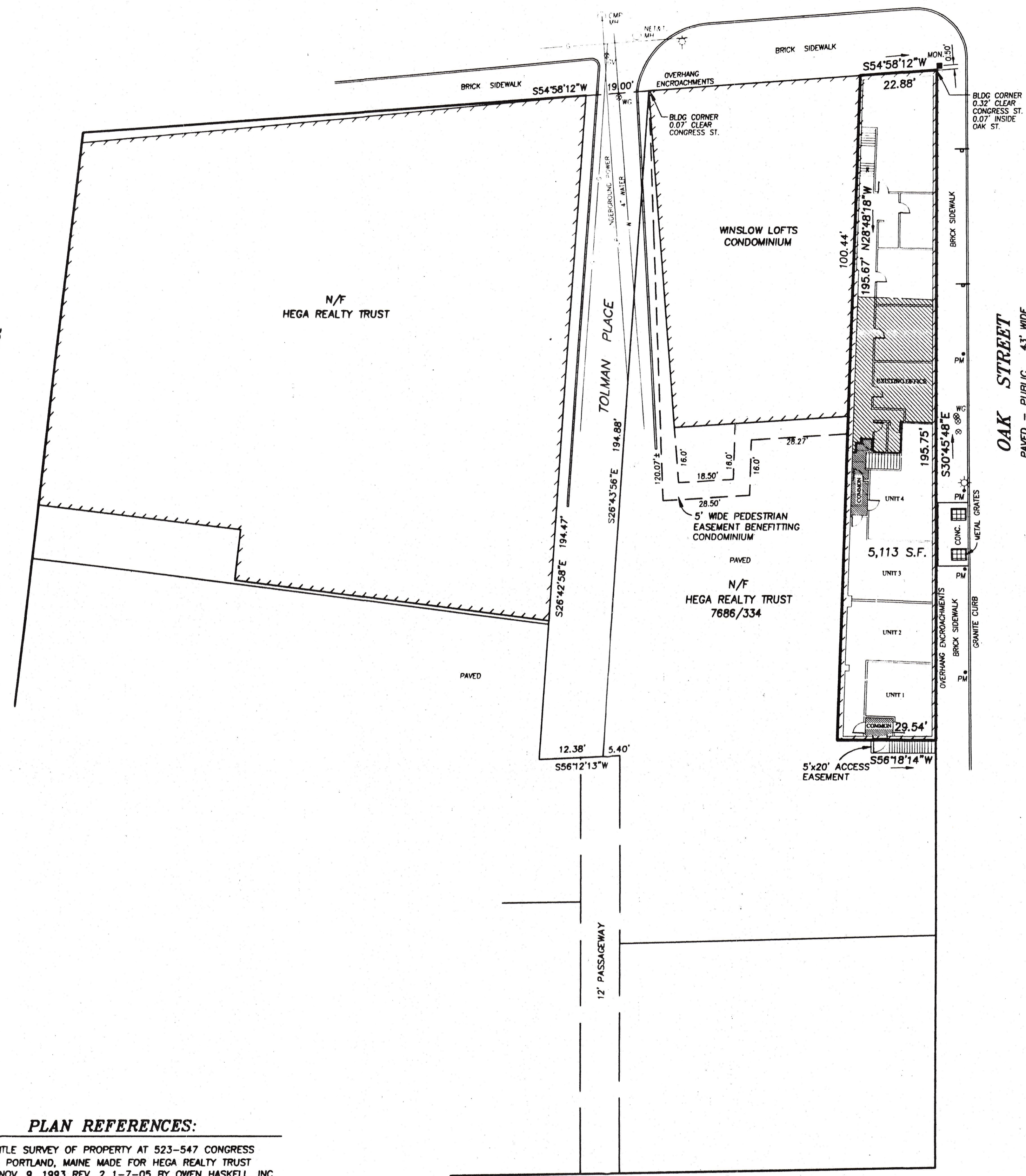


- LEGEND:**
- MONUMENT FOUND
 - ⊗ GY GAS VALVE
 - ⊗ WG WATER GATE
 - ⊗ LP LIGHT POLE
 - MH MANHOLE
 - PM PARKING METER
 - CURB
 - UP UNDERGROUND POWER
 - W WATER LINE
 - G GAS LINE

CASCO STREET
PAVED - PUBLIC 49.3' WIDE

CONGRESS STREET
PAVED - PUBLIC

OAK STREET
PAVED - PUBLIC 43' WIDE



APPROVED BY CITY OF PORTLAND PLANNING BOARD

APPROVAL DATE: 3-14-06

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 3-14-06

STATE OF MAINE CUMBERLAND, SS
REGISTRY OF DEEDS
Received March 15, 2006
at 11 h 45 m AM and recorded in
Plan Book 206 Page 163
Attest: Registrar

SUBDIVISION NOTE:

A SUBDIVISION SHALL BE DEFINED AS THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSES OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTI-FAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS.

UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.

PLAN REFERENCES:

- LAND TITLE SURVEY OF PROPERTY AT 523-547 CONGRESS STREET, PORTLAND, MAINE MADE FOR HEGA REALTY TRUST DATED NOV. 9, 1993 REV. 2 1-7-05 BY OWEN HASKELL, INC. JOB # 93231P.

NOTES:

- OWNER OF RECORD IS 551 CONGRESS STREET LLC
- LOCUS IS SHOWN AS LOT 16 BLOCK C ON CITY OF PORTLAND'S ASSESSORS MAP 37.
- BEARINGS ARE BASED ON MARKERS FOUND AS SHOWN ON PLAN REFERENCE 1.

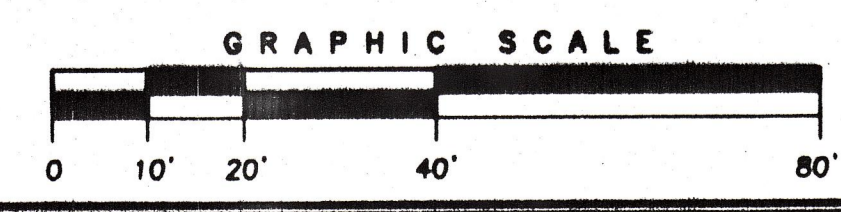
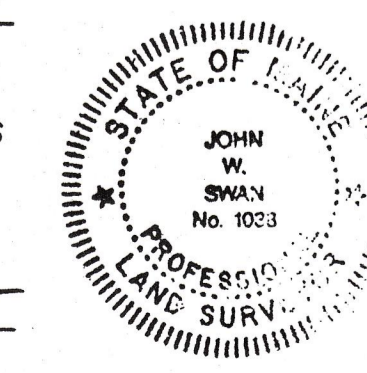
SHEPLEY STREET

CERTIFICATION:

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

3/21/06
DATE

JOHN B. SWAN, PLS #1038

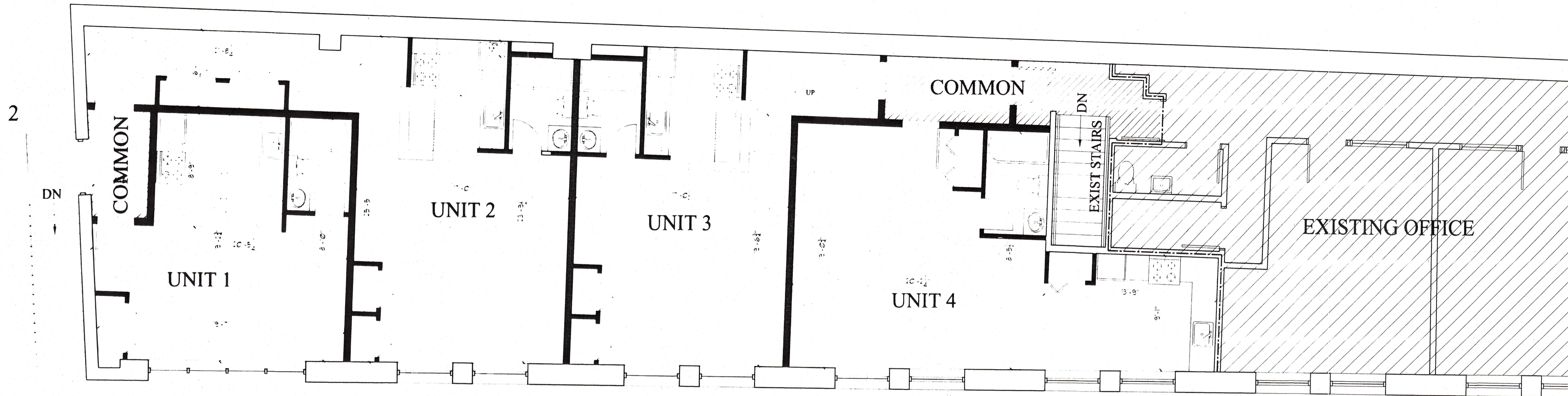


SUBDIVISION PLAT
73 OAK STREET
73 OAK STREET, PORTLAND, MAINE
MADE FOR OWNER OF RECORD:
551 CONGRESS STREET LLC
P.O. BOX 6799, SCARBOROUGH, ME 04070

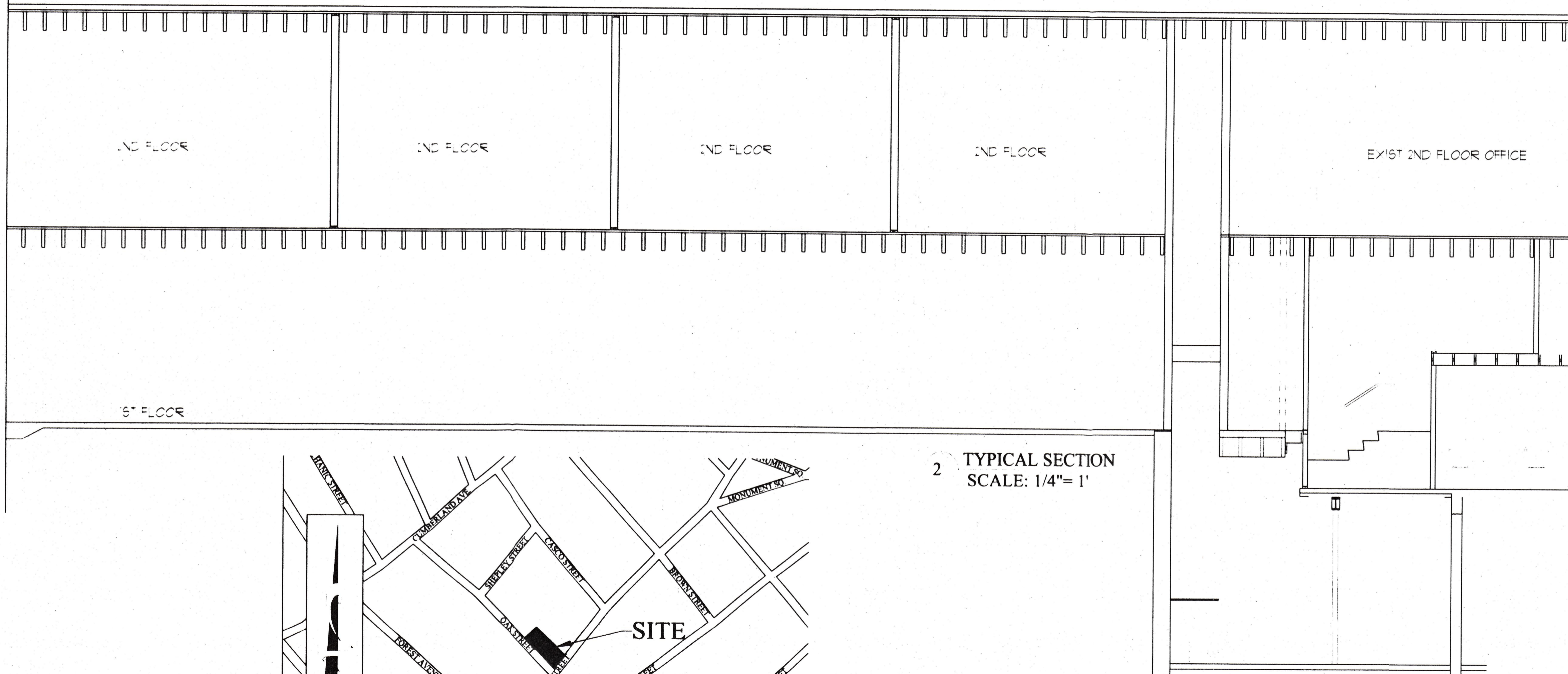
OWEN HASKELL, INC.
16 CASCO ST., PORTLAND, ME 04101 (207) 774-0424
PROFESSIONAL LAND SURVEYORS

Drwn By	OHI	Date	Job No.
Trace By	JLW	MARCH 2, 2006	2005-020P
Check By	JWS	Scale	Drwg. No.
Book No.	FILE	1" = 20'	1-3

73 Oak St



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'



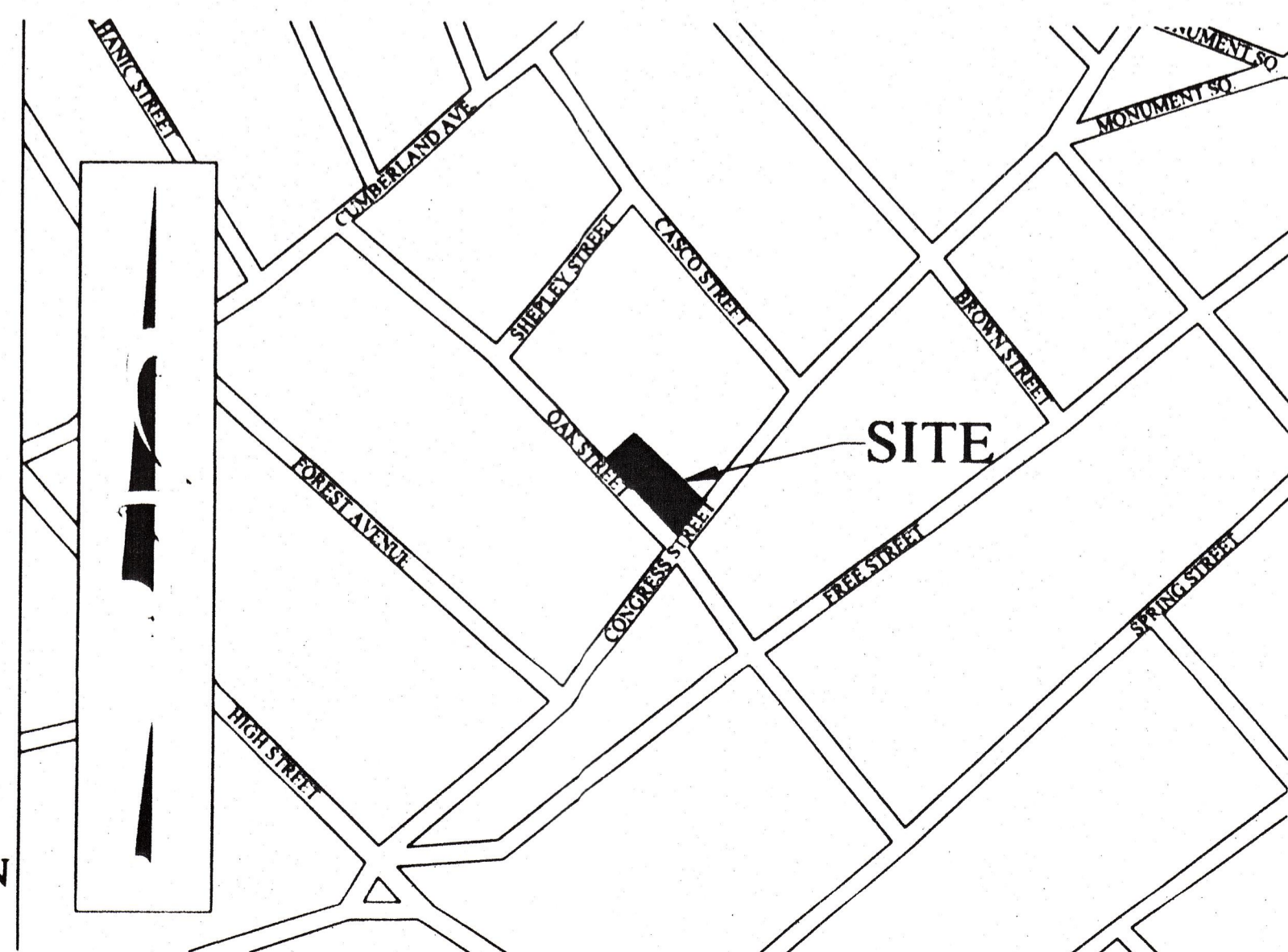
2 TYPICAL SECTION
SCALE: 1/4" = 1'

GENERAL NOTES

A SUBDIVISION SHALL BE DEFINED AS THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSES OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTI-FAMILY HOUSING CONDO.MINIUMS, TIME-SHARE UNITS AND APARTMENTS.

UNIT SQUARE FOOTAGES

UNIT 1 -	344 SQ.FT.
UNIT 2 -	556 SQ.FT.
UNIT 3 -	450 SQ.FT.
UNIT 4 -	507 SQ.FT.

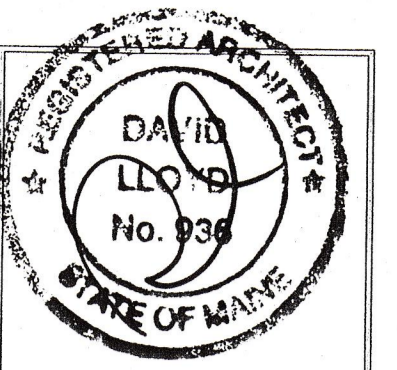


LOCATION PLAN

APPROVED BY CITY OF PORTLAND PLANNING BOARD

[Signature]
APPROVAL DATE: 3-14-06

STATE OF MAINE
Cumberland COUNTY REGISTRY OF DEEDS
RECEIVED March 15 20 06
AT 11 h 46 m A.M. AND RECORDED IN
PLAN BOOK 206 PAGE 164
ATTEST *[Signature]* REGISTER



OWNER:
CONGRESS JOINT DEVELOPMENT, L.L.C.
P.O. Box 6799 Scarborough, Maine 04070
(207) 883-3618 Fax (207) 883-8927

ARCHETYPE, P.A. ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

Project:
73 OAK ST
OAK ST
PORTLAND, ME

Date: JAN 12, 2006
Scale: AS NOTED
Revisions:

SUBDIVISION PLAN

A-1

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 1-24-06