOLE HALF FILLED WITH EPOXY



SECTION I
3/4"=1'-0" 52-56



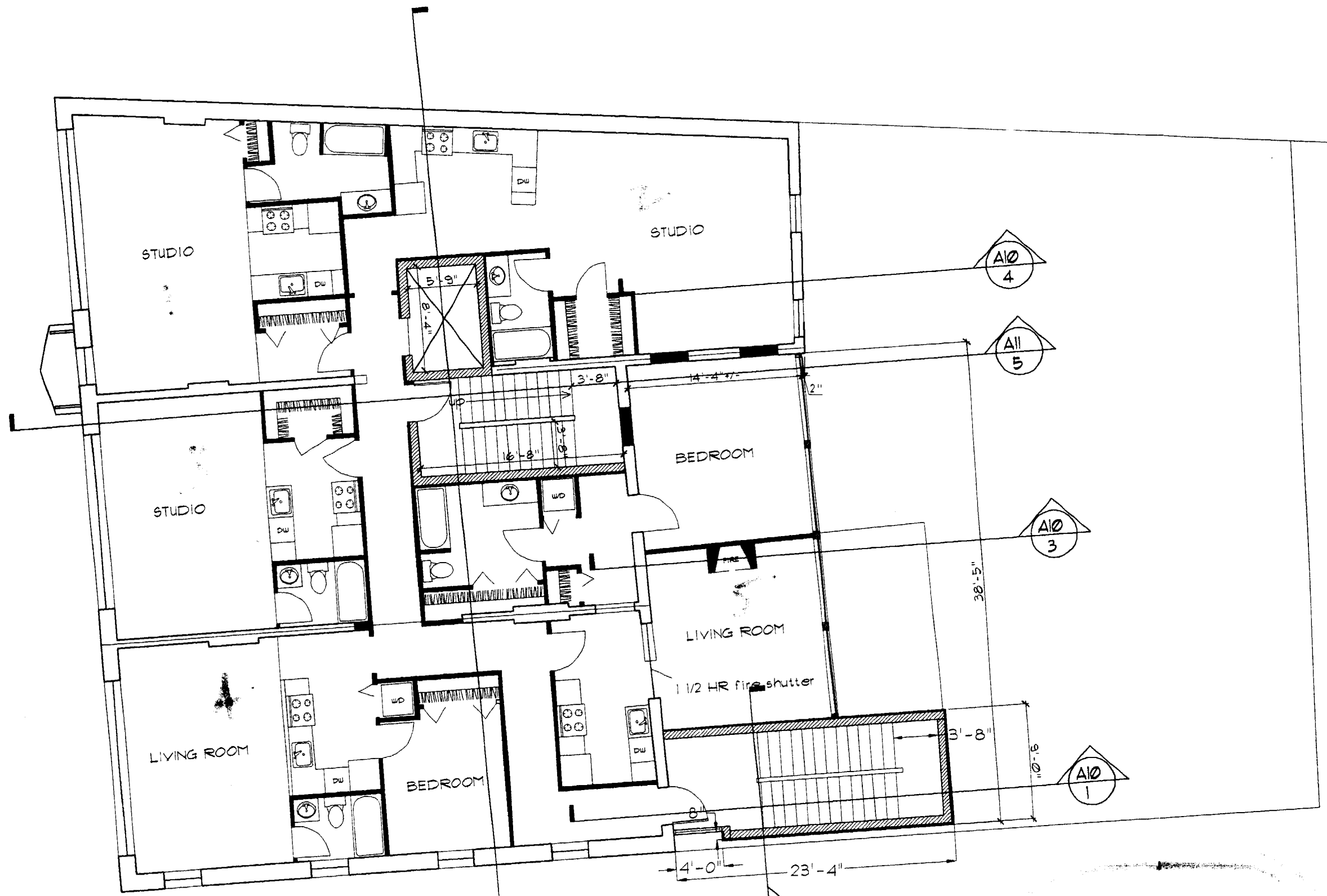
OWNER:
ARCHETYPE, P.A. ARCHITECTS
 48 Union Wharf, Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

Project:
WINSLOW LOFTS
 CONGRESS STREET
 PORTLAND, MAINE

Date: APRIL 22, 2005
 Scale: AS NOTED
 Revisions:

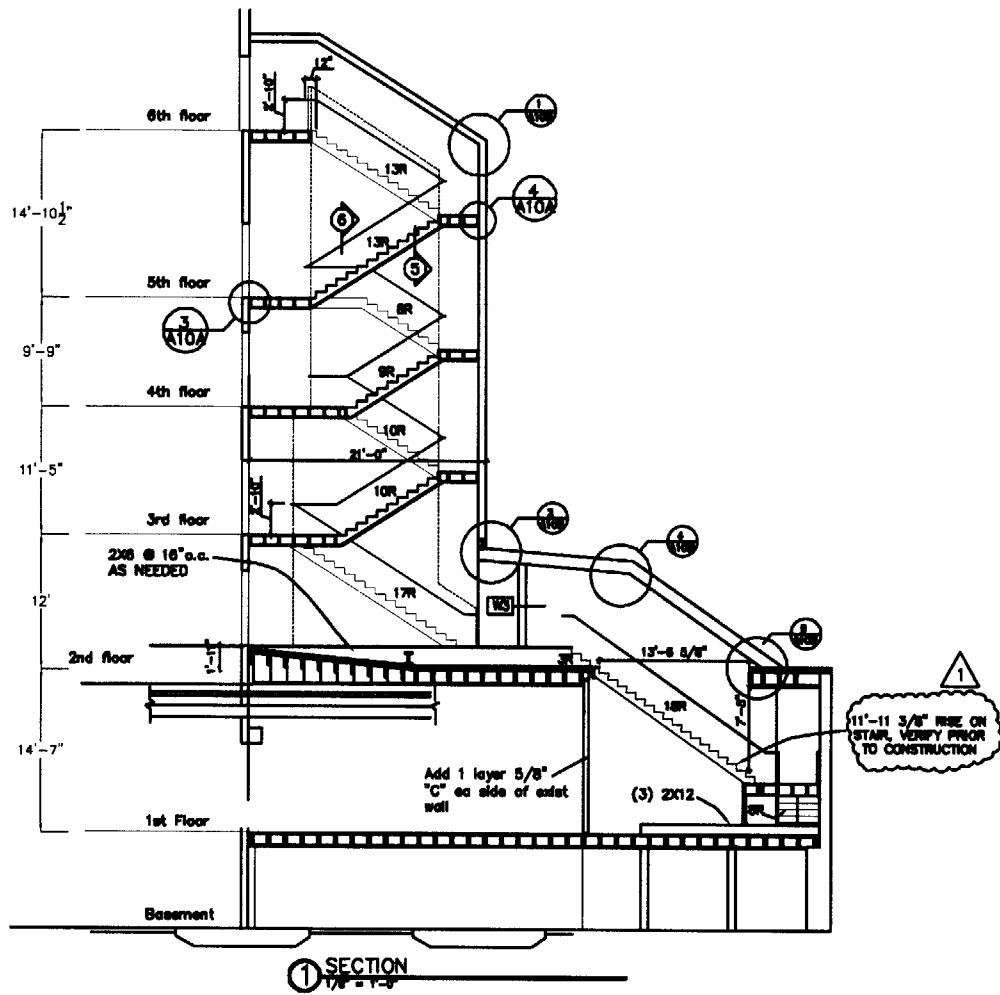
SHEAWALL DETAILS
COLUMN SCHEDULE

S8

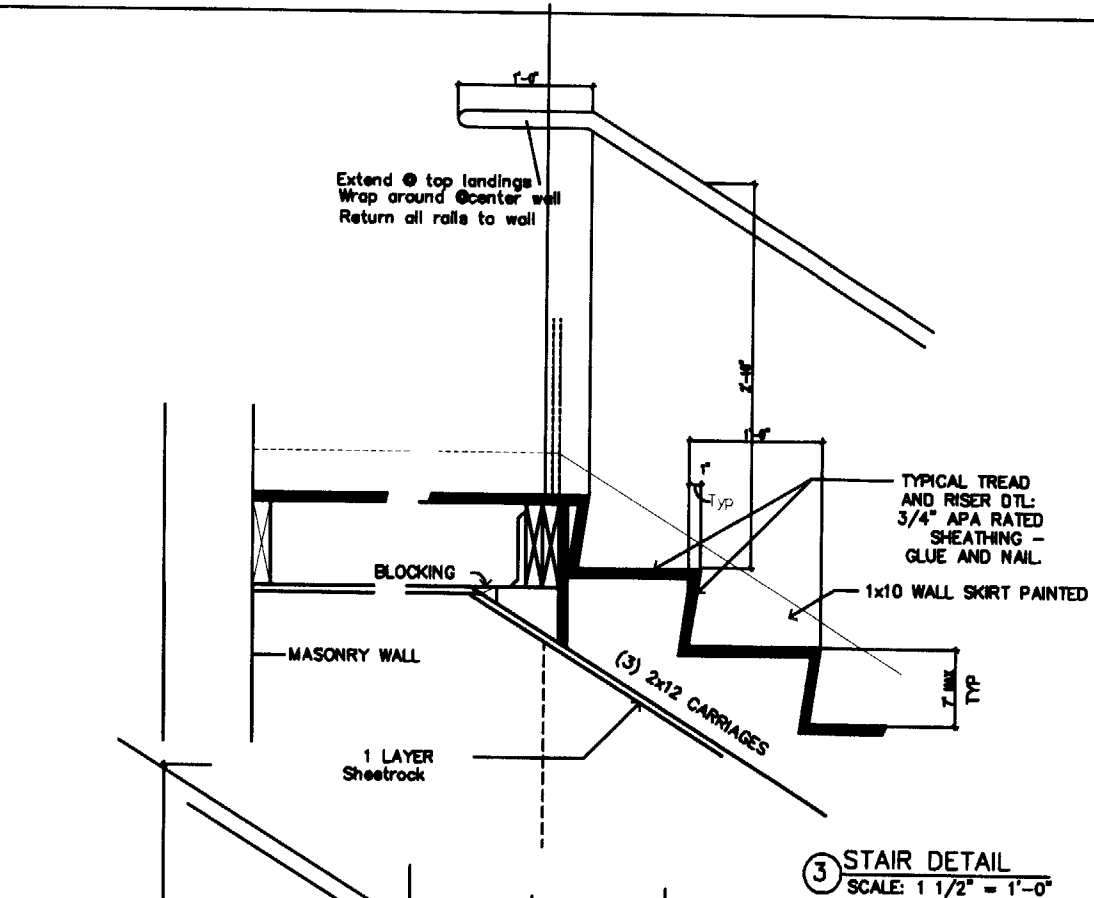


2nd FLOOR PLAN

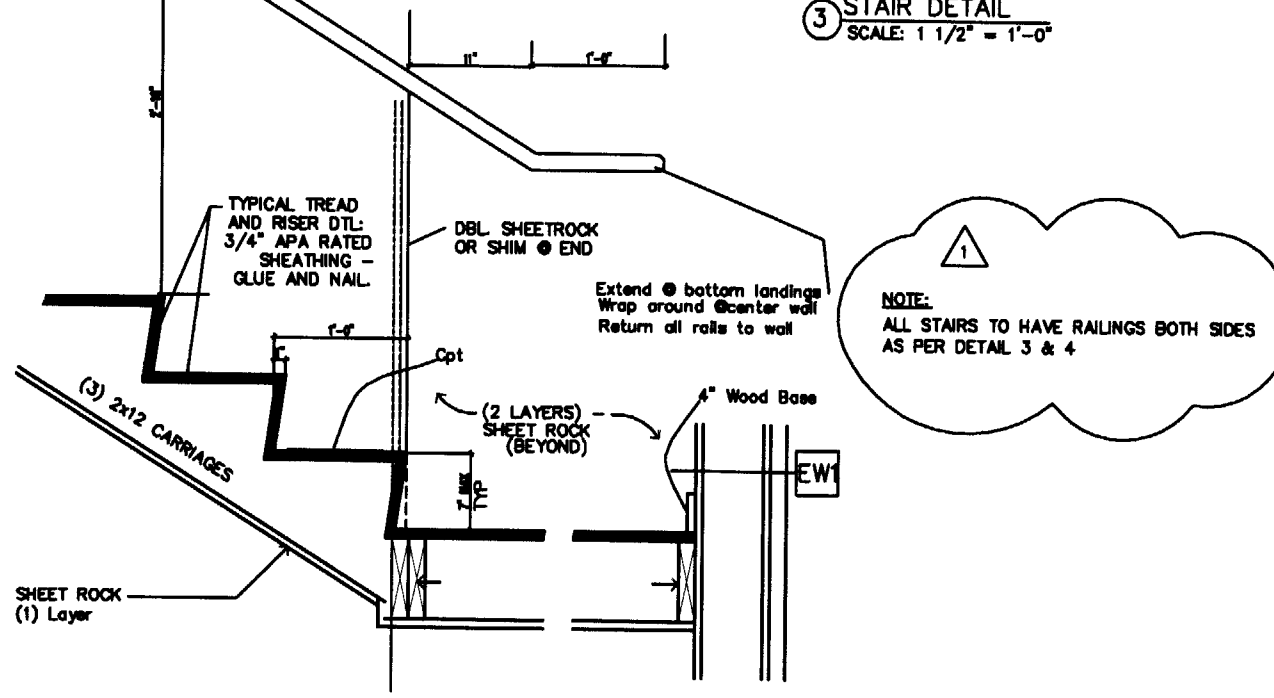
OWNER:	
ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	
Project WINSLOW LOFTS CONGRESS STREET PORTLAND, MAINE	
Date	Scale
MARCH 2004	1/4" = 1'-0"
Revisions	
2nd FLOOR PLAN	
<h1>A3</h1>	



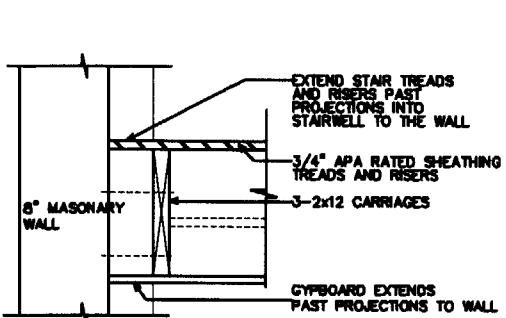
1 SECTION
SCALE: 1/8" = 1'-0"



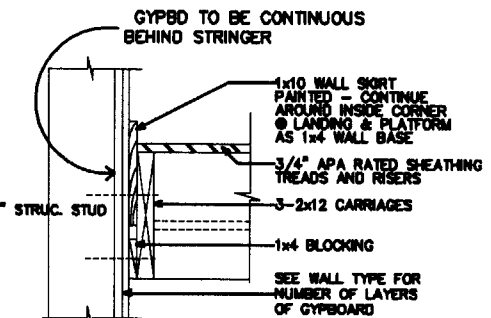
3 STAIR DETAIL
SCALE: 1 1/2" = 1'-0"



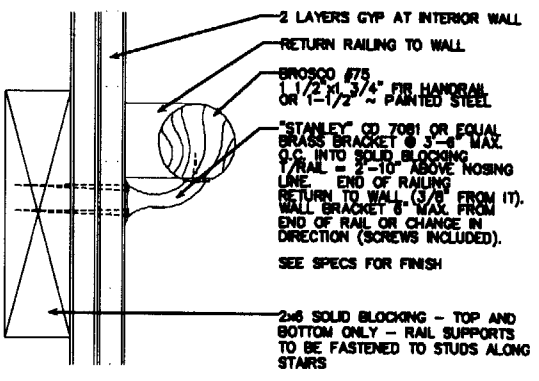
4 STAIR DETAIL
SCALE: 1 1/2" = 1'-0"



7 STAIR DETAIL
SCALE: 1 1/2" = 1'-0"



5 STAIR DETAIL
SCALE: 1 1/2" = 1'-0"



6 STAIR HANDRAIL DET.
SCALE: 6" = 1'-0"

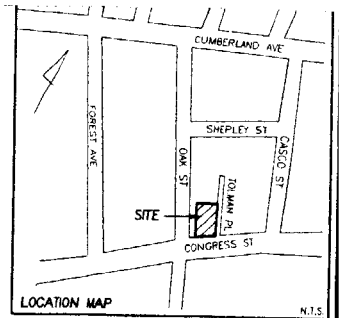
OWNER:	CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799, Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927
ARCHITECT:	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf, Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
PROJECT:	WINSLOW LOFTS 545 CONGRESS STREET PORTLAND, MAINE
Date	APRIL 28, 2005
Scale	1/8" = 1'-0"
Revisions	APRIL 28, 2005 ISSUE FOR CONSTRUCTION & PERMIT A 05/23/05
STAIR #2 & STAIR DETAILS	
A10A	

5/24/2005 1:22:45 PM



CONGRESS STREET
PAVED - PUBLIC

TO HIGH ST



- LEGEND:**
- MONUMENT FOUND
 - ⊗ GAS VALVE
 - ⊗ WATER GATE
 - ⊗ LIGHT POLE
 - ⊗ MANHOLE
 - CURB
 - UP — UNDERGROUND POWER
 - W — WATER LINE
 - G — GAS LINE

CASCO STREET
PAVED - PUBLIC 49.5' WIDE

N/F
HEGA REALTY TRUST

WINSLOW LOFTS
CONDOMINIUM

LOT AREA =
5,713 S.F. ±

'BENTLEY
BUILDING'

OAK STREET
PAVED - PUBLIC 43' WIDE

N/F
HEGA REALTY TRUST
7686/334

APPROVED BY CITY OF PORTLAND PLANNING BOARD

DATE _____

UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.

PLAN REFERENCES:

1. LAND TITLE SURVEY OF PROPERTY AT 523-547 CONGRESS STREET, PORTLAND, MAINE MADE FOR HEGA REALTY TRUST DATED NOV. 9, 1993 REV. 11-17-04 BY OWEN HASKELL, INC.

SHEPLEY

CERTIFICATION:

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.



3108105
DATE

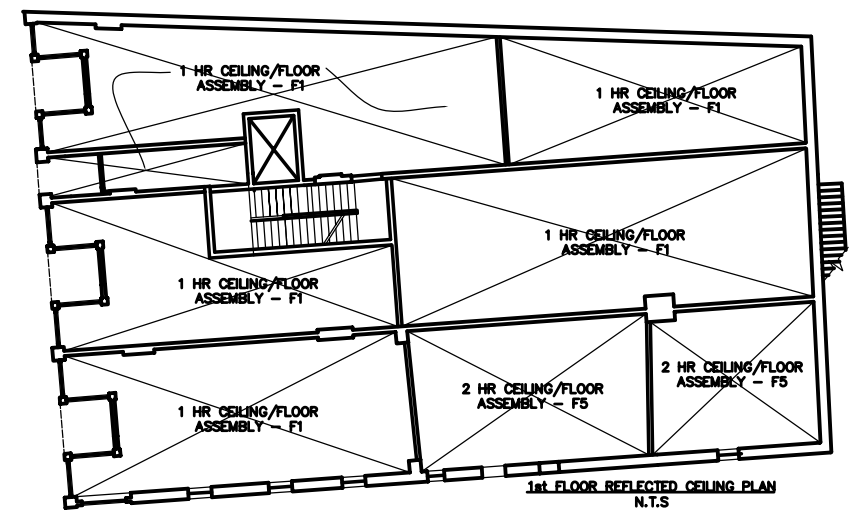
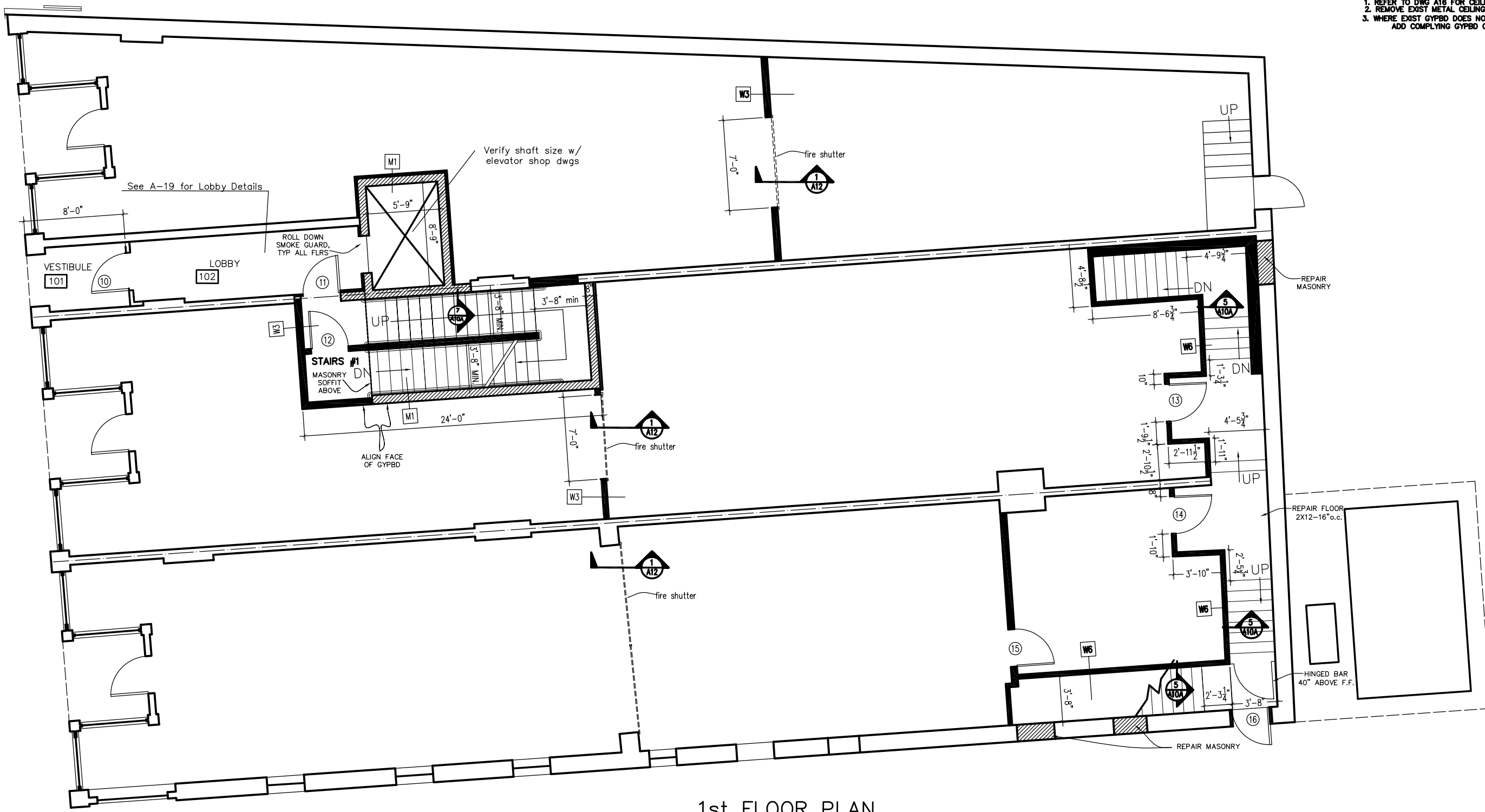
JOHN W. SWANK, PLS #1038

CONDOMINIUM PLAT
"WINSLOW LOFTS CONDOMINIUM"
 547 CONGRESS STREET, PORTLAND, MAINE
 MADE FOR OWNER OF RECORD AND DECLARANT:
CONGRESS JOINT DEVELOPMENT LLC
 P.O. BOX 6799, SCARBOROUGH, ME 04074

OWEN HASKELL, INC.
 16 CASCO ST., PORTLAND, ME 04101 (207) 774-0424
 PROFESSIONAL LAND SURVEYORS

Drawn By	OH	Date	FEB. 22, 2005	Job No.	2005-020P
Trace By	JLW	Scale	1" = 20'	Drawn No.	1
Check By	JWS				
Book No.	FILE				

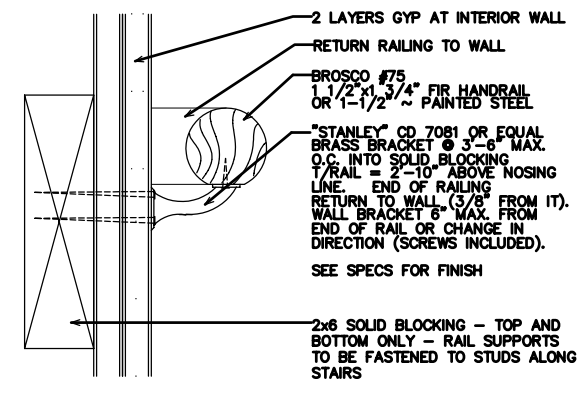
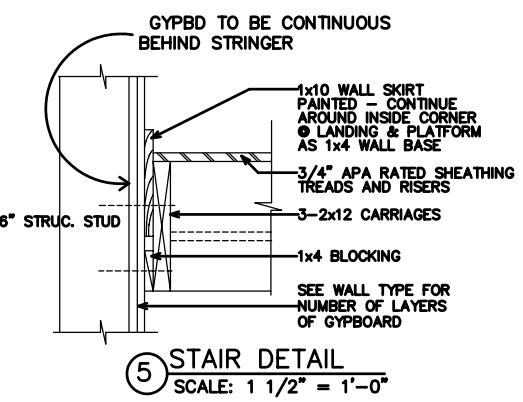
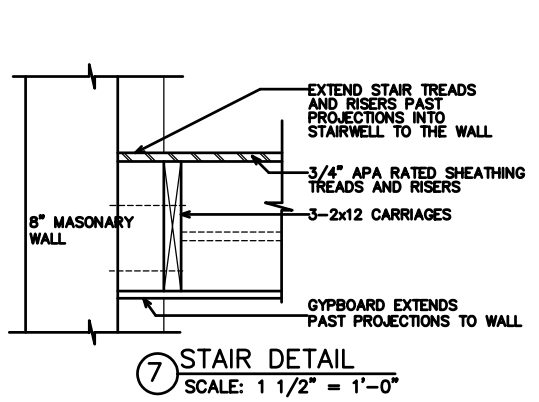
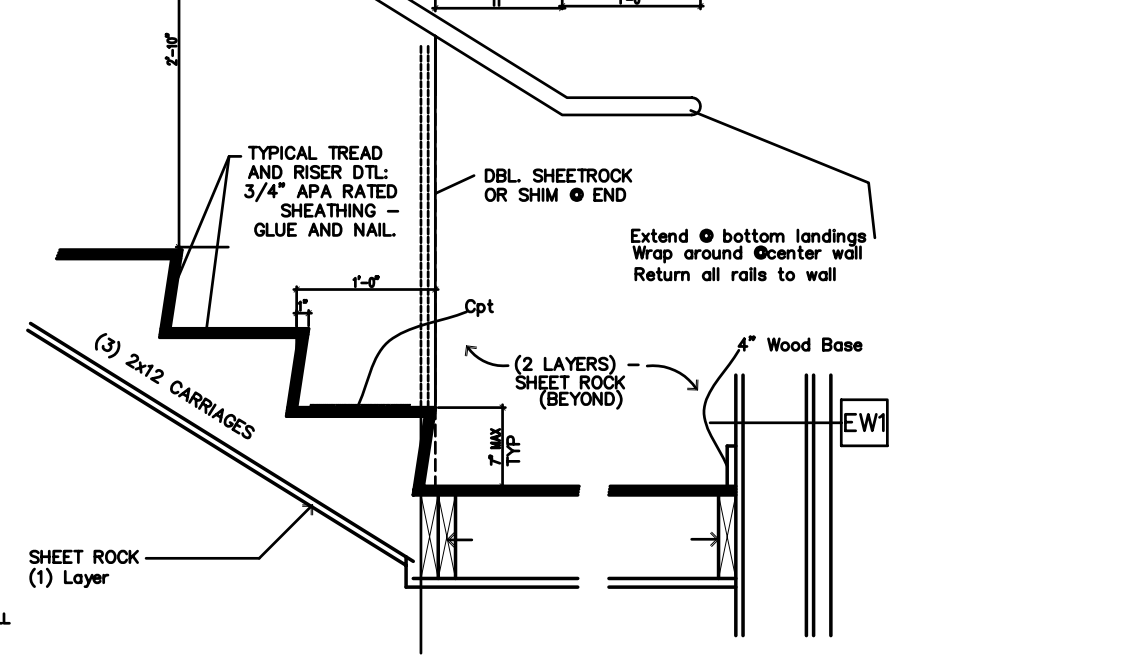
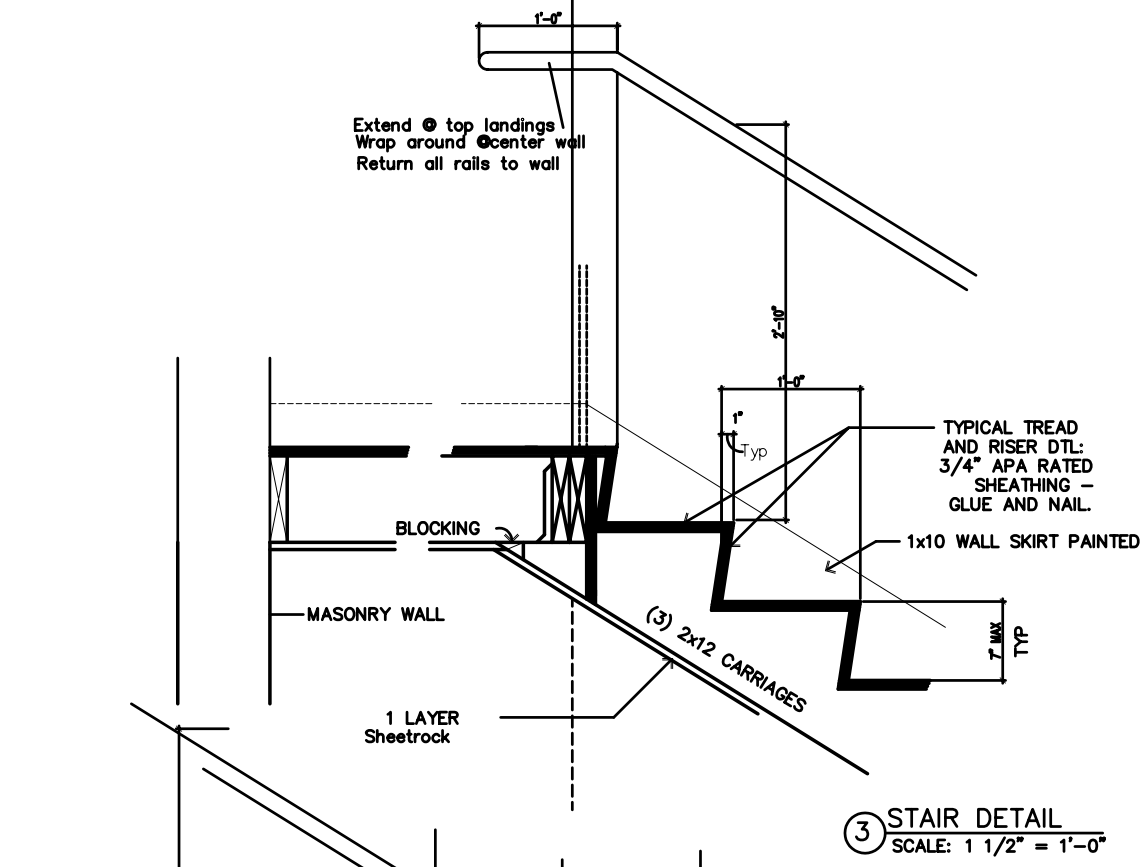
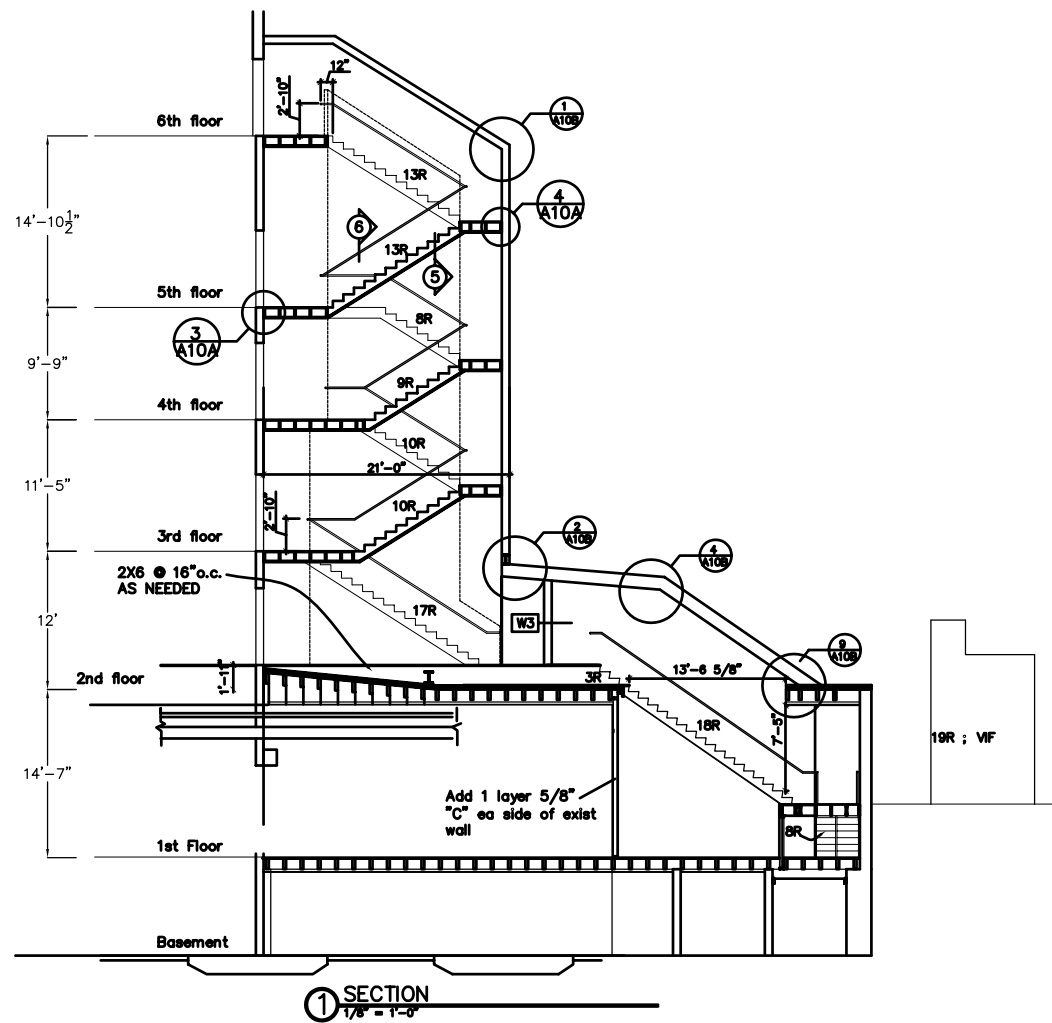




1. REFER TO DWG A16 FOR CEILING/FLOOR ASSEMBLIES
2. REMOVE EXIST METAL CEILING AND HUNG AC CEILINGS
3. WHERE EXIST GYPBD DOES NOT COMPLY W/ A16 ADD COMPLYING GYPBD OVER EXIST

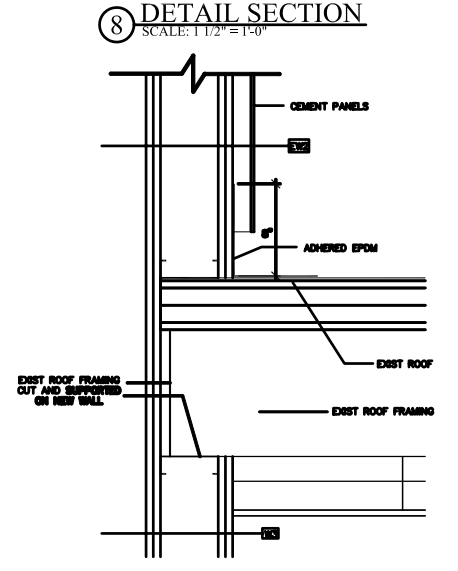
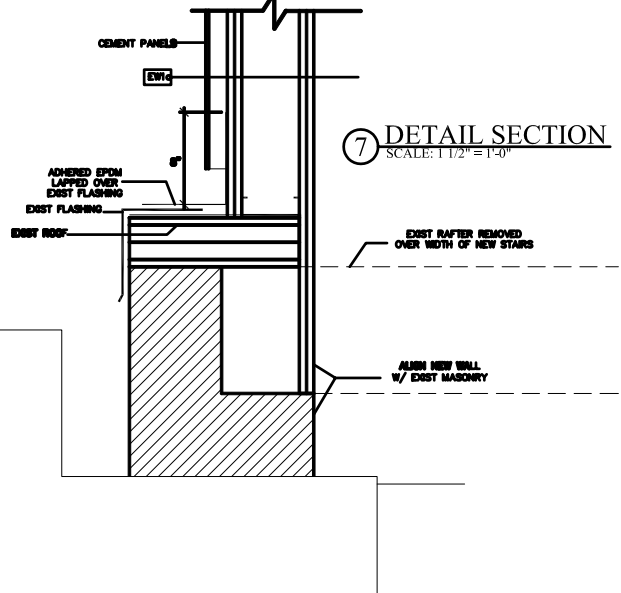
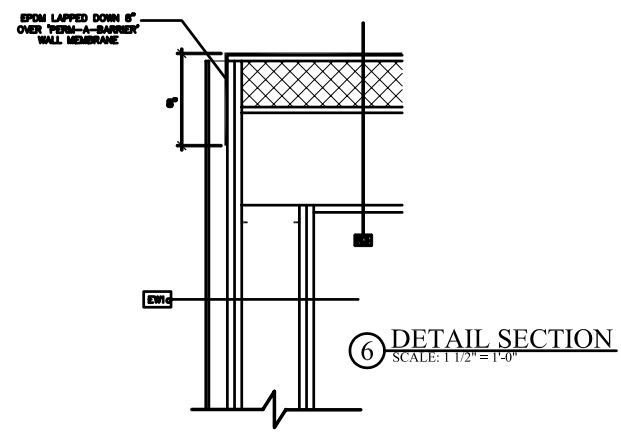
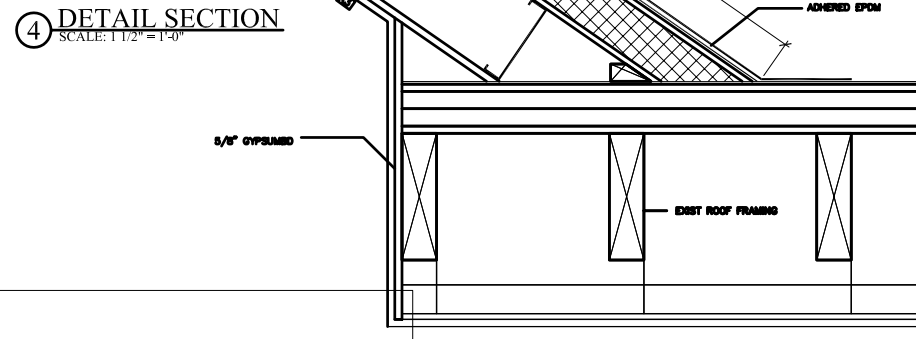
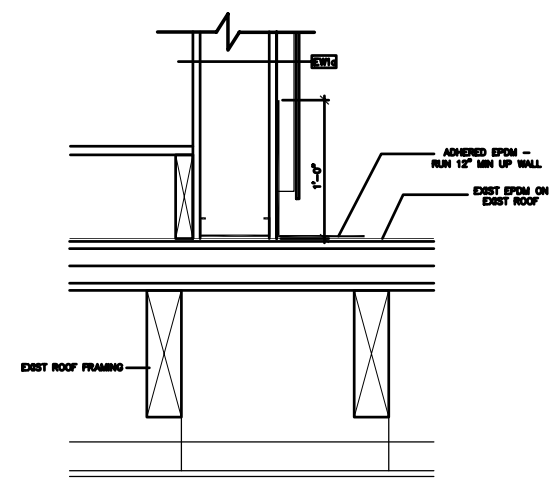
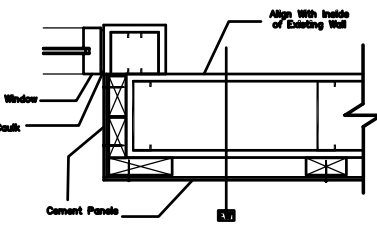
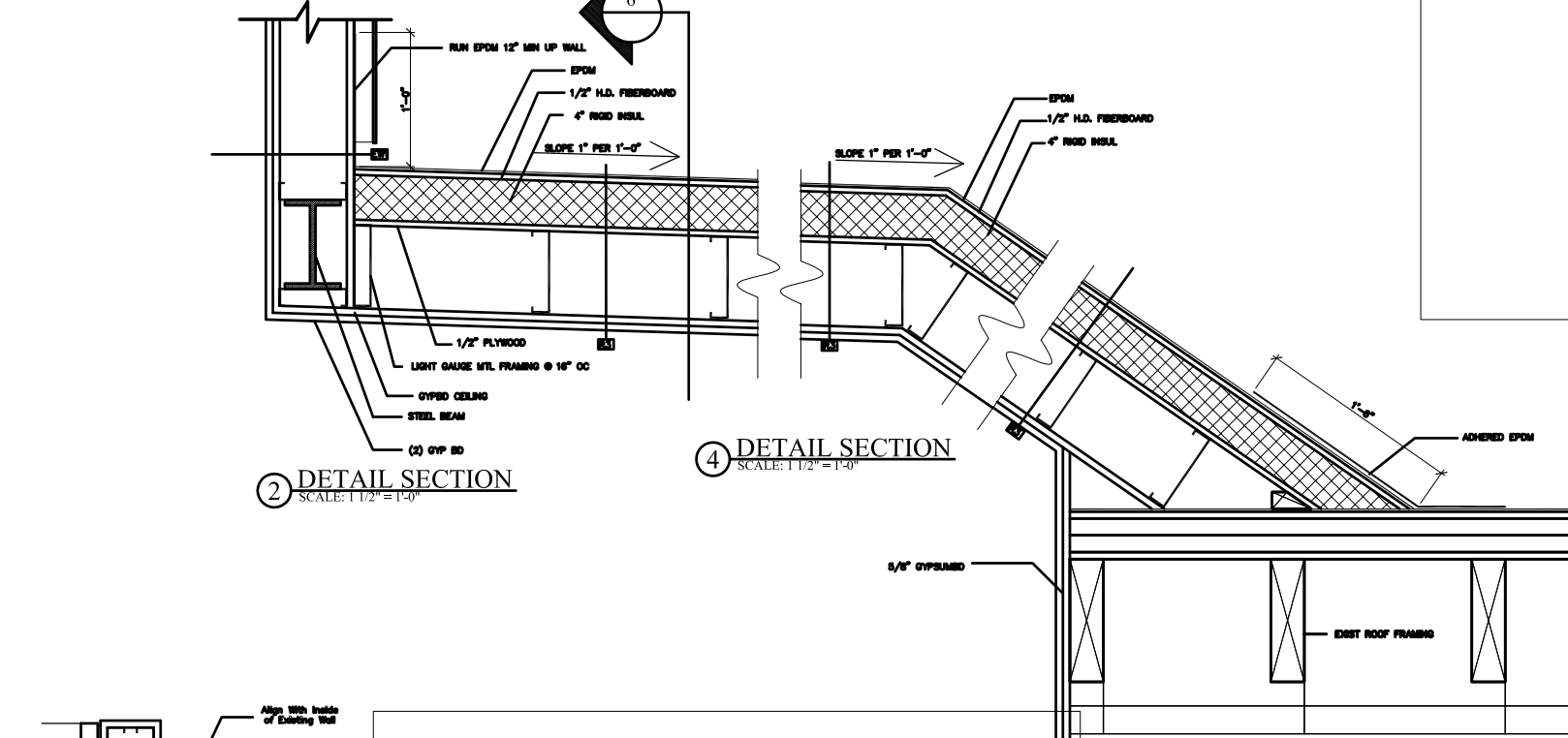
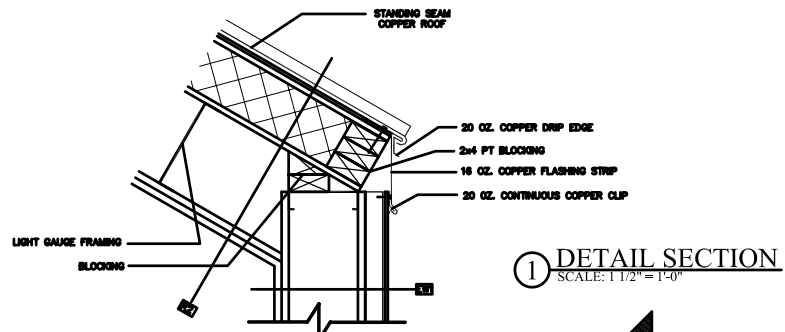
OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927	
ARCHITECT: ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	PROJECT: WINSLOW LOFTS 545 CONGRESS STREET PORTLAND, MAINE
Date APRIL 18, 2005	Scale 1/4" = 1'-0"
Revisions:	
1st FLOOR PLAN	
4/28/2005 9:06:44 AM	

A1



OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927	
ARCHITECT: ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	PROJECT: WINSLOW LOFTS 545 CONGRESS STREET PORTLAND, MAINE
Date APRIL 18, 2005	Scale 1/8" = 1'-0"
Revisions:	
STAIR #2 & STAIR DETAILS	
4/28/2005 9:11:43 AM	

A10A



OWNER:
CONGRESS JOINT DEVELOPMENT, L.L.C.
P.O. Box 6799 Scarborough, Maine 04070
(207) 883-3618 Fax (207) 883-8927

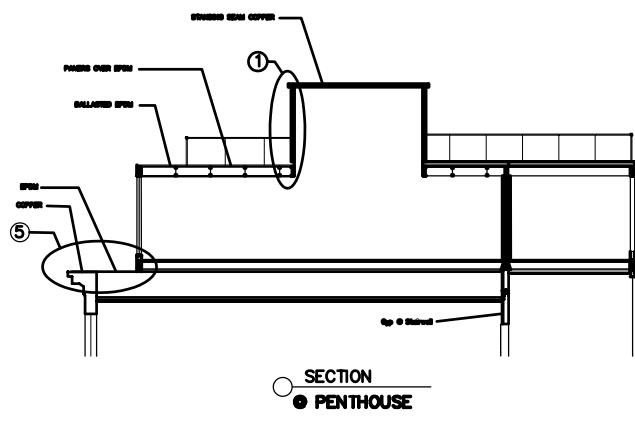
ARCHITECT:
ARCHETYPE, P.A. ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

PROJECT:
WINSLOW LOFTS
545 CONGRESS STREET
PORTLAND, MAINE

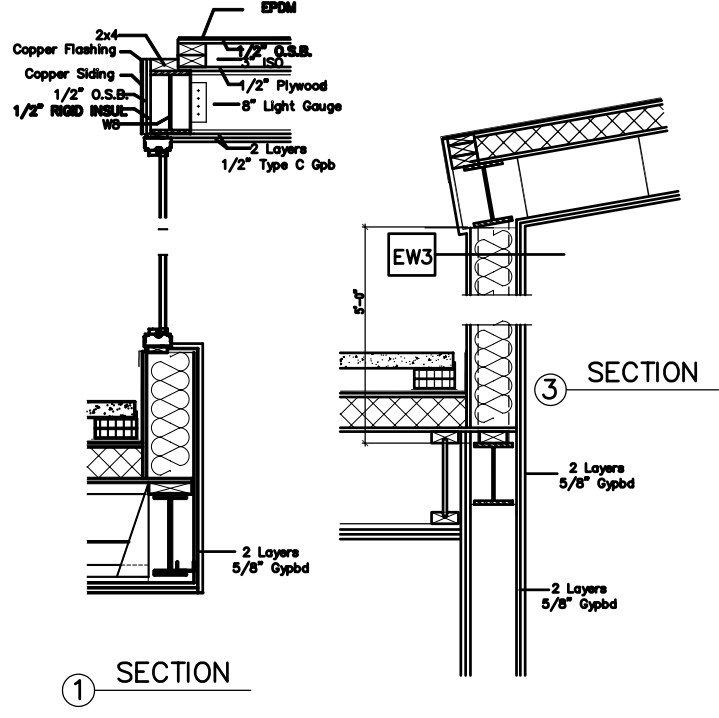
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APRIL 18, 2005	1 1/2" = 1'-0"
Revisions:	

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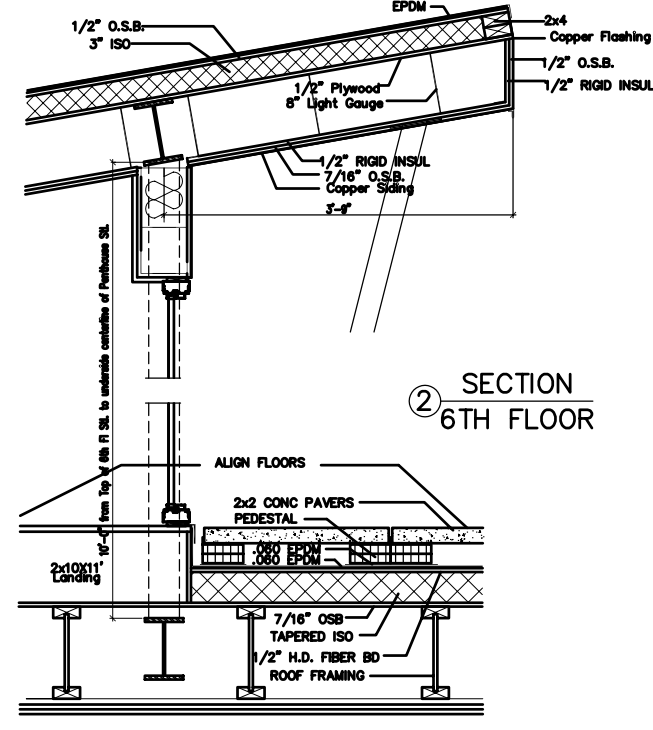
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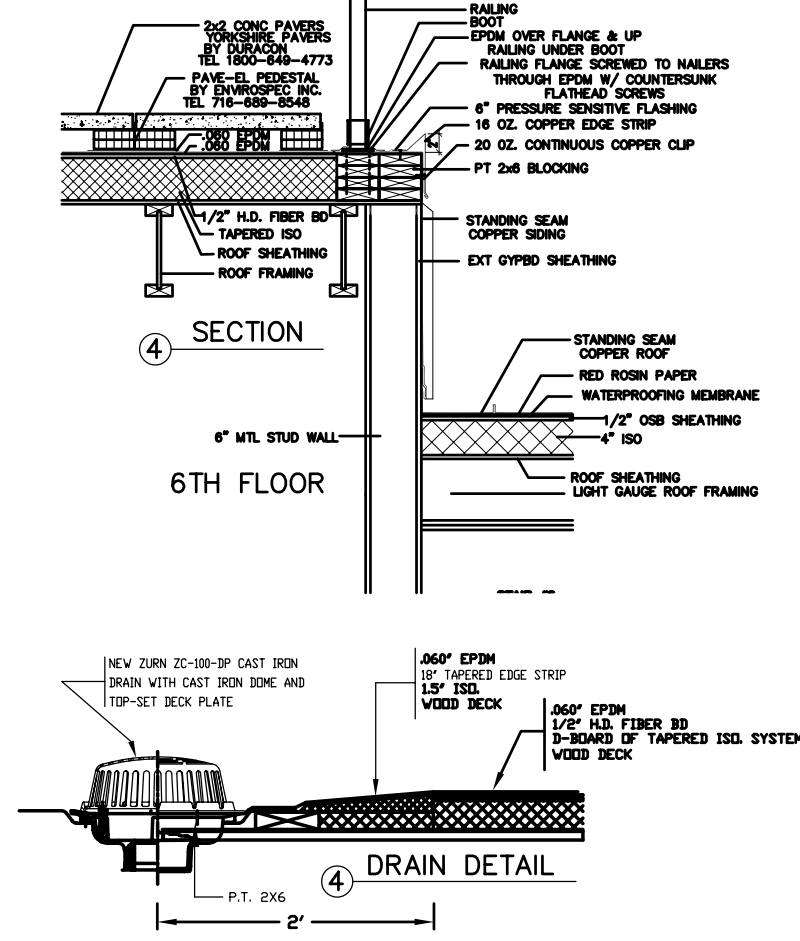
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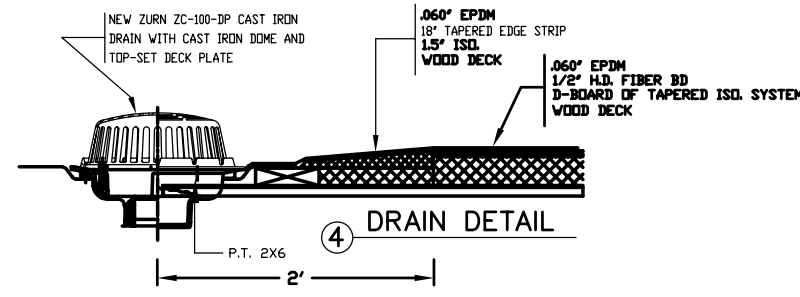
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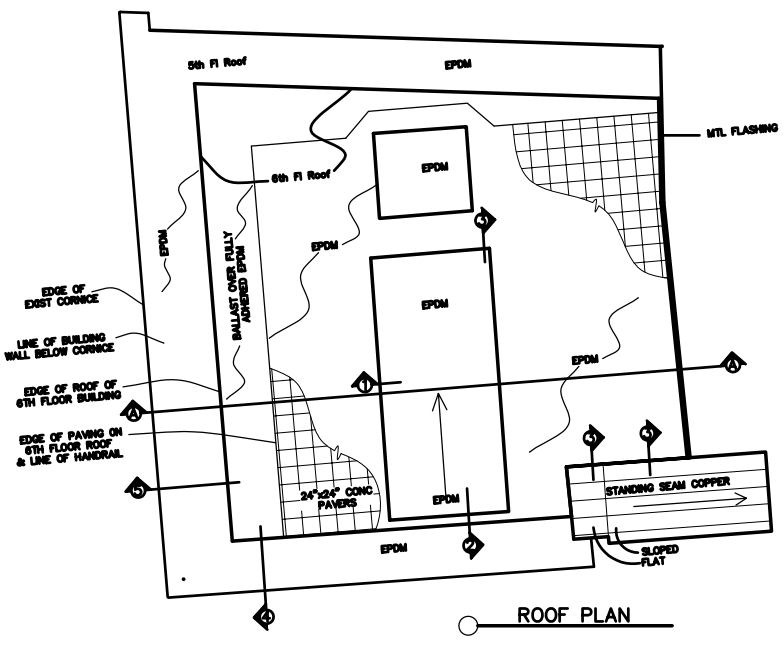
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6TH FLOOR



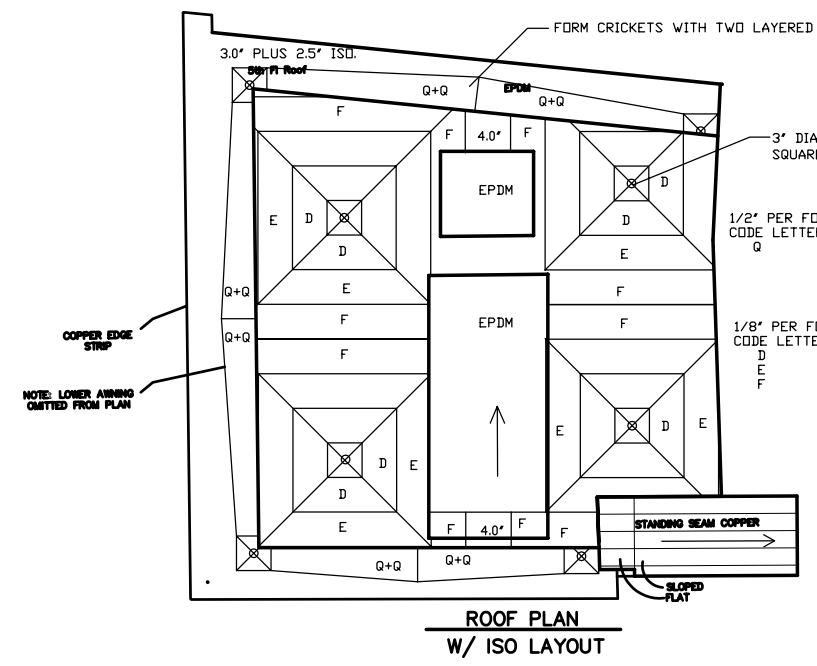
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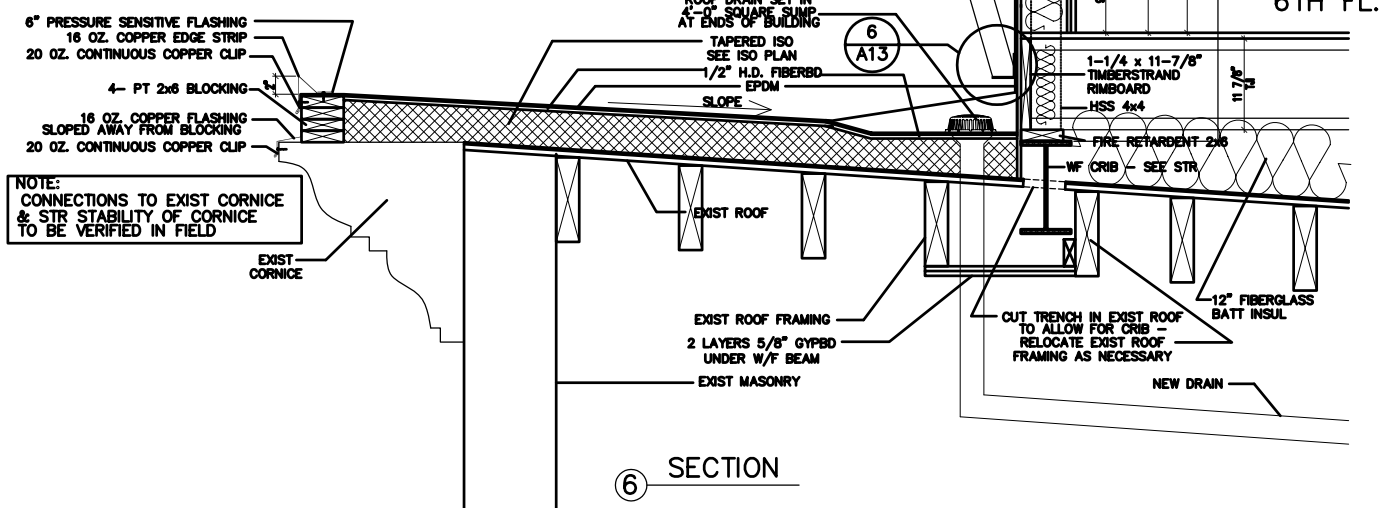
SECTION 4
DRAIN DETAIL



ROOF PLAN



ROOF PLAN
W/ ISO LAYOUT



SECTION 6

OWNER:
CONGRESS JOINT
DEVELOPMENT, L.L.C.
P.O. Box 6799 Scarborough, Maine 04070
(207) 883-3618 Fax (207) 883-8927

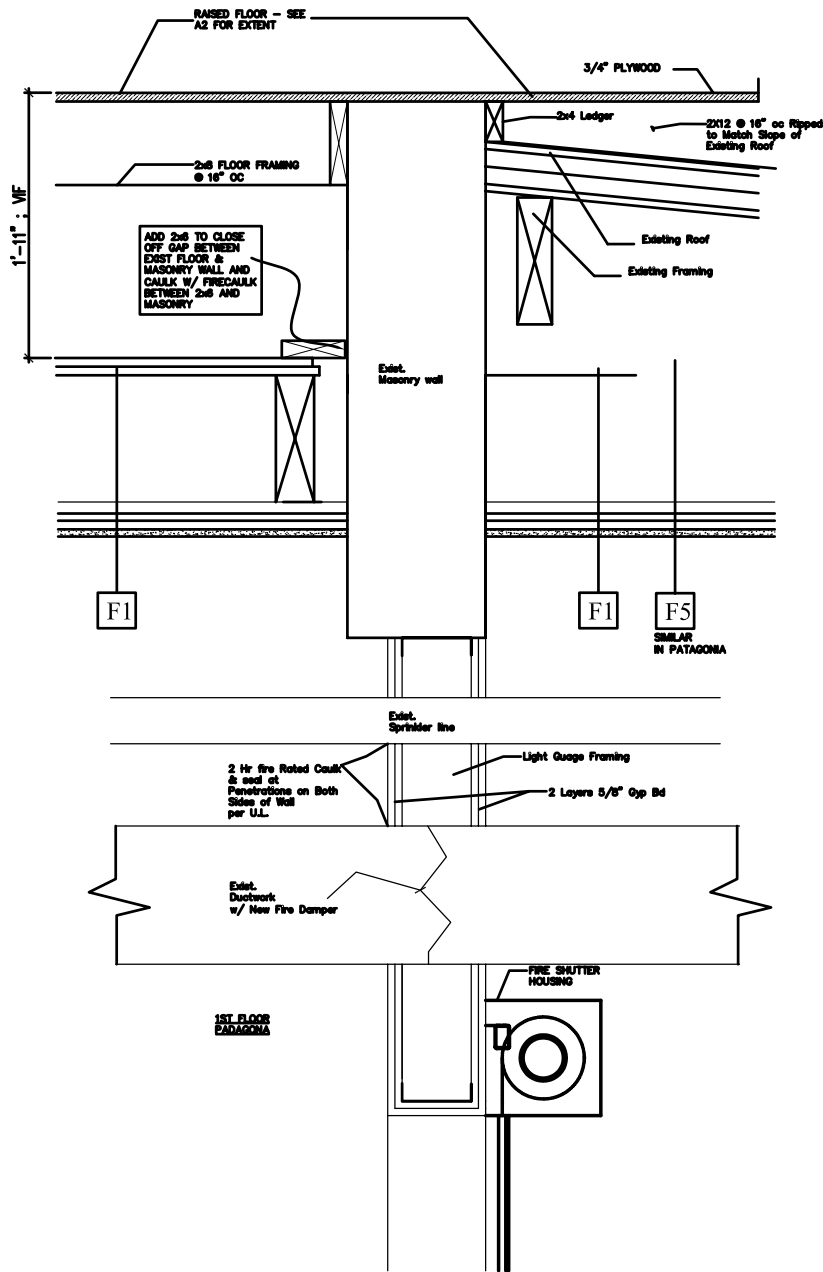
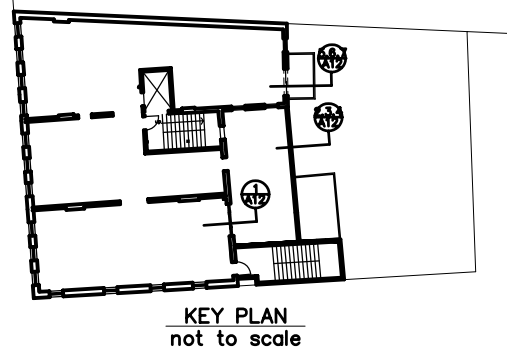
ARCHITECT:
ARCHETYPE, P.A.
ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

PROJECT:
WINSLOW LOFTS
545 CONGRESS STREET
PORTLAND, MAINE

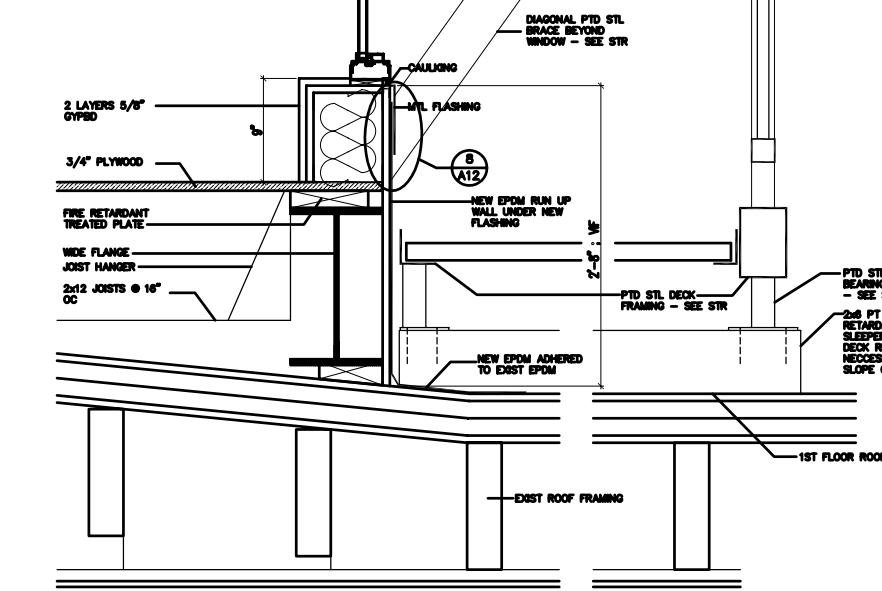
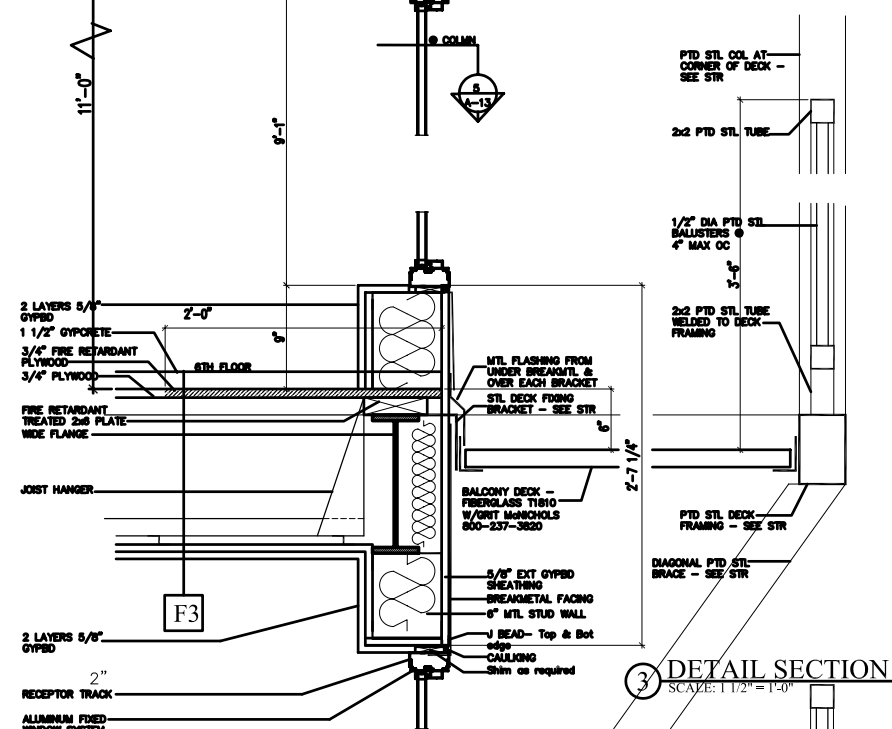
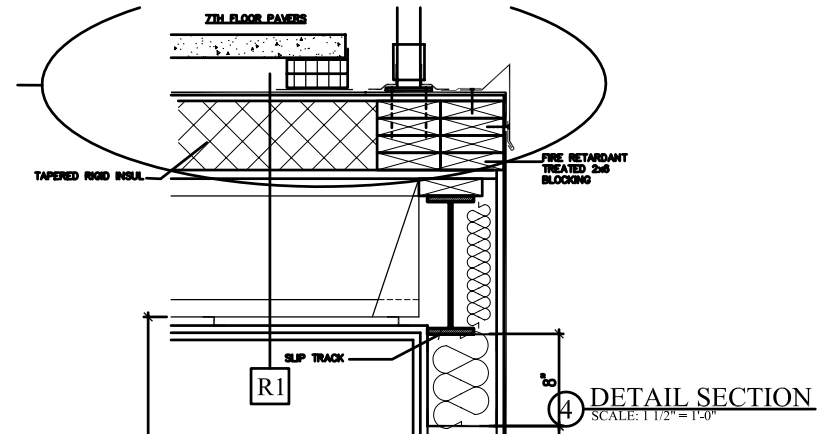
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3/32" = 1'-0"
Date: APRIL 18, 2005
Revisions:

ROOF PLAN

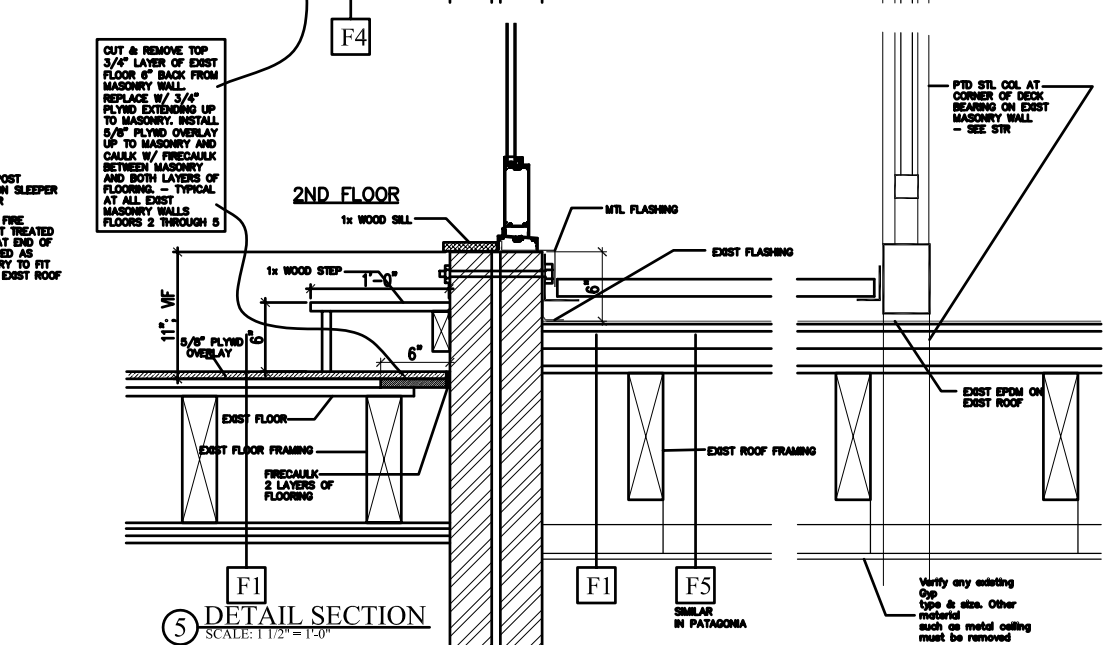
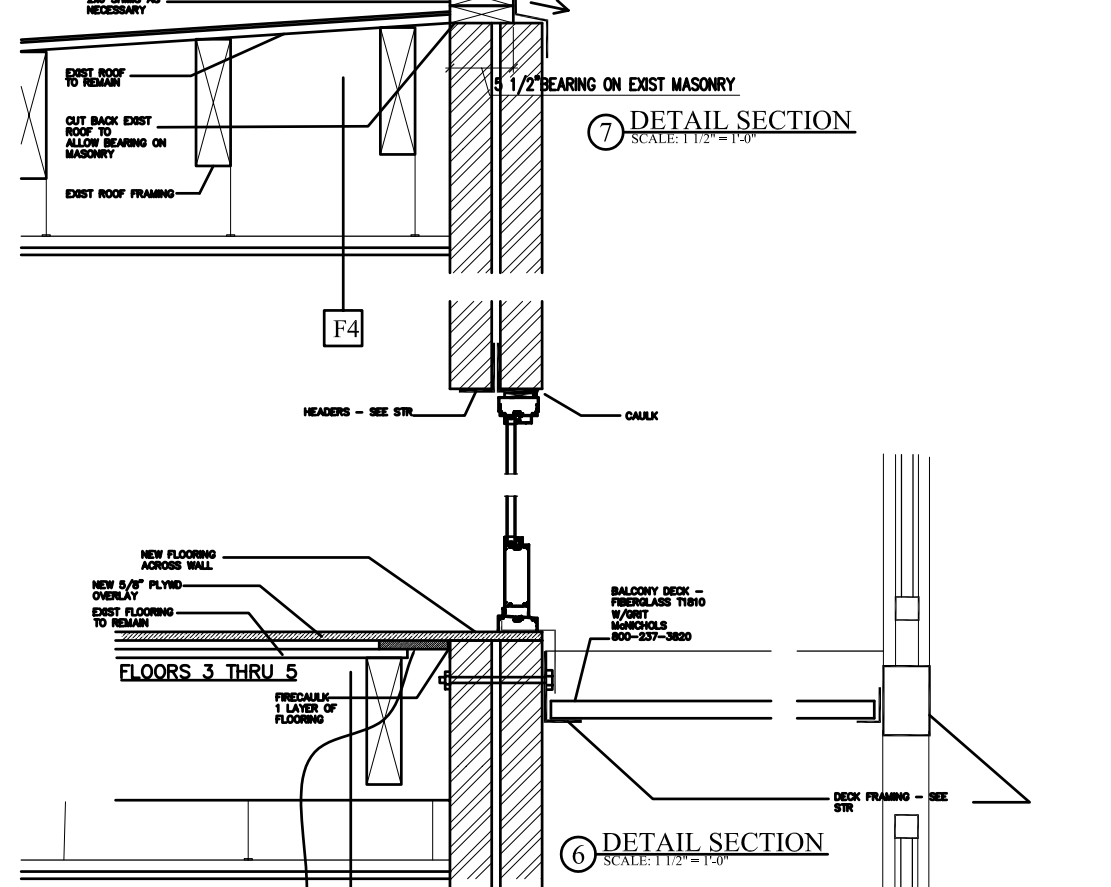
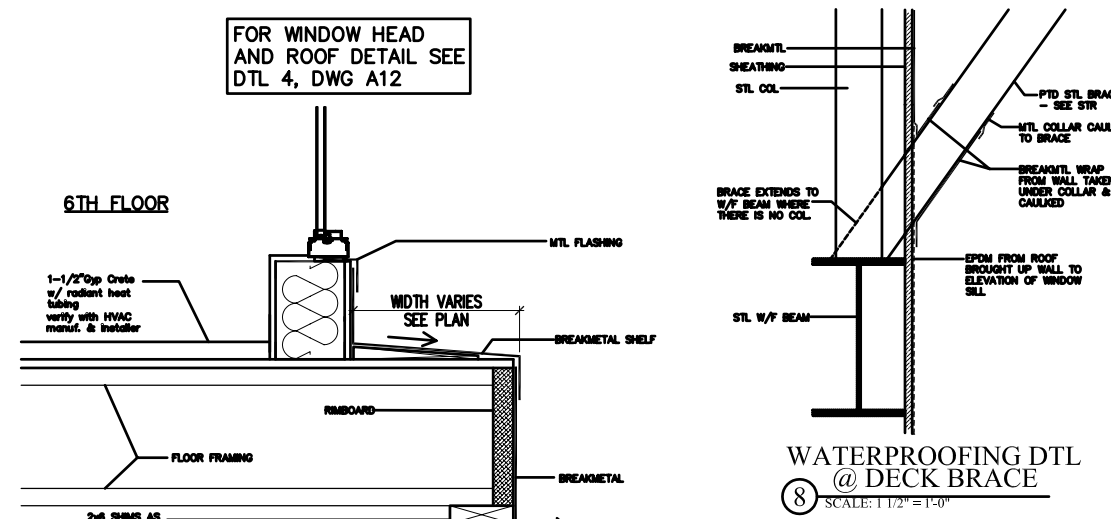
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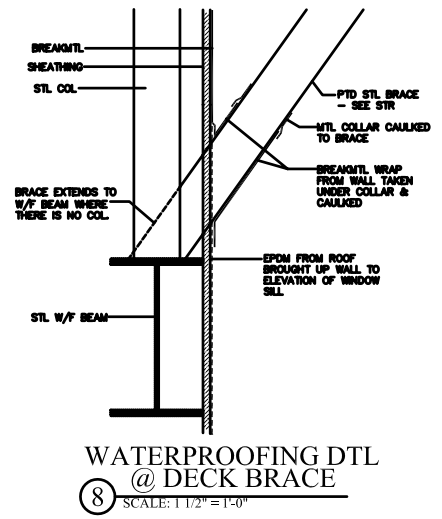
1 DETAIL SECTION
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2 DETAIL SECTION
SCALE: 1 1/2" = 1'-0"



5 DETAIL SECTION
SCALE: 1 1/2" = 1'-0"



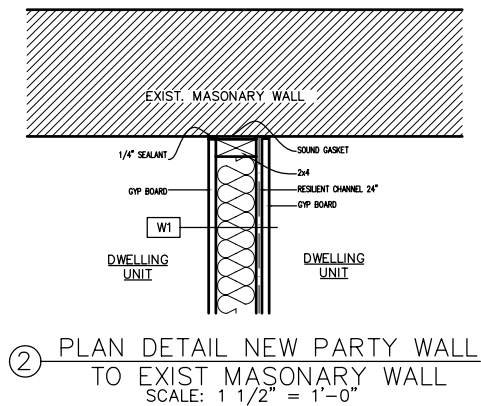
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6 DETAIL SECTION
SCALE: 1 1/2" = 1'-0"

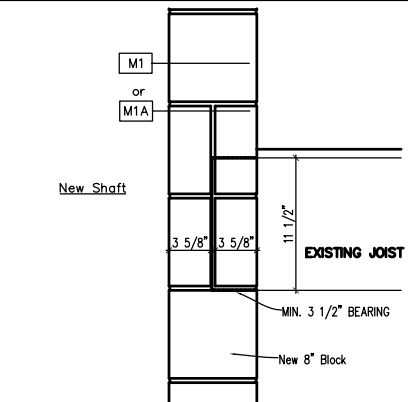
CUT & REMOVE TOP 3/4" LAYER OF EXIST FLOOR 6" BACK FROM MASONRY WALL. REPLACE W/ 3/4" PLYWD EXTENDING UP TO MASONRY. INSTALL 5/8" PLYWD OVERLAY UP TO MASONRY AND CAULK W/ FIRECAULK BETWEEN MASONRY AND BOTH LAYERS OF FLOORING. - TYPICAL AT ALL EXIST MASONRY WALLS FLOORS 2 THROUGH 5

Verify any existing type & size. Other material such as metal ceiling must be removed

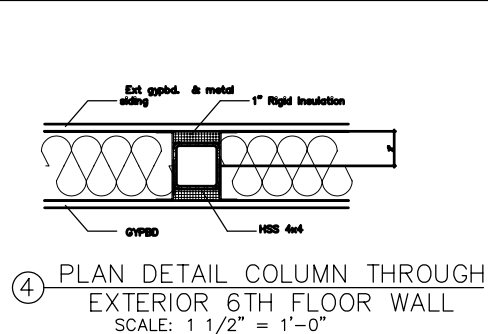
OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927
ARCHITECT: ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
PROJECT: WINSLOW LOFTS 545 CONGRESS STREET PORTLAND, MAINE
Date: APRIL 18, 2005 Revisions:
Scale: 1 1/2" = 1'-0"
EXTERIOR WALL SECTION
A12 4/28/2005 9:12:55 AM



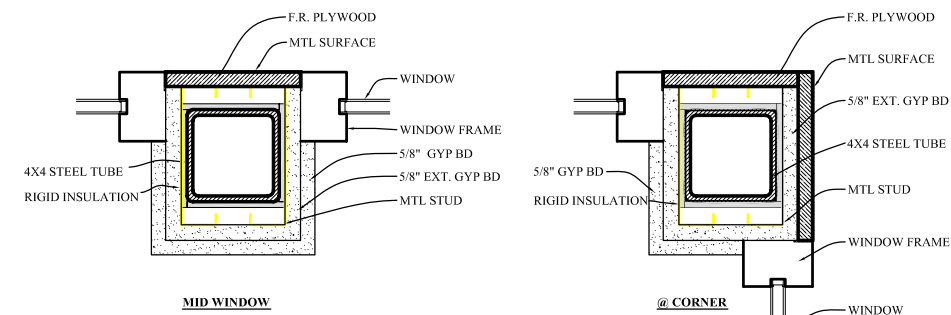
② PLAN DETAIL NEW PARTY WALL TO EXIST MASONRY WALL
SCALE: 1 1/2" = 1'-0"



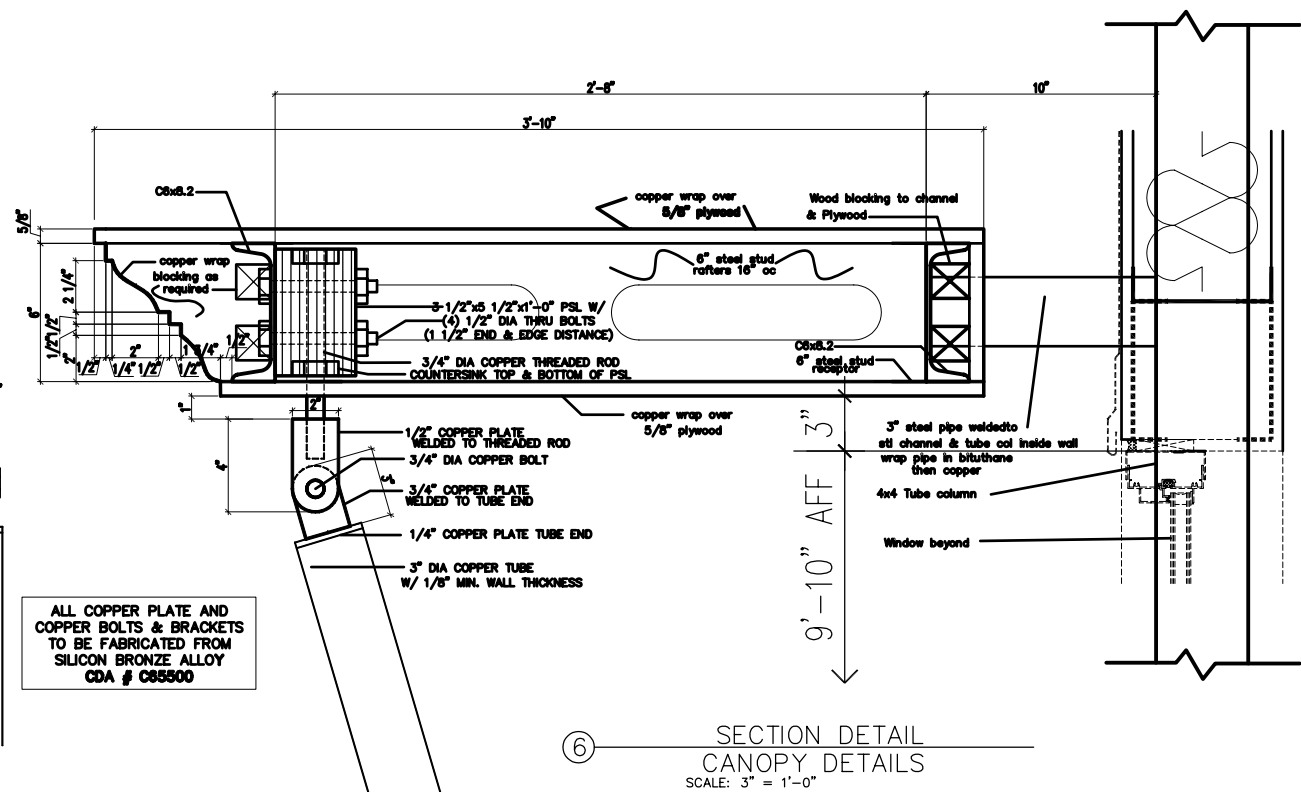
③ SECTION DETAIL @ NEW SHAFTWALL & CUT BACK WOOD STRUCTURE
SCALE: 1 1/2" = 1'-0"



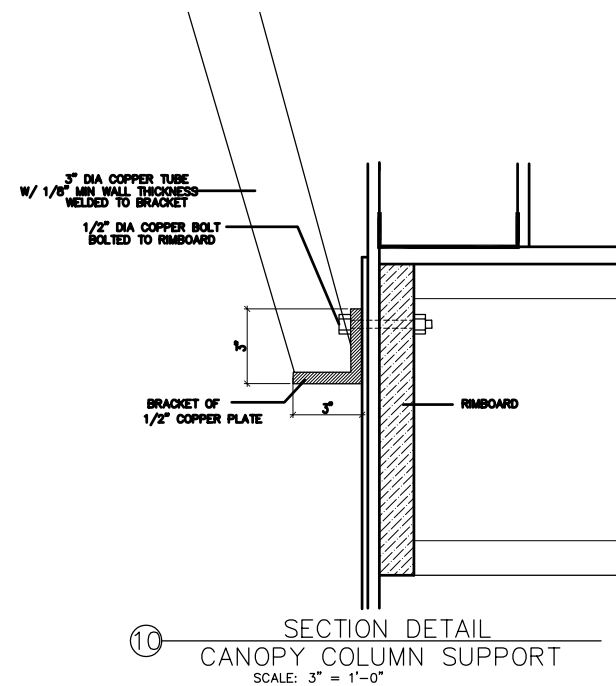
④ PLAN DETAIL COLUMN THROUGH EXTERIOR 6TH FLOOR WALL
SCALE: 1 1/2" = 1'-0"



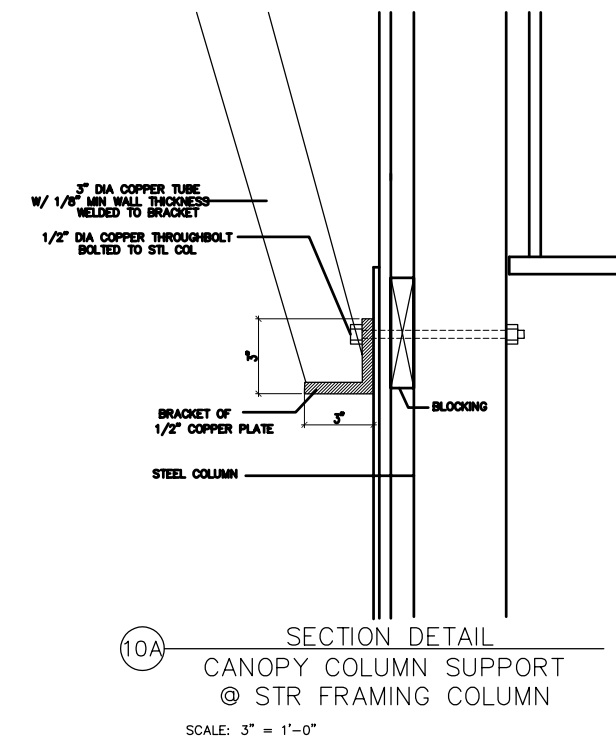
⑤ PLAN DETAIL OF COLUMN IN CURTIAN WALL
SCALE: 3" = 1'-0"



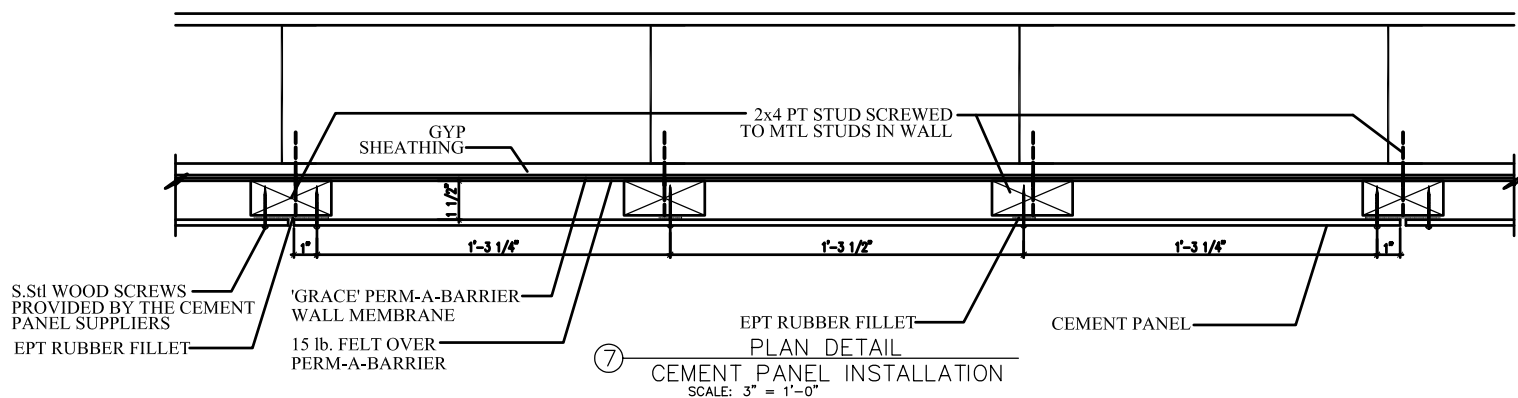
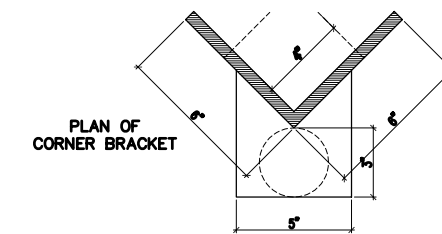
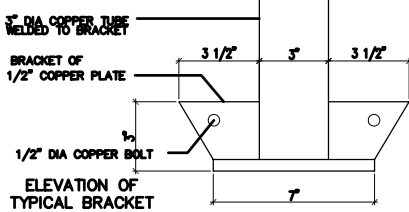
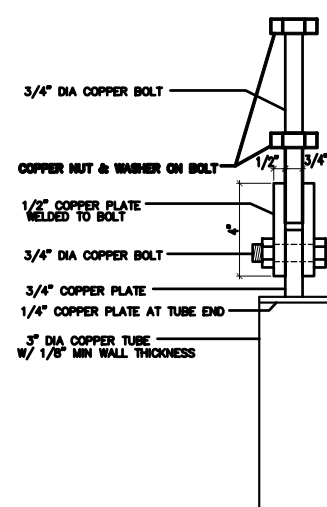
⑥ SECTION DETAIL CANOPY DETAILS
SCALE: 3" = 1'-0"



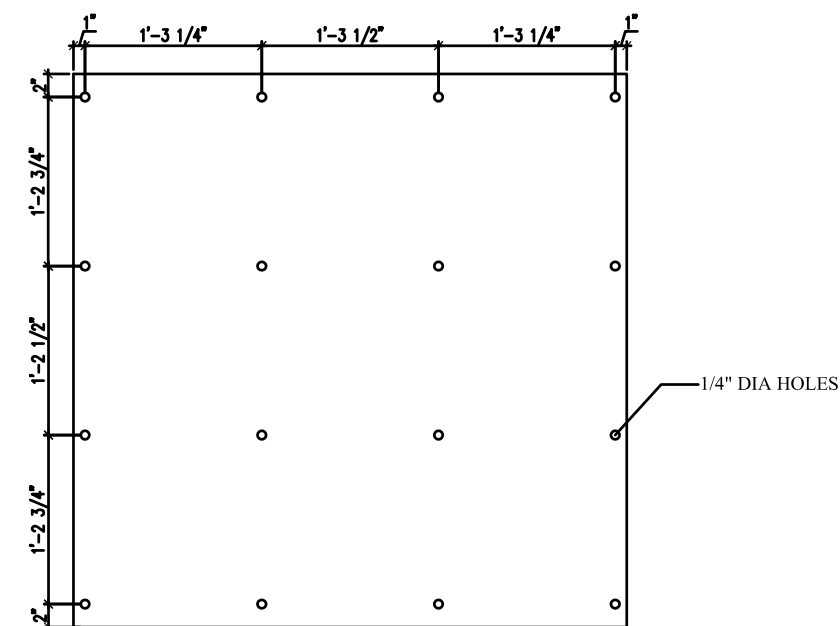
⑩ SECTION DETAIL CANOPY COLUMN SUPPORT
SCALE: 3" = 1'-0"



⑩A SECTION DETAIL CANOPY COLUMN SUPPORT @ STR FRAMING COLUMN
SCALE: 3" = 1'-0"



⑦ CEMENT PANEL INSTALLATION
SCALE: 3" = 1'-0"



⑧ TYPICAL CEMENT PANEL LOCATION OF SCREW HOLES
SCALE: 1 1/2" = 1'-0"

OWNER:
CONGRESS JOINT DEVELOPMENT, L.L.C.
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ARCHITECT:
ARCHETYPE, P.A. ARCHITECTS
48 Union Wharf, Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

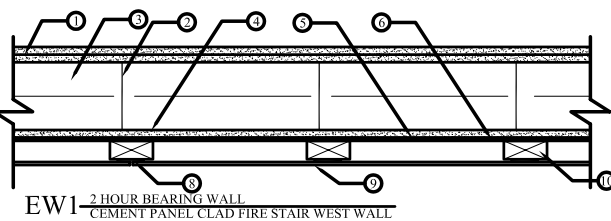
PROJECT:
WINSLOW LOFTS
545 CONGRESS STREET
PORTLAND, MAINE

Date: APRIL 18, 2005
Scale: 1/4" = 1'-0"
Revisions:

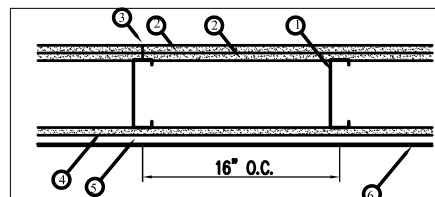
DETAILS

A13
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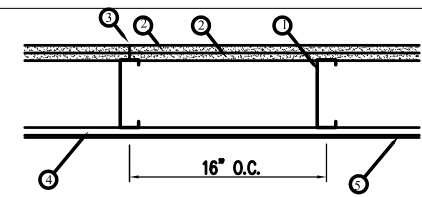
EXTERIOR WALLS



- EW1** EXTERIOR BEARING WALL RATING - 1 HOUR
Design No. UL U425
- Gypsum Board - 2-layers 5/8 in. thick wallboard paper, with beveled, square, or tapered edges, applied either horizontally or vertically. Wallboard nailed 7 in. OC with 6d cement coated nails 1 7/8 in. long, 0.0915 in. shank diam and 1/4 in.
 - 6" Metal Stud @ 16" O.C.
 - 6" Glass Fiber Insulation
 - 1 Layer 5/8" Exterior Gypsum Board
 - Grace Perma-A-Barrier Wall Membrane
 - 15 lb. Felt Over Perma-A-Barrier
 - S.Sil Wood Screws Provided By The Cement Panel Suppliers (Not Shown)
 - EPT Rubber Fillet
 - Cement Panel
 - 2x4 Fire Retardant treated Stud Screwed Through Sheathing To Mt. Studs in Wall

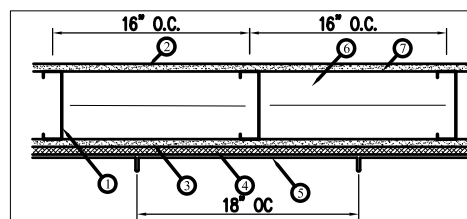


- EW2a** 1 HOUR NONBEARING WALL
- EW** NON-BEARING WALL RATING - 1 HOUR
Design No. UL U419
- 6" Metal Studs
 - Wallboard, Gypsum - * - long Type S steel screws spaced max 24 in. OC, face layer with 1-5/8 in. long Type S steel screws spaced max 12 in. OC. Attached to wood studs: base layer with 1-7/8 long 6d coated nails spaced max 14 in. OC, face layer with 2-3/8 in. long 8d coated nails spaced max 7 in. OC. Base layers installed vertically. Face layers installed horizontally with butt joints offset 16 in. from base layers.
 - Joint Tape and Compound - and nail heads (two applications); paper tape, 2 in. wide embedded in first layer of compound over all joints.
 - Bearing the UL Classification Marking
 - 5/8" Ext Gypsum Board
 - 1/2" Plywood
 - Break metal or Standing seam copper siding (See EW3 for Copper Siding installation)

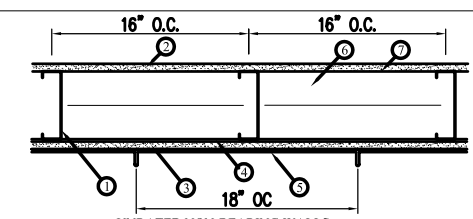


- EW2b** 1 HOUR NONBEARING WALL
- EW** NON-BEARING WALL RATING - 1 HOUR
Design No. UL U419
- 6" Metal Studs
 - Wallboard, Gypsum - * - long Type S steel screws spaced max 24 in. OC, face layer with 1-5/8 in. long Type S steel screws spaced max 12 in. OC. Attached to wood studs: base layer with 1-7/8 long 6d coated nails spaced max 14 in. OC, face layer with 2-3/8 in. long 8d coated nails spaced max 7 in. OC. Base layers installed vertically. Face layers installed horizontally with butt joints offset 16 in. from base layers.
 - Joint Tape and Compound - and nail heads (two applications); paper tape, 2 in. wide embedded in first layer of compound over all joints.
 - Bearing the UL Classification Marking
 - 1/2" PT & Fire Retardant treated Plywood
 - Break metal or Standing seam copper siding (See EW3 for Copper Siding installation)

ADD/ALTERNATE NO. 1



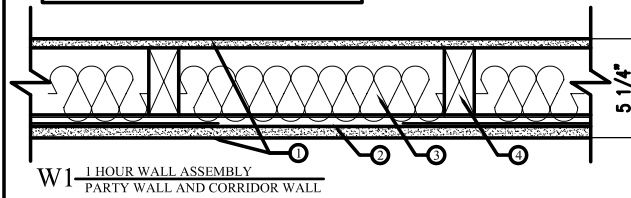
- EW3a** UNRATED NON-BEARING WALLS
- 6" MTL STUDS @ 16" OC
 - 5/8" GYPSUMBOARD
 - 5/8" GYPSUMBOARD SHEATHING
 - 1/2" PLYWOOD
 - 16 OUNCE STANDING SEAM COPPER SIDING W/ SEAMS @ 18" OC AND CLEATS @ 12" OC VERTICALLY SCREWED TO PLYWOOD OR BREAKMETAL SIDING
 - 6" BATT INSULATION
 - VAPOR BARRIER



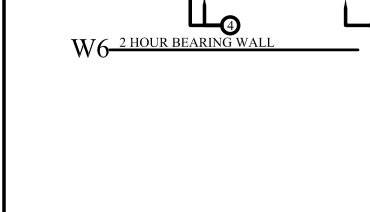
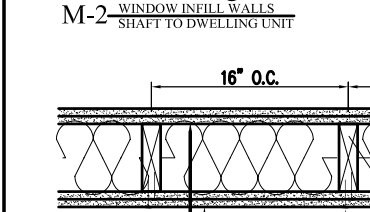
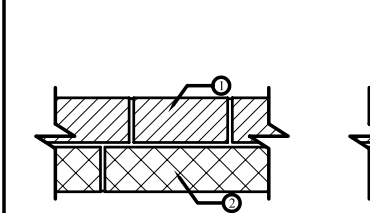
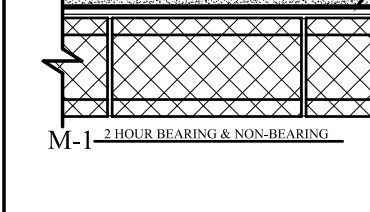
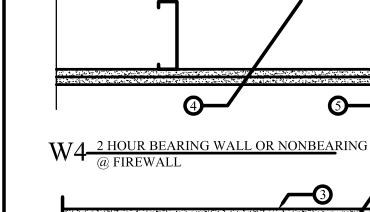
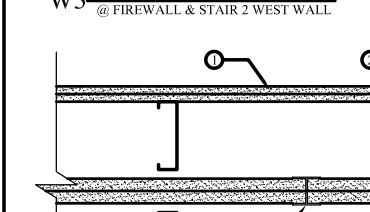
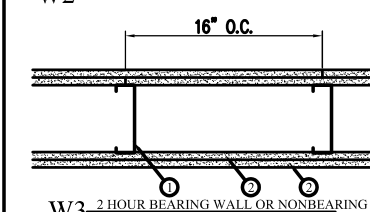
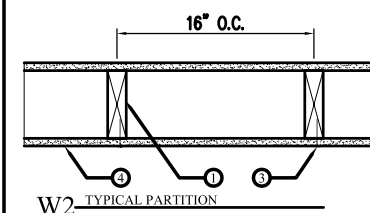
- EW3b** UNRATED NON-BEARING WALLS
- 6" MTL STUDS @ 16" OC
 - 5/8" GYPSUMBOARD
 - DENGLASS EXTERIOR SHEATHING
 - GALV. MTL STRAPPING @ 12" OC VERTICALLY
 - 16 OUNCE STANDING SEAM COPPER SIDING W/ SEAMS @ 18" OC AND CLEATS @ 12" OC VERTICALLY SCREWED THROUGH DENGLASS TO STRAPPING W/ 316 STAINLESS STEEL SELF-TAPPING SCREWS OR BREAKMETAL SIDING
 - 6" BATT INSULATION
 - VAPOR BARRIER

ADD/ALTERNATE NO. 2

INTERIOR WALLS



- W1** 1 HOUR WALL ASSEMBLY 50 to 54 STC
GYPSUM BOARD, WOOD STUDS, RESILIENT CHANNEL, INSULATION
Fire Test OSU T 3127, 10-4-65
Sound Test RAL TL77-138,5-9-77
- One layer 5/8" type "X" gypsum board applied parallel to 1/2" resilient channels
 - 1" Type S drywall screws 12" o.c. @ intermediate furring channels and 6" o.c. @ ends. Resilient furring channels applied at right angles to 2x4 woodstuds @ 24" o.c. with 6d coated nails, 1 7/8" long, 0.085" shank, 1/4" heads, two per joint.
 - 8 psf. 3-1/2" glass fiber insulation stapled to studs in stud space.
 - 2x4 wood studs @ 16" o.c.



- W2** TYPICAL PARTITION - 0 HOUR
- Wood or steel studs, min 3-1/2" @ 16" oc
 - Nails - 6d cement coated nails 1 7/8 in. long, 0.0915 in. shank diam, 1/4 in. diam heads, and 8d cement coated nails 2-3/8 in. long, 0.113 in. shank diam, 9/32 in. diam heads.
 - Wallboard, Gypsum - 1/2" or 5/8", thick, applied either horizontally or vertically.

- W3** BEARING WALL RATING - 2 HOUR
Design No. UL U423
- Steel Studs - Nom 2 by 6 in., spaced 16 in. OC. Studs cross braced at mid-height and effectively fire stopped at top and bottom of wall.
 - Wallboard, Gypsum - * - 5/8 in. thick, 4 ft. wide. Inner layer attached to stud with 1" Type S screws @ 24" OC. Outer layer screwed to studs with 1-5/8" studs 12" oc
 - UNITED STATES GYPSUM CO - Types C.

- W4** BEARING WALL RATING - 2 HOUR
Design No. U336
- Gypsum Board - 5/8" Type X, 2 Layers
 - Steel Studs - Nom 2 by 6 in., spaced 16 in. OC. Studs cross braced at mid-height and effectively fire stopped at top and bottom of wall.
 - Two layers 1"x24" proprietary type "X" gypsum panels inserted between 2" floor and ceiling
 - 2" steel 'H' studs between adjacent pairs of gypsum panels
 - A 3/4" minimum air space must be maintained between steel components and adjacent framing
 - Gypsum Board - 5/8" Type X, 2 Layers

- M1** BEARING/NON-BEARING CMU WALL 2-HOUR
Design No. U905
- D-2 Block
- M1A** BEARING/NON-BEARING CMU WALL @ STAIR/ELEVATOR 2-HOUR
Design No. U905
- D-2 Block
 - 7/8" Furring channel @ 16" O.C.
 - 5/8" Type X Gyp
Gypsum Board - 5/8" Type X, 2 Layers

- M2** 2-HOUR
Based on Table 720.1(2) IBC 2003
- Resused Brick
 - 4" Solid Block
- M3** 2-HOUR
Based on Table 720.1(2) IBC 2003
- Resused Brick

- W6** BEARING WALL RATING - 2 HOUR
Design No. U301 - Finish Rating - 66 Mins.
- Nailheads - Exposed or covered with joint finisher.
 - Joints - Exposed or covered with fiber tape and joint finisher.
 - Nails - 6d cement coated nails 1 7/8 in. long, 0.0915 in. shank diam, 1/4 in. diam heads, and 8d cement coated nails 2-3/8 in. long, 0.113 in. shank diam, 9/32 in. diam heads.
 - Wallboard, Gypsum - * - 5/8 in. thick, two layers applied either horizontally or vertically. Inner layer attached to studs with the 1-7/8 in. nails spaced 6 in. OC. Outer layer attached to studs over inner layer with the 2-3/8 in. long nails spaced 8 in. OC. Vertical joints located over studs. All joints in face layers staggered with joints in base layers. Joints of each base layer offset with joints of base layer on opposite side.
 - USG Firecore Core

OWNER:
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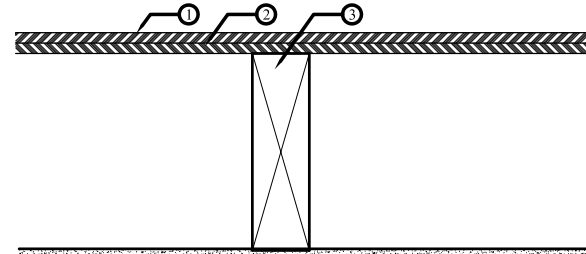
PROJECT:
WINSLOW LOFTS
545 CONGRESS STREET
PORTLAND, MAINE

Date: APRIL 18, 2005
Scale: 1/4" = 1'-0"
Revisions:

WALL TYPES

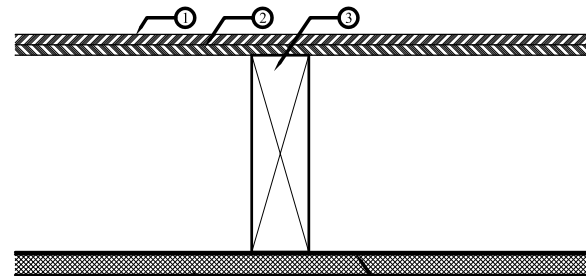
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FLOOR/CEILING TYPES



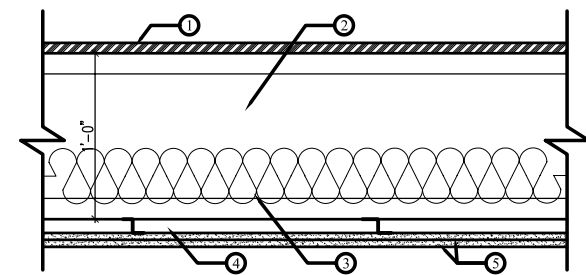
F1 1 HOUR FLOOR/CEILING ASSEMBLY @ EXISTING FLOOR

- F1** FLOOR CEILING ASSEMBLY RATING - 1 HOUR
Design No. L503
- Existing 3/4" Wood Floor
 - Existing 3/4" Wood Subfloor
 - Existing 3 x 11 Wood Joists
 - New Gypsum Board - 1/2" Type X



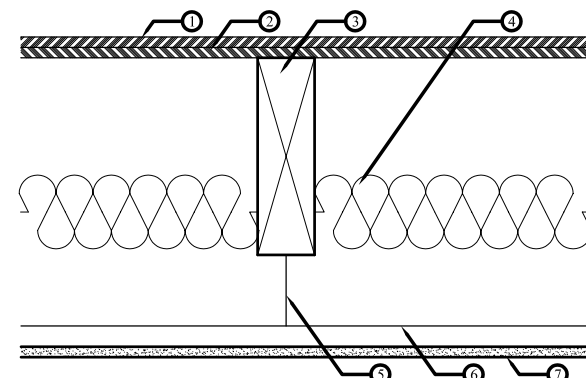
F2 2 HOUR FLOOR/CEILING UNRESTRAINED ASSEMBLY BETWEEN BASEMENT & FIRST FLOOR

- F2** FLOOR CEILING ASSEMBLY RATING - 2 HOUR
VTEC Laboratories test August 9, 1982
- Existing 3/4" Wood Floor
 - Existing 3/4" Wood Subfloor
 - Existing 3 x 11 Wood Joists
 - Metal Lath
 - 1 1/2" Cafo Deck Shield C/F



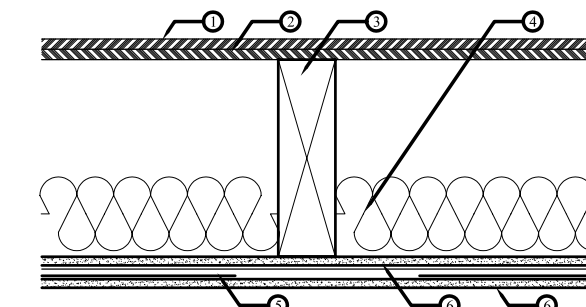
F3 1 HOUR FLOOR/CEILING @ NEW ADDITION

- F3** FLOOR/CEILING ASSEMBLY RATING - 1 HOUR
Design No. ICC ESR-1153 ASSEMBLY "B"
- 3/4" T&G Exposure 1 Plywood
 - TJI Wood Joists
 - 3 1/2" Fiberglass Batt Insulation
 - Resilient Channel 16" o.c.
 - Gypsum Board, 2 Layers of 1/2" Type C



F4 1 HOUR FLOOR /SUSPENDED CEILING ASSEMBLY

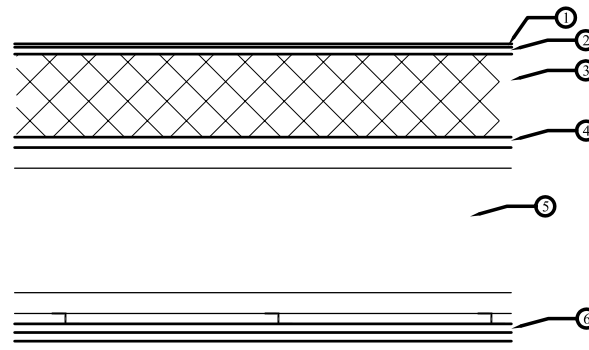
- F4** FLOOR CEILING ASSEMBLY RATING - 1 HOUR
Design No. UL L529
- Existing 3/4" Wood Floor
 - Existing 3/4" Wood Subfloor
 - Existing 3 x 11 Wood Joists
 - 1 1/2" SAFB
 - Hanger Wires 12 ga
 - USG Interiors Inc Type DGL or Rx, or eq.
 - Gypsum Board - 5/8" Type X Hung on "Chicago System"



F5 2 HOUR FLOOR/CEILING UNRESTRAINED ASSEMBLY AT STAIR 1 AND ELEVATOR CAP AND IN PATAGONIA

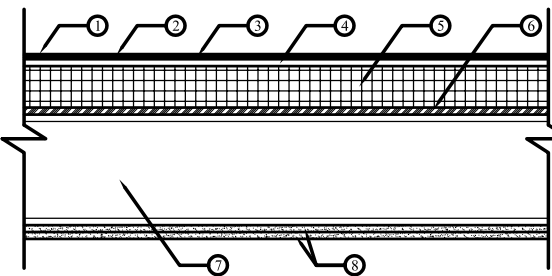
- F5** FLOOR CEILING ASSEMBLY RATING - 2 HOUR
UL Design No. L511
- 3/4" Plywood Floor (Exist Roof in Patagonia)
 - 3/4" Plywood Subfloor (Exist Roof in Patagonia)
 - 2x10 joists @ 16" OC (Exist 3x11 Rafters in Patagonia)
 - 1 1/2" SAFB
 - Resilient Furring Channel
 - Gypsum Board - 5/8" Type C

CEILING/ROOF TYPES



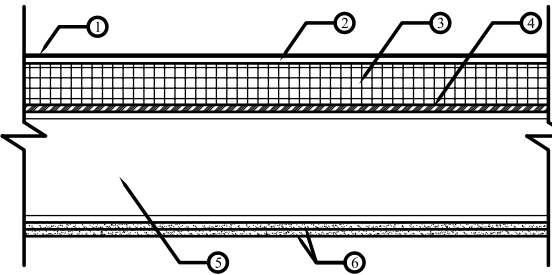
R1 6TH FLOOR ROOF 1 HOUR
N.T.S.

- R1** ROOF ASSEMBLY RATING - 1 HOUR
Design No. ICC ESR-1153 Assembly "B"
- EPDM
 - 1/2" FIBER BD
 - 6" ISO
 - 7/16" OSB
 - TJI JOIST
 - (2) 1/2" GYP BD



R2 PENTHOUSE ROOF ASSEMBLY
N.T.S.

- R2** ROOF ASSEMBLY RATING - ??? HOUR
Design No. UL L518
- Copper Roof
 - Red Rosin Paper
 - High Temp Ice & Water Shield
 - 1/2" OSB
 - 3" ISO
 - 1/2" Plywood
 - 8" Light Gauge Steel
 - 2 Layers of 1/2" Type C Gypsum Board



R3 STAIR 2 @ 2nd FLOOR ROOF ASSEMBLY
N.T.S.

- R3** ROOF ASSEMBLY RATING - ??? HOUR
Design No. UL L518
- EPDM
 - 1/2" H.D. Fiberboard
 - 3" ISO
 - 1/2" Plywood
 - 8" Light Gauge Steel
 - 2 Layers of 1/2" Type C Gypsum Board

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PROJECT:
WINSLOW LOFTS
545 CONGRESS STREET
PORTLAND, MAINE

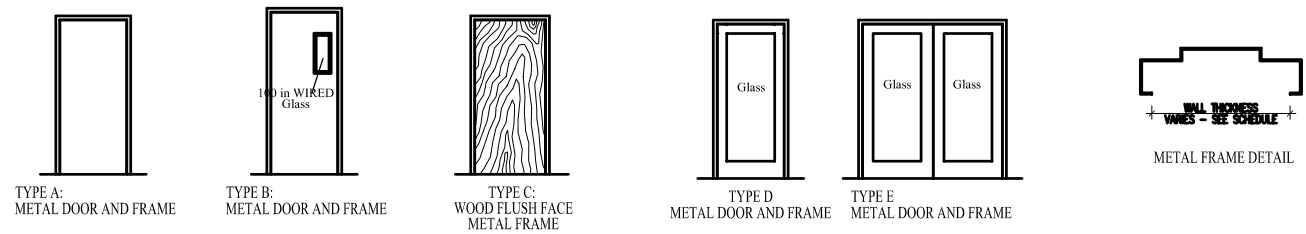
Date: APRIL 18, 2005
Scale: 1/4" = 1'-0"

Revisions:
FLOOR/CEILING TYPES

A10
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* EXTERIOR, FIRE RATED, & UTILITY DOOR SCHEDULE *

DOOR No.	SIZE			DOOR		THRESH	HARDWARE		FRAME		LABEL	REMARKS	
	Width	Height	Thick	Type	Material		SET	Material	Wall Thickness				
B1	3'-0"	6'-8"	1 3/4"	A	Metal				6"	1 1/2 Hour			
B2	3'-0"	6'-8"		A	Metal					X	45 Min		
B3	3'-0"	6'-8"		B	Metal					7'-5/8"	1 1/2 Hour		
B4	3'-0"	6'-8"		A	Metal					7'-5/8"	45 Min		
B5	3'-0"	6'-8"		A	Metal						45 Min		
B6	3'-0"	6'-8"		B	Metal					8"	1 1/2 Hour		
10	3'-0"	7'-0"		Wood	Aluminum							Custom	
11	3'-0"	7'-0"		B	Metal					1 1/2 Hour			
12	3'-0"	6'-8"		B	Metal				V.I.F.	1 1/2 Hour			
13	3'-0"	6'-8"		B	Metal				V.I.F.	1 1/2 Hour			
14	3'-0"	6'-8"		B	Metal				V.I.F.	1 1/2 Hour			
15												Relocate	
16	3'-0"	6'-8"		A	Metal								
20	3'-0"	6'-8"		C	Wood				5'-1/4"	20 min			
21	3'-0"	6'-8"		C	Metal				5'-1/4"	20 min			
22	3'-0"	6'-8"		B	Wood/Glass				8'-1/8"	1 1/2 Hour			
23	3'-0"	6'-8"		C	Wood				5'-1/4"	20 min			
24	3'-0"	6'-8"		C	Wood				5'-1/4"	20 min			
25	3'-0"	6'-8"		C	Wood				5'-1/4"	20 min			
26	3'-0"	6'-8"		B	Metal				9'-1/8"	1 1/2 Hour			
27	3'-0"	6'-8"		C	Wood				3' - 4 1/2" M.O.	1 1/2 Hour			
28	3'-0"	6'-8"		B	Metal				V.I.F.				
30	3'-0"	6'-8"		C	Wood				5'-1/4"	20 min			
31	3'-0"	6'-8"		B	Metal				9'-1/8"	1 1/2 Hour			
32	V.I.F.	6'-8"		A	Metal				5'-1/4"	20 min	Verify		
33	3'-0"	6'-8"		C	Wood				5'-1/4"	20 min			
34	3'-0"	6'-8"		C	Wood				5'-1/4"	20 min			
35	3'-0"	6'-8"		B	Metal				9'-1/8"	1 1/2 Hour			
36	3'-0"	6'-8"		C	Wood				3' - 4 1/2" M.O.	1 1/2 Hour			
40	6'-0"	6'-8"		E	Metal/Insulated	Aluminum			6' - 4 1/2" M.O.				
41	3'-0"	6'-8"		C	Wood				5'-1/4"	20 min			
42	3'-0"	6'-8"		B	Metal				9'-1/8"	1 1/2 Hour			
43	3'-0"	6'-8"		C	Wood				5'-1/4"	1 1/2 Hour			
44	3'-0"	6'-8"		C	Wood				5'-1/4"	20 min			
45	3'-0"	6'-8"		B	Metal				9'-1/8"	1 1/2 Hour			
46	3'-0"	6'-8"		C	Wood				3' - 4 1/2" M.O.	1 1/2 Hour			
50	6'-0"	6'-8"		E	Metal/Insulated	Aluminum			6' - 4 1/2" M.O.				
51	3'-0"	6'-8"		C	Wood				5'-1/4"	20 min			
52	3'-0"	6'-8"		C	Wood				5'-1/4"	20 min			
53	3'-0"	6'-8"		B	Metal				9'-1/8"	1 1/2 Hour			
54	3'-0"	6'-8"		C	Wood				5'-1/4"	20 min			
55	3'-0"	6'-8"		C	Wood				5'-1/4"	20 min			
56	3'-0"	6'-8"		C	Wood				3' - 4 1/2" M.O.	1 1/2 Hour			
57	3'-0"	6'-8"			Metal/Insul	Aluminum							
58	3'-0"	6'-8"		C	Wood				3' - 4 1/2" M.O.	1 1/2 Hour			
60	3'-0"	6'-8"		C	Wood				x	1-1/2 Hour			
61	3'-0"	6'-8"		C	Wood				x	1 1/2 Hour			
62	3'-0"	6'-8"		C	Wood				9'-1/8"	1 1/2 Hour			
63	3'-0"	6'-8"		D	Metal/Insul	Aluminum							
71	3'-0"	6'-8"		D	Metal/Insul	Aluminum							



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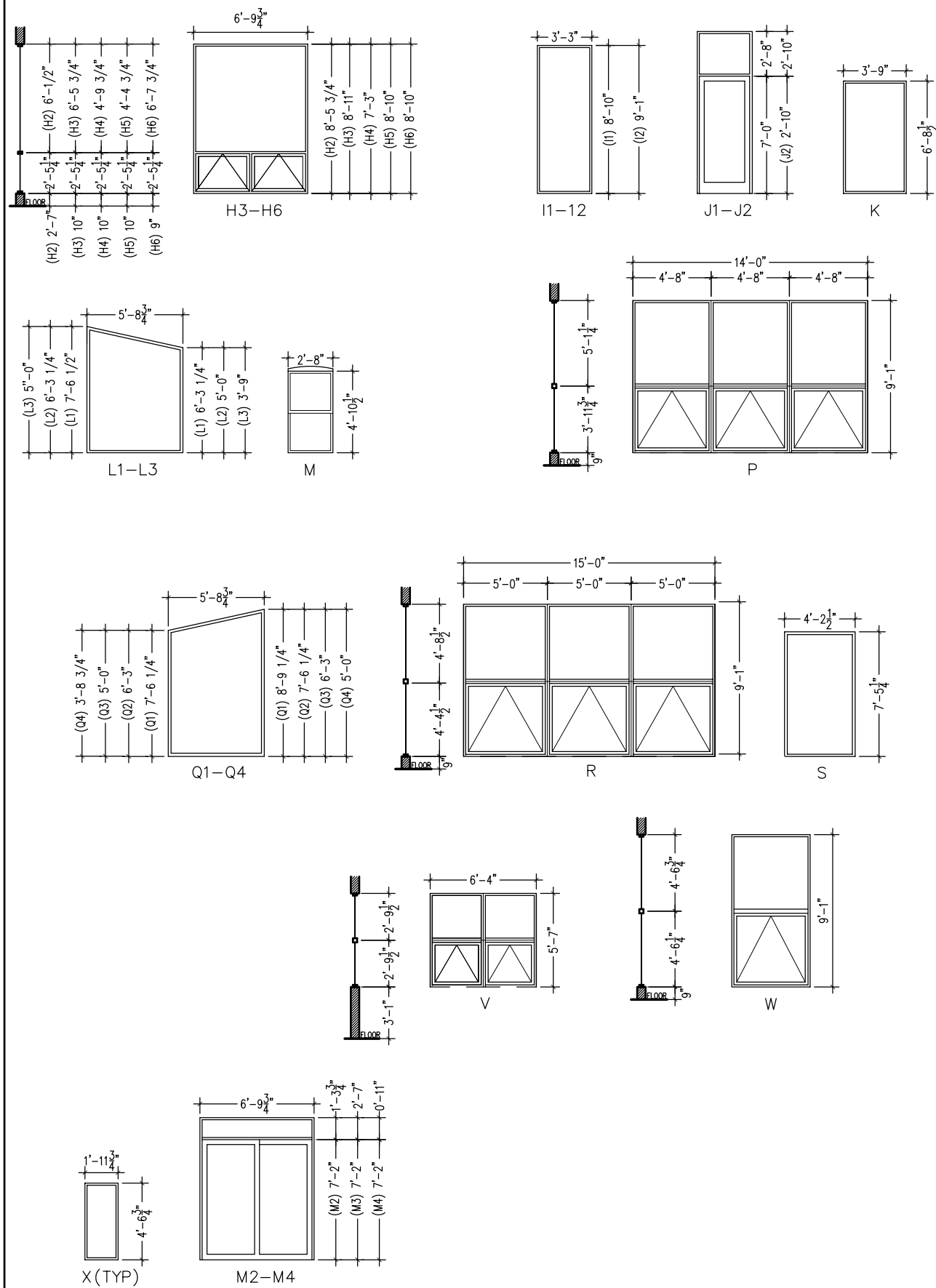
PROJECT: WINSLOW LOFTS
 545 CONGRESS STREET
 PORTLAND, MAINE

Date: APRIL 18, 2005
 Scale: 1/4" = 1'-0"
 Revisions:

DOOR SCHEDULE

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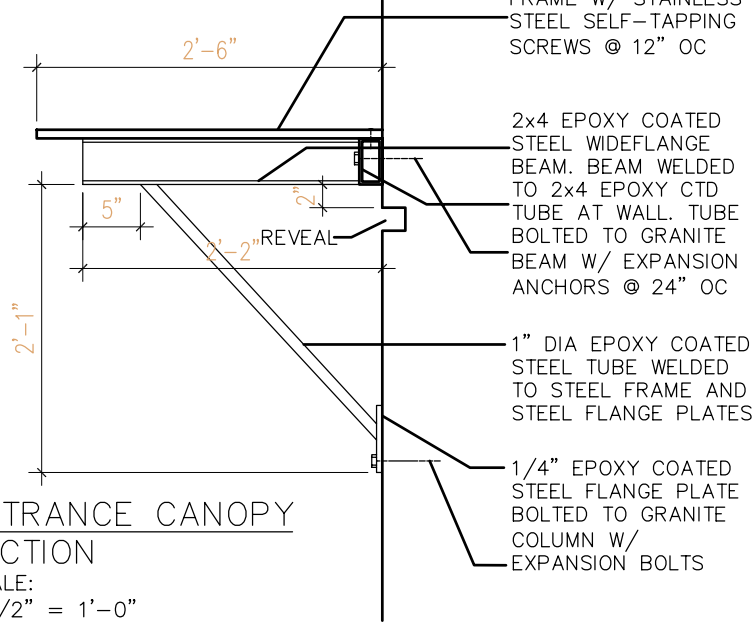
* WINDOW DIMENSIONS *



NOTE:
GLAZING
MANUFACTURER TO
VERIFY THAT GLASS
WILL SAFELY SUPPORT
ITS OWN DEAD LOAD
PLUS A SNOW LOAD
OF
42 lbs/SQ. FT.

① ENTRANCE CANOPY
SECTION
SCALE:
1 1/2" = 1'-0"

LAMINATED GLASS
OF 2 LAYERS 3/8"
MIN TEMPERED GLASS
W/ GROUND EDGES
SCREWED TO STEEL
FRAME W/ STAINLESS
STEEL SELF-TAPPING
SCREWS @ 12" OC

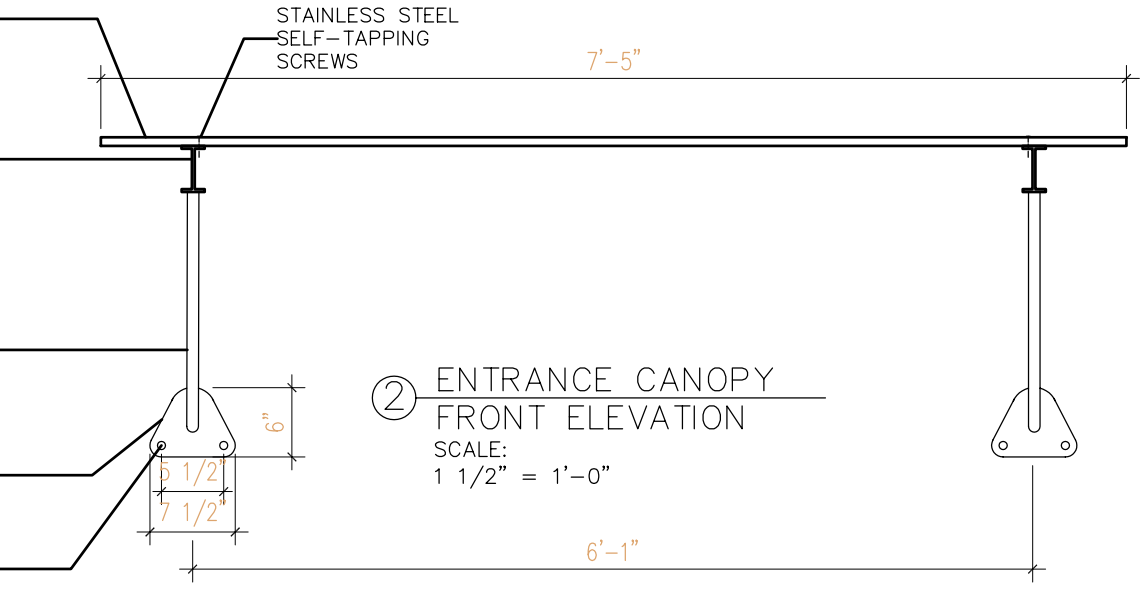


LAMINATED GLASS
OF 2 LAYERS 3/8"
MIN TEMPERED GLASS
W/ GROUND EDGES
SCREWED TO STEEL
FRAME W/ STAINLESS
STEEL SELF-TAPPING
SCREWS @ 12" OC

2x4 EPOXY COATED
STEEL WIDEFLANGE
BEAM. BEAM WELDED
TO 2x4 EPOXY CTD
TUBE AT WALL. TUBE
BOLTED TO GRANITE
BEAM W/ EXPANSION
ANCHORS @ 24" OC

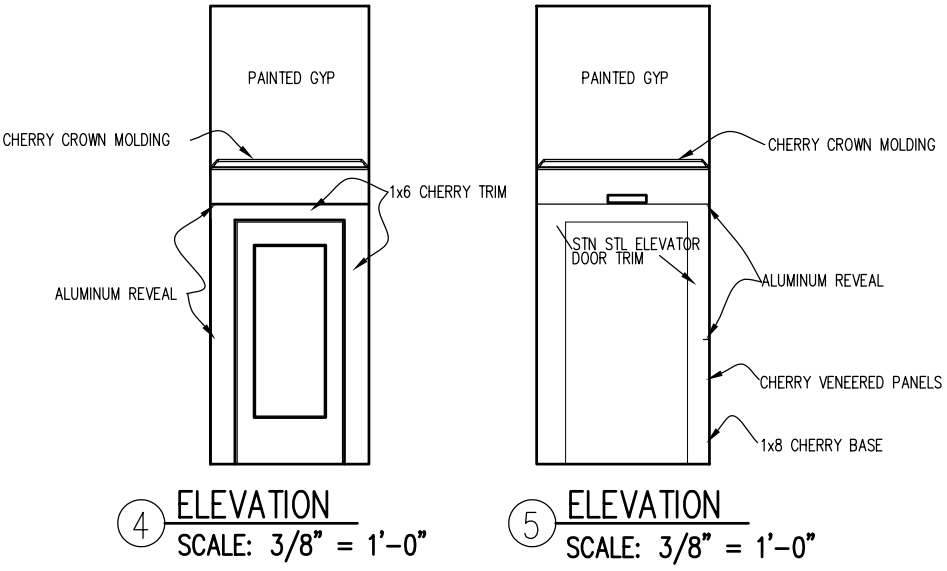
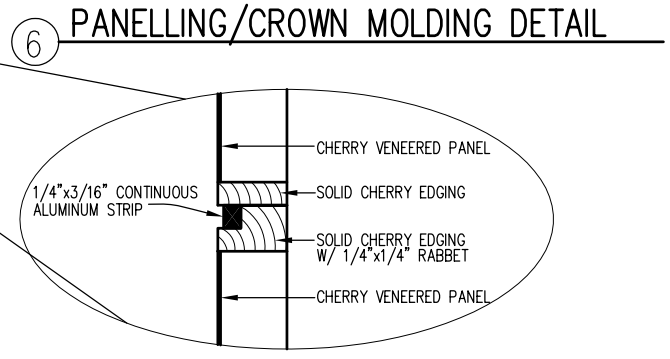
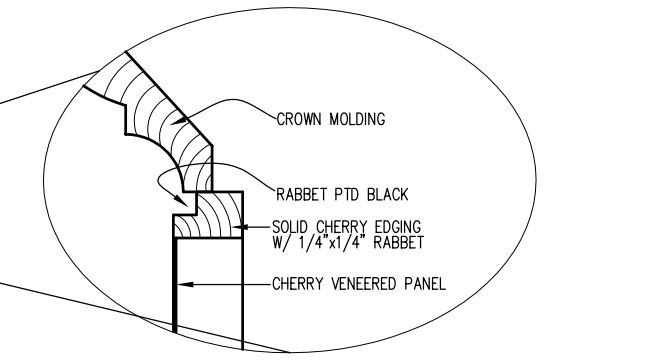
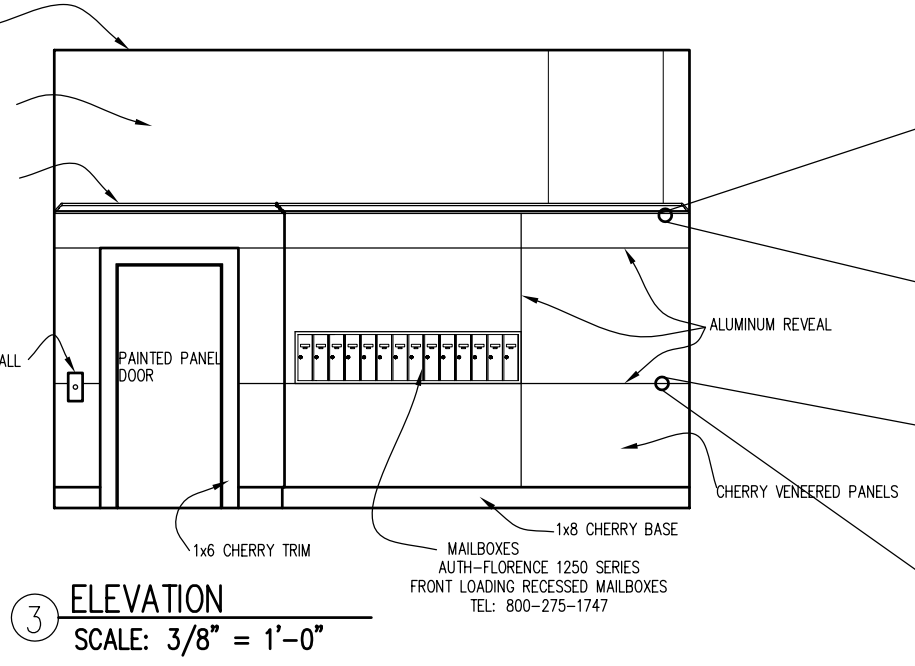
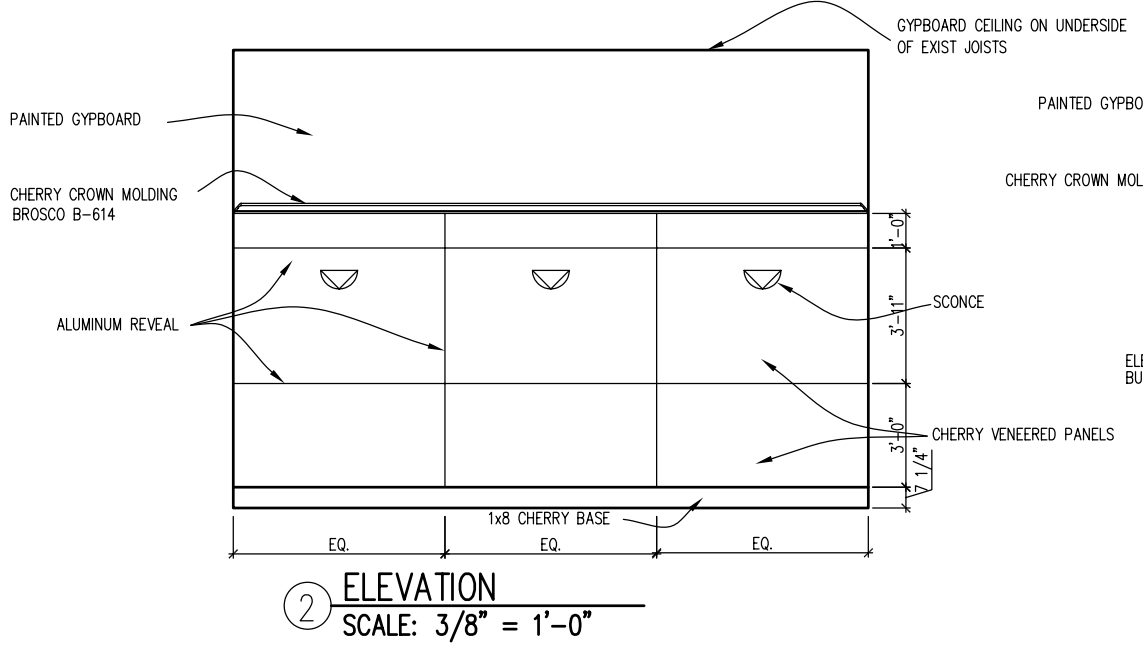
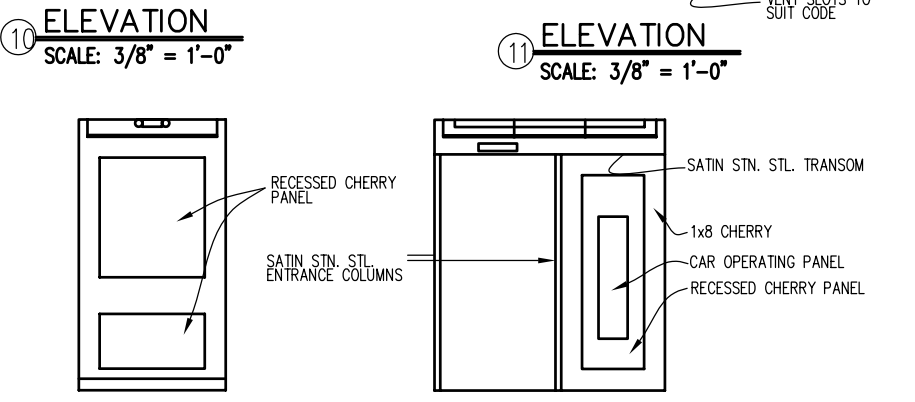
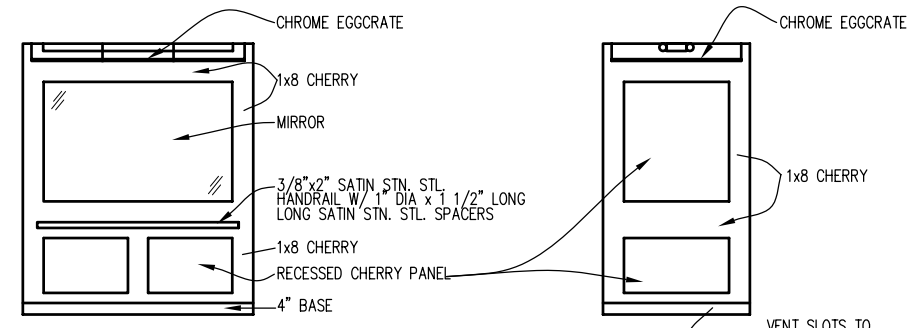
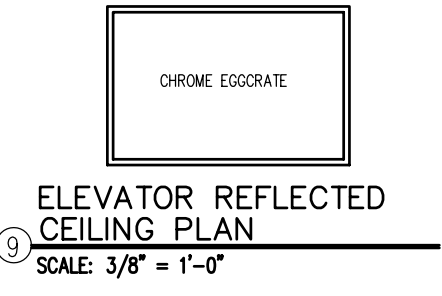
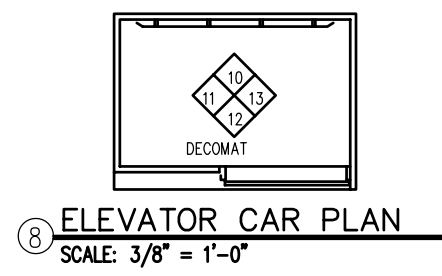
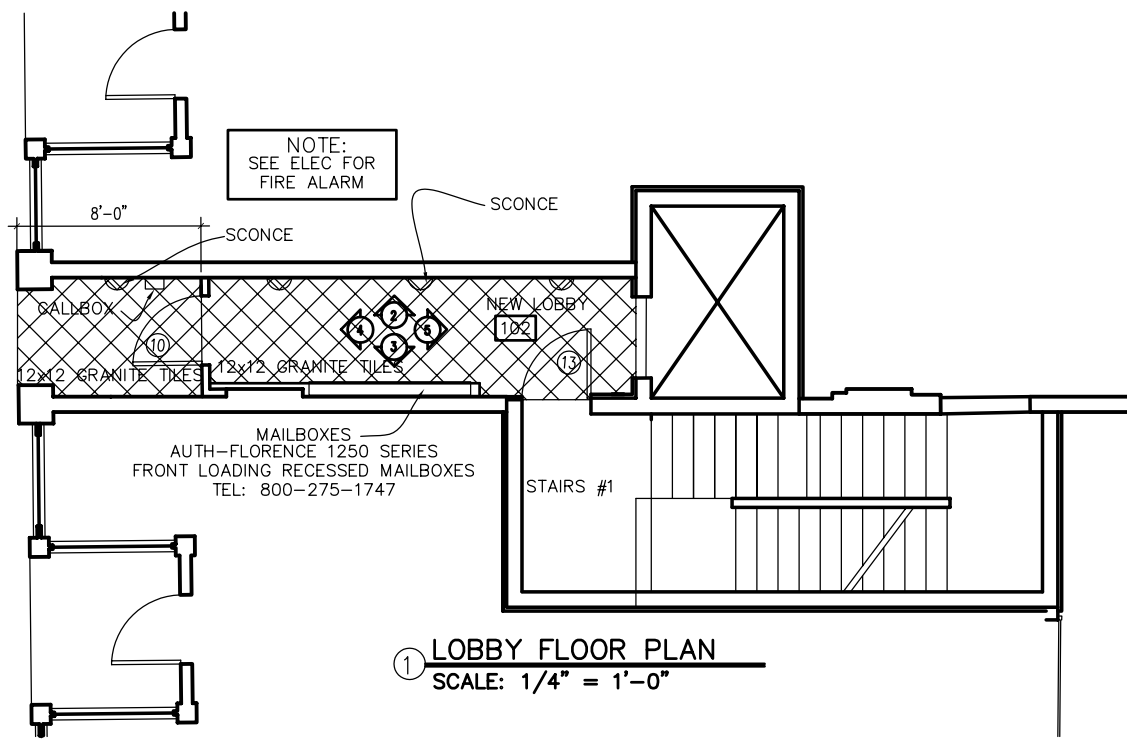
1" DIA EPOXY COATED
STEEL TUBE WELDED
TO STEEL FRAME AND
STEEL FLANGE PLATES

1/4" EPOXY COATED
STEEL FLANGE PLATE
BOLTED TO GRANITE
COLUMN W/
EXPANSION BOLTS



② ENTRANCE CANOPY
FRONT ELEVATION
SCALE:
1 1/2" = 1'-0"

OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927	
ARCHITECT: ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	PROJECT: WINSLOW LOFTS 545 CONGRESS STREET PORTLAND, MAINE
Date APRIL 18, 2005	Scale 1/4" = 1'-0"
Revisions:	
WINDOW DETAILS & SCHEDULES	
A18 4/28/2005 9:16:10 AM	



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PROJECT: WINSLOW LOFTS
545 CONGRESS STREET
PORTLAND, MAINE

Date: APRIL 18, 2005
Scale: 1/4" = 1'-0"
Revisions:

LOBBY DETAILS

A19
4/28/2005 9:16:44 AM

NOTE: MINIMUM 1 1/2" DECKING EVERYWHERE

BOX IN MASONRY BELOW WINDOW

SISTER SPLIT JOIST TYP ALL INSTANCES

HEADER & USE JOIST HANGER @ ALL FLUES TYP ALL FLOORS

Protect exposed lintels (3 this floor) w/ intumescent paint. Prep per manuf. instructions. Prov 1 hour rating

STUDIO 201

3 1/2"x9 1/2" PARALLAM ABOVE

3 1/2"x9 1/2" PARALLAM ABOVE See Sec. 2/A-9

Studio 202

Seal All Flues Typ. All Floors

Living Rm 203

2 A13

STUDIO 205

DECK

301

5 A12

PTD STL COL

20

S.G.

21

22

UP

DN

16'-0"

3'-8"

9'-3" R.O. TO EXIST JOISTS

14'-4" +/-

Bedrm

M3

M3

M2

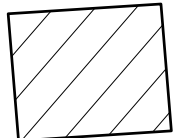
1'-6"

3'-4"

0'-0"

7'-8"

BRACE TO 3rd FLOOR DECK 90 deg off curtain wall 6'-6"



EXTENT OF RAISED FLOOR

2 A10

4'-1"

W1

HVAC

W/D

W1

24

DN

25

12'-3"-4 1/4"

0'-0"

1'-6"

1'-6"

1'-6"

1'-6"

1'-6"

1'-6"

1'-6"

1'-6"

1'-6"

1'-6"

1'-6"

1'-6"

1'-6"

1'-6"

1'-6"

1'-6"

1'-6"

1'-6"

Living Rm 204

W3

EW1

EW1

EW1

EW1

EW1

EW1

EW1

EW1

EW1

EW1

EW1

EW1

EW1

EW1

EW1

EW1

EW1

EW1

EW1

DECK

2 A12

BRACE TO 3rd FLOOR DECK Parallel to stairs

15'-0"

7'-8"

CLEAR

UP

DN

4 A10B

5 A10B

6 A10B

7 A10B

8 A10B

9 A10B

10 A10B

11 A10B

12 A10B

13 A10B

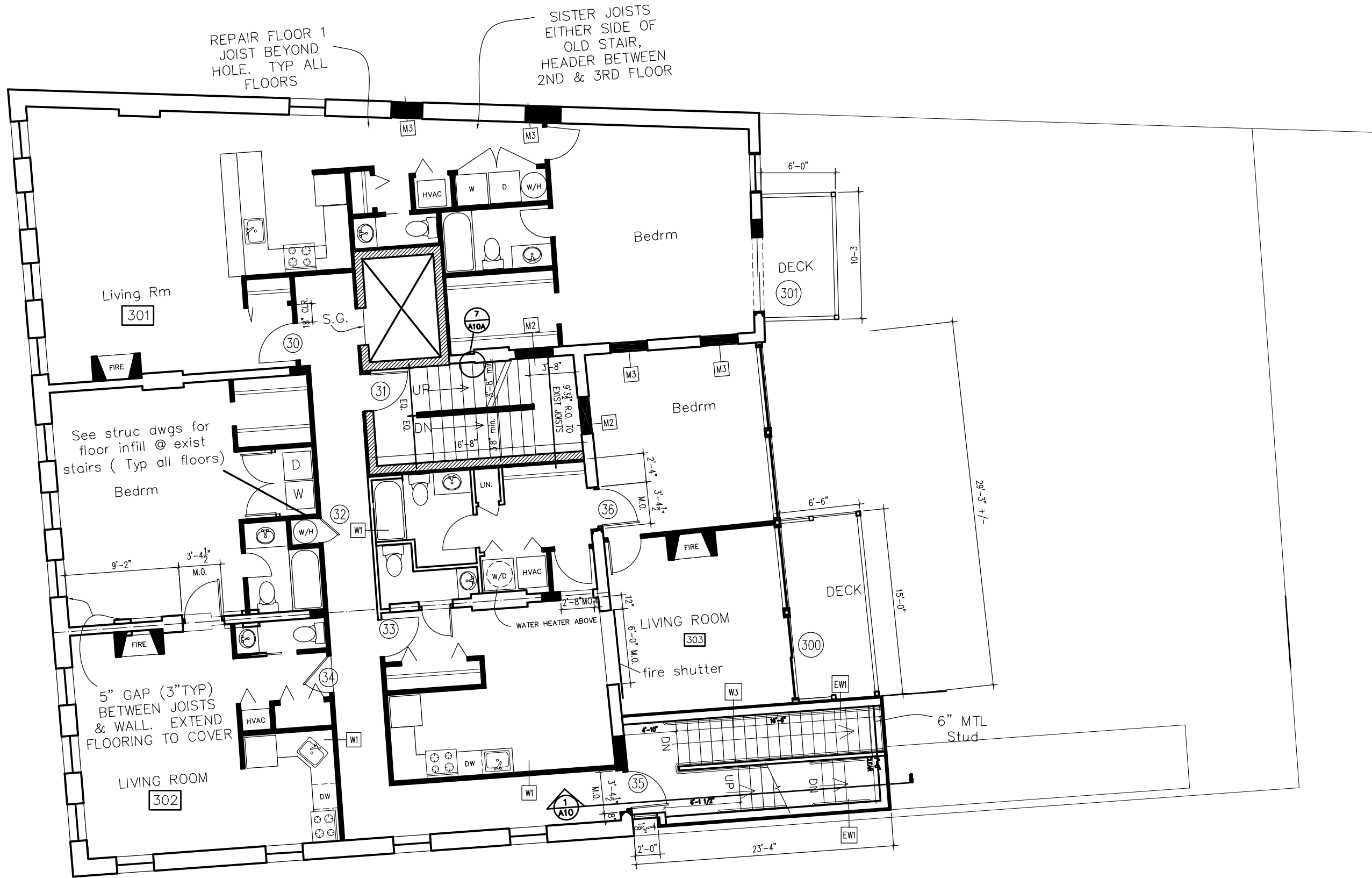
14 A10B

15 A10B

1 2ND FLOOR PLAN 1/4" = 1'-0"

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ARCHITECT:	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
PROJECT:	WINSLOW LOFTS 545 CONGRESS STREET PORTLAND, MAINE
Date:	APRIL 18, 2005
Scale:	1/4" = 1'-0"
Revisions:	
	2nd FLOOR PLAN
	4/28/2005 9:06:28 AM

A2



1 3RD FLOOR PLAN
 1/4" = 1'-0"

OWNER:
 CONGRESS JOINT
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 P.O. Box 6799 Scarborough, Maine 04070
 (207) 883-3618 Fax (207) 883-8927

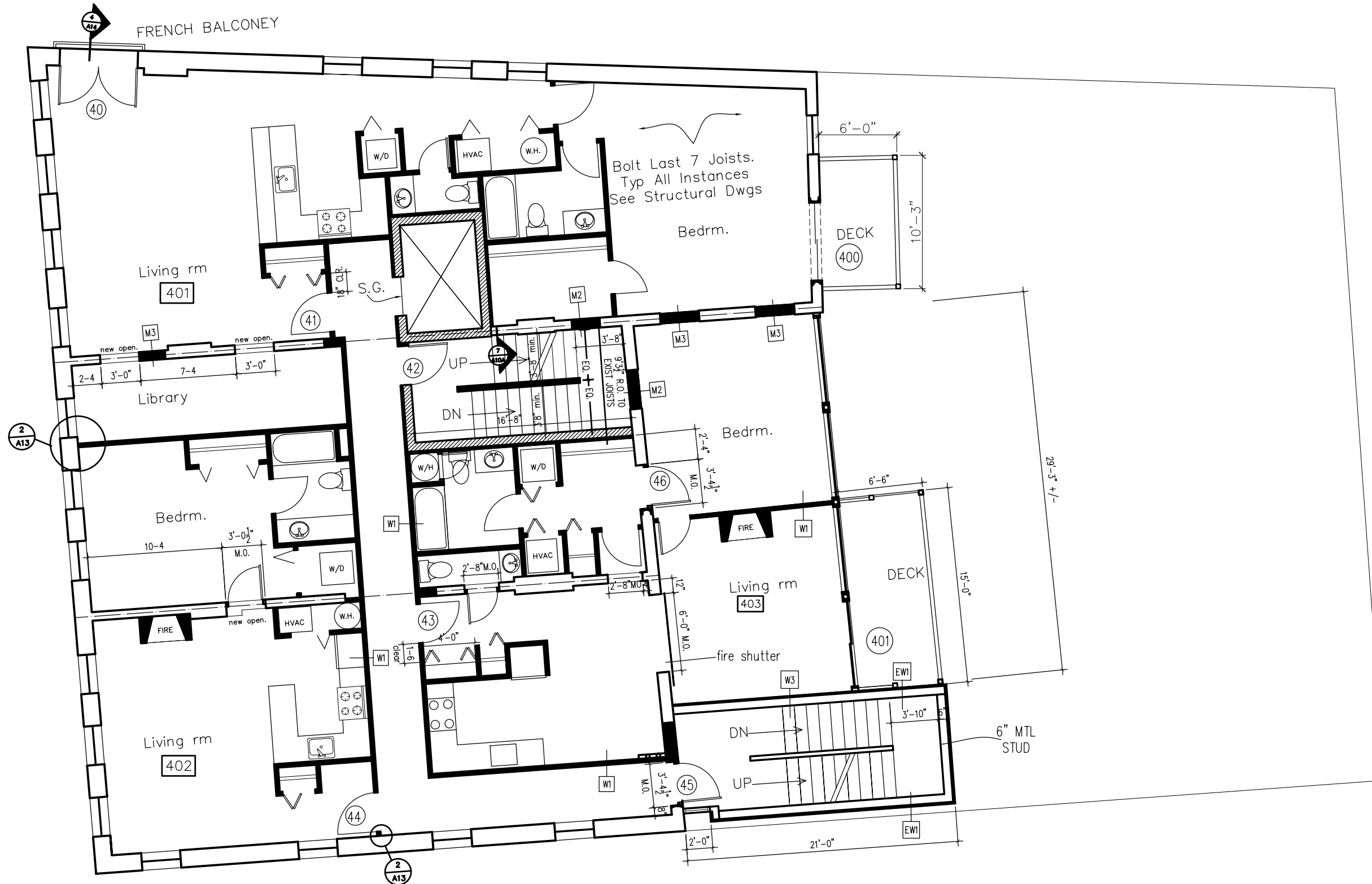
ARCHITECT:
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PROJECT:
 WINSLOW LOFTS
 545 CONGRESS STREET
 PORTLAND, MAINE

Date APRIL 18, 2005
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 Revisions:

3rd FLOOR PLAN
 4/28/2005 9:06:55 AM

A3



1 4TH FLOOR PLAN
1/4" = 1'-0"

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CONGRESS JOINT
DEVELOPMENT, L.L.C.
P.O. Box 6799, Scarborough, Maine 04070
(207) 883-3618 Fax (207) 883-8927

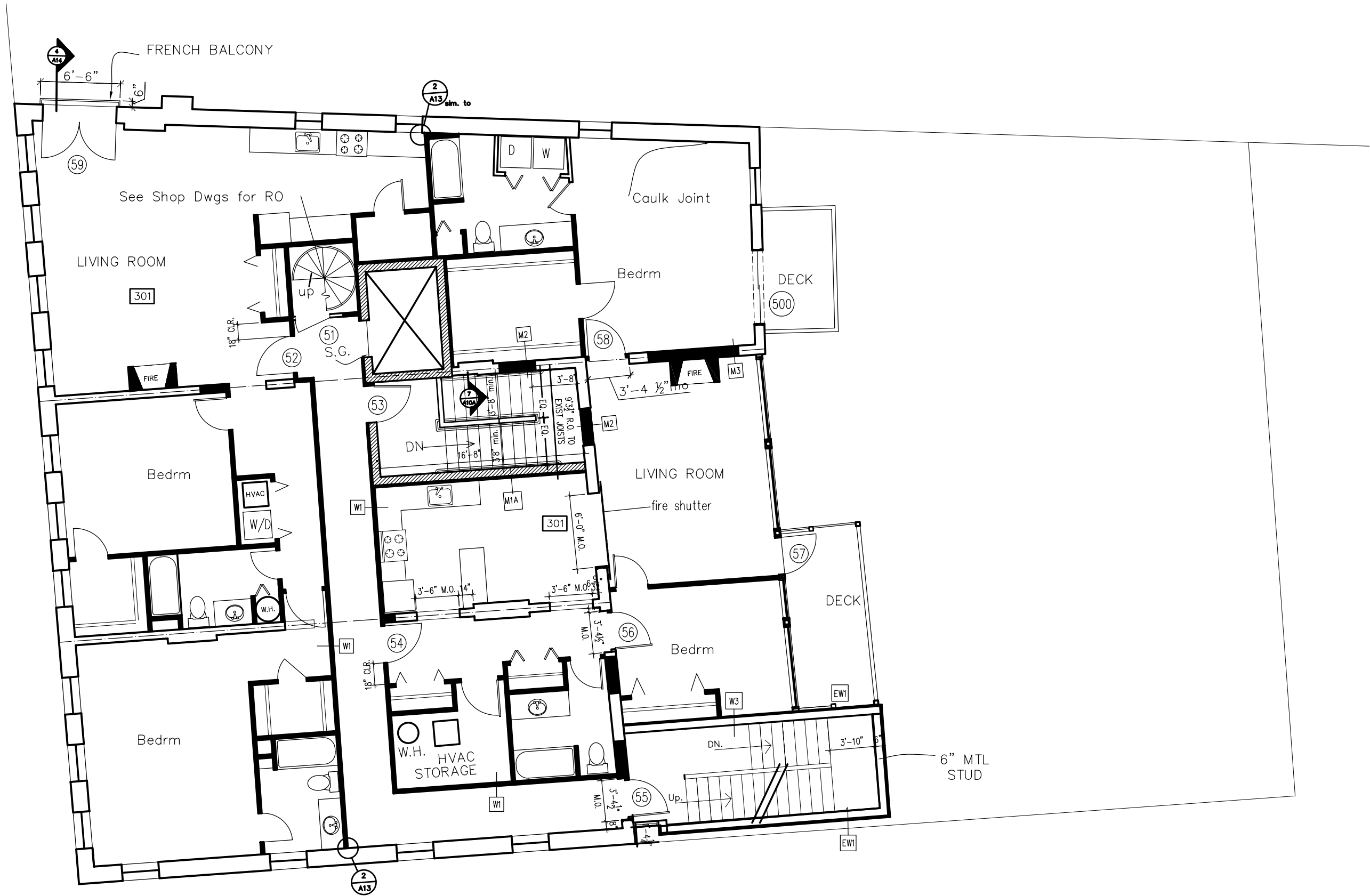
ARCHITECT:
ARCHETYPE, P.A.
ARCHITECTS
48 Union Wharf, Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

PROJECT:
WINSLOW LOFTS
545 CONGRESS STREET
PORTLAND, MAINE

Date: APRIL 18, 2005
Scale: 1/4" = 1'-0"
Revisions:

4th FLOOR PLAN

A4
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1 5TH FLOOR PLAN
1/4" = 1'-0"

OWNER:
CONGRESS JOINT
DEVELOPMENT, L.L.C.
P.O. Box 6799 Scarborough, Maine 04070
(207) 883-3618 Fax (207) 883-8927

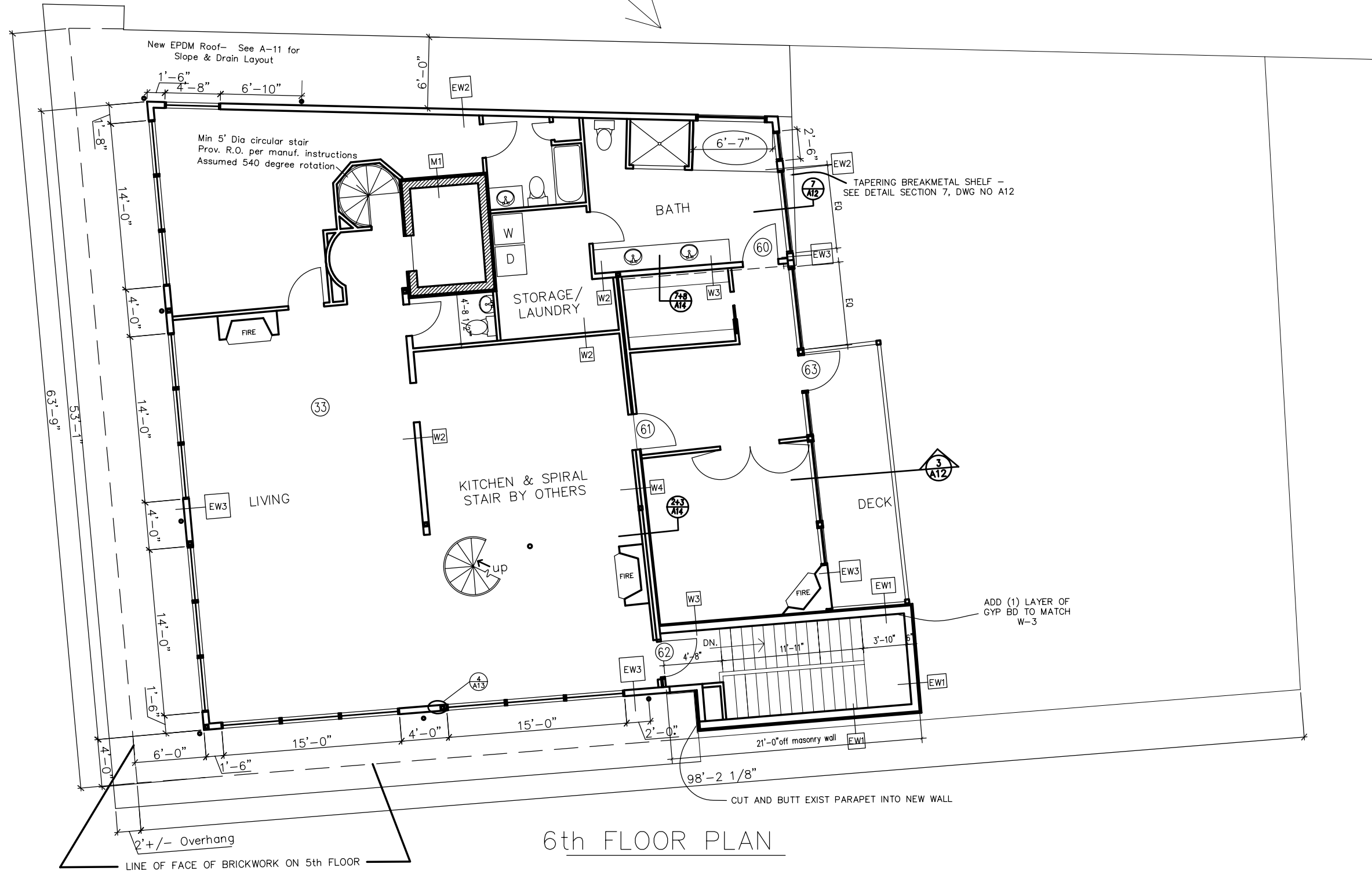
ARCHITECT:
ARCHETYPE, P.A.
ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

PROJECT:
WINSLOW LOFTS
545 CONGRESS STREET
PORTLAND, MAINE

Date	APRIL 18, 2005
Scale	1/4" = 1'-0"
Revisions:	

5th FLOOR PLAN
4/28/2005 9:07:39 AM

A5



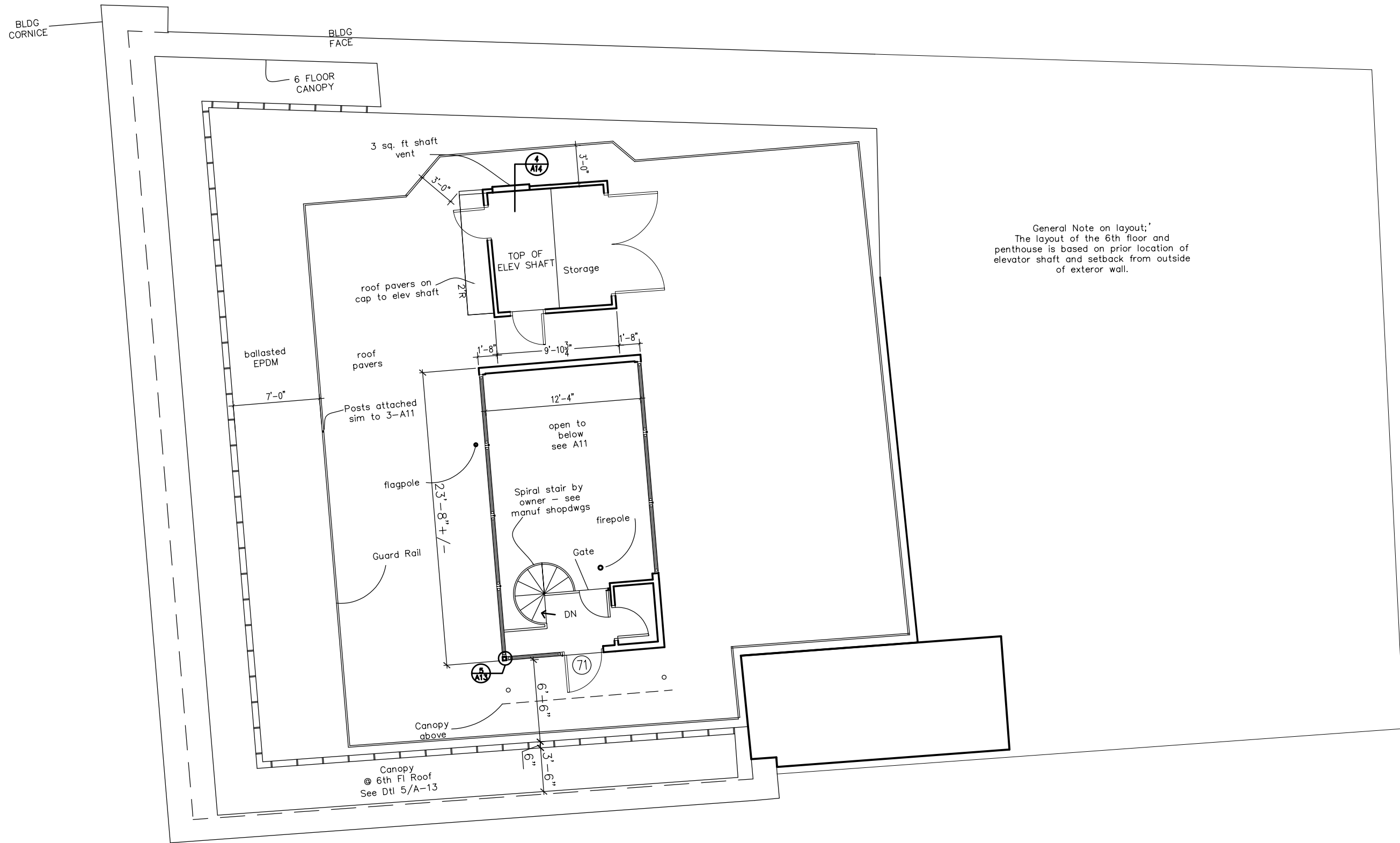
OWNER:
CONGRESS JOINT DEVELOPMENT, L.L.C.
 P.O. Box 6799 Scarborough, Maine 04070
 (207) 883-3618 Fax (207) 883-8927

ARCHITECT:
ARCHETYPE, P.A. ARCHITECTS
 48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

PROJECT:
WINSLOW LOFTS
 545 CONGRESS STREET
 PORTLAND, MAINE

Date	Scale
APRIL 18, 2005	1/4" = 1'-0"
Revisions:	

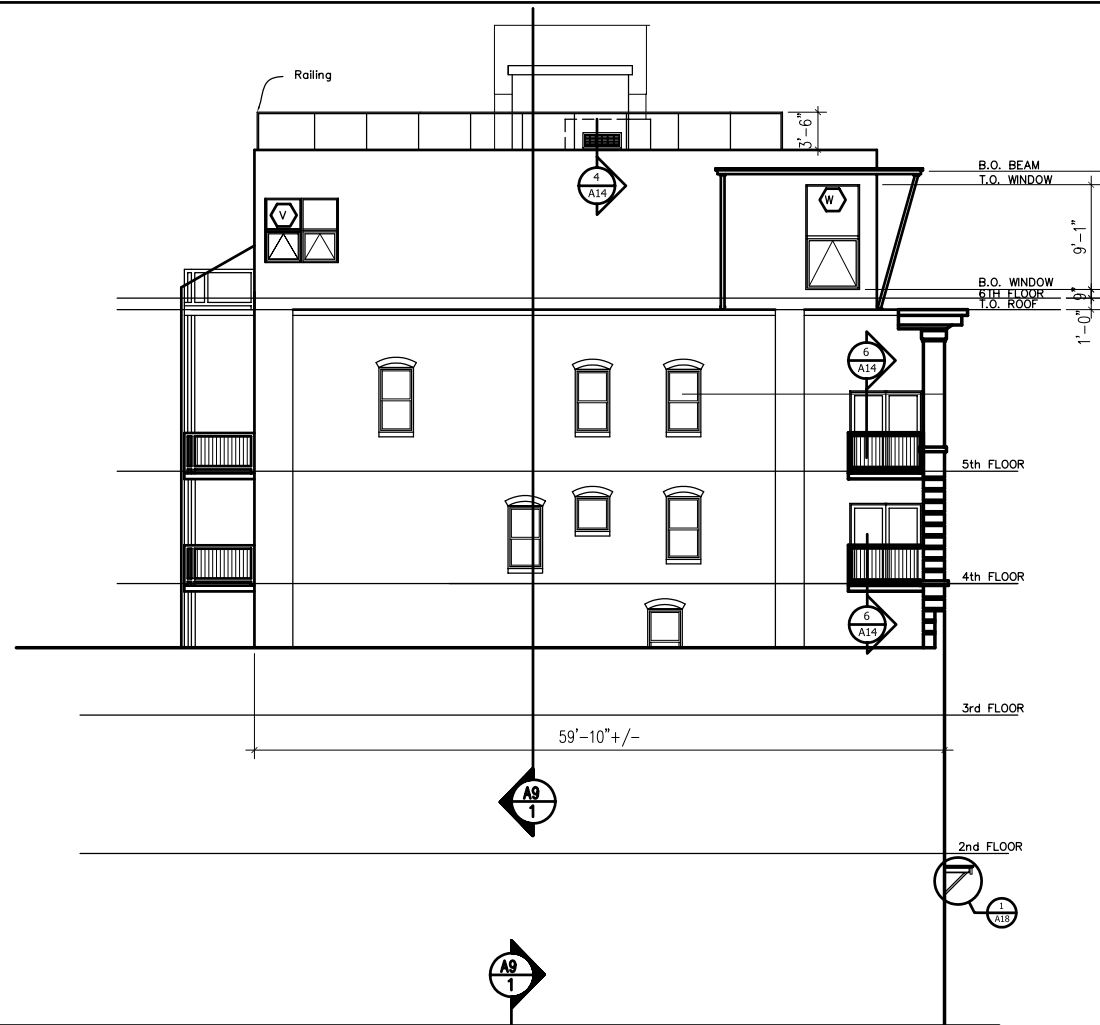
6th FLOOR PLAN



General Note on layout;
 The layout of the 6th floor and penthouse is based on prior location of elevator shaft and setback from outside of exterior wall.

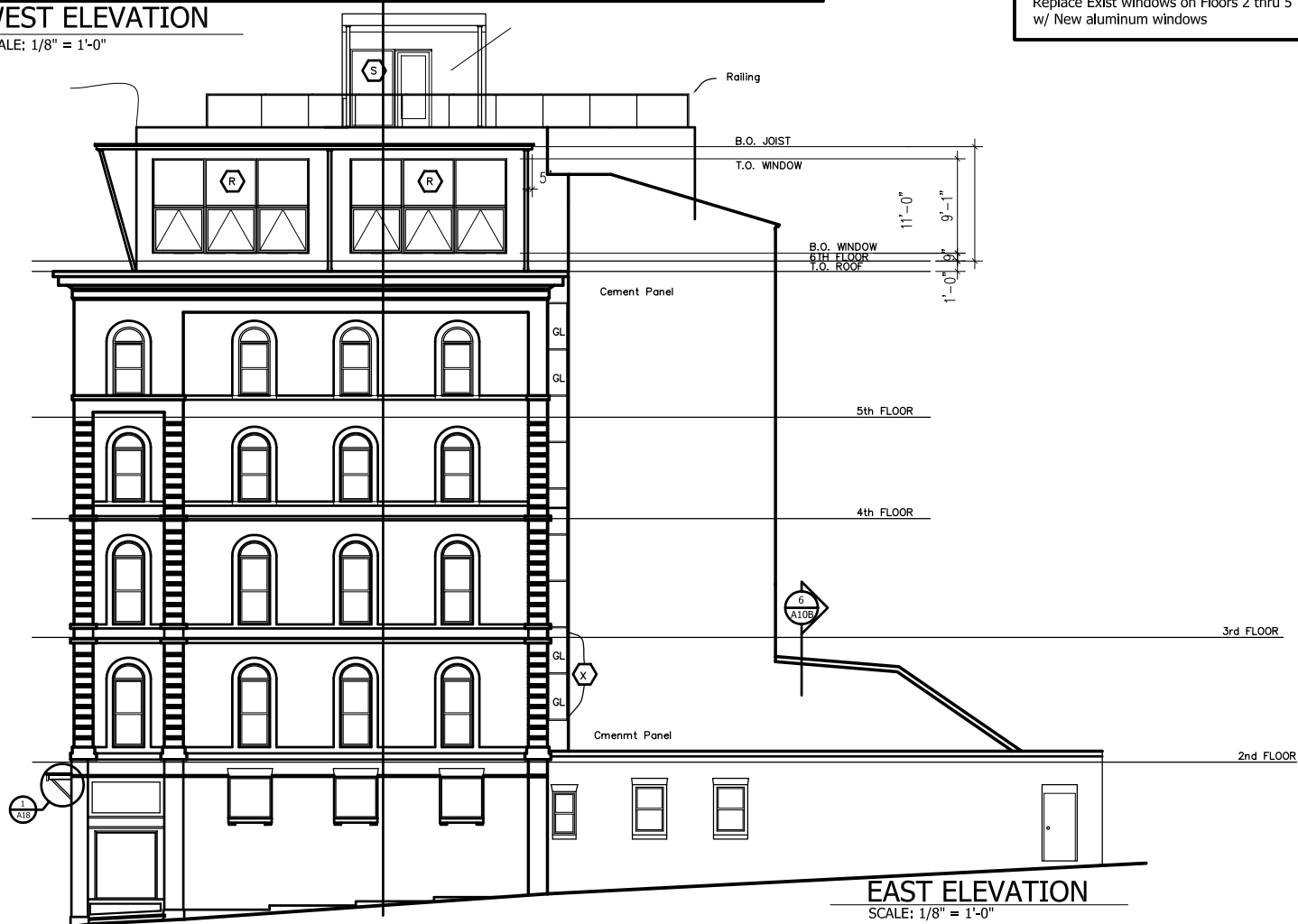
PENTHOUSE-ROOF PLAN

A7 4/28/2005 9:09:22 AM	PENTHOUSE-ROOF PLAN		Date: APRIL 18, 2005 Scale: 1/4" = 1'-0" Revisions:	PROJECT: WINSLOW LOFTS 545 CONGRESS STREET PORTLAND, MAINE	ARCHITECT: ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927
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WEST ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

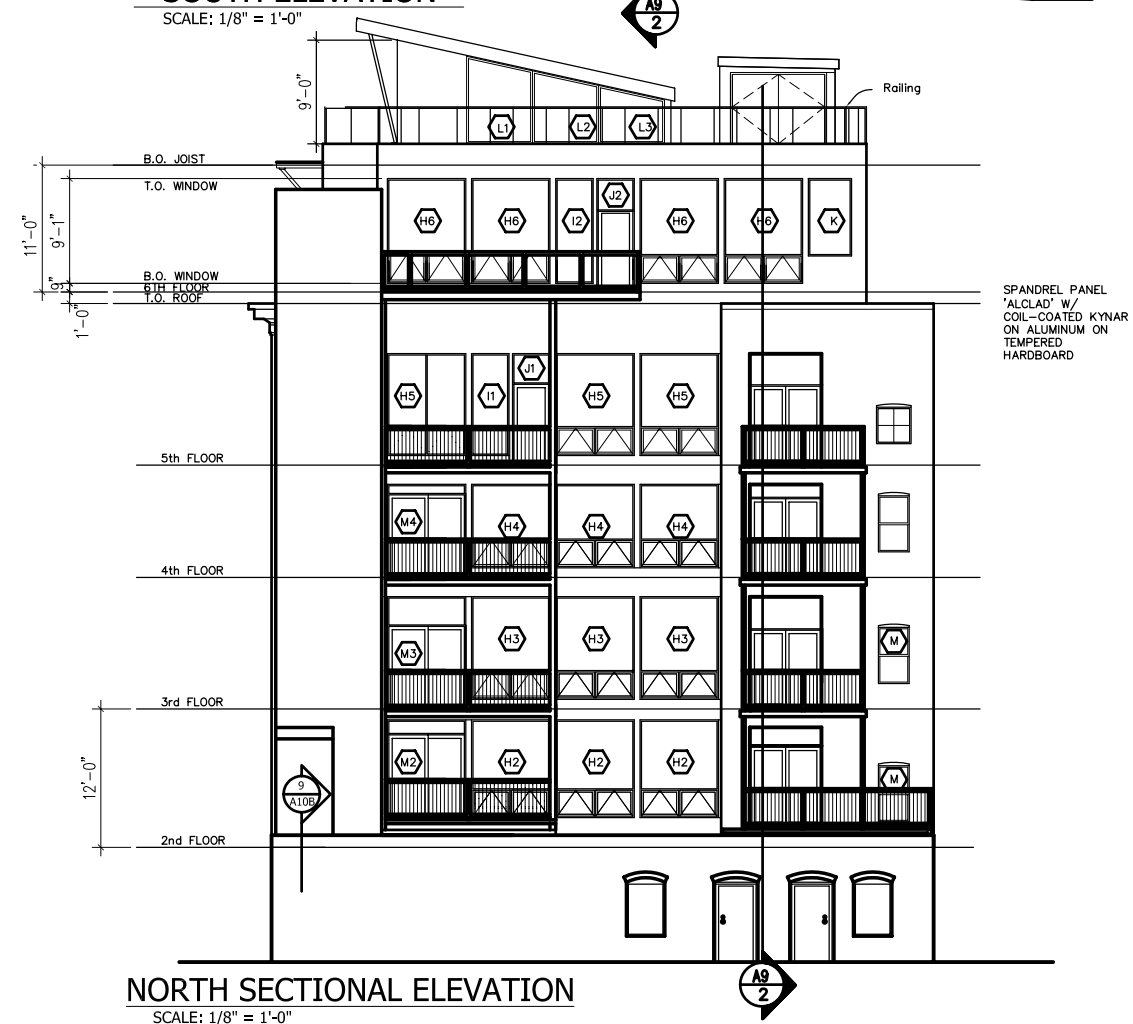
SCALE: 1/8" = 1'-0"

General Note
Replace Exist windows on Floors 2 thru 5
w/ New aluminum windows



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

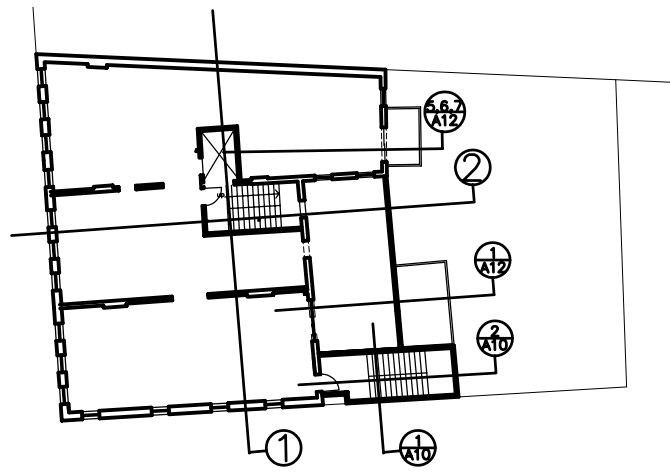


NORTH SECTIONAL ELEVATION

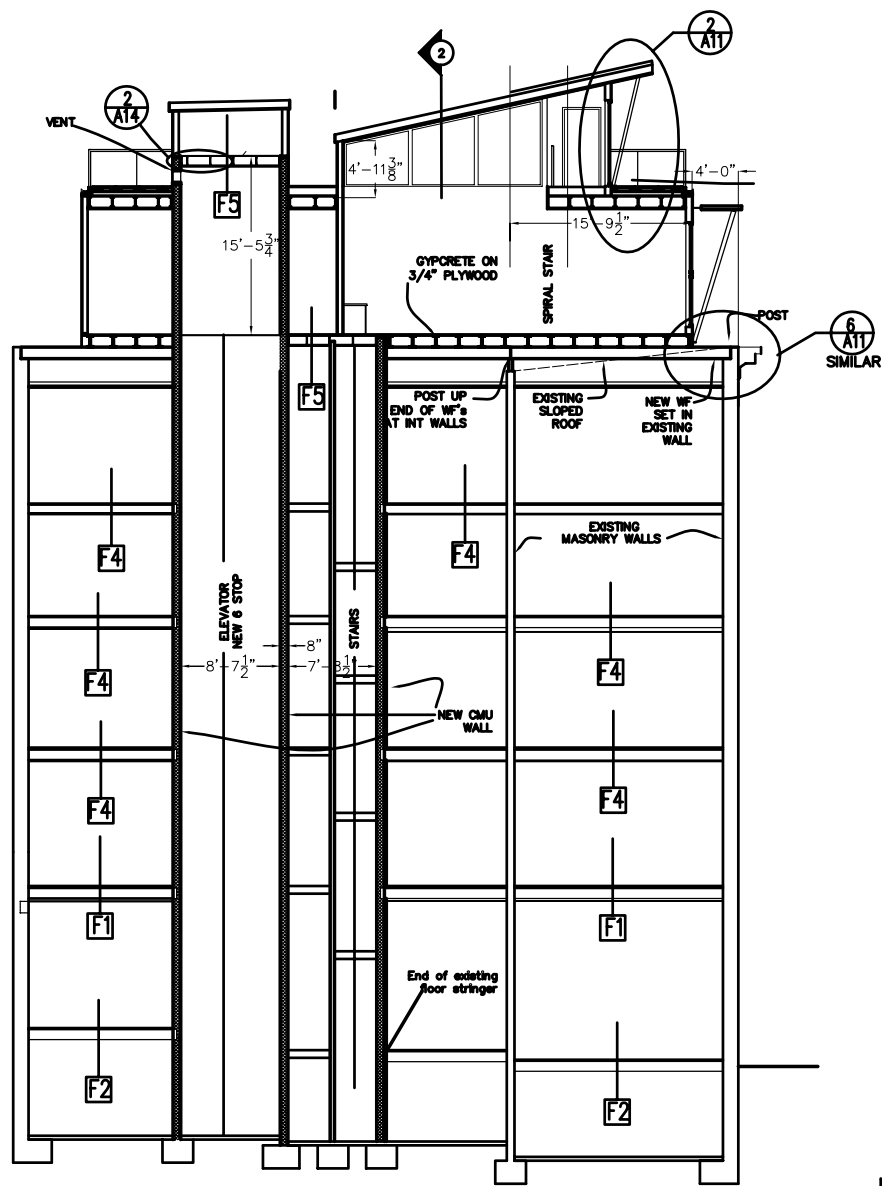
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OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927	
ARCHITECT: ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	
PROJECT: WINSLOW LOFTS 545 CONGRESS STREET PORTLAND, MAINE	
Date APRIL 18, 2005	Scale 1/8" = 1'-0"
Revisions:	
ELEVATIONS	
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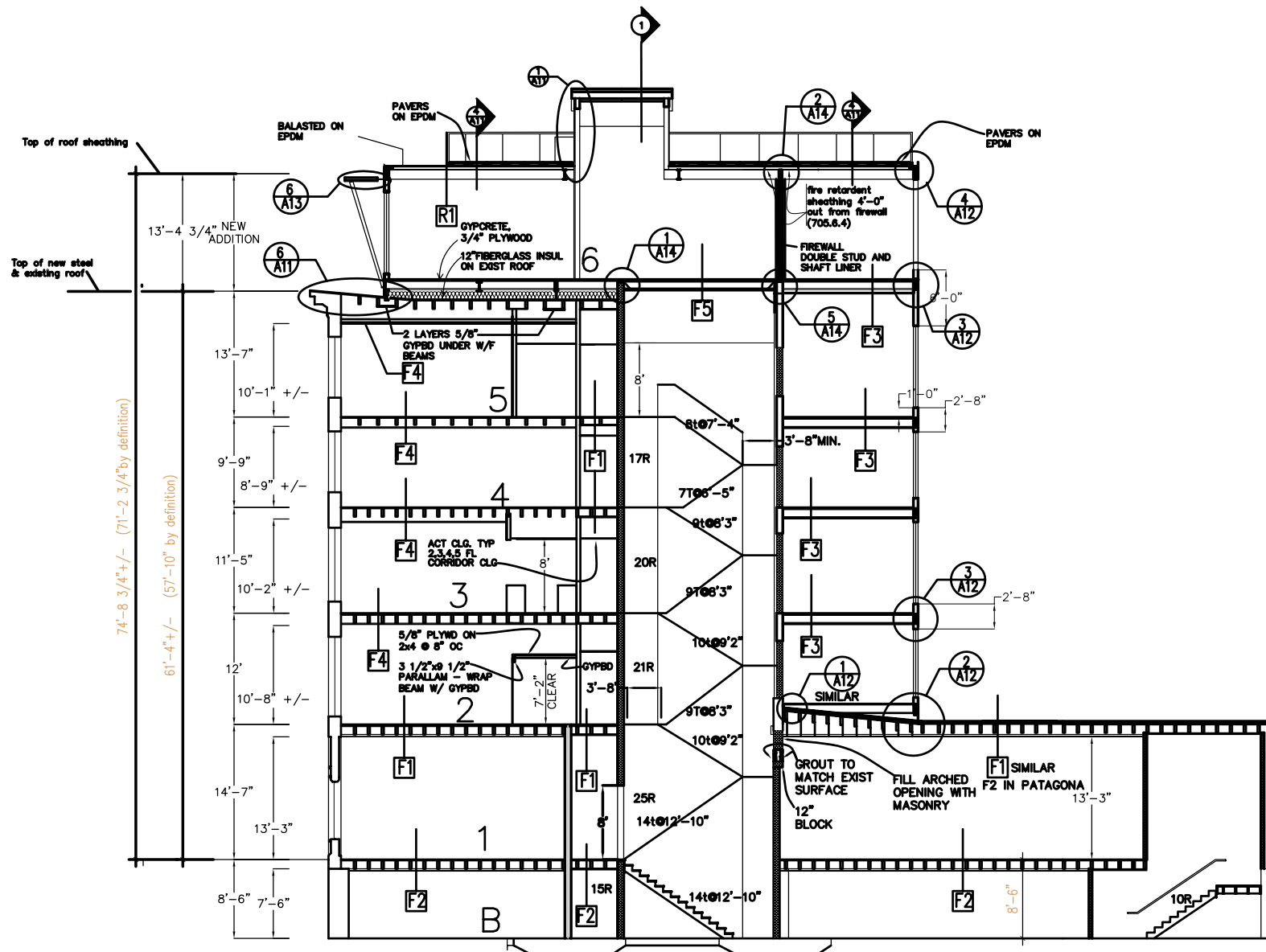
A8



KEY PLAN
not to scale



SECTION 1
Scale: 1/8"=1'

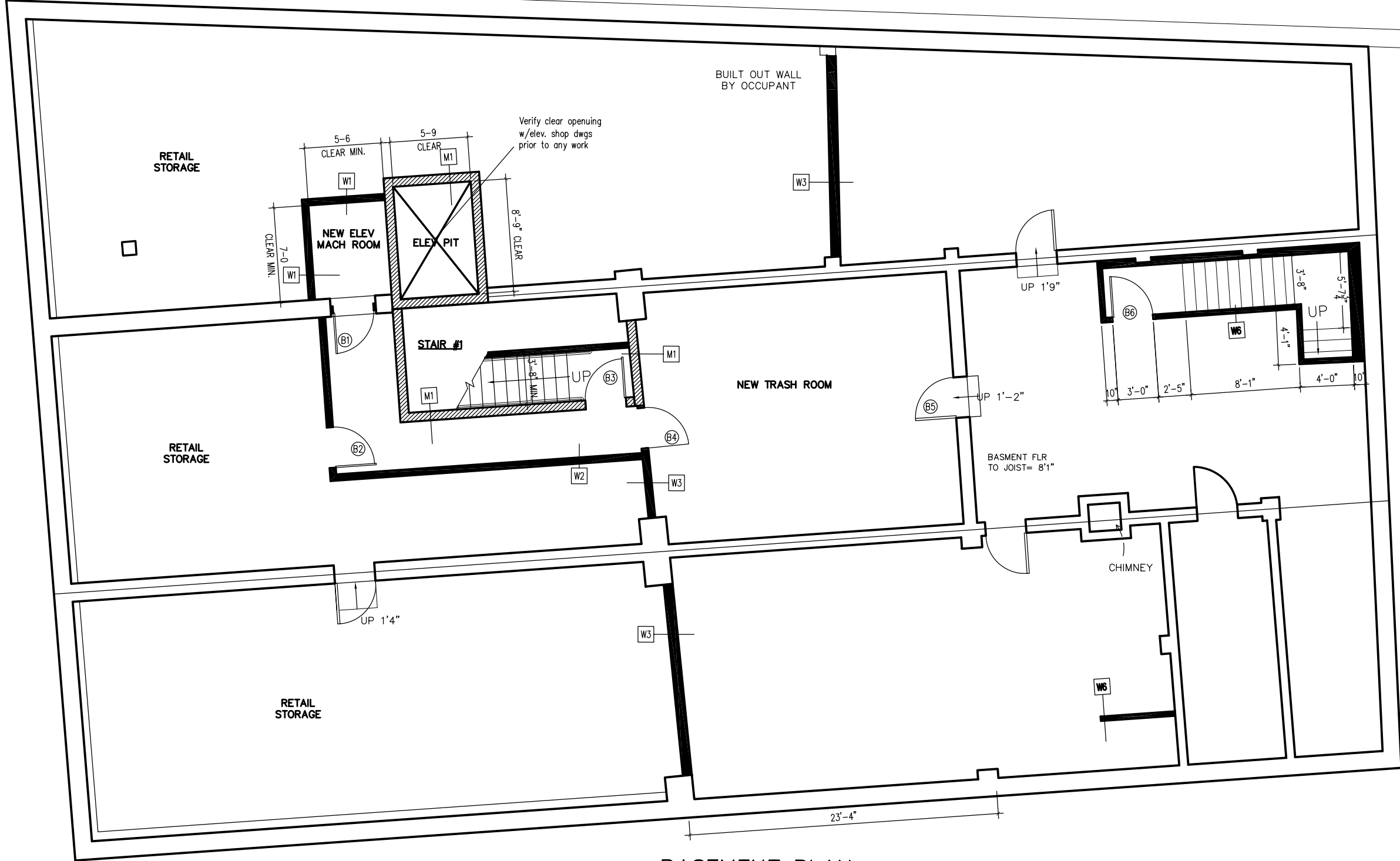


SECTION 2
Scale: 1/8"=1'

NOTE:
FLR TO FLR HEIGHTS VARY BETWEEN BASEMENT
AND FIRST FLOOR - VERIFY ALL HEIGHTS PRIOR
TO ANY LAYOUT

OWNER: CONGRESS JOINT DEVELOPMENT, L.L.C. P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927
ARCHITECT: ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
PROJECT: WINSLOW LOFTS 545 CONGRESS STREET PORTLAND, MAINE
Date: APRIL 18, 2005 Scale: 1/8" = 1'-0" Revisions:
BUILDING SECTIONS
A9 4/28/2005 9:10:59 AM

NOTE:
STAIRS FROM RETAIL SPACE TO
STORAGE TO BE FIELD LOCATED



BASEMENT PLAN

OWNER:
**CONGRESS JOINT
DEVELOPMENT, L.L.C.**
P.O. Box 6799 Scarborough, Maine 04070
(207) 883-5618 Fax (207) 883-8927

ARCHITECT:
**ARCHETYPE, P.A.
ARCHITECTS**
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

PROJECT:
WINSLOW LOFTS
545 CONGRESS STREET
PORTLAND, MAINE

Date: APRIL 18, 2005
Scale: 1/4" = 1'-0"
Revisions:

**BASEMENT
FLOOR PLAN**

B1
4/28/2005 9:06:20 AM

WINSLOW LOFTS

545 CONGRESS STREET
PORTLAND, MAINE

APRIL 18, 2005

IBC 2003 CODE DATA

Use groups M and R-2
Existing Construction= Exterior Masonry/Interior Wood
Construction type: 3A 508.5

LIST OF DRAWINGS

STRUCTURAL

S1-Foundation Plan and General Notes
S2-1st Floor Framing Plan
S3-2nd Floor Framing Plan
S4-3rd, 4th & 5th Floor Framing Plans
S5-6th Floor Framing Plan
S6-Roof Framing Plan
S7-Framing Sections and Details
S8-Shearwall Elevations and Column Schedule

ARCHITECTURAL

D1-Basement, 1st Floor & 2nd Floor Demolition
D2- 3rd, 4th, & 5th Floor Demolition
B1-Basement Floor Plan
A1-1st Floor Plan
A2-2nd Floor Plan
A3-3rd Floor Plan
A4-4th Floor Plan
A5-5th Floor Plan
A6-6th Floor Plan
A7-Penthouse
A8-Elevations
A9-Building Sections & Details
A10A- Stair #2, 7 Stair Details
A10B-Stair Detail
A11-Roof Plan & Details
A12-Exterior Wall Sections & Details
A13-Details
A14-Details
A15-Wall & Floor Types
A16-Wall & Floor Types
A17-Door Schedule
A18-Window Schedule
A19-Lobby Plan & Details

Use and Occupancy Sec. 3

Separated Uses 1st fl M to R-2
1 Hour separation EWxception 302.3.2

Heights and Areas Sec. 5

Group R-2/ IIIA Construction Sec 5
Basement to 1st fl sep.= 3 hrs amended to 2 hrs
Max fire area = 3000 sq. ft.
Fire wall between areas = 2 hours
Height Allowed=75'
Height Proposed = 71'-9" +/- (See A-9)
Stories Allowed = 6
Stories Proposed =6

Fire Resistance Rating Sec 6

Floor, Frame & Roof = 1 hour T602
Interior Bearing Wall = 1 hour
Exterior Non bearing Wall = 0 hour
Exterior Non bearing Wall = 0 hour

Rated Contruction Sec 7

3 story shafts 1 hour 707.4
4story + shafts +2 hour 707.4
No roof parapet Req. 704.11.5
Vertical Exposure 0 w/ 1 hr roof 704.10
Fire retardant ply over fire wall 705.6.4
D/U Separation 1 hour fire partition 708.3
Auto closing Fire Shutters 715.3.9
Fire doors & shutters: T-715.3
3/4 hour in 1 hour wall
1-1/2 hour in 2 hour wall

Fire Systems Sec 9

NFPA Sprinkler 903.2.7
Standpipe required 905.3.1
Extinguishers- Per Portland Fire Dept
Alarms & Detection by Others

Means Of Egress Sec. 10

Wood Stairwayb 1009.5
Corridor rating : 1/2 hour w/ sprinkler T1016.1
Stair Shafts 2 hours 1019.1

OWNER:

Congress Joint Development, L.L.C.
PO Box 6799
Scarborough, ME 04070
(207) 883-3618

ARCHITECT:

Archetype

48 Union Wharf
Portland, ME 04101

(207) 772-6022

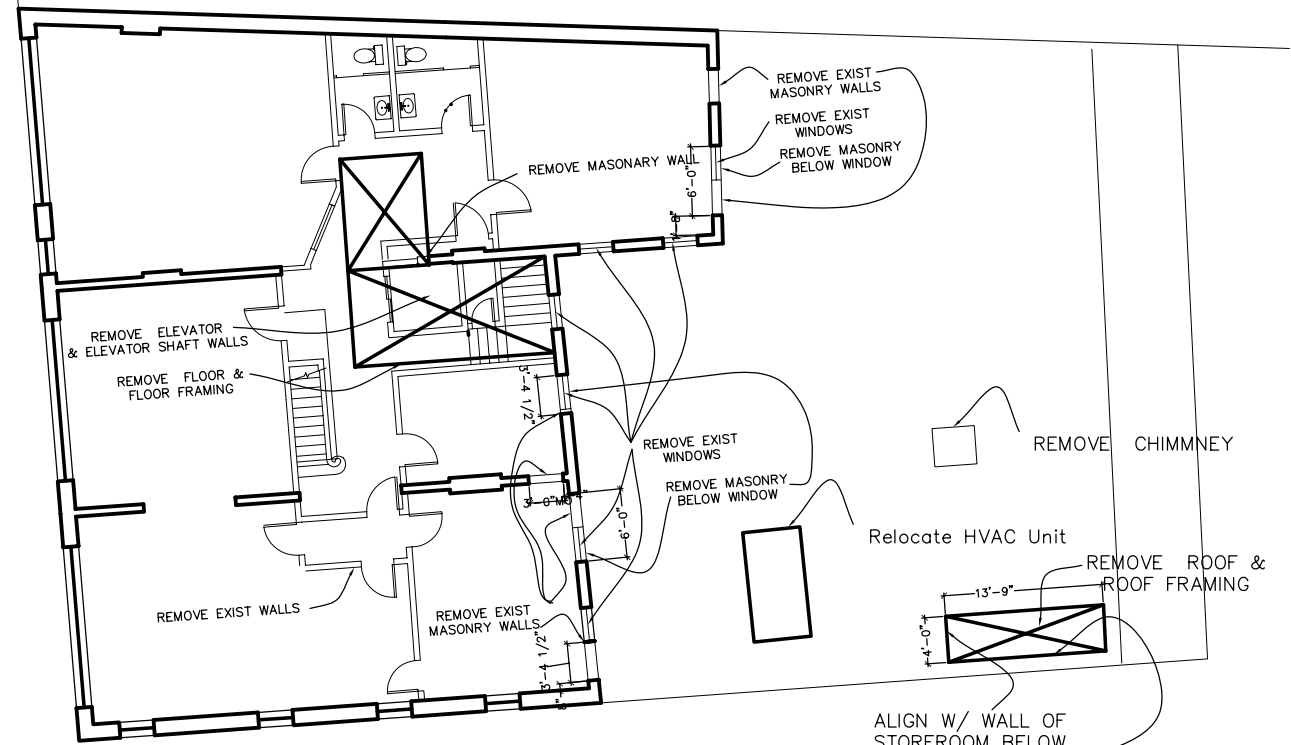
STRUCTURAL ENGINEER:

Structural Design Consulting, Inc.
22 Oakmont Drive
Old Orchard Beach, ME 04064

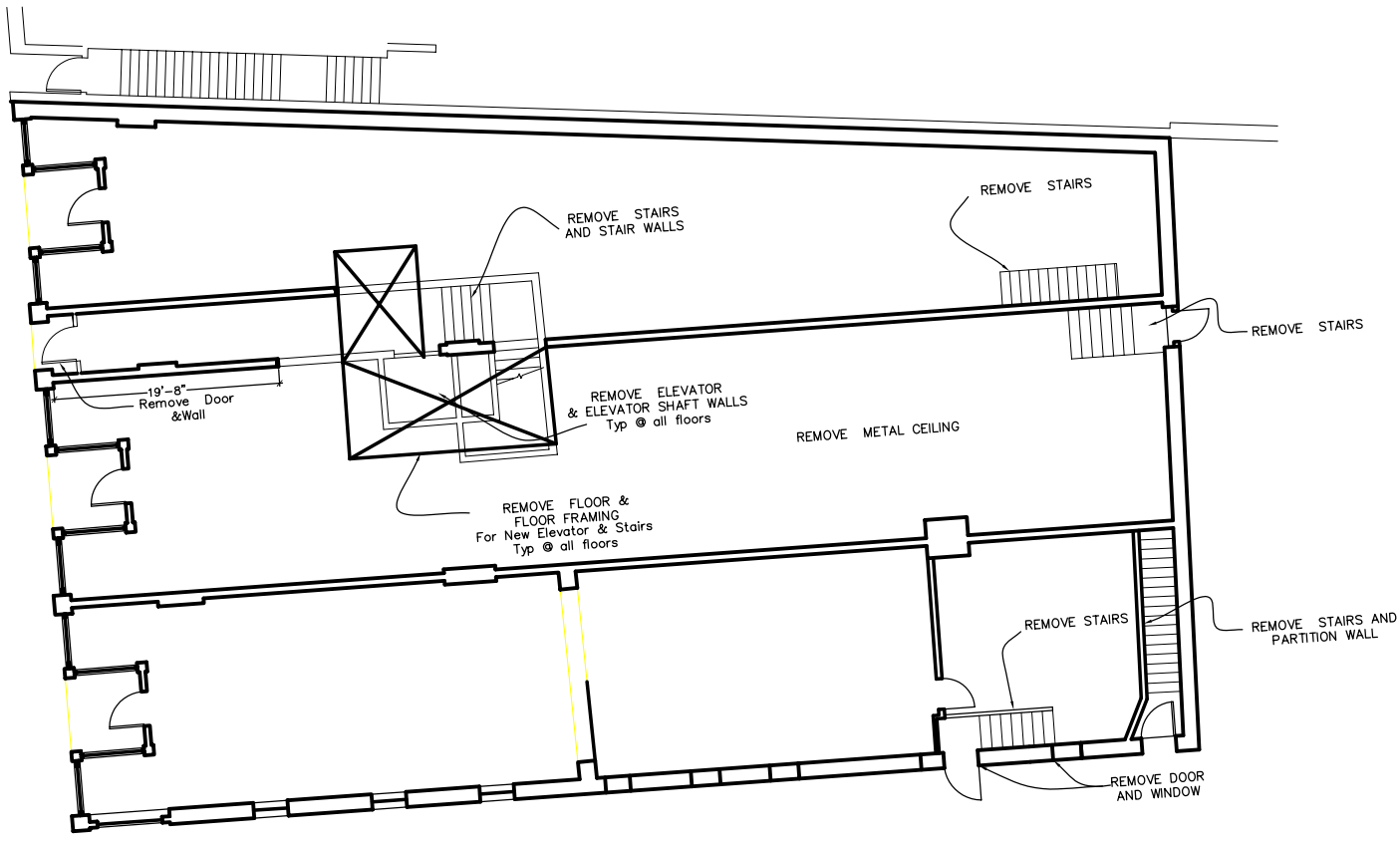
(207) 934-8038

NOTE FOR FLOORS 2 THROUGH 5:
 REMOVE ALL INTERIOR STUD WALLS
 REMOVE ALL INTERIOR PLASTER ON BRICK WALLS
 REMOVE ALL FIN FLOORING DOWN TO WOOD
 REMOVE ALL PLASTER CEILING AND SUSPENDED CEILINGS

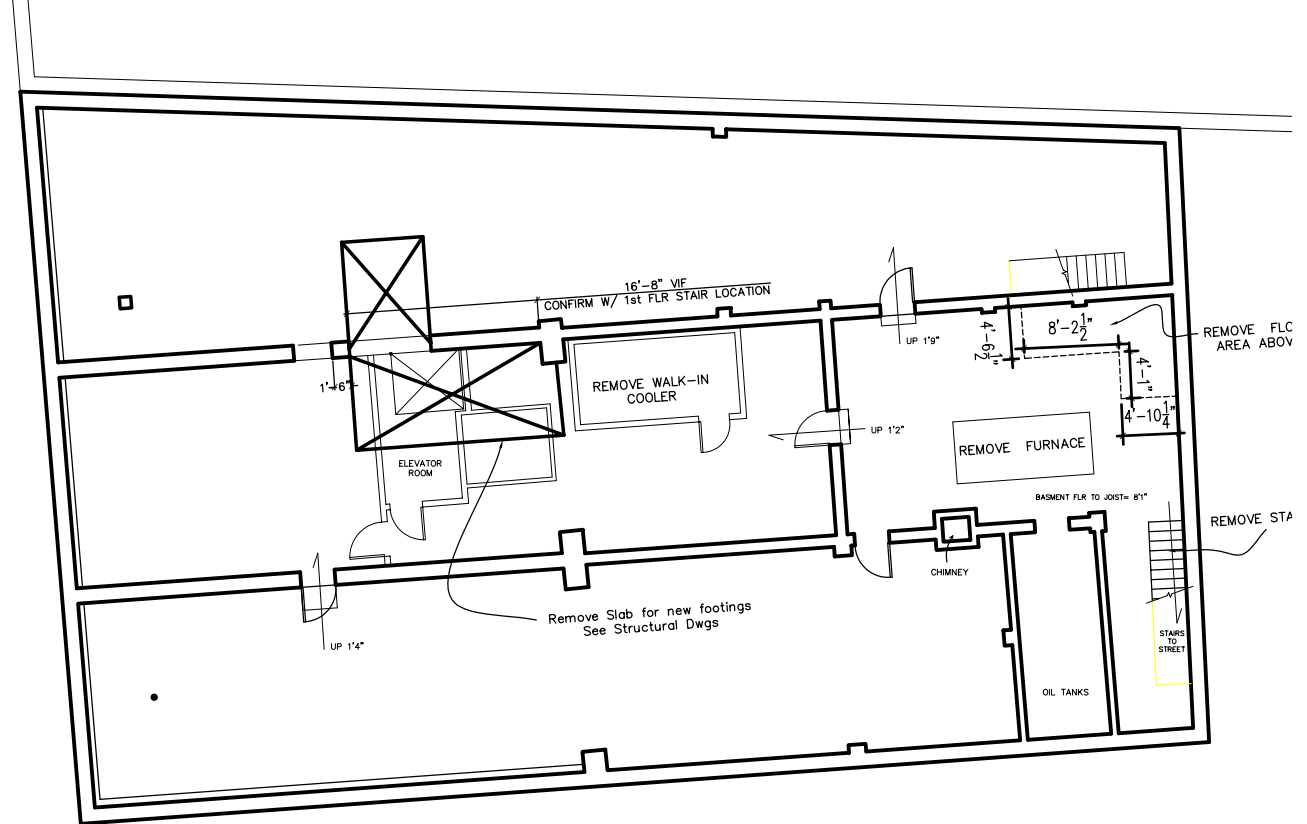
NOTE FOR 1st FLOOR
 REMOVE ALL ACT CEILINGS
 GYPBOARD CEILINGS TO REMAIN



2nd Floor Plan
 Scale: 1/8" = 1'-0"



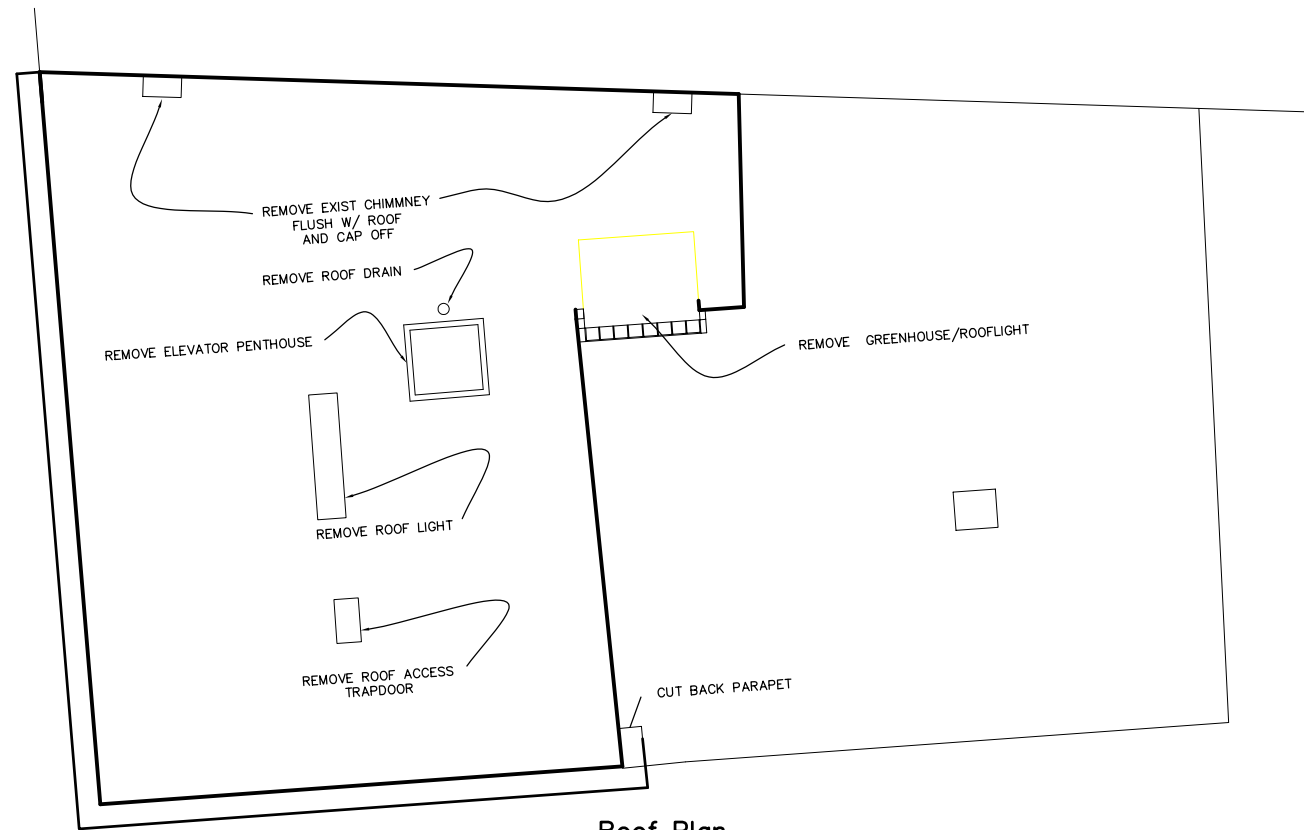
1st Floor Plan
 Scale: 1/8" = 1'-0"



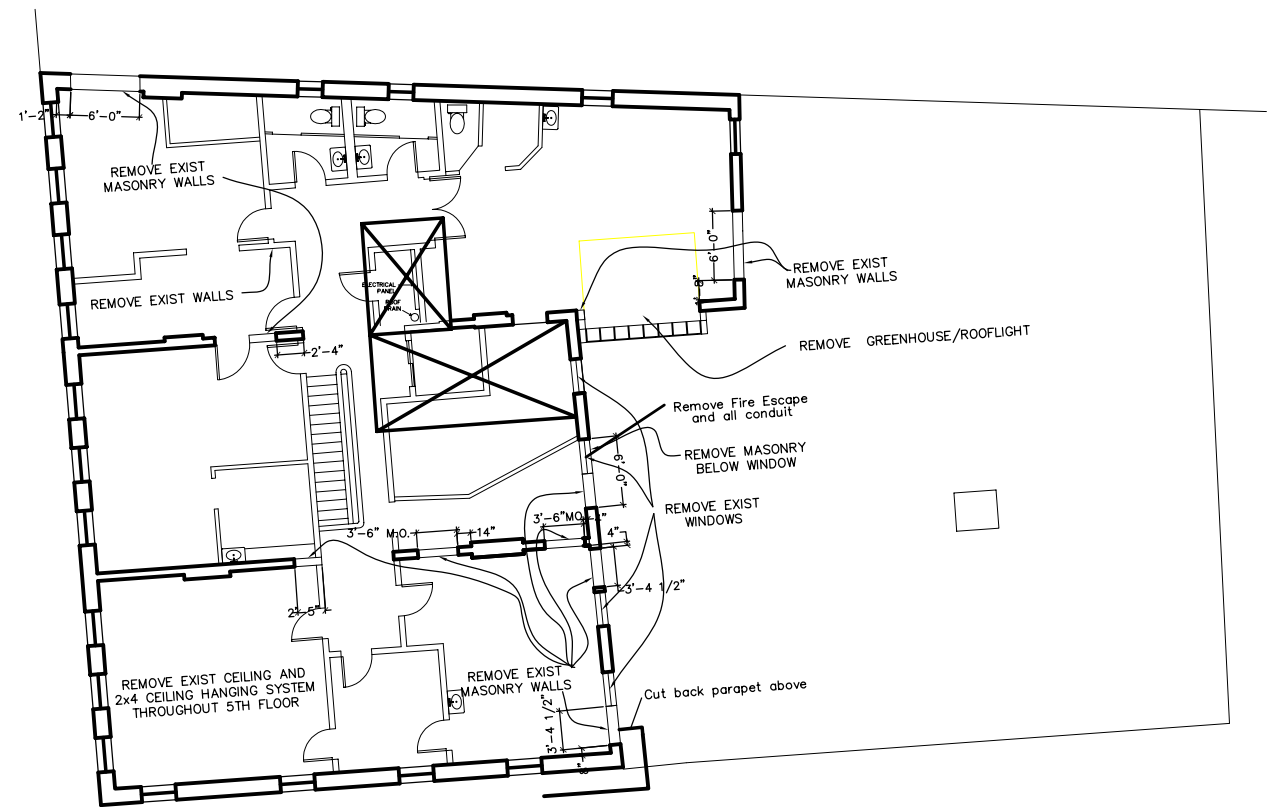
Basement Floor Plan
 Scale: 1/8" = 1'-0"

OWNER:	CONGRESS JOINT DEVELOPMENT, L.L.C.	
	P.O. Box 6799 Scarborough, Maine 04070 (207) 883-3618 Fax (207) 883-8927	
ARCHITECT:	ARCHETYPE, P.A. ARCHITECTS	
	48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	
PROJECT:	WINSLOW LOFTS	
	545 CONGRESS STREET PORTLAND, MAINE	
Date	Scale	1/8" = 1'-0"
Revisions:	OCTOBER 2004	
	DECEMBER 1, 2004	
	DECEMBER 9, 2004	
	JANUARY 18, 2005	
	3-10-05 Issued For Permit	
	APRIL 18, 2005	
DEMO PLANS		
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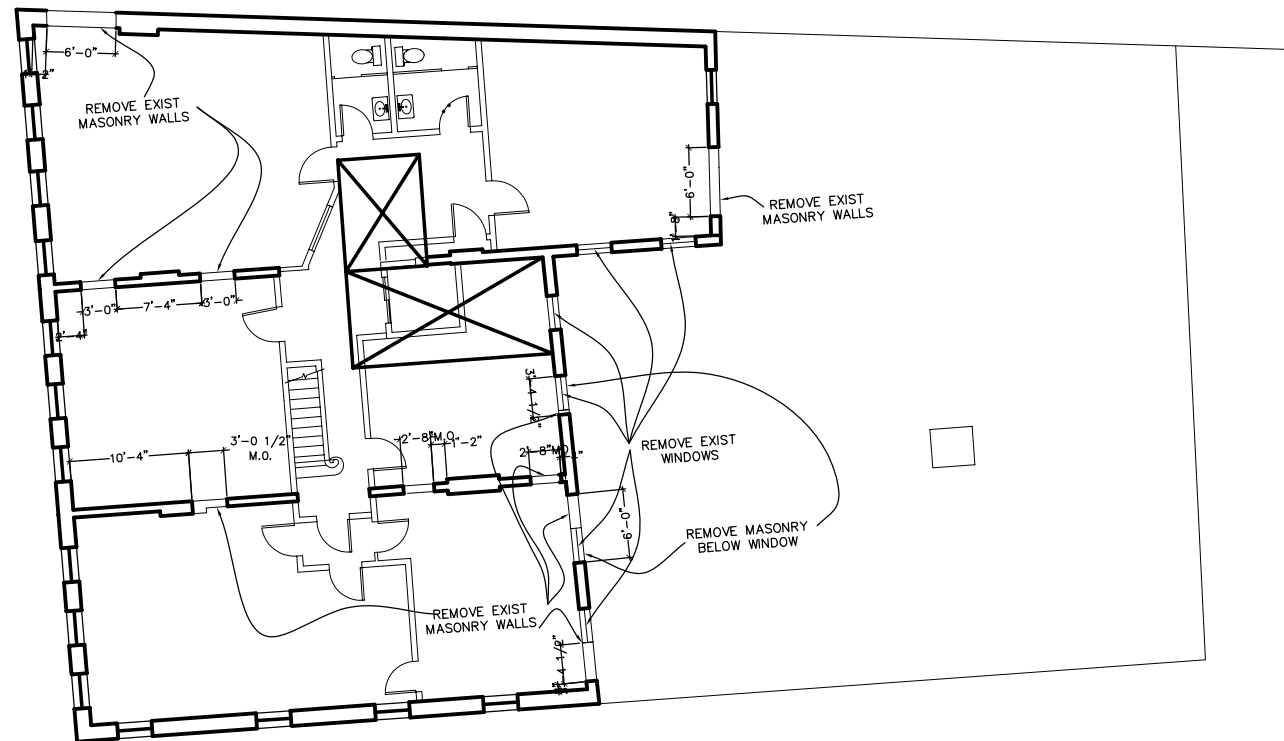
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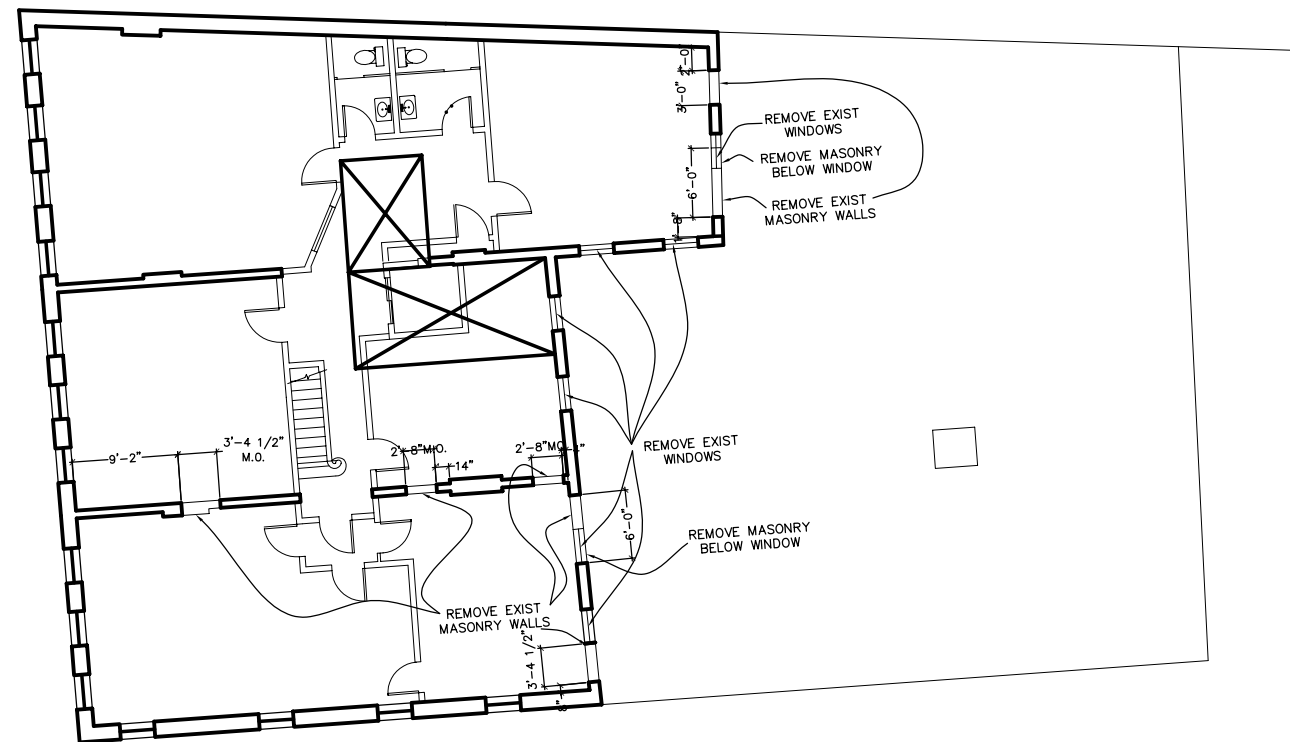
Roof Plan
Scale: 1/8" = 1'-0"



5th Floor Plan
Scale: 1/8" = 1'-0"



4th Floor Plan
Scale: 1/8" = 1'-0"



3rd Floor Plan
Scale: 1/8" = 1'-0"

OWNER:
**CONGRESS JOINT
DEVELOPMENT, L.L.C.**

ARCHITECT:
**ARCHETYPE, P.A.
ARCHITECTS**

PROJECT:
WINSLOW LOFTS
545 CONGRESS STREET
PORTLAND, MAINE

Date	Scale
OCTOBER 2004	1/8" = 1'-0"
Revisions:	
DECEMBER 1, 2004	
DECEMBER 9, 2004	
JANUARY 18, 2005	
3-10-05 Issued For Permit	
APRIL 18, 2005	

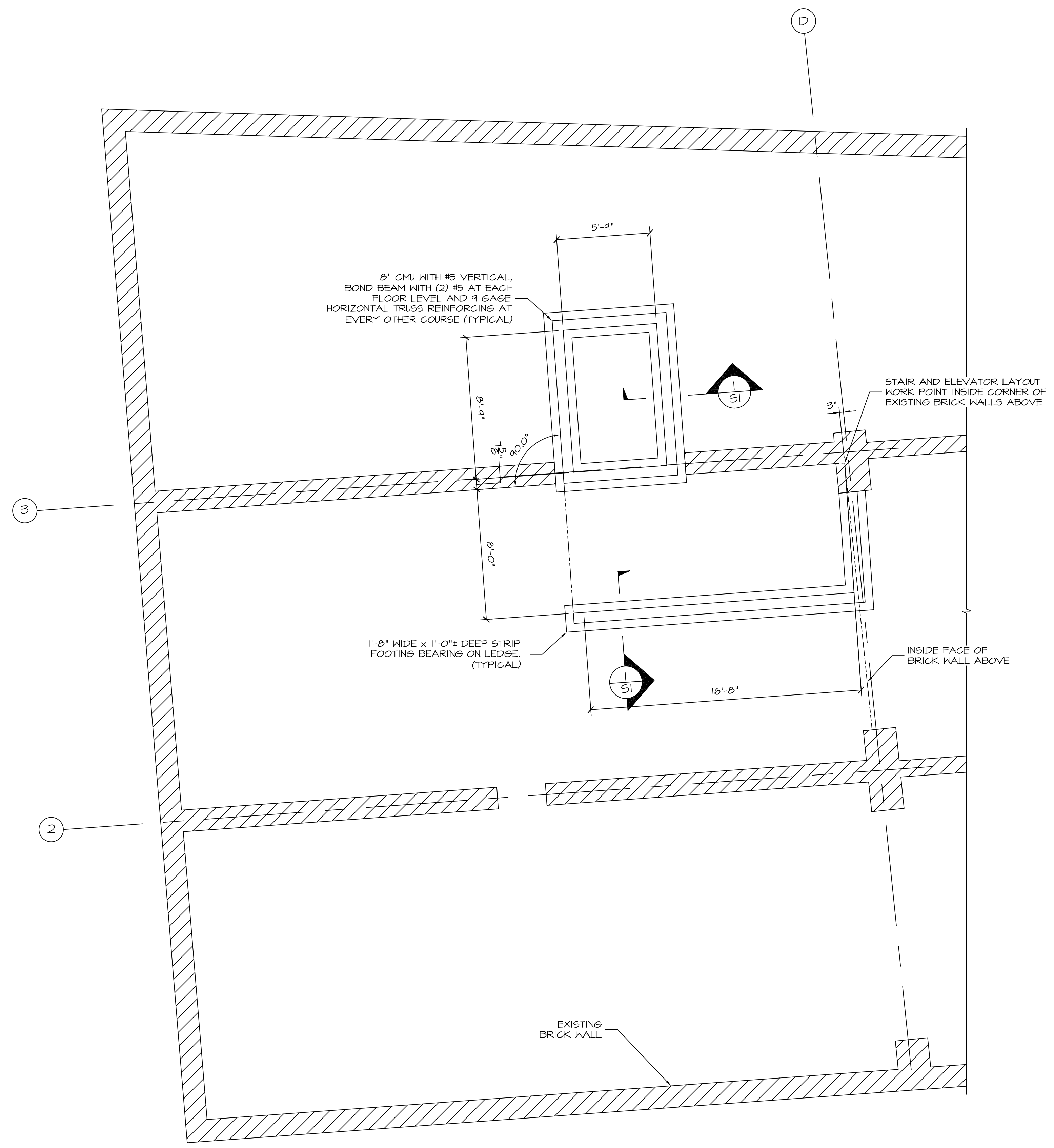
DEMO PLANS

D2

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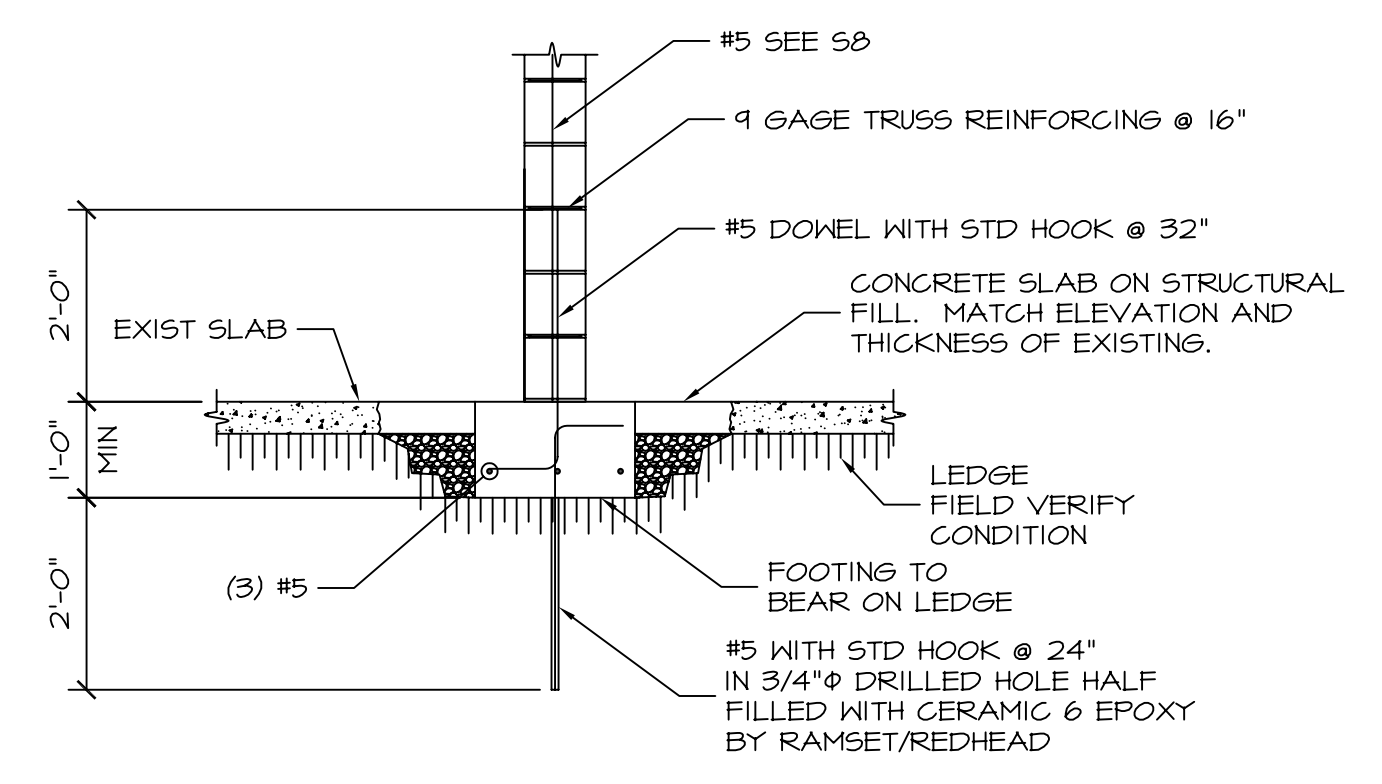
P.O. Box 6799 Scarborough, Maine 04070
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48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056



DESIGN CRITERIA:

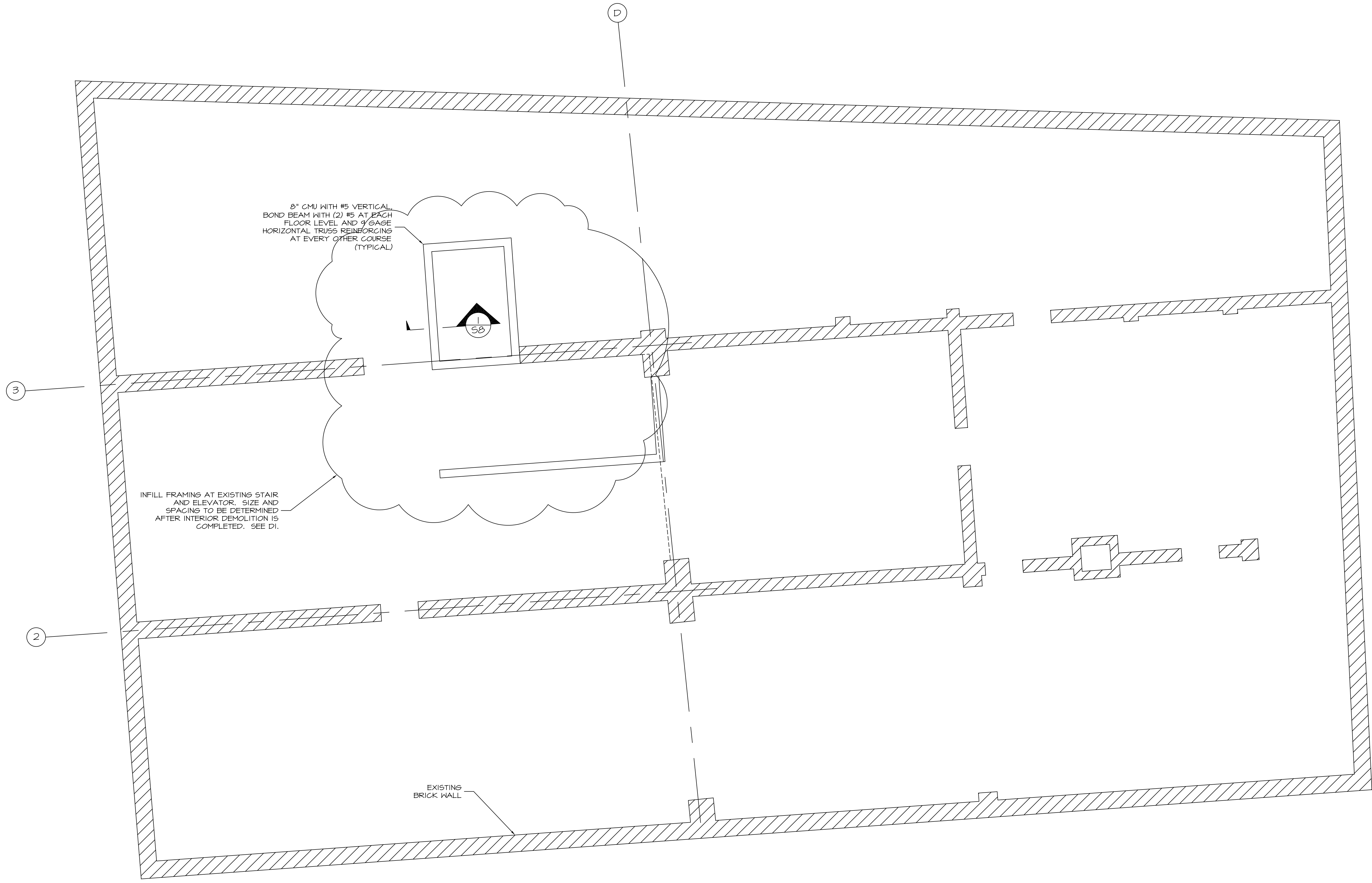
BUILDING CODE	INTERNATIONAL BUILDING CODE/2003
FLOOR LIVE LOAD	
DWELLING UNITS	40 PSF
PUBLIC CORRIDORS AND STAIRS	100 PSF
DEAD LOADS	
FLOORS	17 PSF
ROOF	17 PSF
ROOF SNOW LOAD	
GROUND SNOW LOAD	60 PSF
EXPOSURE FACTOR, C_e	1.0
THERMAL FACTOR, C_t	1.0
IMPORTANCE FACTOR, I_s	1.0
FLAT ROOF SNOW LOAD, P_f	42 PSF
WIND DESIGN DATA	
BASIC WIND SPEED (3 SEC GUST)	100 MPH
WIND IMPORTANCE FACTOR, I_w	1.0
WIND EXPOSURE	B
INTERNAL PRESSURE COEFFICIENT, C_p	±0.18
COMPONENT & CLADDING DESIGN WIND PRESSURE	26.0 PSF
EARTHQUAKE DESIGN DATA	
SEISMIC IMPORTANCE FACTOR, I_e	1.0
SEISMIC USE GROUP	I
SHORT PERIOD SPECTRAL ACCELERATION, S_s	0.375
1 SEC PERIOD SPECTRAL ACCELERATION, S_1	0.100
SITE CLASS	B
SHORT PERIOD 5% DAMPED SPECTRAL RESPONSE ACCELERATION, S_{ds}	0.250
1 SEC 5% DAMPED SPECTRAL RESPONSE ACCELERATION, S_{d1}	0.067
SEISMIC DESIGN CATEGORY	B
BASIC SEISMIC FORCE RESISTING SYSTEM	ORDINARY REINFORCED MASONRY SHEAR WALLS
DESIGN BASE SHEAR, V	544K
DEFLECTION AMPLIFICATION FACTOR, C_d	1.3/4
RESPONSE MODIFICATION FACTOR, R	2 1/2
ANALYSIS PROCEDURE	SIMPLIFIED ANALYSIS PROCEDURE



SECTION 1
 1/2"=1'-0" S1

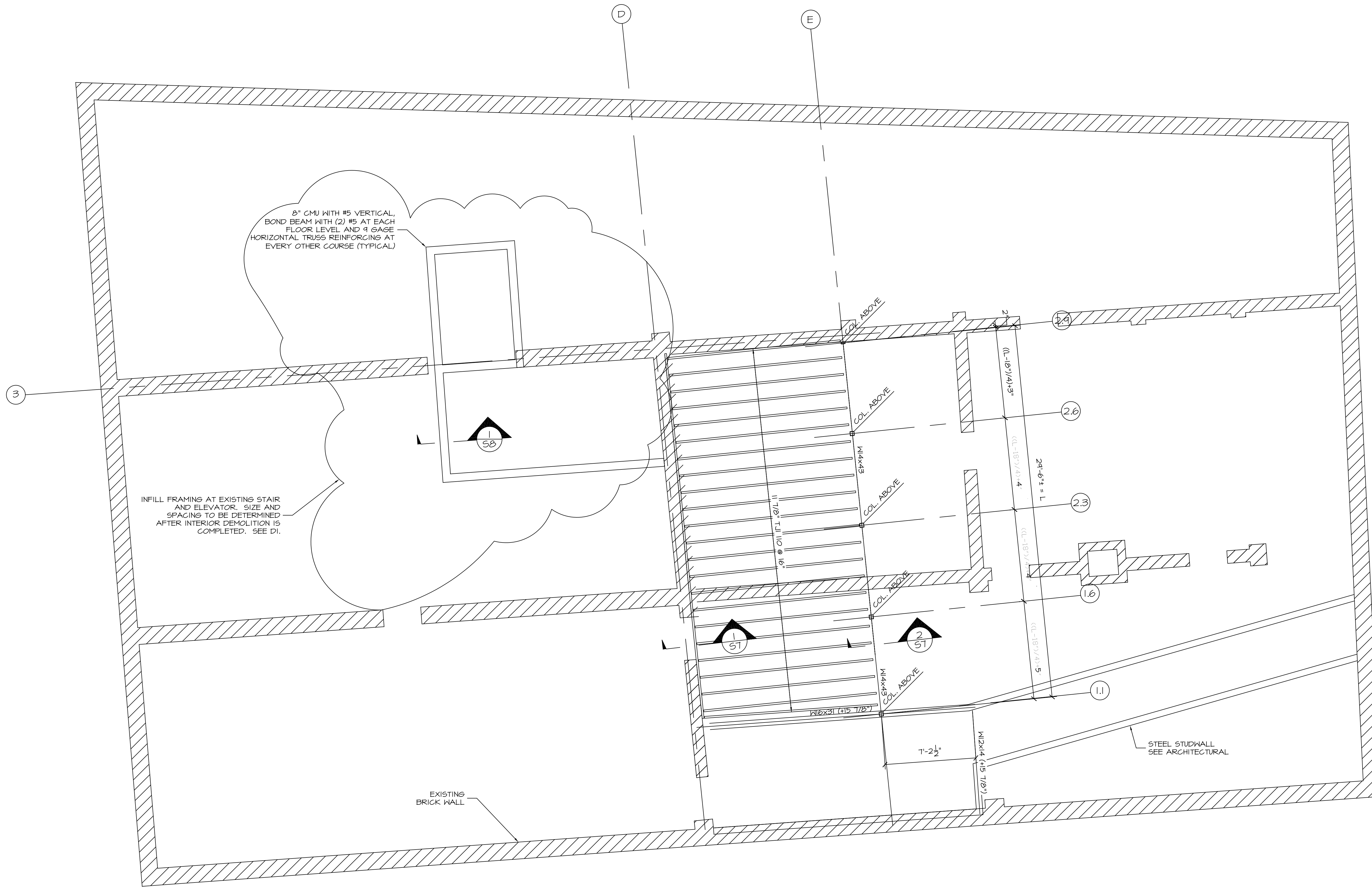
FOUNDATION PLAN
 1/4"=1'-0"

	OWNER:	
ARCHETYPE, P.A. ARCHITECTS	WINSLOW LOFTS	CONGRESS STREET PORTLAND, MAINE
48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Project:	Date: APRIL 22, 2005
Scale: 1/4" = 1'-0"	Revisions:	Date: APRIL 22, 2005
FOUNDATION PLAN GENERAL NOTES	S1	



1ST FLOOR FRAMING PLAN
 1/4"=1'-0"

ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056		OWNER:	
		WINSLOW LOFTS CONGRESS STREET PORTLAND, MAINE	
Date	APRIL 22, 2005	Scale	1/4" = 1'-0"
Revisions:			
FIRST FLOOR FRAMING PLAN		Project:	
		WINSLOW LOFTS CONGRESS STREET PORTLAND, MAINE	
S2		Project:	
		WINSLOW LOFTS CONGRESS STREET PORTLAND, MAINE	



2ND FLOOR FRAMING PLAN
 1/4"=1'-0"
 TOP OF STEEL ELEV = 116'-3" UNLESS NOTED (+X").

OWNER:

**ARCHETYPE, P.A.
 ARCHITECTS**

48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

Project:

Date: APRIL 22, 2005

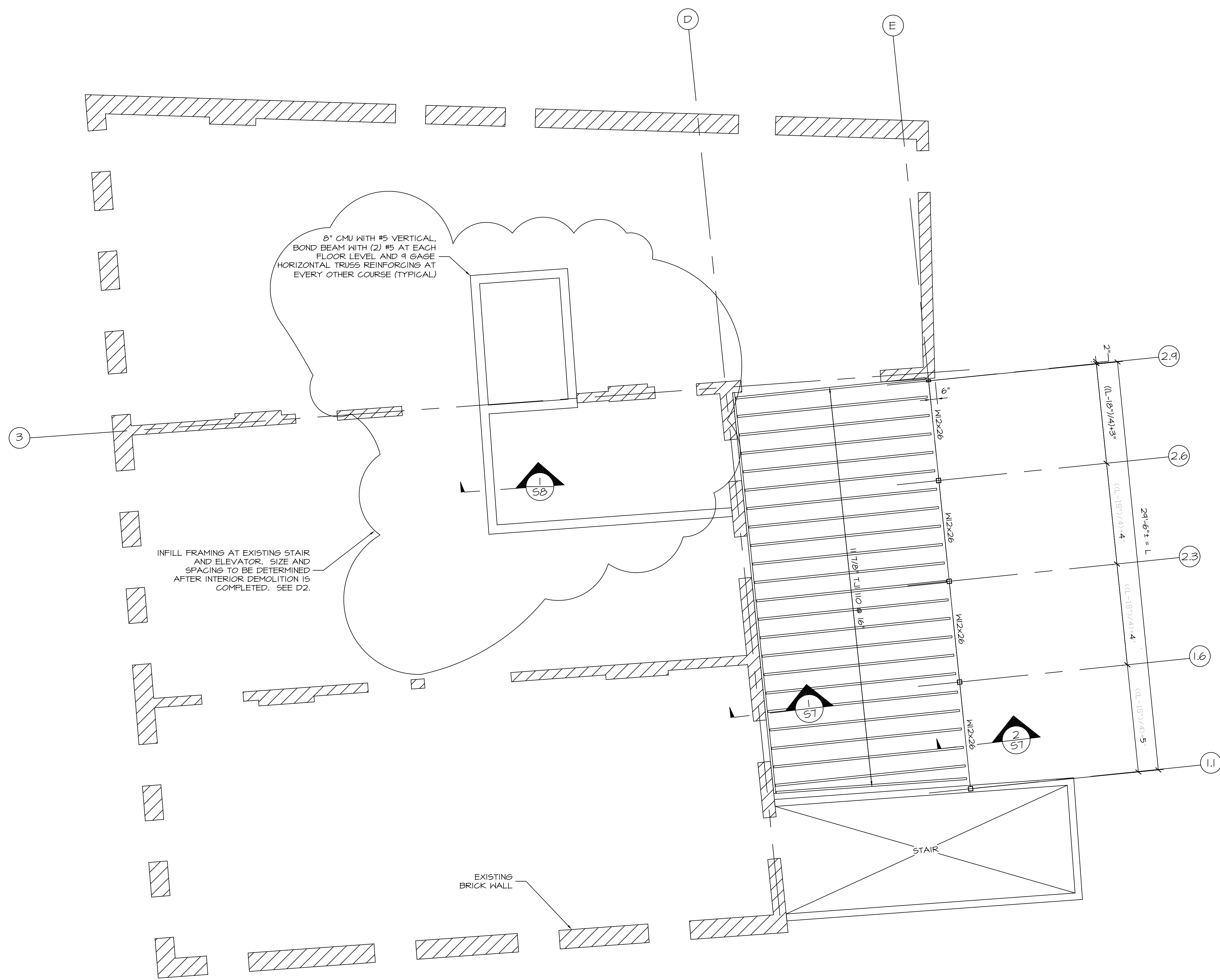
Scale: 1/4" = 1'-0"

Revisions:

WINSLOW LOFTS
 CONGRESS STREET
 PORTLAND, MAINE

**SECOND FLOOR
 FRAMING PLAN**

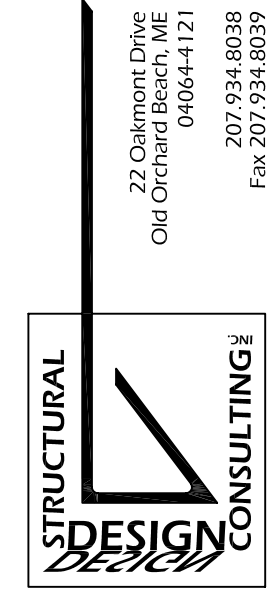
S3



3RD, 4TH & 5TH FLOOR FRAMING PLAN
 1/4"=1'-0"

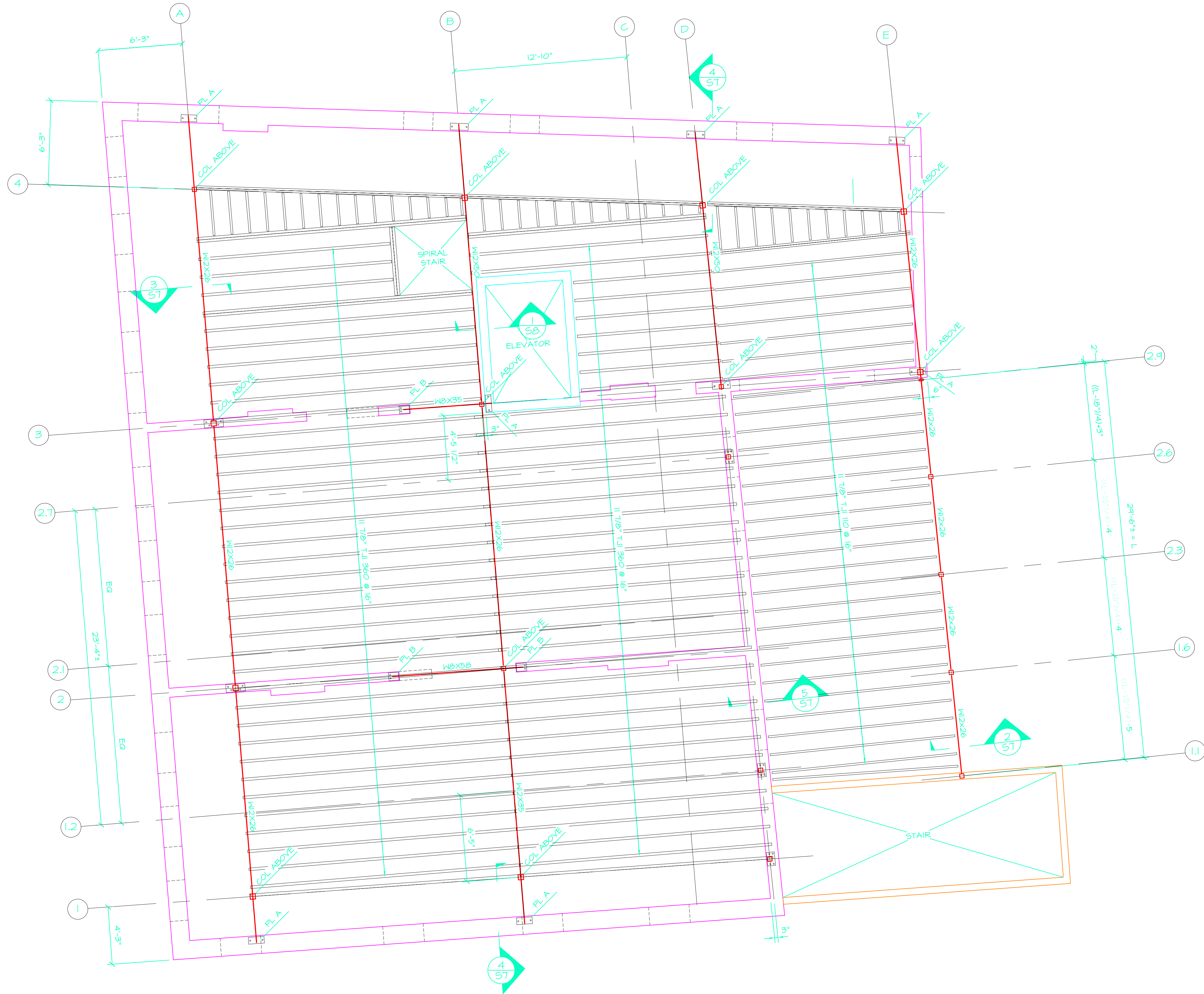
3RD FLOOR TOP OF STEEL ELEV = 126'-4 3/4"
 4TH FLOOR TOP OF STEEL ELEV = 137'-4 3/4"
 5TH FLOOR TOP OF STEEL ELEV = 147'-6 3/4"

SIZES AND LOCATIONS OF MASONRY WALL OPENINGS VARY AT EACH LEVEL. SEE ARCHITECTURAL DRAWINGS AND MASONRY LINTEL SCHEDULE FOR ADDITIONAL INFORMATION.

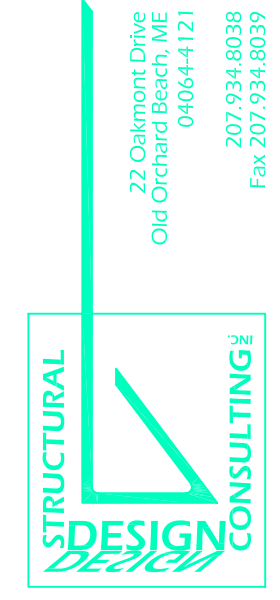


22 Orono Drive
 Old Orchard Beach, ME 04064-1121
 207.934.8038
 Fax: 207.934.8039

OWNER:		ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	
Project:		WINSLOW LOFTS CONGRESS STREET PORTLAND, MAINE	
Date	Scale	Revisions:	
APRIL 22, 2005	1/4" = 1'-0"		
3RD, 4TH & 5TH FLOOR FRAMING PLAN			
S4			

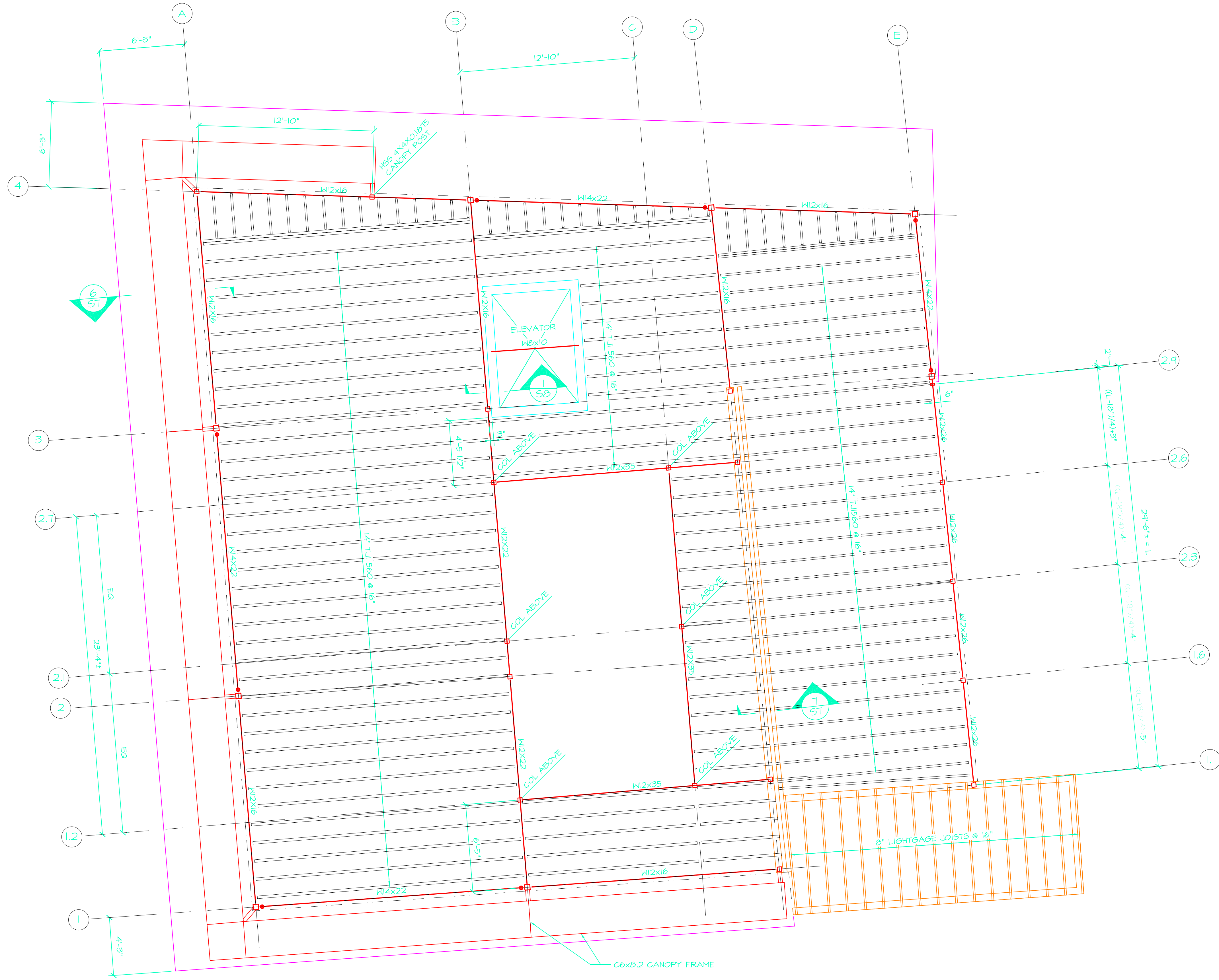


6TH FLOOR FRAMING PLAN
 1/4"=1'-0"
 LAYOUT NOTES:
 GRIDS A, B AND C ARE PARALLEL TO EXISTING SOUTH EXTERIOR WALL.
 GRIDS 2 AND 3 ARE AT THE CENTERLINE OF EXISTING BRICK WALLS.
 GRID D IS LOCATED 3" FROM THE INSIDE FACE OF THE EXISTING BRICK WALL.
 GRID E IS PARALLEL TO GRID D.
 GRID 4 IS PARALLEL TO EXISTING WEST EXTERIOR WALL.
 GRIDS 1.2, 2.1 AND 2.7 ARE PERPENDICULAR TO GRIDS B AND C.
 GRIDS 1.6, 2.3 AND 2.6 ARE PERPENDICULAR TO GRIDS D AND E.
 TOP OF STEEL ELEVATION = 161'-4" (1" ABOVE THE HIGH POINT OF EXISTING BRICK PERIMETER WALLS).

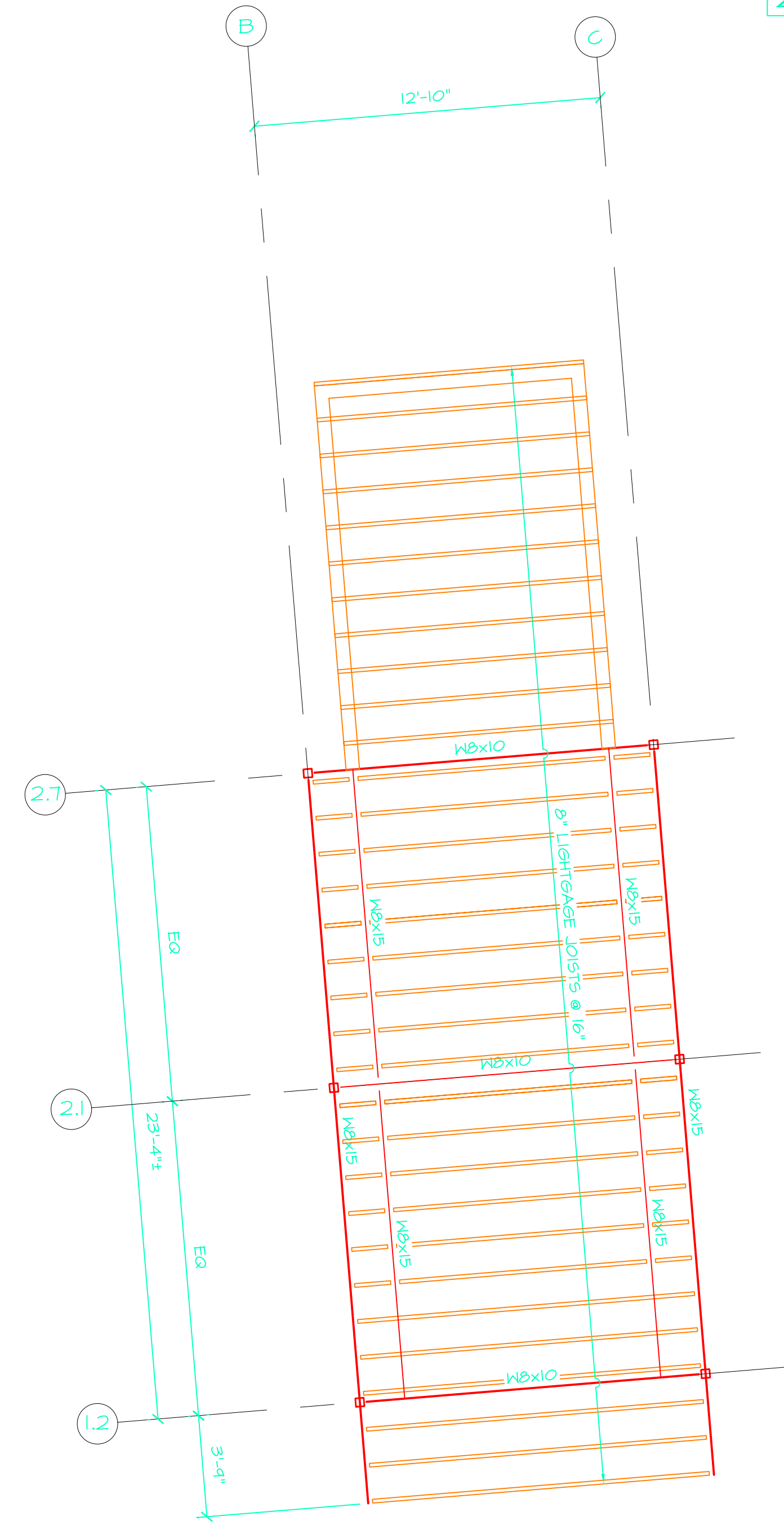


22 Cambridge Drive
 Old Orchard Beach, ME 04064-1121
 207.934.8038
 Fax: 207.934.8039

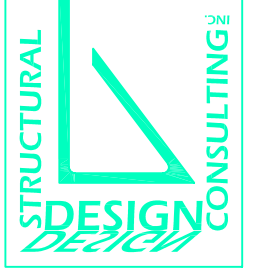
OWNER:		ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	
Project:		WINSLOW LOFTS CONGRESS STREET PORTLAND, MAINE	
Date:	Scale:	Revisions:	
APRIL 22, 2005	1/4" = 1'-0"		
SIXTH FLOOR FRAMING PLAN			
S5			



ROOF FRAMING PLAN
 1/4"=1'-0"
 TOP OF STEEL ELEV = 114'-6 3/4"
 ● INDICATES MOMENT CONNECTION. SEE S8.



PENTHOUSE ROOF FRAMING PLAN
 1/4"=1'-0"



22 Cambridge Drive
 Old Orchard Beach, ME 04064-1121
 207.934.8038
 Fax: 207.934.8039

OWNER:

**ARCHETYPE, P.A.
 ARCHITECTS**

48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

WINSLOW LOFTS

CONGRESS STREET
 PORTLAND, MAINE

Project:

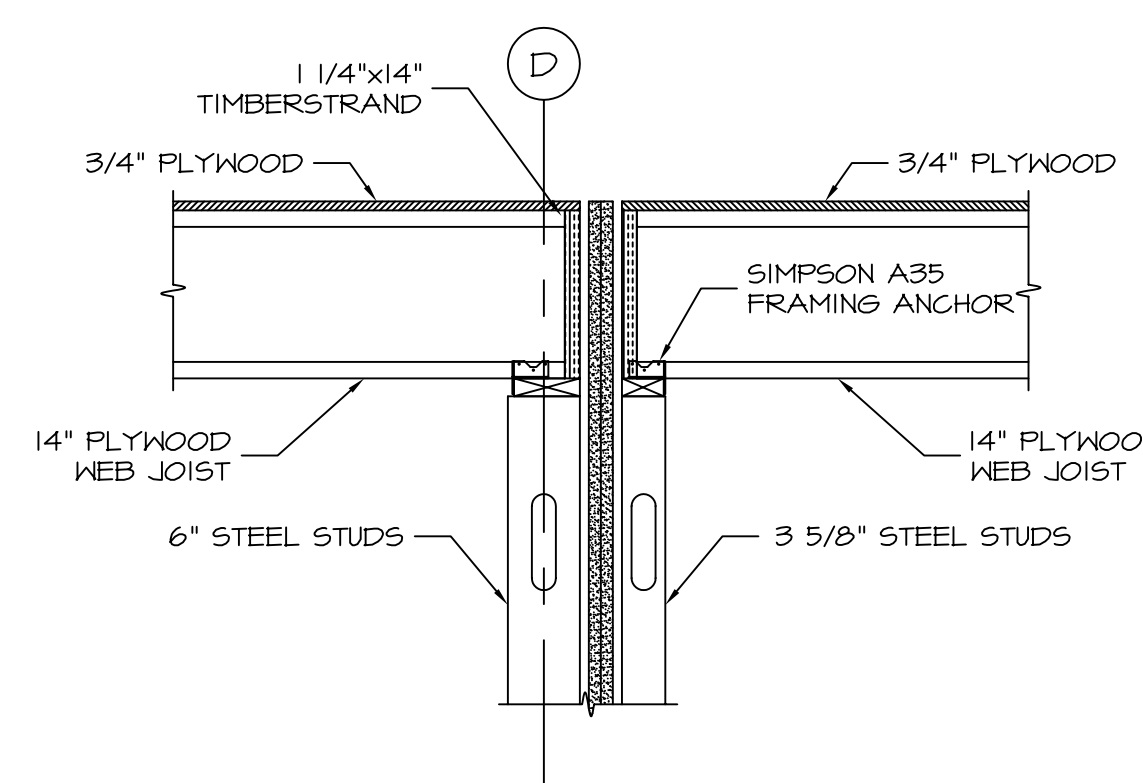
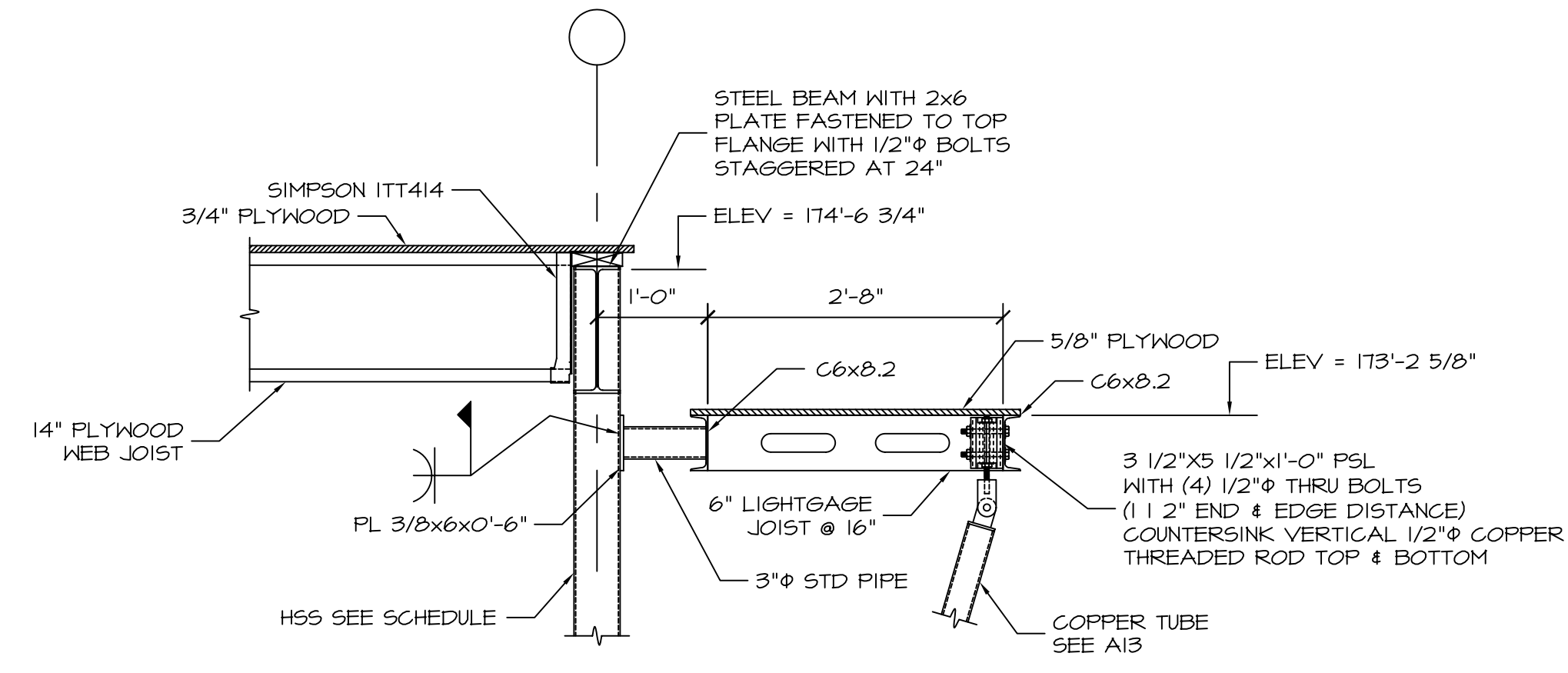
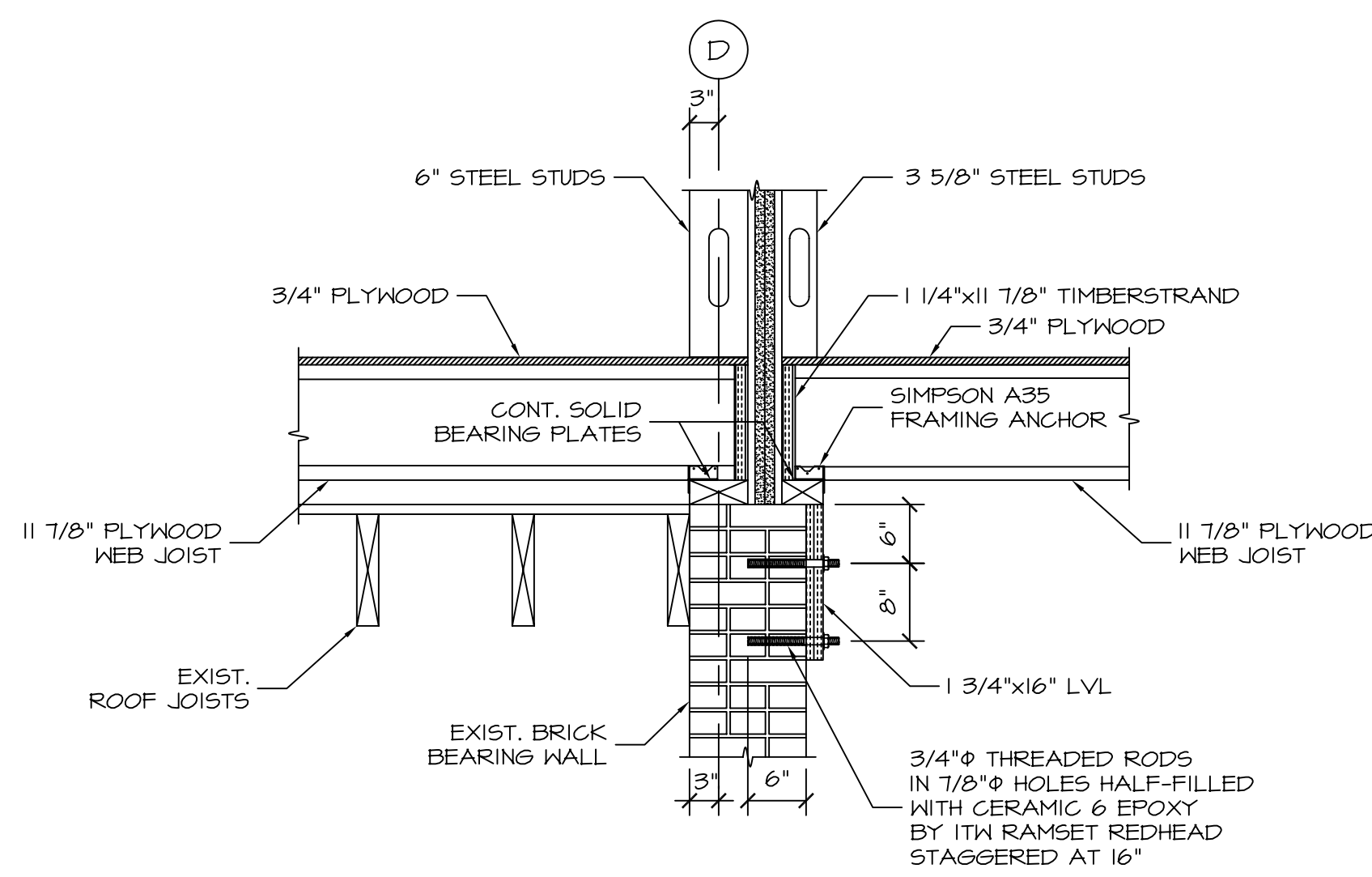
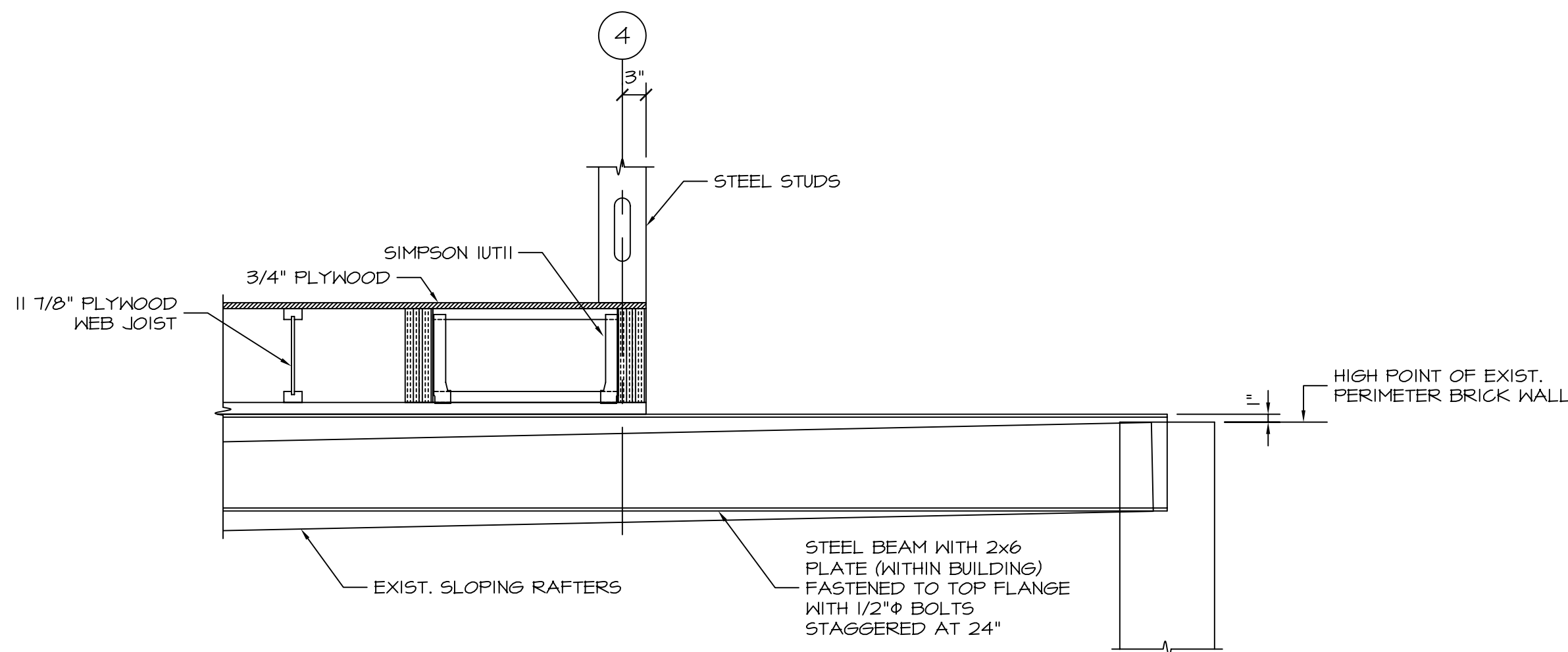
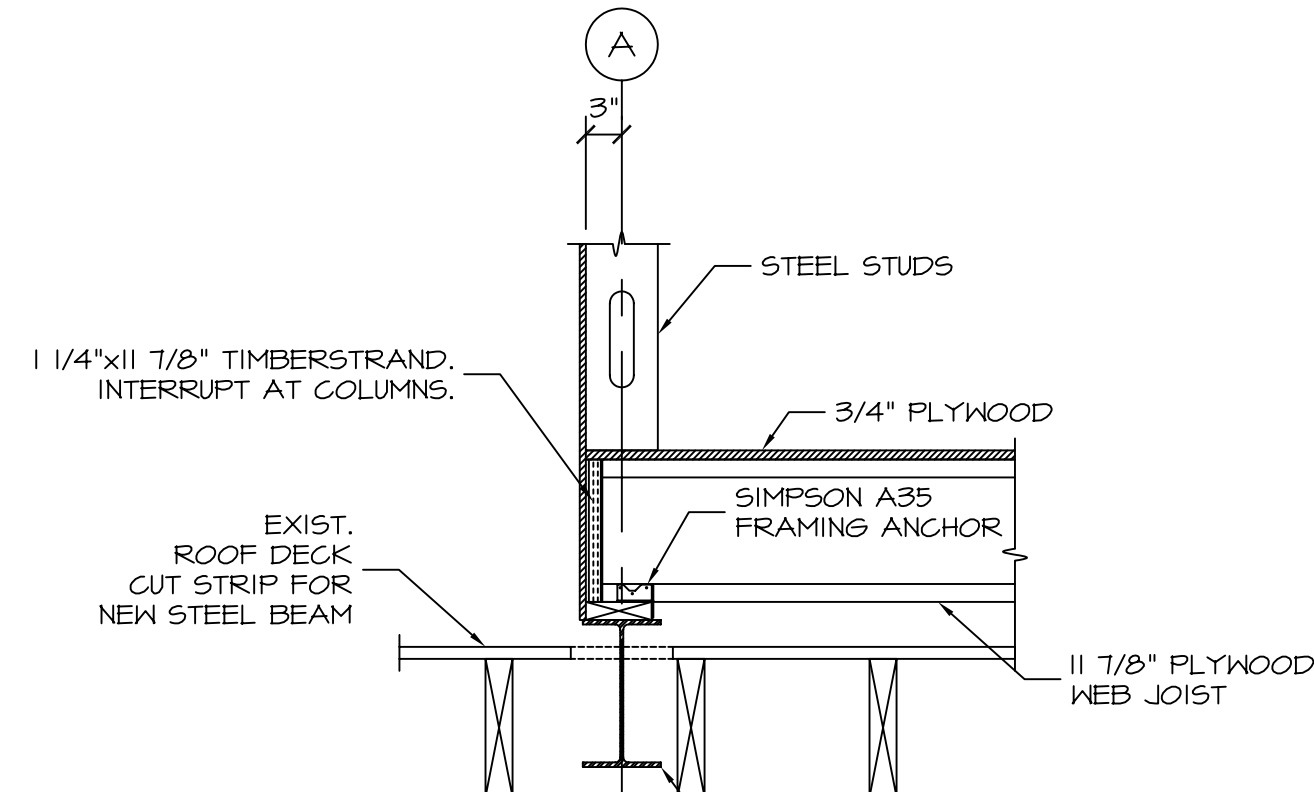
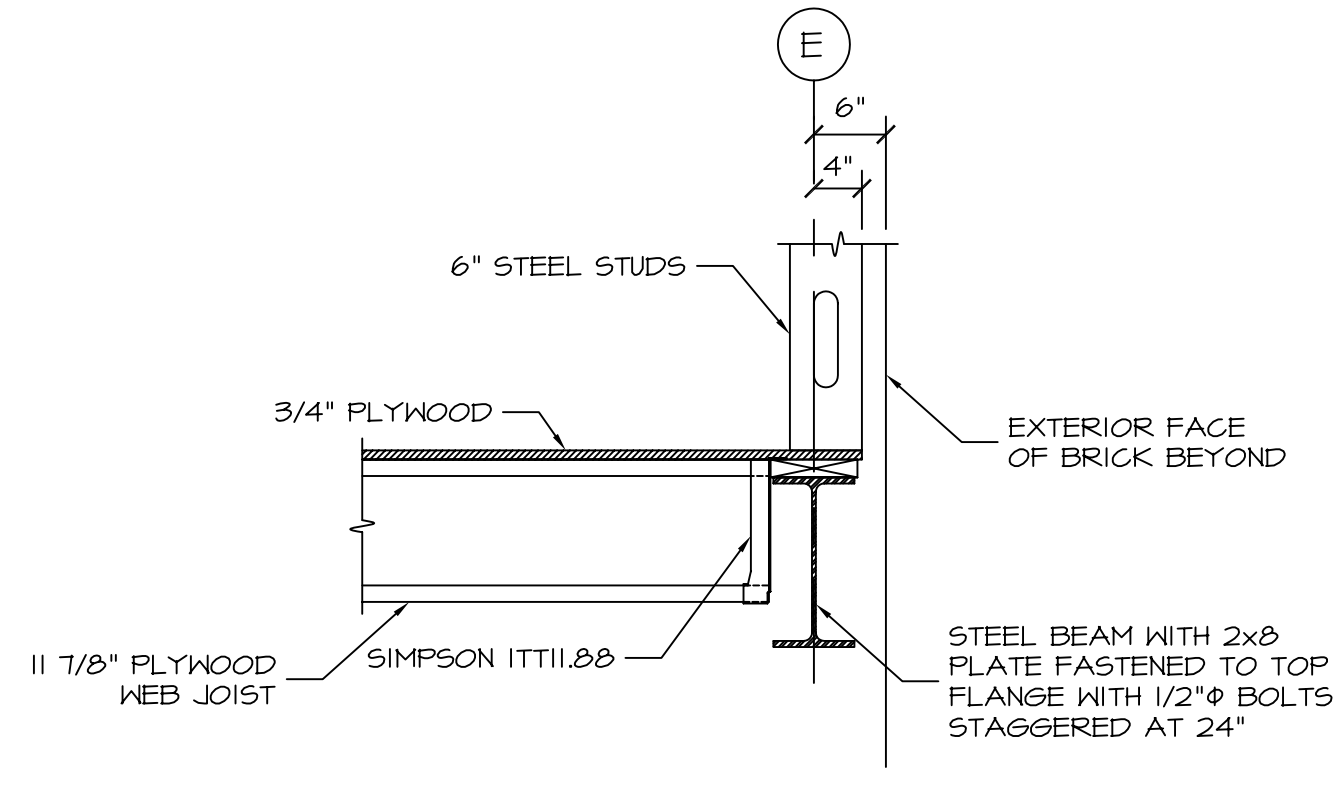
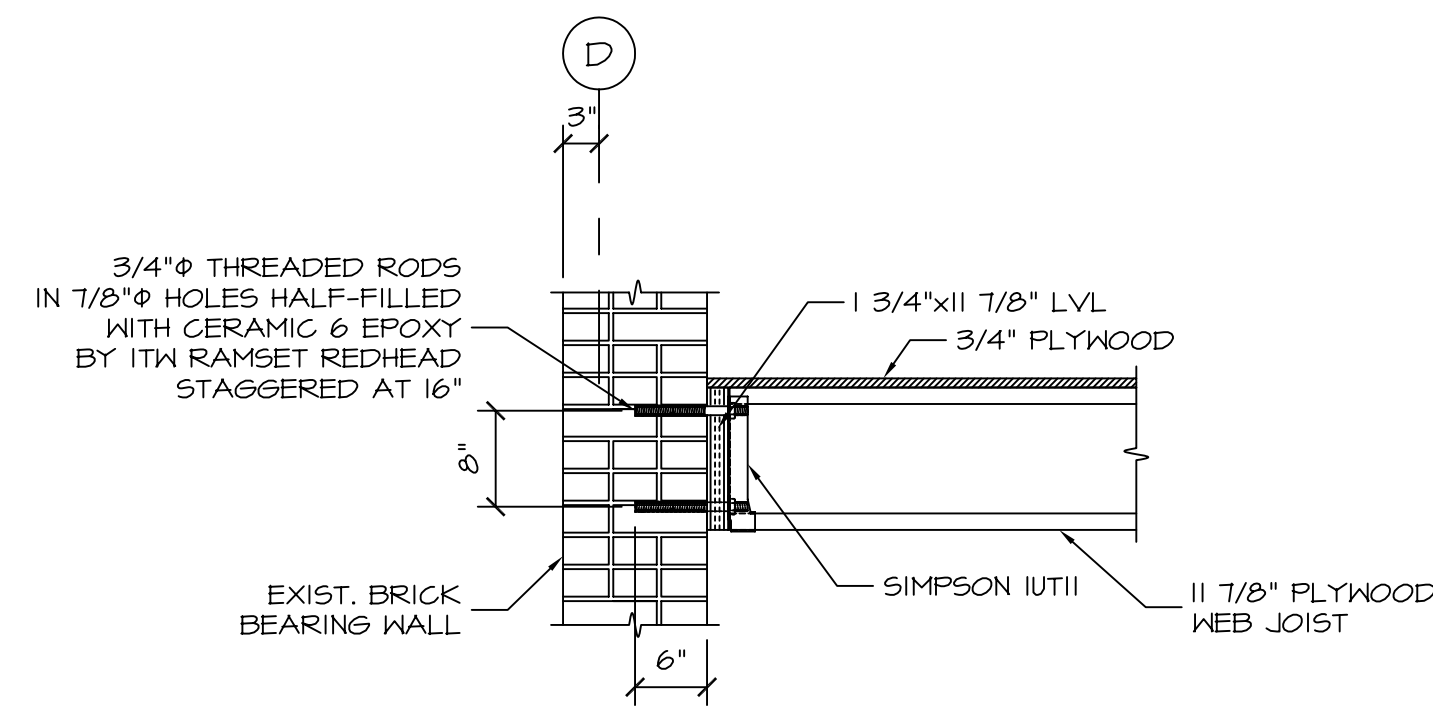
Date: APRIL 22, 2005

Revisions:

Scale: 1/4" = 1'-0"

**ROOF
 FRAMING PLAN**

S6



OWNER:

**ARCHETYPE, P.A.
ARCHITECTS**
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WINSLOW LOFTS
CONGRESS STREET
PORTLAND, MAINE

Project:

Date: APRIL 22, 2005
Scale: 1/4" = 1'-0"
Revisions:

**FRAMING SECTIONS
AND DETAILS**

S7

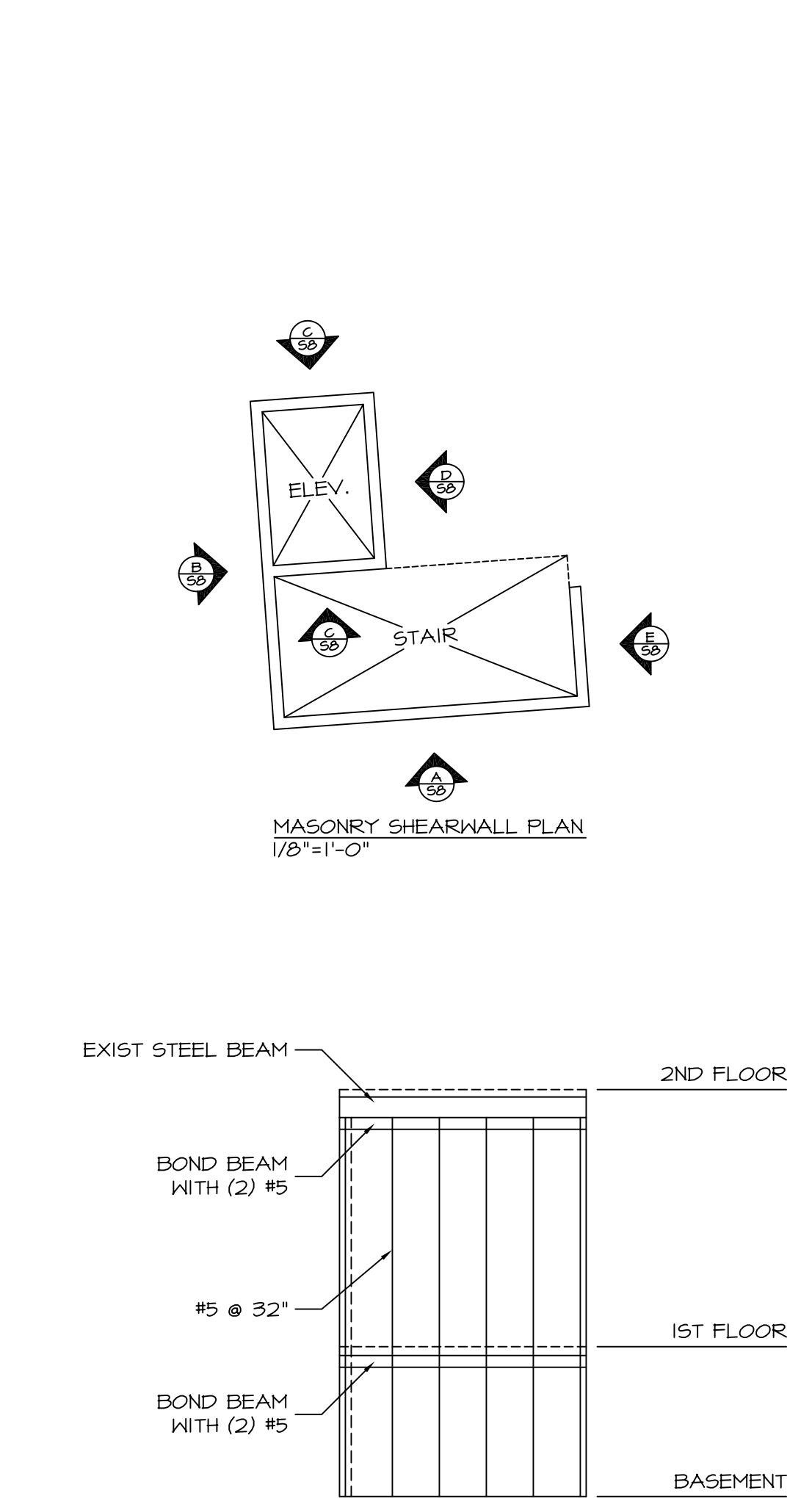
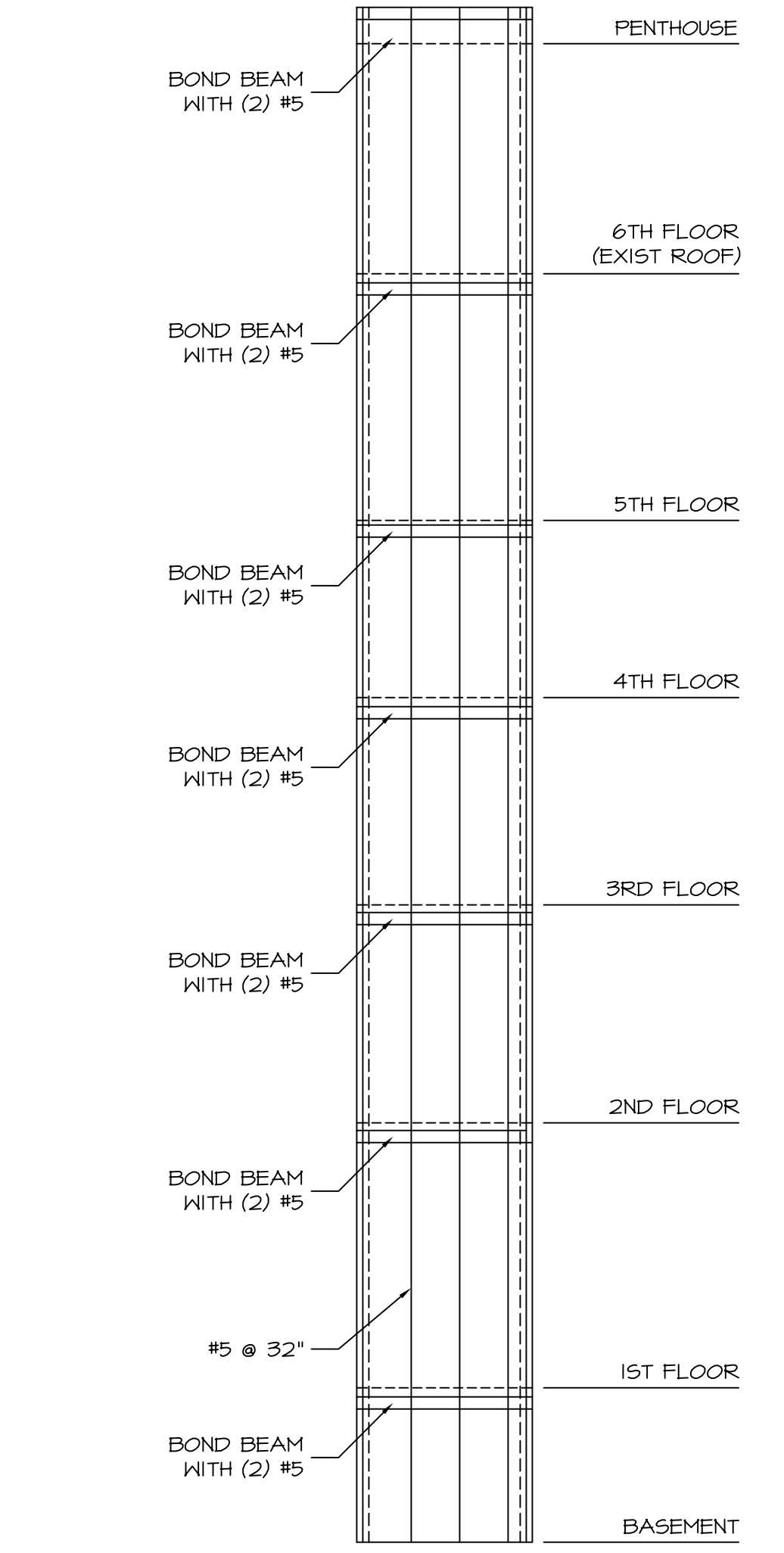
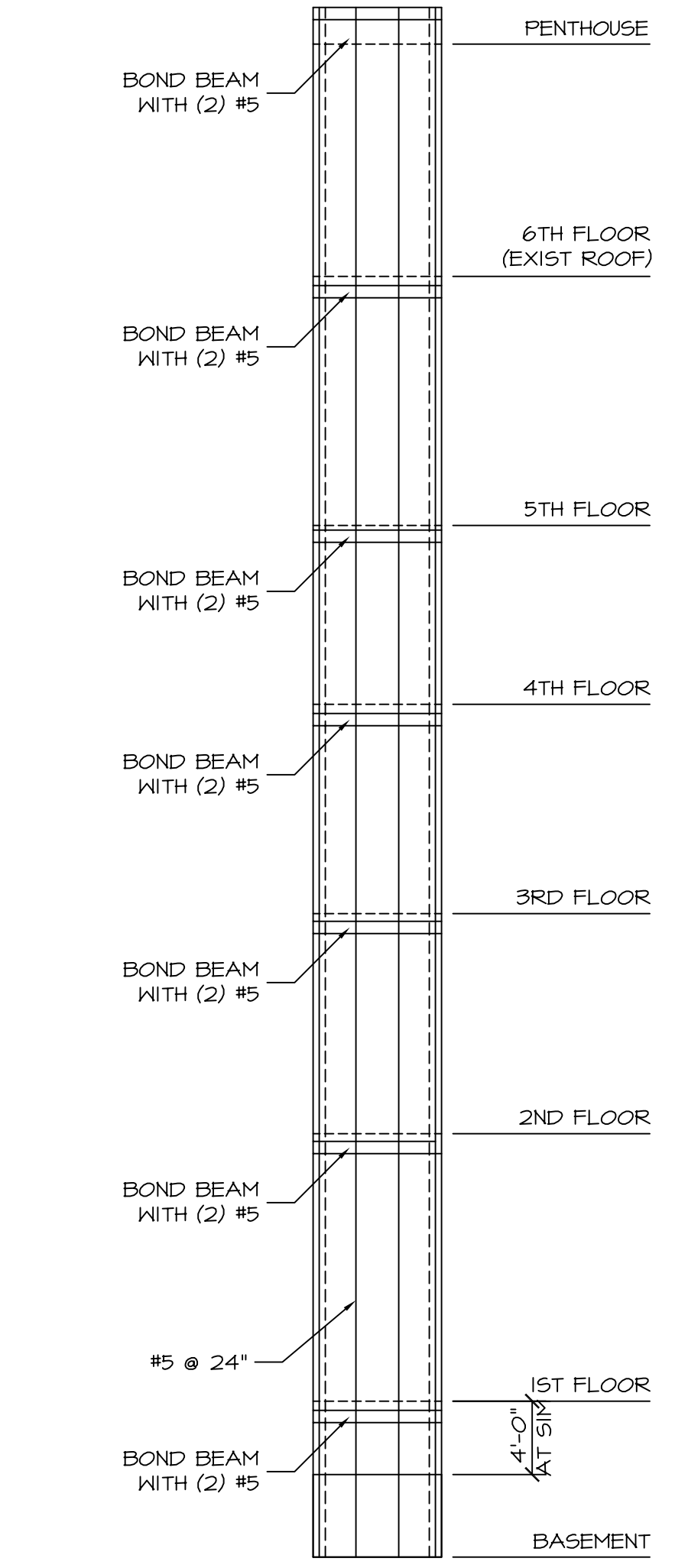
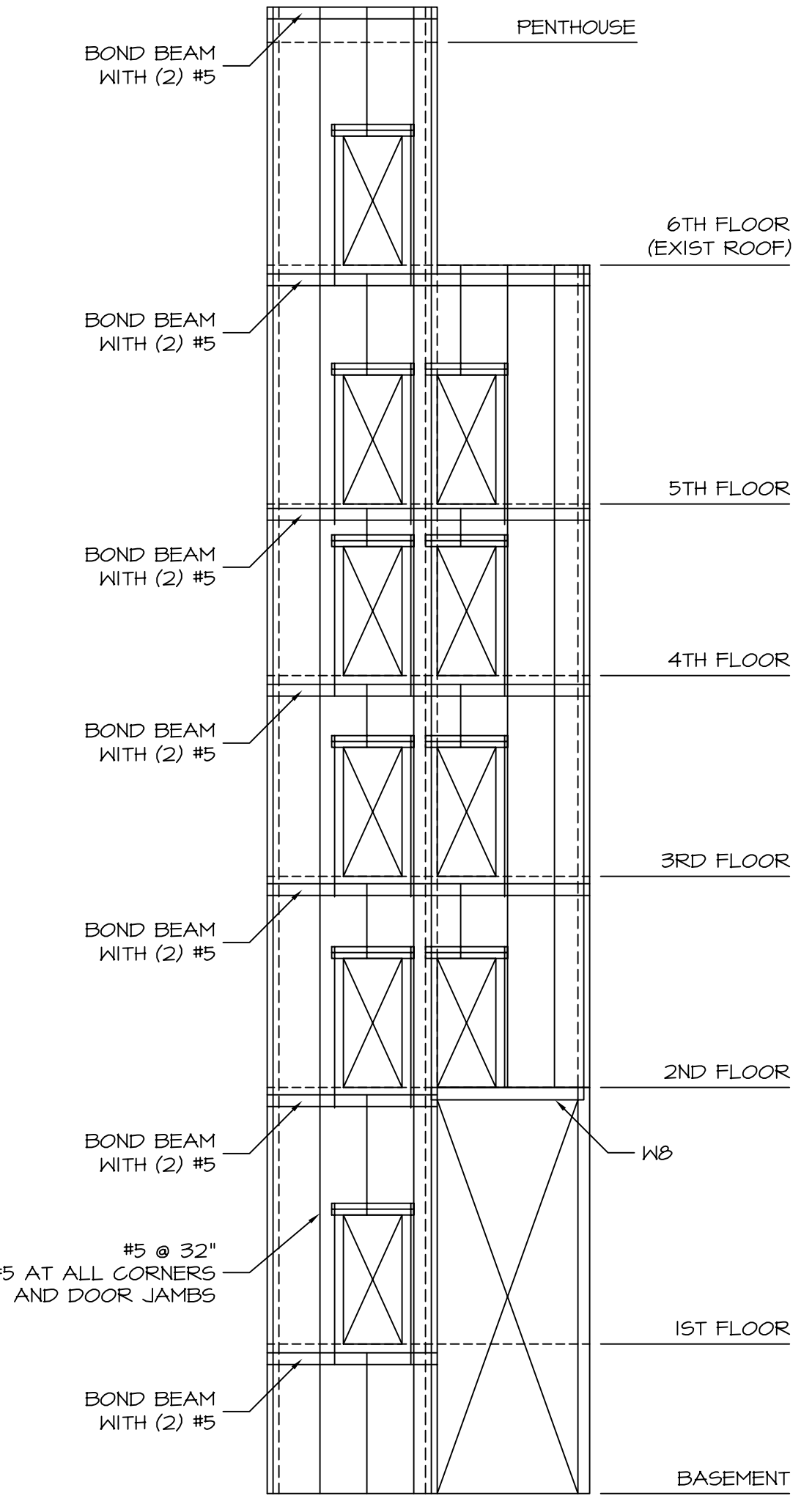
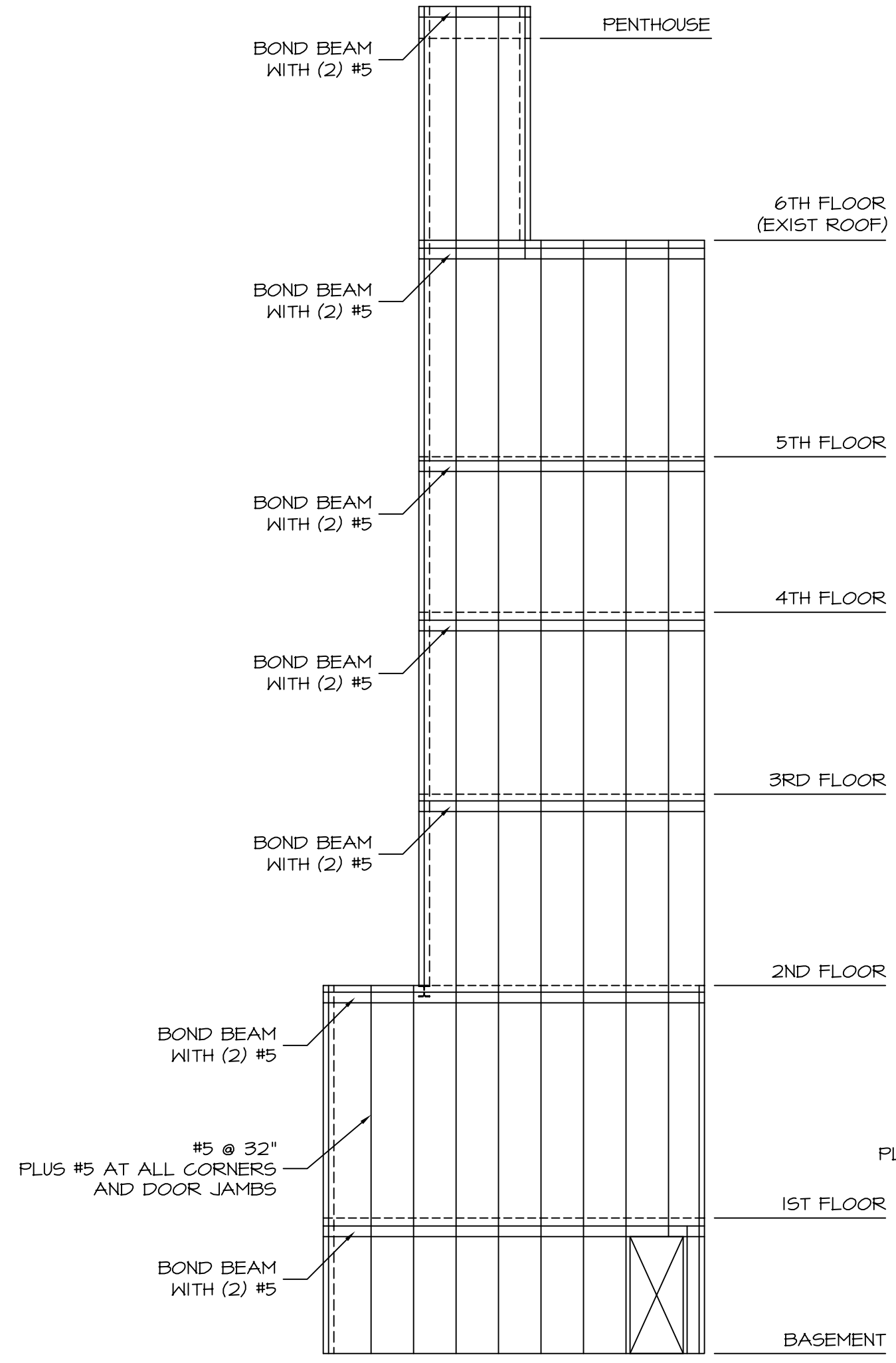
OWNER:
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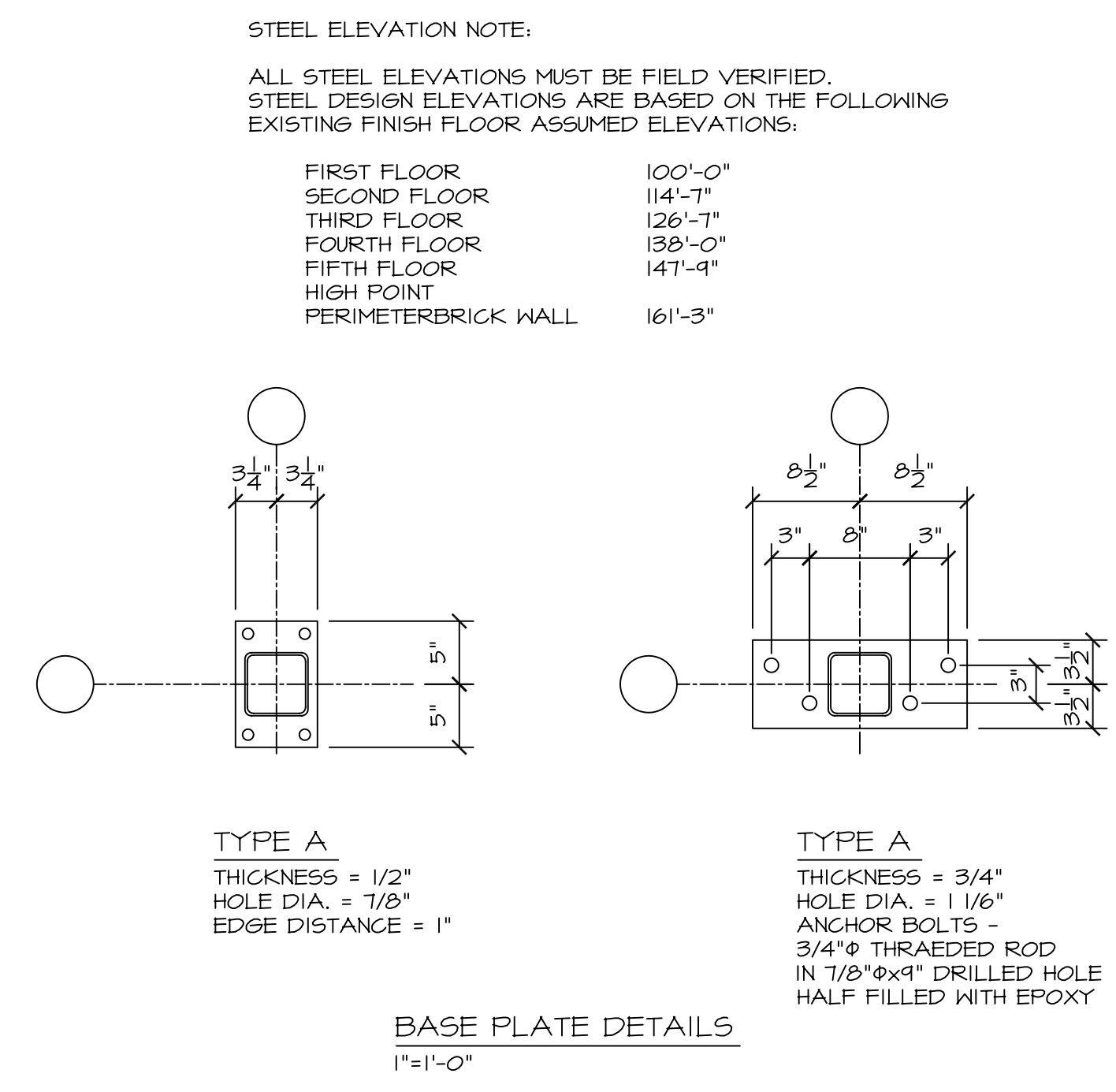
Date: APRIL 22, 2005
Scale: AS NOTED
Revisions:

SHEAWALL DETAILS COLUMN SCHEDULE

S8



COLUMN SCHEDULE					
COLUMN MARK	SIZE	BOT. OF BASE PL. ELEV.	BASE PL. TYPE	TOP OF COLUMN ELEV.	COMMENTS
A-1	H555x5x0.375	161'-4"	A	174'-7 3/4"	
A-2	H555x5x0.375	160'-0"	B	174'-7 3/4"	BEARS ON EXIST. MASONRY. FIELD VERIFY ELEVATION
A-3	H555x5x0.375	160'-0"	B	174'-7 3/4"	BEARS ON EXIST. MASONRY. FIELD VERIFY ELEVATION
A-4	H554x4x0.1875	161'-4"	A	174'-6 3/4"	
B-1	H555x5x0.375	161'-4"	A	174'-7 3/4"	
B-1.2	H554x4x0.1875	174'-6 3/4"	A	185'-2 3/4"	
B-2	H554x4x0.250	161'-4"	A	174'-6 3/4"	
B-2.1	H554x4x0.1875	174'-6 3/4"	A	182'-8 3/4"	
B-2.7	H554x4x0.1875	174'-6 3/4"	A	180'-2 3/4"	
B-3	H554x4x0.250	161'-4"	A	174'-6 3/4"	
B-4	H555x5x0.375	161'-4"	A	174'-7 3/4"	
C-1.2	H554x4x0.1875	174'-6 3/4"	A	185'-2 3/4"	
C-2.1	H554x4x0.1875	174'-6 3/4"	A	182'-8 3/4"	
C-2.7	H554x4x0.1875	174'-6 3/4"	A	180'-2 3/4"	
D-1	H554x4x0.1875	160'-0"	B	174'-6 3/4"	BEARS ON EXIST. MASONRY. FIELD VERIFY ELEVATION
D-1.2	H554x4x0.1875	160'-0"	B	174'-6 3/4"	BEARS ON EXIST. MASONRY. FIELD VERIFY ELEVATION
D-2.7	H554x4x0.1875	160'-0"	B	174'-6 3/4"	BEARS ON EXIST. MASONRY. FIELD VERIFY ELEVATION
D-3	H554x4x0.1875	161'-4"	A	174'-6 3/4"	
D-4	H555x5x0.375	161'-4"	A	174'-7 3/4"	
E-1.1	H554x4x0.1875	117'-6 7/8"	A	174'-6 3/4"	
E-1.6	H554x4x0.1875	116'-3"	A	174'-6 3/4"	
E-2.3	H554x4x0.1875	116'-3"	A	174'-6 3/4"	
E-2.6	H554x4x0.1875	116'-3"	A	174'-6 3/4"	
E-2.9	H554x2x0.1875	116'-3"	A	174'-6 3/4"	ORIENT LONG AXIS PARALLEL TO GRID 2.9
E-3	H555x5x0.375	161'-4"	A	174'-7 3/4"	
E-4	H555x5x0.375	161'-4"	A	174'-7 3/4"	



LOOSE LINTEL SCHEDULE

ROUGH OPENING	LINTEL SIZE
UP TO 3'-0"	L4x3x5/16 LLV
>3'-0" TO 4'-6"	L5x3x5/16 LLV
>4'-6" TO 6'-0"	L6x3x5/16 LLV
>6'-0" TO 9'-0"	W8x31 U.N.O.

