

37-C-14

2005-0117

531 Congress St.

Change of Use -

JB Brown Bld.

Hega Realty Trust

on Spreadsheet

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy**

2005-0117

Application I. D. Number

6/1/2005

Application Date

**JB Brown Building - Change of Use**

Project Name/Description

**Hega Realty Trust, c/o Dirigo Mgmt.**

Applicant

**One City Center, Portland, NH 04101**

Applicant's Mailing Address

Consultant/Agent

**Applicant Ph: (207) 871-1080      Applicant Fax: (207) 871-7189**

Applicant or Agent Daytime Telephone, Fax

**531 - 531 Congress St, Portland, Maine**

Address of Proposed Site

**037 C014001**

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

**110,520 s.f.**

Proposed Building square Feet or # of Units

Acreeage of Site

**B3**

Zoning

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                |  | <input type="checkbox"/> Other _____             |

Fees Paid: Site Pla \$500.00 Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date 6/6/2005

**DRC Approval Status:**

Reviewer \_\_\_\_\_

- Approved**                       **Approved w/Conditions**                       **Denied**  
See Attached

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**                       **Required\***                       **Not Required**

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**AI**

A R C H E T Y P E

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May 31, 2005

Sarah Hopkins  
Development Review Manager  
City of Portland  
389 Congress Street  
Portland, ME 04101

**RE: JB Brown Building**

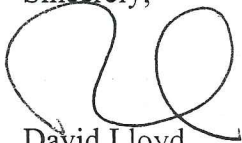
Dear Sarah,

Attached is our site plan application for the "change of use" from business occupancy on the fifth and mezzanine level to residential condominiums. The fifth floor is a 15,127 square foot area with a mezzanine level above at 9,057 square feet. Our proposal is to convert these areas to 10 residential units.

I have attached schematic floor plans and a site plan for your review. We do not anticipate any site development necessary to incorporate this change.

Please call with any questions or concerns.

Sincerely,



David Lloyd  
Architect

(B)

# CITY OF PORTLAND, MAINE

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## PLANNING BOARD

Lee Lowry III, Chair  
Kevin Beal, Vice Chair  
John Anton  
Michael Patterson  
David Silk  
Janice E. Tevanian  
Shalom Odokara

October 11, 2005

Peter Skapinsky  
HEGA Realty Trust  
C/o Dirigo Management  
One City Center  
Portland, Maine 04101

RE: Proposed Change of Use – JB Brown Building – 531 Congress Street  
Application ID #2005-0117  
CBL: 037 C014001

Dear Mr. Skapinsky:

On September 27, 2005, the Portland Planning Board voted 5-0 (Anton and Beal Absent) to approve the above referenced subdivision and site plan applications. The approval was granted for the project by the following motion, subject to the following conditions:

On the basis of plans submitted by the applicant and on the basis of information contained in Planning Report #56-05 relevant to standards for site plan and subdivision regulations, and other findings as follows:

1. That the plan is in conformance with the subdivision standards of the land use code.

Conditions of Approval:

- i. The applicant shall contribute \$4,000 to a street tree fund for use by the City Arborist in the installation and maintenance of urban street trees in the vicinity of the site.
- ii. The applicant shall present draft condominium documents for review and approval by Corporation Counsel.
- iii. The applicant shall explore the possibility and, if determined practicable, shall provide architectural uplighting to compliment



the existing Winslow building, subject to Planning Authority and Historic Preservation review.

2. That the plan is in conformance with the site plan standards of the land use code.

Conditions of Approval:

- i. The applicant shall submit a letter from the Engineering Division of Public Works to the Planning Division verifying adequate sewer and stormwater capacity to serve the project.
- ii. The applicant shall make 13 parking spaces as shown on the site plan available to the residential condominium owners upon a 30 day notice (plus / or minus) or on a calendar basis for a monthly period of no less than twenty years.

The approval includes a 10-lot residential subdivision on the 5<sup>th</sup> floor and mezzanine levels of the existing JB Brown building at 537 Congress Street.

The approval is based on the submitted site plan and the findings related to subdivision review standards as contained in Planning Report #56-05, which is attached.

Please note the following provisions and requirements for all site plan approvals:

1. Where submission drawings are available in electronic form, the applicant shall submit any available electronic Autocad files (\*.dwg), release 14 or greater, with seven (7) sets of the final plans.
2. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
3. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
4. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
5. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to

review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.

6. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Ethan Boxer-Macomber at 756-8083 or [ebm@portlandmaine.gov](mailto:ebm@portlandmaine.gov).

Sincerely,



Lee Lowry III, Chair  
Portland Planning Board

cc: Lee D. Urban, Planning and Development Department Director  
Alexander Jaegerman, Planning Division Director  
Sarah Hopkins, Development Review Services Manager  
Ethan Boxer-Macomber, Planner  
Jay Reynolds, Development Review Coordinator  
Marge Schmuckal, Zoning Administrator  
Inspections Division  
Michael Bobinsky, Public Works Director  
Traffic Division  
Eric Labelle, City Engineer  
Jeff Tarling, City Arborist  
Penny Littell, Associate Corporation Counsel  
Fire Prevention  
Assessor's Office  
Approval Letter File

**From:** Ethan Boxer-Macomber  
**To:** lloyd@archetypepa.com; peter@dirigomgmt.com  
**Date:** 6/23/05 9:57:06 AM  
**Subject:** JB Brown Building - Residential Conversion

Good morning, Peter and David-

As per my conversations with each of you by telephone, the above referenced application will require subdivision as well as site plan review. The application form will need to be revised and additional fees paid. Subdivision review is a \$500 fee + \$25 per unit. In this case, \$750.

Additionally, there are a number of required application submissions which have not yet been presented such as:

1. A site plan encompassing all contiguous properties under common ownership including such elements (existing and proposed) as easements, landscaping, utilities, pedestrian and vehicular circulation routes, parking areas, lighting, drainage patterns, etc.
2. A parking plan and narrative including number of spaces provided per unit, location, and evidence that provision of parking will not displace parking which is required to serve another use.
3. Water and sewer capacity letters.
4. Evidence of financial capacity.
5. Evidence of Right, Title, and Interest.

The application has been tentatively scheduled to go to the Planning Board for a workshop on July 26, 2005. At a minimum we would need items 1 and 2 above submitted at least two weeks prior to the workshop in order to keep that date. Without these items, the Board would likely request an additional workshop before moving to a public hearing.

This is an interesting and exciting project. It will be great to see all of those residents on Congress Street! I look forward to working with you through the public review process. Please do not hesitate to contact me at any time with questions or comments.

Best regards,

Ethan Boxer-Macomber, AICP  
Planner  
City of Portland Planning Division  
389 Congress Street  
Portland, ME 04101

Tel: 207.756.8083  
Fax: 207.756.8258

**CC:** Sarah Hopkins



# City of Portland Site Plan Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

<b>Address of Proposed Development:</b> 531 Congress Street		<b>Zone:</b> B3
<b>Total Square Footage of Proposed Structure:</b> 110,520 sq. ft. 5th Floor 15,127 Sq. Ft. Mezzanine 9,057 Sq. Ft.		<b>Square Footage of Lot:</b> .484 Acres
<b>Tax Assessor's Chart, Block &amp; Lot:</b>  Chart# 037    Block# C    Lot# 14	<b>Property owner's mailing address:</b> HEGA Realty Trust C/O Dirigo Management Co. One City Center Portland, ME 04101	<b>Telephone #:</b>  (207) 871-1080
<b>Consultant/Agent, mailing address, phone # &amp; contact person:</b>  David Lloyd Archetype, P.A. 48 Union Wharf Portland, ME 04101 (207) 772-6022	<b>Applicant's name, mailing address, telephone #/Fax#/Pager#:</b>  <i>Peter Skapinsky</i> HEGA Realty Trust C/O Dirigo Management Co. One City Center Portland, ME 04101    (207) 871-1080 Fax (207) 871-7189	<b>Project name:</b>  JB Brown Building
<p><b>Proposed Development (check all that apply)</b></p> <p> <input type="checkbox"/> New Building    <input type="checkbox"/> Building Addition    <input checked="" type="checkbox"/> Change of Use    <input checked="" type="checkbox"/> Residential    <input type="checkbox"/> Office    <input type="checkbox"/> Retail    <input type="checkbox"/> Manufacturing  <input type="checkbox"/> Warehouse/Distribution    <input type="checkbox"/> Parking lot  <input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____  <input type="checkbox"/> Site Location of Development (\$3,000.00)          (except for residential projects which shall be \$200.00 per lot _____ )  <input type="checkbox"/> Traffic Movement (\$1,000.00)    <input type="checkbox"/> Stormwater Quality (\$250.00)  <input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot)  <input type="checkbox"/> Other _____       </p> <p><b>Major Development (more than 10,000 sq. ft.)</b></p> <p> <input checked="" type="checkbox"/> Under 50,000 sq. ft. (\$500.00)  <input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00)  <input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00)  <input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00)  <input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00)  <input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00)  <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)       </p> <p><b>Minor Site Plan Review</b></p> <p> <input type="checkbox"/> Less than 10,000 sq. ft. (\$400.00)  <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)       </p> <p><b>Plan Amendments</b></p> <p> <input type="checkbox"/> Planning Staff Review (\$250.00)  <input type="checkbox"/> Planning Board Review (\$500.00)       </p> <p style="text-align: right;">- Please see next page -</p>		

A2



Who billing will be sent to: (Company, Contact Person, Address, Phone #) Peter Skapinsky  
HEGA Realty Trust  
C/O Dirigo Management Co.  
One City Center  
Portland, ME 04101 (207) 871-1080


Submittals shall include (9) separate folded packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

**Amendment to Plans:** Amendment applications should include 6 separate packets of the above (a, b, & c)  
**ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM**

Section 14-522 of the Zoning Ordinance outlines the process; copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: [ci.portland.me.us](http://ci.portland.me.us) chapter 14

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/ her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant:  Date: 6/1/05

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

## Development in Portland

The City of Portland has instituted the following fees to recover the costs of reviewing development proposals under the Site Plan and Subdivision ordinances: application fee; engineering fee; and inspection fee. Performance and defect guarantees are also required by ordinance to cover all site work proposed.

The **Application Fee** covers general planning and administrative processing costs, and is paid at the time of application.

The **Planning Division** is required to send notices to neighbors upon receipt of an application and prior to public meetings. The applicant will be billed for mailing and advertisement costs. Applicants for development will be charged an **Engineering Review Fee**. This fee is charged by the Planning Division for review of on-site improvements of a civil engineering nature, such as storm water management as well as the engineering analysis of related improvements within the public right-of-way, such as public streets and utility connections, as assessed by the Department of Public Works. The Engineering Review fee must be paid before a building permit can be issued. Monthly invoices are sent out by the Planning Division on a monthly basis to cover engineering costs.

A **Performance Guarantee** will be required following approval of development plans. This guarantee covers all required improvements within the public right-of-way, plus certain site improvements such as landscaping, paving, and drainage improvements. The Planning Division will provide a cost estimate form for figuring the amount of the performance guarantee, as well as sample form letters to be filled out by a financial institution.

An **Inspection Fee** must also be submitted to cover inspections to ensure that sites are developed in accordance with the approved plan. The inspection fee is 2.0% of the performance guarantee amount, or as assessed by the planning or public works engineer. The minimum inspection fee is \$300 for development, unless no site improvements are proposed. Public Works inspects work within the City right-of-way and Planning inspects work within the site including pipe-laying and connections. (The contractor must work with inspectors to coordinate timely inspections, and should provide adequate notice before inspections, especially in the case of final inspection.)

Upon completion of a development project, the performance guarantee is released, and a **Defect Guarantee** in the amount of 10% of the performance guarantee must be provided. The Defect Guarantee will be released after a year.

Other reimbursements to the City include actual or apportioned costs for advertising and mailed notices. All fees shall be paid prior to the issuance of any building permit.

For more information on the fees or review process, please call the Planning Division at 874-8719 or 874-8721.

A3

*Archetype, P.A.  
48 Union Wharf  
Portland, ME 04101  
(207) 772-6022  
(207) 772-4056 (Fax)*

***TRANSMITTAL***

***DATE:*** July 22, 2005

***FROM:*** David Lloyd

***TO:*** Ethan Boxer-Macomber, AICP  
City of Portland Planning Division  
389 Congress Street  
Portland, ME 04101

***RE:*** JB Brown Condominium Project – 531 Congress Street

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Attached as requested:

- Evidence of Financial Capacity
- Evidence of Right, Title and Interest
- Request for the Water and Sewer Capacity have been sent to Portland Public Works & Portland Water District.
- Check for \$750.00 for Subdivision review, \$500 submitted previously.
- Updated application

Copy of this transmittal to: Peter S. Skapinsky

**CITY OF PORTLAND, MAINE**  
**PLANNING BOARD**

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Lee Lowry III, Chair  
Kevin Beal, Vice Chair  
John Anton  
Michael Patterson  
David Silk  
Janice E. Tevanian  
Shalom Odokara

October 11, 2005

Peter Skapinsky  
HEGA Realty Trust  
C/o Dirigo Management  
One City Center  
Portland, Maine 04101

RE: Proposed Change of Use – JB Brown Building – 531 Congress Street  
Application ID #2005-0117  
CBL: 037 C014001

Dear Mr. Skapinsky:

On September 27, 2005, the Portland Planning Board voted 5-0 (Anton and Beal Absent) to approve the above referenced subdivision and site plan applications. The approval was granted for the project by the following motion, subject to the following conditions:

On the basis of plans submitted by the applicant and on the basis of information contained in Planning Report #56-05 relevant to standards for site plan and subdivision regulations, and other findings as follows:

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the existing Winslow building, subject to Planning Authority and Historic Preservation review.

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5. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to



review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.

6. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Ethan Boxer-Macomber at 756-8083 or [ebm@portlandmaine.gov](mailto:ebm@portlandmaine.gov).

Sincerely,



Lee Lowry III, Chair  
Portland Planning Board

cc: Lee D. Urban, Planning and Development Department Director  
Alexander Jaegerman, Planning Division Director  
Sarah Hopkins, Development Review Services Manager  
Ethan Boxer-Macomber, Planner  
Jay Reynolds, Development Review Coordinator  
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Jeff Tarling, City Arborist  
Penny Littell, Associate Corporation Counsel  
Fire Prevention  
Assessor's Office  
Approval Letter File

review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.

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The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Ethan Boxer-Macomber at 756-8083 or [ebm@portlandmaine.gov](mailto:ebm@portlandmaine.gov).

Sincerely,



Lee Lowry III, Chair  
Portland Planning Board

cc: Lee D. Urban, Planning and Development Department Director  
Alexander Jaegerman, Planning Division Director  
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Ethan Boxer-Macomber, Planner  
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Jeff Tarling, City Arborist  
Penny Littell, Associate Corporation Counsel  
Fire Prevention  
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Approval Letter File

Memorandum  
Department of Planning and Development  
Planning Division

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**To:** Chair Lowrey and Members of the Portland Planning Board  
**From:** Ethan Boxer-Macomber, Planner  
**Date:** July 21, 2005  
**Re:** July 26, 2005 Workshop - 531 Congress Street  
JB Brown Building – 10-Unit Condominium Conversion

---

A July 21, 2005 workshop has been scheduled for the Planning Board to review the subject application.

**I. Project Summary**

**Applicant:** Peter Skapinski  
HEGA Realty Trust  
C/O Dirigo Management  
One City Center  
Portland, ME 04101

**Site Location:** 531 Congress Street

**CBL#:** 037 C014001

**Zoning:** B3

**Lot Area:** 21,083 Square Feet (0.484 Acres)

**Building Area:**

Total Structure	110,520 Sq. Ft.
Proposed Condo Conversion Area	
Fifth Floor	15,127 Sq. Ft.
Mezanine	9,057 Sq. Ft.
	<hr/>
	24,184 Sq. Ft.

**Development Proposal:** Conversion of an existing fifth floor and mezzanine to 10 residential condominium units.

## **II. Project Description**

The proposed project involves converting approximately 24,184 Sq. Ft. of space within the existing JB Brown building at 531 Congress Street to 10 residential condominiums (Attachment C).

The area proposed for redevelopment was last occupied with an office use. The proposed residential units range in size from 1315 to 3192 Sq. Ft. As a change of use in the B3 zone, the project will not be required to provide parking. However, staff understands that the site features surface parking where the applicant intends to provide spaces for future residential units.

The project is subject to Site Plan and Subdivision review by the Planning board as a major development resulting in the creation of 10 new residential units. It should be noted that as of this writing, the applicant had applied for major site plan review only. A subdivision application must be submitted along with applicable fees (\$500 plus \$25 per lot=\$750). Additionally, staff has indicated to the applicant that several additional submittals will be required for the application to be found complete such as a site plan, capacity letters, etc.

## **III. Public Outreach And Response**

Upon receipt of the subject application, staff mailed notices all property owners within 500 feet of the subject site. The July 26, 2005 workshop was noticed in the same manner. As of the date of this memo, staff has received no public correspondence regarding the application.

The applicant will be required to notice and hold a neighborhood meeting at least seven days prior to a Public Hearing.

## **IV. Zoning**

The proposed project is confined to interior space in an existing building and so the dimensional standards of the B3 are not applicable.

### *Parking*

Portions of the JB Brown building already in existence at the time of application are not required to provide new off-site parking, even in cases of use change, as per city code section 14-221 (b).

## **V. Attachments**

- A. Application
- B. Narrative
- C. Plans

*Archetype, P.A.  
48 Union Wharf  
Portland, ME 04101  
(207) 772-6022  
(207) 772-4056 (Fax)*

***TRANSMITTAL***

***DATE:*** August 30, 2005

***FROM:*** David Lloyd

***TO:*** Ethan Boxer-Macomber, AICP  
City of Portland Planning Division  
389 Congress Street  
Portland, ME 04101

***RE:*** JB Brown Condominium Project – 531 Congress Street

---

Attached:

Lighting and proposed parking for the JB Brown Condominium's

## **IMPORTANT NOTICE**

### **TO RESIDENTS AND PROPERTY OWNERS IN THE VICINITY OF 531-537 CONGRESS STREET – PORTLAND ME**

#### **WHAT:**

There will be a Neighborhood Meeting regarding the conversion of the J B Brown Building's 5<sup>th</sup> floor from business to ten residential condominiums.

#### **WHERE:**

Archetype, P.A  
48 Union Wharf  
2<sup>nd</sup> Floor  
Portland, Maine  
Tuesday, August 30, 2005 @ 5:30 p.m.

#### **FOR MORE INFORMATION:**

If you have any questions, please call:

David Lloyd  
Archetype, PA  
48 Union Wharf  
Portland, ME 04101  
(207) 772-6022

*Archetype, P.A.  
48 Union Wharf  
Portland, ME 04101  
(207) 772-6022  
(207) 772-4056 (Fax)*

**TRANSMITTAL**

**DATE:** August 31, 2005

**FROM:** David Lloyd

**TO:** Ethan Boxer-Macomber, AICP  
City of Portland Planning Division  
389 Congress Street  
Portland, ME 04101

**TO:** Peter S. Skapinsky, CPM  
HEGA Realty Trust  
c/o Dirigo Management Company  
One City Center  
Portland, Maine 04101

**RE:** JB Brown Condominium Project – 531 Congress Street

---

Attached:

Neighborhood Meeting Notes  
Neighborhood Meeting Certification  
Sign Up Sheet  
Copy of the invitation sent.

*Archetype, P.A.  
48 Union Wharf  
Portland, ME 04101  
(207) 772-6022  
(207) 772-4056 (Fax)*

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**PLANNING BOARD REPORT #56-05**

**JB BROWN BUILDING –RESIDENTIAL CONVERSION PROJECT  
531 CONGRESS STREET**

**MAJOR SITE PLAN AND SUBDIVISION REVIEW**

**HEGA REALTY TRUST, APPLICANT**

Submitted to:  
Portland Planning Board  
Portland, Maine

Submitted by:  
Ethan Boxer-Macomber, Planner

September 22, 2005

A September 27, 2005 Public Hearing has been scheduled for the Planning Board to consider the above referenced application.

### I. PROJECT SUMMARY

**Applicant:** Hega Realty Trust  
C/O Dirigo Management  
One City Center  
Portland, ME 04101

**Site Location:** JB Brown Building - 531 Congress Street

**CBL#:** 037 C014001

**Zoning:** B3

**Development Proposal:** Conversion of fifth floor mezzanine level from leaseable office space to 10 residential condominium units

**Square Foot Areas:**

Building Total:	110,520 S.F.
Project Total:	
Fifth Floor:	15,127 S.F.
Mezzanine:	9,057 S.F.
Total:	24,184 S.F.

### II. PROJECT DESCRIPTION

The 110,520 square foot, 5 ½ level JB Brown Building at 531 Congress Street is currently occupied by retail stores at the street level and leaseable office spaces in the upper levels. The applicant proposes to convert the fifth floor and mezzanine into 10 residential condominiums.

The proposed residential units range in size from 1,315 and 3,192 square feet in area. The units are accessed by the building's existing elevators and stair wells. A common central corridor leads to unit entries. Each unit features kitchen and living area on the fifth floor level and bedrooms on the mezzanine level. The applicant has indicated an intention to develop a condominium association and market the project as individual ownership units.

The application is subject to major site plan review as a change of use over 10,000 s.f. in area and subdivision review for the creation of 3 or more new residential units.

### III. PUBLIC OUTREACH AND RESPONSE

Upon receipt of the subject site plan application; staff noticed property owners within 500 feet of the site and placed an ad in the *Portland Press Herald* newspaper in accordance with the requirements of the site plan ordinance. Prior to the July 21, 2005 Workshop and September 27, 2005 Public Hearing the project was again noticed in the same manner.

The applicant held a required neighborhood meeting on August 30, 2005 and has provided required documentation (Attachment D).

As of the date of this report, staff has not received any public communication regarding this project.

### IV. SITE PLAN

1. **Traffic, Loading, and Circulation** §14-526(a)(1)

*Traffic*

The proposed project is not anticipated to have any significant adverse effect on regional traffic.

*Loading*

The site offers ample space for vehicular loading and unloading at the rear of the building. Metered on-street parking is also available near the project's front entry.

*Pedestrian Circulation*

Residents of the proposed project will access the JB Brown building from Congress Street. Access between the provided on-site parking area and Congress Street is via Tolman Place.

2. **Parking** §14-526(a)(2)

13 on-site parking spaces are provided to the rear of the building adjacent to Tolman Place. While the project need not provide any dedicated parking for the project under the zoning ordinance as a change of use in the B3, the applicant is providing parking at an approximately 1 : 1.25 ratio in order to satisfy this standard of the site plan ordinance.

3. **Health and Safety** §14-526(a)(3)

Per the Site Plan ordinance, the massing and placement of the proposed building should "not cause health or safety problems as to the existing uses in the neighborhood". No changes to the massing or placement of the building are proposed.

4. **Value / Utility of Neighboring Structures** §14-526(a)(4)

Staff finds the proposed project in conformance with this standard.

**5. Sewers, Stormdrains, Water §14-526(a)(5)**

The applicant has requested a letter of wastewater capacity from the Department of Public Works. As of this writing that letter had not be received, however, Planning staff understands from recent residential projects in vicinity of the site that ample sewer capacity exists to serve the project. Staff a condition of approval as follows:

*The applicant shall submit a letter from the Engineering Division of Public Works to the Planning Division verifying adequate sewer and stormwater capacity to serve the project.*

The applicant has presented a letter of adequate water capacity from the Portland Water District (Attachment E).

**6. Drainage and Erosion Control §14-526(a)(8)**

In the present condition the site is fully impervious. Existing drainage flows and catchments systems appear to be functioning effectively.

**7. Exterior Lighting §14-526(a)(9)**

Whereas the proposed project would result in the use of the rear parking lot by future residents, the applicant proposes to add one pole mounted and three wall-mounted exterior lighting fixtures (Attachment F).

While, the exterior lighting plan appears to be well conceived, more detailed information will be required to determine compliance with the City's exterior lighting standards. These details include items such as: proposed pole height, wall pack fixture detail, and specifications for light source type and wattage.

Staff recommends that the Planning Board include a condition of approval as follows:

*The applicant shall refine the exterior lighting plan to demonstrate full compliance with the City's exterior lighting standards, subject to final review and approval by the Planning Authority.*

**8. Fire Prevention §14-526(a)(10)**

The Fire Department, Office of Fire Prevention, has reviewed and approved the proposed site plan "with conditions". However, in his report to the Planning Division, the reviewing officer did not list any specify which conditions. Where the reviewing officer was not available for clarification as of this writing, staff recommends that following condition of approval as a precaution:

*The project shall be subject to final review and approval by the City's Fire Prevention officer.*

9. Historic District / Landmark §14-526(a)(18)

The proposed project involves the addition of a number of windows to the rear of the building. The impact of this change is minimal. This façade change has undergone review by the Historic Preservation Board and was approved with conditions.

V. SUBDIVISION

1. Water and Air Pollution §14-497(a)(1)

Staff finds the proposed project in conformance with this standard.

2. Water Capacity and Supply §14-497(a)(2-3)

The applicant has presented a capacity letter from the Portland Water District (Attachment E).

3. Soil Erosion §14-497(a)(4)

The proposed project will not result in any soil erosion.

4. Traffic §14-497(a)(5)

See IV. (1) above.

5. Sanitary and Stormwater Capacity §14-497(a)(6)

See IV. (5) above.

6. Sewage and Solid Waste Disposal §14-497(a)(7)

As a private, multi-family residential project, the proposed project will not be eligible for City trash collection services. The developer and/or future condominium association will be required to provide private trash collection services. The final condominium documents should reflect this requirement. Staff therefore recommends the following condition of approval:

*The applicant shall present draft condominium documents for review and approval by Corporation Counsel.*

7. Scenic Beauty §14-497(a)(8)

The proposed project will not have an adverse effect on the scenic or natural beauty of the area.

**8. Financial and Technical Capability** §14-497(a)(10)

The applicant has presented a financial capacity letter (Attachment C).

**9. Subdivision Technical and Design Standards** §14-498

*Street Trees*

Under the standards of the subdivision ordinance, all subdivisions are required to provide street trees at a ratio of two (2) trees per lot or unit. The subject application is for 20 units and must therefore contribute 20 street trees. Where as the subject site is located in a fully developed urban environment, staff recommends that the Planning Board follow recent precedent and require that the developer contribute a fee of \$200 per tree required into a street tree fund for use by the City Arborist in the installation and maintenance of urban street trees in the vicinity of the site.

Staff recommends the following condition of approval:

*The applicant shall contribute \$4,000 to a street tree fund for use by the City Arborist in the installation and maintenance of urban street trees in the vicinity of the site.*

**VI. CONCLUSION AND RECOMMENDATION**

Staff finds, that with the proposed conditions of approval satisfied, the proposed project will be consistent with the B3 Zoning Ordinance and the standards of the Site Plan and Subdivision ordinances and recommends that the Planning Board approve the proposed motion.

**VII. MOTION FOR THE BOARD TO CONSIDER**

On the basis of plans submitted by the applicant and on the basis of information contained in Planning Report #56-05 relevant to standards for site plan and subdivision regulations, and other findings as follows:

1. That the plan is in conformance with the subdivision standards of the land use code.

Potential Conditions of Approval:

- i. *40- APPROVED*  
*UNAPPROVED*  
The applicant shall contribute \$4,000 to a street tree fund for use by the City Arborist in the installation and maintenance of urban street trees in the vicinity of the site.

ii. *as PG 5 v.(6)*

2. That the plan is in conformance with the site plan standards of the land use code.

iii. *SHALL PROVIDE. SHALL EXPLORE POSSIBILITY & IF APPROVABLE, SHALL EXPLORE POSSIBILITY TO COMPLY WITH MINIMUM EVIDENT TO THIS PREP REVIEW.*

*REVISIONS*

Potential Conditions of Approval:

- i. *The applicant shall submit a letter from the Engineering Division of Public Works to the Planning Division verifying adequate sewer and stormwater capacity to serve the project.*
- ii. ~~*The applicant shall refine the exterior lighting plan to demonstrate full compliance with the City's exterior lighting standards, subject to final review and approval by the Planning Authority.*~~
- iii. ~~*The project shall be subject to final review and approval by the City's Fire Prevention officer.*~~

4-0  
unmarked

ii: *PARKING LOT AS PART*

*AS ATTACHED*

VIII. ATTACHMENTS

- A. Application
- B. Evidence of Right, Title, and Interest
- C. Financial Capacity Letter
- D. Neighborhood Meeting Certification
- E. Water Capacity Letter
- F. Exterior Lighting
- G1. Site Survey
- G2+3 Floor Plans



# City of Portland Site Plan Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

<b>Address of Proposed Development:</b> 531 Congress Street		<b>Zone:</b> B3
<b>Total Square Footage of Proposed Structure:</b> 110,520 sq. ft. 5th Floor 15,127 Sq. Ft. Mezzanine 9,057 Sq. Ft.		<b>Square Footage of Lot:</b> .484 Acres
<b>Tax Assessor's Chart, Block &amp; Lot:</b>  Chart# 037    Block# C    Lot# 14	<b>Property owner's mailing address:</b> HEGA Realty Trust C/O Dirigo Management Co. One City Center Portland, ME 04101	<b>Telephone #:</b>  (207) 871-1080
<b>Consultant/Agent, mailing address, phone # &amp; contact person:</b>  David Lloyd Archetype, P.A. 48 Union Wharf Portland, ME 04101 (207) 772-6022	<b>Applicant's name, mailing address, telephone #/Fax#/Pager#:</b> <i>Peter Skapinsky</i> HEGA Realty Trust C/O Dirigo Management Co. One City Center Portland, ME 04101 (207) 871-1080 Fax (207) 871-7189	<b>Project name:</b>  JB Brown Building
<p><b>Proposed Development (check all that apply)</b></p> <p><input type="checkbox"/> New Building    <input type="checkbox"/> Building Addition    <input checked="" type="checkbox"/> Change of Use    <input checked="" type="checkbox"/> Residential    <input type="checkbox"/> Office    <input type="checkbox"/> Retail    <input type="checkbox"/> Manufacturing</p> <p><input type="checkbox"/> Warehouse/Distribution    <input type="checkbox"/> Parking lot</p> <p><input checked="" type="checkbox"/> Subdivision (\$500.00) + amount of lots <u>10</u> (\$25.00 per lot) \$ <u>250</u></p> <p><input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____)</p> <p><input type="checkbox"/> Traffic Movement (\$1,000.00)    <input type="checkbox"/> Stormwater Quality (\$250.00)</p> <p><input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot)</p> <p><input type="checkbox"/> Other _____</p> <p><b>Major Development (more than 10,000 sq. ft.)</b></p> <p><input checked="" type="checkbox"/> Under 50,000 sq. ft. (\$500.00)</p> <p><input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00)</p> <p><input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00)</p> <p><input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00)</p> <p><input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00)</p> <p><input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)</p> <p><b>Minor Site Plan Review</b></p> <p><input type="checkbox"/> Less than 10,000 sq. ft. (\$400.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)</p> <p><b>Plan Amendments</b></p> <p><input type="checkbox"/> Planning Staff Review (\$250.00)</p> <p><input type="checkbox"/> Planning Board Review (\$500.00)</p>		
- Please see next page -		

AI



Who billing will be sent to: (Company, Contact Person, Address, Phone #)	Peter Skapinsky HEGA Realty Trust C/O Dirigo Management Co. One City Center Portland, ME 04101 (207) 871-1080
--	---

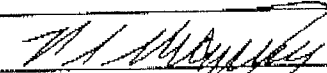
Submittals shall include (9) separate folded packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, & c)  
**ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM**

Section 14-522 of the Zoning Ordinance outlines the process; copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: [ci.portland.me.us chapter 14](http://ci.portland.me.us/chapter_14)

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: 	Date: 7/26/05
---	---------------

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

### Development in Portland

The City of Portland has instituted the following fees to recover the costs of reviewing development proposals under the Site Plan and Subdivision ordinances: application fee, engineering fee, and inspection fee. Performance and defect guarantees are also required by ordinance to cover all site work proposed.

The Application Fee covers general planning and administrative processing costs, and is paid at the time of application.

The Planning Division is required to send notices to neighbors upon receipt of an application and prior to public meetings. The applicant will be billed for mailing and advertisement costs. Applicants for development will be charged an **Engineering Review Fee**. This fee is charged by the Planning Division for review of on-site improvements of a civil engineering nature, such as storm water management as well as the engineering analysis of related improvements within the public right-of-way, such as public streets and utility connections, as assessed by the Department of Public Works. The Engineering Review fee must be paid before a building permit can be issued. Monthly invoices are sent out by the Planning Division on a monthly basis to cover engineering costs.

A **Performance Guarantee** will be required following approval of development plans. This guarantee covers all required improvements within the public right-of-way, plus certain site improvements such as landscaping, paving, and drainage improvements. The Planning Division will provide a cost estimate form for figuring the amount of the performance guarantee, as well as sample form letters to be filled out by a financial institution.

An **Inspection Fee** must also be submitted to cover inspections to ensure that sites are developed in accordance with the approved plan. The inspection fee is 2.0% of the performance guarantee amount, or as assessed by the planning or public works engineer. The minimum inspection fee is \$300 for development, unless no site improvements are proposed. Public Works inspects work within the City night-of-way and Planning inspects work within the site including pipe-laying and connections. (The contractor must work with inspectors to coordinate timely inspections, and should provide adequate notice before inspections, especially in the case of final inspection.)

Upon completion of a development project, the performance guarantee is released, and a **Defect Guarantee** in the amount of 10% of the performance guarantee must be provided. The Defect Guarantee will be released after a year.

Other reimbursements to the City include actual or apportioned costs for advertising and mailed notices. All fees shall be paid prior to the issuance of any building permit.

For more information on the fees or review process, please call the Planning Division at 874-8719 or 874-8721.

A2

BK 7686PG0335

APPENDIX A

All these certain lots or parcels of land, with buildings thereon, situated at or near 529-551 Congress Street in the City of Portland, County of Cumberland and State of Maine, consisting of 44,500 square feet of land, more or less; being the same premises as set forth in the following deeds, which premises are hereby conveyed by the Grantor herein to the Grantee herein.

Parcel 1 - Being the same premises conveyed by Warranty Deed from Abby M. Tolman to John B. Brown dated December 4, 1860 and recorded in Book 305, Page 152, and by Quit-Claim Deed from Mary M. Tolman, et al, to John B. Brown dated December 4, 1860 and recorded in Book 306, Page 18.

Parcel 2 - Being the same premises conveyed by Warranty Deed from Harriett T. Henderson to John B. Brown dated December 29, 1880 and recorded in Book 474, Page 135.

Parcel 3 - Being the same premises conveyed by Warranty Deed from Emma E. Foster, et al, to John B. Brown dated June 20, 1881 and recorded in Book 478, Page 180.

The above-described parcels being a portion of the premises conveyed by deed from Joseph W. Symonds, et al, Trustees u/w/o John B. Brown to J. B. Brown & Sons dated May 16, 1904 and recorded in Book 749, Page 43.

Excepting therefrom such portion of the above-described Parcel 3 as was conveyed by Warranty Deed from J. B. Brown & Sons to Portland Water District dated May 22, 1963 and recorded in Book 2750, Page 299.

Subject to utility easement described in deed from J. B. Brown & Sons to Central Maine Power Company dated April 30, 1969 and recorded in Book 3091, Page 29.

Parcel 4 - Being the same premises conveyed by Quit-Claim Deed from Congress Realty Company to J. B. Brown & Sons dated December 31, 1959 and recorded in Book 2519, Page 39.

Subject to the right, title and interest of others in and to Tolman Place.

Parcel 5 - Being the same premises conveyed by Warranty Deed from Maurice Drees to J. B. Brown & Sons dated September 2, 1980 and recorded in Book 4655, Page 241.

Parcel 6 - Being the same premises conveyed by Warranty Deed from Roland R. Lobbe, Jr. to J. B. Brown & Sons dated May 23, 1980 and recorded in Book 4610, Page 243.

Subject to right, title and interest of others in and to the 12 foot right-of-way adjoining the northeasterly boundary of the premises.

Parcel 7 - Being the same premises conveyed by Warranty Deed from Hezekiah Winslow, et al, to John B. Brown dated December 12, 1863 and recorded in Book 323, Page 319, and later conveyed by the heirs of Ellen Greeley Clifford to W. H. Clifford Company by deed dated August 30, 1904 and recorded in Book 756, Page 312, J. B. Brown & Sons being the successor to the W. H. Clifford Company.

Excepting therefrom such portion of the above-described Parcel 7 as was conveyed by deed from the W. H. Clifford Company to Walter G. Davis, et al, dated November 5, 1920 and recorded in Book 1053, Page 300.

Parcel 8 - Being the same premises conveyed by Warranty Deed from Walter G. Davis, et al, to W. H. Clifford Company dated March 1, 1907 and recorded in Book 804, Page 428, J. B. Brown & Sons being the successor to the W. H. Clifford Company.

The above described premises are subject to a utility easement set forth in a deed from J. B. Brown & Sons to Central Maine Power Company dated April 30, 1969 and recorded in the Cumberland County Registry of Deeds in Book 3091, Page 29.

Tolman Place, so-called, and the 12 foot right of way adjoining the northeasterly boundary of the premises are subject to the right, title and interest of others.

Meaning and intending to convey the same premises conveyed to the grantor by deed of J. B. Brown & Sons dated March 10, 1886 and recorded in the Cumberland County Registry of Deeds in Book , Page .

RECEIVED  
RECORDED REGISTRY OF DEEDS  
1987 MAR 26 AM 10:00  
CUMBERLAND COUNTY  
*James J. Walsh*

BI



To have and to hold the same, together with all the privileges and appurtenances thereto belonging, to the said **HAMPSTEAD OUTLOOK, INC.,**

its/ ~~heirs~~ and assigns forever.

And it does ~~so~~ covenant with the said Grantee, its/ ~~heirs~~ and assigns, that its/ ~~heirs~~ shall and will warrant and defend the premises to the said Grantee, its/ ~~heirs~~ and assigns forever, against the lawful claims and demands of all persons claiming by, through, or under it.

In Witness Whereof, the said J. B. Brown & Sons has caused this instrument to be sealed with its corporate seal and signed in its corporate name by Curtis W. Scribner, its President, thereunto duly authorized,

Witness my hand and seal this

10th day of the month of March, A.D. 1986.

Signed, Sealed and Delivered in presence of

*[Signature]*

J. B. Brown & Sons

By *[Signature]*  
its Curtis W. Scribner  
President

State of Maine, County of Cumberland ss. March 10, 1986.

Then personally appeared the above named Curtis W. Scribner, President

of said J. B. Brown & Sons and acknowledged the foregoing instrument to be his free act and deed, in his said capacity and the free act and deed of J. B. Brown & Sons.

Before me,

*[Signature]*

Notary Public  
Attorney at Law

Name: CHARLES R. DESTREICHER  
NOTARY PUBLIC, MAINE  
MY COMMISSION EXPIRES SEPTEMBER 18, 1993

RECEIVED  
RECORDED DEPT. OF RECORDS  
1986 MAR 18 AM 11:53  
CUMBERLAND COUNTY  
*James Scribner*

B3

BOOK 7101 PAGE 304

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Tolman Place, so-called, and the 12 foot right of way adjoining the northeasterly boundary of the premises are subject to the right, title and interest of others.

B4

SCHEDULE A

BOOK 7101 PAGE 303

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Parcel 7 - Being the same premises conveyed by Warranty Deed from Hozokiah Winslow, et al, to John B. Brown dated December 12, 1863 and recorded in Book 323, Page 319, and later conveyed by the heirs of Ellen Greeley Clifford to W. H. Clifford Company by deed dated August 30, 1904 and recorded in Book 756, Page 312, J. B. Brown & Sons being the successor to the W. H. Clifford Company.

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Parcel 8 - Being the same premises conveyed by Warranty Deed from Walter G. Davis, et al, to W. H. Clifford Company dated March 1, 1907 and recorded in Book 804, Page 428, J. B. Brown & Sons being the successor to the W. H. Clifford Company.

500x7101 PAGE 302

10713  
QUITCLAIM DEED  
With Covenant

**Know all Men by these Presents,**

**That** J. B. BROWN & SONS, a Maine corporation with a principal place of business in Portland, in the County of Cumberland and State of Maine,

In consideration of One Dollar and Other Valuable Consideration,

paid by HAMPSTEAD OUTLOOK, INC., doing business as HAMPSTEAD HOSPITAL, a corporation organized and existing under the laws of the State of New Hampshire, with a principal place of business in ~~whose mailing address is~~ Hampstead, in the County of Rockingham and State of New Hampshire,

the receipt whereof it does ~~do~~ hereby acknowledge, do / hereby <sup>es</sup> remise, release, bargain, sell and convey, and forever quitclaim unto the said HAMPSTEAD OUTLOOK, INC.,

successors  
its/ heirs and assigns forever.

SEE ATTACHED SCHEDULE A

B6

# HEGA Realty Trust

218 East Road Hampstead, New Hampshire 03841

Tel: 603 329-5311 Fax: 603 329-4746

July 7, 2005

Ethan Boxer-Macomber, AICP  
City of Portland Planning Division  
389 Congress Street  
Portland, ME 04101

Re: JB Brown condominium project

Dear Mr. Boxer-Macomber:

During the past twenty years we have completed more than \$11M in renovations and tenant fit-up projects in the JB Brown building including a \$4.1M addition to accommodate the Federal Bankruptcy court, trustees and probation departments.

Our general contractor, Keeley Construction Co., is estimating that the construction cost for this contemplated condominium conversion project is in the range of \$1.2M.

HEGA Realty Trust owns the JB Brown building outright with no mortgage or other debts or encumbrances. Our current operating account balance is in excess of \$1M, which together with the building's current income will be more than sufficient to complete this project without reliance on outside funding sources.

Please do not hesitate to contact me if there are any questions or the need for additional information as the Planning Board considers our application.

Sincerely,



Phillip J. Kubiak  
Principal

(C)



**Neighborhood Meeting Minutes**  
**JB Brown Building – 531-537 Congress Street**  
**August 30, 2005**

**Present:**     **David Lloyd**                    **Archetype, P.A.**  
                  **Alex Landry**                    **30 Preble Street, Portland, ME**

---

- 1. Discussion regarding parking spaces required. Mr. Landry expressed he is opposed to parking requirements in the downtown area. He liked the idea that owners have the opportunity to lease, but not necessarily to own spaces. Mr. Landry himself lives in the downtown area and does not own a vehicle.**
- 2. Mr. Landry asked about the brick infill that was done in the 80's, it's a light yellowish brick that could be painted a darker color that might fade away and be esthetically more pleasing.**
- 3. Mr. Landry was pleased about any residential units coming to the downtown area.**
- 4. Mr. Landry asked if it was possible that Tolman Place could be labeled with a small metal black and white street sign that he sees on many of the buildings. Tolman Place is not presently labeled. He also asked whether it was a public street or private way.**
- 5. Discussion was had in regards to potential trees in front of the JB Brown Building. Are there any trees planned? If there are, that would be good or if there is presently a granite planter, maybe a tree could be planted in its place.**

**\*\*\*End of Notes\*\*\***

DI


## Neighborhood Meeting Certification

### JB Brown Building – 531-537 Congress Street

I, David Lloyd hereby certify that a neighborhood meeting was held on 8/30/05 at Archetype, 48 Union Wharf at 5:30 pm.

I also certify that on August 6, 2005, invitations were mailed to all addresses on the mailing list provided by the Planning Division, including property owners within 500 feet of the proposed development and the residents on the “interested parties” list.

Signed,

A handwritten signature in blue ink, consisting of two large, overlapping loops, positioned above a horizontal line.

8/31/05 date

Attached to this certification are:

1. Copy of the invitation sent
2. Sign-in sheet
3. Meeting minutes

D2

**SIGN UP SHEET**  
**JB Brown Neighborhood Meeting**  
**August 30, 2005 @ 5:30 pm**

---

1 ALEX LAUDRY 30 Preble St.

2

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## **IMPORTANT NOTICE**

### **TO RESIDENTS AND PROPERTY OWNERS IN THE VICINITY OF 531-537 CONGRESS STREET – PORTLAND ME**

#### **WHAT:**

There will be a Neighborhood Meeting regarding the conversion of the J B Brown Building's 5<sup>th</sup> floor from business to ten residential condominiums.

#### **WHERE:**

Archetype, P.A  
48 Union Wharf  
2<sup>nd</sup> Floor  
Portland, Maine  
Tuesday, August 30, 2005 @ 5:30 p.m.

#### **FOR MORE INFORMATION:**

If you have any questions, please call:

David Lloyd  
Archetype, PA  
48 Union Wharf  
Portland, ME 04101  
(207) 772-6022

DY



CUSTOMER SERVICE  
OFFICE HOURS  
8:30 A.M. - 4:30 P.M.

**Portland Water District**  
FROM SEBAGO LAKE TO CASCO BAY

July 26, 2005

Susan McEwen  
Archetype  
48 Union Wharf  
Portland, Me. 04101

Re: 531 Congress St.-Portland

Susan:


This letter is to confirm there should be an adequate supply of clean and healthful water to serve the needs of the proposed building conversion to office/residential space at 531 Congress St. in Portland. A booster pump may be necessary to supply sufficient water to the upper floors. Checking District records, I find there is a 16" water main on the south side of Congress st.. The nearest hydrant is located across the street from the property. A map of the water main layout is included as well as the service records for the property.

The current data from the nearest hydrant indicates there should be adequate capacity of water to serve the needs of your proposed project.

Hydrant Location: Congress St. 100' west of Casco St.  
Hydrant # 84  
Static pressure = 70 PSI  
Flow = 1255 GPM  
Last Tested = 7/15/88

If the District can be of further assistance in this matter, please let us know.

Sincerely,  
Portland Water District

  
Jim Pandiscio  
Means Coordinator

225 DOUGLASS STREET P.O. Box 3553 PORTLAND, MAINE 04104-3553  
PHONE: 207.761.8310 FAX: 207.879.5837 E-MAIL: CUSTOMERHELP@PWD.ORG WEB: WWW.PWD.ORG



TYPE:

CATALOG #:

**McGraw-Edison®**

**DESCRIPTION**

McGraw-Edison's Galleria combines beauty and versatility to make it an excellent choice for architects, specifiers and contractors in today's energy- and design-conscious environment. An aesthetic reveal in the formed aluminum housing gives the Galleria a distinctive look while a variety of mounting options and lamp wattages provide maximum flexibility.

**APPLICATION**

The Galleria achieves superior light distribution by utilizing a seamless reflector system, making it the optimum choice for almost any small, medium or large area lighting application.

**SPECIFICATION FEATURES**

**A--Housing**  
Formed aluminum housing with stamped reveal has interior-welded seams for structural integrity and is finished in premium TGIC polyester powder coat. U.L. listed and CSA certified for wet locations.

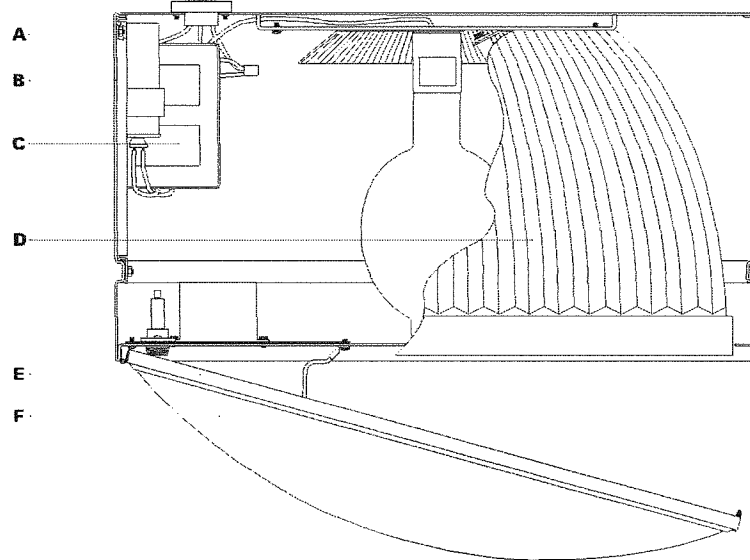
**B--Ballast Tray**  
Ballast tray is hard-mounted to housing interior for cooler operation.

**C--Ballast**  
Long-life core and coil ballast.

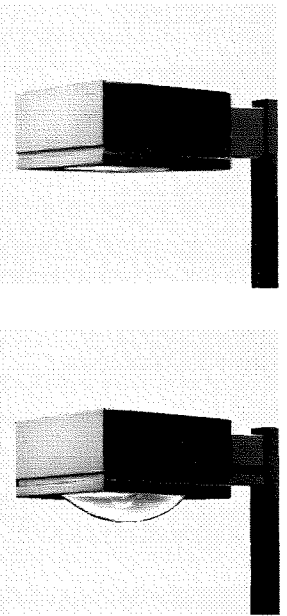
**D--Reflector**  
Spun and stamped aluminum reflector in vertical lamp units, or hydroformed anodized aluminum reflector in horizontal lamp units. Rotatable optics standard.

**E--Door**  
Formed aluminum door has heavy-duty hinges, captive retaining screws and is finished in premium TGIC polyester powder coat. (Spider mount unit has steel door.)

**F--Lens**  
Convex tempered glass lens or flat glass.



**DARK SKY FRIENDLY**  
In all flat glass configurations.



**GSS/GSM/GSL  
GALLERIA  
SQUARE**

**70 - 1000 W**  
Metal Halide  
Pulse Start Metal Halide  
High Pressure Sodium

**ARCHITECTURAL  
AREA LUMINAIRE**

**ENERGY DATA**

- CWA Ballast Input Watts
- 150W MH HPF (210 Watts)
- 175W MH HPF (210 Watts)
- 175W MH HPF (210 Watts)
- 250W MH HPF (295 Watts)
- 250W HPS HPF (300 Watts)
- 400W MH HPF (455 Watts)
- 400W HPS HPF (465 Watts)
- 1000W MH HPF (1080 Watts)
- 1000W HPS HPF (1100 Watts)

**EPA**

Effective Projected Area: (Sq. Ft.)

[Without Arm]

- GSS: 1.2
- GSM: 2.4
- GSL: 3.9

[With Arm]

- GSS: 1.7
- GSM: 3.02
- GSL: 4.90

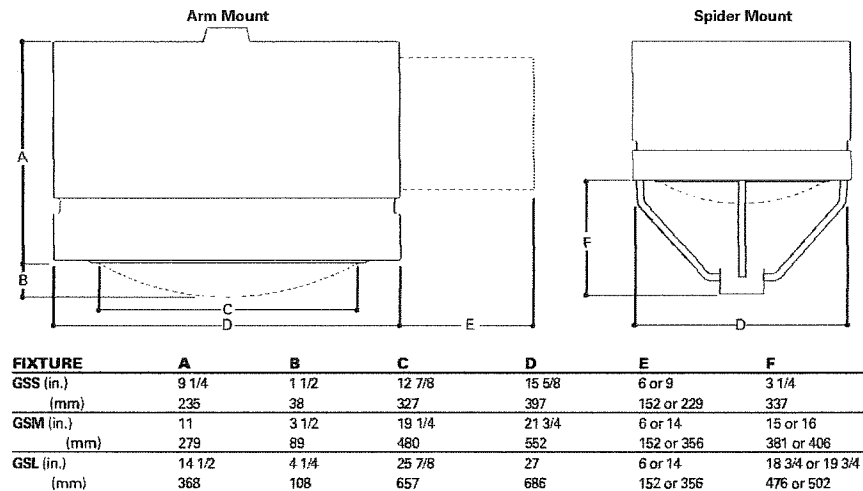
[Spider Mount]

- GSS: 1.04
- GSM: 2.22
- GSL: 3.7

**SHIPPING DATA**

Approximate Net Weight:  
36 lbs. (16 kgs.)  
79 lbs. (36 kgs.)  
88 lbs. (40 kgs.)

**DIMENSIONS**



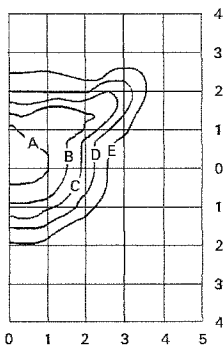
NOTE: Top cap used on GSM with 1000W flat glass vertically lamped optics only.

**COOPER LIGHTING**

ADH050675



PHOTOMETRICS

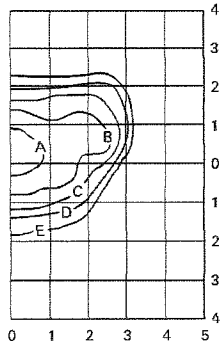


**TABLE 1**  
GSS-AM-175-MH-MT-3F-FG  
175-Watt MH, Type III  
14,000-Lumen Clear Lamp

**Footcandle Table**

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
10'	11.25	4.50	2.25	1.16	0.45
15'	5.00	2.00	1.00	0.50	0.25
20'	2.80	1.12	0.56	0.28	0.19

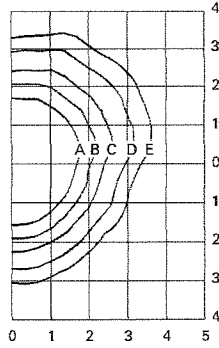


**TABLE 2**  
GSM-AM-400-HPS-MT-3F-FG  
400-Watt HPS, Type III  
50,000-Lumen Clear Lamp

**Footcandle Table**

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
30'	2.00	1.00	0.50	0.25	0.10
35'	1.46	0.73	0.37	0.18	0.07
40'	1.12	0.56	0.28	0.14	0.06

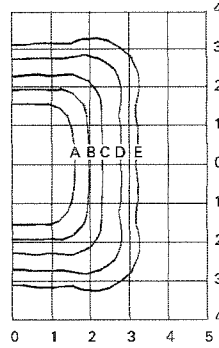


**TABLE 3**  
GSM-AM-1000-MH-MT-3V-FG  
1000-Watt MH, Type III Vertical  
110,000-Lumen Clear Lamp

**Footcandle Table**

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
30'	3.50	2.00	1.00	0.50	0.20
35'	2.60	0.73	0.37	0.18	0.07
40'	2.00	1.00	0.50	0.20	0.10

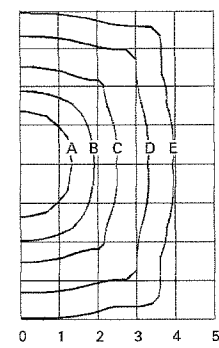


**TABLE 4**  
GSM-AM-1000-MH-MT-AS-FG  
1000-Watt MH, Area Square  
110,000-Lumen Clear Lamp

**Footcandle Table**

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
30'	3.50	2.00	1.00	0.50	0.20
35'	2.60	0.73	0.37	0.18	0.07
40'	2.00	1.00	0.50	0.20	0.10



**TABLE 5**  
GSM-AM-1000-MH-MT-AS-SG  
1000-Watt MH, Area Square  
110,000-Lumen Clear Lamp

**Footcandle Table**

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
30'	3.50	2.00	1.00	0.50	0.20
35'	2.60	0.73	0.37	0.18	0.07
40'	2.00	1.00	0.50	0.20	0.10

WATTAGE TABLE	
Fixture Size	Wattage
GSS	70W-175W
GSM	175W-1000W
GSL	400W-1000W

ORDERING INFORMATION

SAMPLE NUMBER: GSM-AM-400-MH-MT-3V-SG-BK-L

<p><b>Product Family</b> GSS=Galleria Square Small GSM=Galleria Square Medium GSL=Galleria Square Large</p> <p><b>Mounting Method</b> AM=Arm Mount<sup>1</sup> AIR=Arm Included for Round Pole<sup>2</sup> AIS=Arm Included for Square Pole<sup>2</sup> SM1=Spider Mount (2 3/8" O.D. Tenon)<sup>3</sup> SM2=Spider Mount (3" O.D. Tenon) SM3=Spider Mount (3 1/2" O.D. Tenon)<sup>4</sup></p> <p><b>Lamp Wattage*</b> 70=70W 100=100W 150=150W 175=175W 250=250W 320=320W<sup>5</sup> 350=350W<sup>6</sup> 400=400W<sup>7</sup> 450=450W<sup>8</sup> 750=750W<sup>9</sup> 1000=1000W<sup>10</sup></p>	<p><b>Lamp Type</b> MH=Metal Halide MP=Pulse Start Metal Halide HPS=High Pressure Sodium</p> <p><b>Voltage*</b> 120=120V 208=208V 240=240V 277=277V 480=480V MT=Multi-Tap wired 277V<sup>11</sup> TT=Triple-Tap wired 347V<sup>11</sup></p>	<p><b>Distribution</b> 1F=Type I Formed (Horizontal)<sup>12</sup> 2F=Type II Formed (Horizontal) 2S=Type II Segmented (Horizontal)<sup>12</sup> 3F=Type III Formed (Horizontal) 3S=Type III Segmented (Horizontal)<sup>12</sup> 4S=Type IV Segmented (Horizontal)<sup>12</sup> 5S=Type V Segmented (Horizontal)<sup>12</sup> FT=Forward Throw Formed (Horizontal) AR=Area Round (Vertical) AS=Area Square (Vertical) 3V=Type III (Vertical)<sup>11</sup> RW=Rectangular Wide (Vertical)<sup>11,12</sup> SL=Spill Light Eliminator<sup>14</sup></p> <p><b>Lens Type</b> FG=Flat Glass<sup>15</sup> SG=Sag Glass</p> <p><b>Colors</b> (add as suffix/ must specify)<sup>16</sup> BK=Black AP=Grey BZ=Bronze WH=Architectural White DP=Dark Platinum GM=Graphite Metallic</p> <p><b>Options</b> (add as suffix)<sup>17</sup> F=Single Fuse (120, 277 or 347V) FF=Double Fused (208,240 or 480V) EM=Quartz Restrike with Delay (Hot Restrike Only) Q=Quartz Restrike (Hot Restrike Only) R=NEMA Twistlock Photocontrol Receptacle HS=House Side Shield<sup>18</sup> VS=Vandal Shield (Arm Mount only, 400W Maximum) L=Lamp Included</p>	<p><b>Accessories</b> (order separately) MA1004-XX=14" Arm for Square Pole, 1.0 EPA (GSM &amp; GSL only)<sup>19</sup> MA1005-XX=6" Arm for Square Pole, 0.5 EPA (GSM &amp; GSL only)<sup>19</sup> MA1006-XX=Direct Mount Kit for Square Pole (GSM &amp; GSL only)<sup>19</sup> MA1007-XX=14" Arm for Round Pole, 1.0 EPA (GSM &amp; GSL only)<sup>19</sup> MA1008-XX=6" Arm for Round Pole, 0.5 EPA (GSM &amp; GSL only)<sup>19</sup> MA1009-XX=Direct Mount Kit for Round Pole (GSM &amp; GSL only)<sup>19</sup> MA1010-XX=Single-arm Tenon Adapter for 3 1/2" O.D. Tenon<sup>19</sup> MA1011-XX=2 @ 180° Tenon Adapter for 3 1/2" O.D. Tenon<sup>19</sup> MA1012-XX=3 @ 120° Tenon Adapter for 3 1/2" O.D. Tenon<sup>19</sup> MA1013-XX=4 @ 90° Tenon Adapter for 3 1/2" O.D. Tenon<sup>19</sup> MA1014-XX=2 @ 90° Tenon Adapter for 3 1/2" O.D. Tenon<sup>19</sup> MA1015-XX=2 @ 120° Tenon Adapter for 3 1/2" O.D. Tenon<sup>19</sup> MA1016-XX=3 @ 90° Tenon Adapter for 3 1/2" O.D. Tenon<sup>19</sup> MA1017-XX=Single-arm Tenon Adapter for 2 3/8" O.D. Tenon<sup>19</sup> MA1018-XX=2 @ 180° Tenon Adapter for 2 3/8" O.D. Tenon<sup>19</sup> MA1019-XX=3 @ 120° Tenon Adapter for 2 3/8" O.D. Tenon<sup>19</sup> MA1021-XX=6" Arm for Square Pole, 0.5 EPA (GSS Only)<sup>19</sup> MA1022-XX=6" Arm for Round Pole, 0.5 EPA (GSS Only)<sup>19</sup> MA1023-XX=9" Arm for Square Pole, 0.5 EPA (GSS Only)<sup>19</sup> MA1024-XX=9" Arm for Round Pole, 0.5 EPA (GSS Only)<sup>19</sup> MA1029-XX=Wall Mount Bracket with 10" Arm (Specify color)<sup>19</sup> MA1045-XX=4 @ 90° Tenon Adapter for 2 3/8" O.D. Tenon<sup>19</sup> MA1046-XX=Wall Mount Bracket with 9" Arm (GSS Only, Specify color)<sup>19</sup> MA1048-XX=2 @ 90° Tenon Adapter for 2 3/8" O.D. Tenon<sup>19</sup> MA1049-XX=3 @ 90° Tenon Adapter for 2 3/8" O.D. Tenon<sup>19</sup> MA1060=House Side Shield for GSS (Field Installed)<sup>20</sup> MA1061=House Side Shield for GSM (Field Installed)<sup>20</sup> MA1062=House Side Shield for GSL (Field Installed)<sup>20</sup> OA/RA1016=Photocontrol-Multi-Tap OA/RA1027=Photocontrol-480V OA1066-XX=Mast Arm Adapter GSM-EXTHS=External House Side Shield-2.24 EPA GSL-EXTHS=External House Side Shield-2.46 EPA</p>
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NOTES: 1 Arm not included. See accessories. 2 Arm length varies based on housing size: 9" for GSS, 11 1/2" for GSM and 14" for GSL. 3 Available on GSS housing only. 4 Available on GSL housing only. 5 Medium-base lamp for GSS housing. Mogul-base on GSM and GSL housings. 6 Pulse Start Metal Halide only. 250, 350, 400 & 450W Pulse Start for vertical mount only. 7 Requires reduced envelope ED-28 lamp when used with GSM housing and flat glass vertically lamped optics. 8 Requires reduced envelope BT-37 lamp when used with GSM housing. 9 Product also available in non-US voltages and 50Hz for international markets. Consult factory for availability and ordering information. 10 Multi-Tap ballast is 120/208/240/277V wired 277V. Triple-Tap ballast is 120/277/347V wired 347V. 11 Available on GSM and GSL housings only. 12 Maximum wattage on segmented optical distributions is 400W. 400W Metal Halide lamp must use reduced envelope ED-28 lamp. Not available in GSL housing. 13 RW optic not available with flat glass. 14 Must use reduced envelope lamp, not available in GSL housing. 15 1000W GSL with flat glass requires BT-37 lamp and is not available in AS, RW, 3V distributions. 16 Other finish colors available. Including a full line of RAL color matches. Consult your Cooper Lighting Representative. 17 Must be listed in the order shown and separated by a dash. 18 House side shields available on 2F, 3F, FT, 3V (flat glass), 2S, 3S, 4S distributions only, and all vertically lamped optics when specified with sag lens. 19 Add fixture color at end of number. 20 Compatible with sag lens vertical optics only.

NOTE: Specifications and dimensions subject to change without notice.



Visit our web site at [www.cooperlighting.com](http://www.cooperlighting.com)  
Customer First Center 1121 Highway 74 South Peachtree City, GA 30269 770.486.4800 FAX 770.486.4801 ADH050675

F2

**PLANNING BOARD REPORT #56-05**

**JB BROWN BUILDING –RESIDENTIAL CONVERSION PROJECT  
531 CONGRESS STREET**

**MAJOR SITE PLAN AND SUBDIVISION REVIEW**

**HEGA REALTY TRUST, APPLICANT**

Submitted to:  
Portland Planning Board  
Portland, Maine

Submitted by:  
Ethan Boxer-Macomber, Planner

September 22, 2005



A September 27, 2005 Public Hearing has been scheduled for the Planning Board to consider the above referenced application.

### I. PROJECT SUMMARY

**Applicant:** Hega Realty Trust  
C/O Dirigo Management  
One City Center  
Portland, ME 04101

**Site Location:** JB Brown Building - 531 Congress Street

**CBL#:** 037 C014001

**Zoning:** B3

**Development Proposal:** Conversion of fifth floor mezzanine level from leaseable office space to 10 residential condominium units

**Square Foot Areas:**

Building Total:	110, 520 S.F.
Project Total:	
Fifth Floor:	15,127 S.F.
Mezzanine:	9,057 S.F.
Total:	<hr/> 24,184 S.F.

### II. PROJECT DESCRIPTION

The 110,520 square foot, 5 ½ level JB Brown Building at 531 Congress Street is currently occupied by retail stores at the street level and leaseable office spaces in the upper levels. The applicant proposes to convert the fifth floor and mezzanine into 10 residential condominiums.

The proposed residential units range in size from 1,315 and 3,192 square feet in area. The units are accessed by the building's existing elevators and stair wells. A common central corridor leads to unit entries. Each unit features kitchen and living area on the fifth floor level and bedrooms on the mezzanine level. The applicant has indicated an intention to develop a condominium association and market the project as individual ownership units.

The application is subject to major site plan review as a change of use over 10,000 s.f. in area and subdivision review for the creation of 3 or more new residential units.

### III. PUBLIC OUTREACH AND RESPONSE

Upon receipt of the subject site plan application; staff noticed property owners within 500 feet of the site and placed an ad in the *Portland Press Herald* newspaper in accordance with the requirements of the site plan ordinance. Prior to the July 21, 2005 Workshop and September 27, 2005 Public Hearing the project was again noticed in the same manner.

The applicant held a required neighborhood meeting on August 30, 2005 and has provided required documentation (Attachment D).

As of the date of this report, staff has not received any public communication regarding this project.

### IV. SITE PLAN

1. Traffic, Loading, and Circulation §14-526(a)(1)

*Traffic*

The proposed project is not anticipated to have any significant adverse effect on regional traffic.

*Loading*

The site offers ample space for vehicular loading and unloading at the rear of the building. Metered on-street parking is also available near the project's front entry.

*Pedestrian Circulation*

Residents of the proposed project will access the JB Brown building from Congress Street. Access between the provided on-site parking area and Congress Street is via Tolman Place.

2. Parking §14-526(a)(2)

13 on-site parking spaces are provided to the rear of the building adjacent to Tolman Place. While the project need not provide any dedicated parking for the project under the zoning ordinance as a change of use in the B3, the applicant is providing parking at an approximately 1 : 1.25 ratio in order to satisfy this standard of the site plan ordinance.

3. Health and Safety §14-526(a)(3)

Per the Site Plan ordinance, the massing and placement of the proposed building should "not cause health or safety problems as to the existing uses in the neighborhood". No changes to the massing or placement of the building are proposed.

4. Value / Utility of Neighboring Structures §14-526(a)(4)

Staff finds the proposed project in conformance with this standard.

5. Sewers, Stormdrains, Water §14-526(a)(5)

The applicant has requested a letter of wastewater capacity from the Department of Public Works. As of this writing that letter had not be received, however, Planning staff understands from recent residential projects in vicinity of the site that ample sewer capacity exists to serve the project. Staff a condition of approval as follows:

*The applicant shall submit a letter from the Engineering Division of Public Works to the Planning Division verifying adequate sewer and stormwater capacity to serve the project.*

The applicant has presented a letter of adequate water capacity from the Portland Water District (Attachment E).

6. Drainage and Erosion Control §14-526(a)(8)

In the present condition the site is fully impervious. Existing drainage flows and catchments systems appear to be functioning effectively.

7. Exterior Lighting §14-526(a)(9)

Whereas the proposed project would result in the use of the rear parking lot by future residents, the applicant proposes to add one pole mounted and three wall-mounted exterior lighting fixtures (Attachment F).

While, the exterior lighting plan appears to be well conceived, more detailed information will be required to determine compliance with the City's exterior lighting standards. These details include items such as: proposed pole height, wall pack fixture detail, and specifications for light source type and wattage.

Staff recommends that the Planning Board include a condition of approval as follows:

*The applicant shall refine the exterior lighting plan to demonstrate full compliance with the City's exterior lighting standards, subject to final review and approval by the Planning Authority.*

8. Fire Prevention §14-526(a)(10)

The Fire Department, Office of Fire Prevention, has reviewed and approved the proposed site plan "with conditions". However, in his report to the Planning Division, the reviewing officer did not list any specify which conditions. Where the reviewing officer was not available for clarification as of this writing, staff recommends that following condition of approval as a precaution:

*The project shall be subject to final review and approval by the City's Fire Prevention officer.*

9. Historic District / Landmark §14-526(a)(18)

The proposed project involves the addition of a number of windows to the rear of the building. The impact of this change is minimal. This façade change has undergone review by the Historic Preservation Board and was approved with conditions.

V. SUBDIVISION

1. Water and Air Pollution §14-497(a)(1)

Staff finds the proposed project in conformance with this standard.

2. Water Capacity and Supply §14-497(a)(2-3)

The applicant has presented a capacity letter from the Portland Water District (Attachment E).

3. Soil Erosion §14-497(a)(4)

The proposed project will not result in any soil erosion.

4. Traffic §14-497(a)(5)

See IV. (1) above.

5. Sanitary and Stormwater Capacity §14-497(a)(6)

See IV. (5) above.

6. Sewage and Solid Waste Disposal §14-497(a)(7)

As a private, multi-family residential project, the proposed project will not be eligible for City trash collection services. The developer and/or future condominium association will be required to provide private trash collection services. The final condominium documents should reflect this requirement. Staff therefore recommends the following condition of approval:

*The applicant shall present draft condominium documents for review and approval by Corporation Counsel.*

7. Scenic Beauty §14-497(a)(8)

The proposed project will not have an adverse effect on the scenic or natural beauty of the area.

**8. Financial and Technical Capability** §14-497(a)(10)

The applicant has presented a financial capacity letter (Attachment C).

**9. Subdivision Technical and Design Standards** §14-498

*Street Trees*

Under the standards of the subdivision ordinance, all subdivisions are required to provide street trees at a ratio of two (2) trees per lot or unit. The subject application is for 20 units and must therefore contribute 20 street trees. Where as the subject site is located in a fully developed urban environment, staff recommends that the Planning Board follow recent precedent and require that the developer contribute a fee of \$200 per tree required into a street tree fund for use by the City Arborist in the installation and maintenance of urban street trees in the vicinity of the site.

Staff recommends the following condition of approval:

*The applicant shall contribute \$4,000 to a street tree fund for use by the City Arborist in the installation and maintenance of urban street trees in the vicinity of the site.*

**VI. CONCLUSION AND RECOMMENDATION**

Staff finds, that with the proposed conditions of approval satisfied, the proposed project will be consistent with the B3 Zoning Ordinance and the standards of the Site Plan and Subdivision ordinances and recommends that the Planning Board approve the proposed motion.

**VII. MOTION FOR THE BOARD TO CONSIDER**

On the basis of plans submitted by the applicant and on the basis of information contained in Planning Report #56-05 relevant to standards for site plan and subdivision regulations, and other findings as follows:

1. That the plan is in conformance with the subdivision standards of the land use code.

Potential Conditions of Approval:

- i. *The applicant shall contribute \$4,000 to a street tree fund for use by the City Arborist in the installation and maintenance of urban street trees in the vicinity of the site.*
2. That the plan is in conformance with the site plan standards of the land use code.

Potential Conditions of Approval:

- i. *The applicant shall submit a letter from the Engineering Division of Public Works to the Planning Division verifying adequate sewer and stormwater capacity to serve the project.*
- ii. *The applicant shall refine the exterior lighting plan to demonstrate full compliance with the City's exterior lighting standards, subject to final review and approval by the Planning Authority.*
- iii. *The project shall be subject to final review and approval by the City's Fire Prevention officer.*

**VIII. ATTACHMENTS**

- A. Application
- B. Evidence of Right, Title, and Interest
- C. Financial Capacity Letter
- D. Neighborhood Meeting Certification
- E. Water Capacity Letter
- F. Exterior Lighting
- G1. Site Survey
- G2+3 Floor Plans



# City of Portland Site Plan Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

<b>Address of Proposed Development:</b> 531 Congress Street		<b>Zone:</b> B3
<b>Total Square Footage of Proposed Structure:</b> 110,520 sq. ft. 5th Floor 15,127 Sq. Ft. Mezzanine 9,057 Sq. Ft.		<b>Square Footage of Lot:</b> .484 Acres
<b>Tax Assessor's Chart, Block &amp; Lot:</b>  Chart# 037    Block# C    Lot# 14	<b>Property owner's mailing address:</b> HEGA Realty Trust C/O Dirigo Management Co. One City Center Portland, ME 04101	<b>Telephone #:</b>  (207) 871-1080
<b>Consultant/Agent, mailing address, phone # &amp; contact person:</b>  David Lloyd Archetype, P.A. 48 Union Wharf Portland, ME 04101 (207) 772-6022	<b>Applicant's name, mailing address, telephone #/Fax#/Pager#:</b> <i>Peter Skapinsky</i> HEGA Realty Trust C/O Dirigo Management Co. One City Center Portland, ME 04101 (207) 871-1080 Fax (207) 871-7189	<b>Project name:</b>  JB Brown Building
<b>Proposed Development (check all that apply)</b> <input type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input checked="" type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input checked="" type="checkbox"/> Subdivision (\$500.00) + amount of lots <u>10</u> (\$25.00 per lot) \$ <u>250</u> <input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____) <input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Stormwater Quality (\$250.00) <input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot) <input type="checkbox"/> Other _____		
<b>Major Development (more than 10,000 sq. ft.)</b> <input checked="" type="checkbox"/> Under 50,000 sq. ft. (\$500.00) <input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00) <input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00) <input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00) <input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00) <input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)		
<b>Minor Site Plan Review</b> <input type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)		
<b>Plan Amendments</b> <input type="checkbox"/> Planning Staff Review (\$250.00) <input type="checkbox"/> Planning Board Review (\$500.00)		
- Please see next page -		

A1

Who billing will be sent to: (Company, Contact Person, Address, Phone #)	Peter Skapinsky HEGA Realty Trust C/O Dirigo Management Co. One City Center Portland, ME 04101 (207) 871-1080
--	---

Submittals shall include (9) separate folded packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, & c)  
**ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM**

Section 14-522 of the Zoning Ordinance outlines the process; copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: [ci.portland.me.us](http://ci.portland.me.us) chapter 14

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: 	Date: 7/26/05
---	---------------

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

## Development in Portland

The City of Portland has instituted the following fees to recover the costs of reviewing development proposals under the Site Plan and Subdivision ordinances: application fee; engineering fee; and inspection fee. Performance and defect guarantees are also required by ordinance to cover all site work proposed.

The Application Fee covers general planning and administrative processing costs, and is paid at the time of application.

The Planning Division is required to send notices to neighbors upon receipt of an application and prior to public meetings. The applicant will be billed for mailing and advertisement costs. Applicants for development will be charged an Engineering Review Fee. This fee is charged by the Planning Division for review of on-site improvements of a civil engineering nature, such as storm water management as well as the engineering analysis of related improvements within the public right-of-way, such as public streets and utility connections, as assessed by the Department of Public Works. The Engineering Review fee must be paid before a building permit can be issued. Monthly invoices are sent out by the Planning Division on a monthly basis to cover engineering costs.

A Performance Guarantee will be required following approval of development plans. This guarantee covers all required improvements within the public right-of-way, plus certain site improvements such as landscaping, paving, and drainage improvements. The Planning Division will provide a cost estimate form for figuring the amount of the performance guarantee, as well as sample form letters to be filled out by a financial institution.

An Inspection Fee must also be submitted to cover inspections to ensure that sites are developed in accordance with the approved plan. The inspection fee is 2.0% of the performance guarantee amount, or as assessed by the planning or public works engineer. The minimum inspection fee is \$300 for development, unless no site improvements are proposed. Public Works inspects work within the City right-of-way and Planning inspects work within the site including pipe-laying and connections. (The contractor must work with inspectors to coordinate timely inspections, and should provide adequate notice before inspections, especially in the case of final inspection.)

Upon completion of a development project, the performance guarantee is released, and a Defect Guarantee in the amount of 10% of the performance guarantee must be provided. The Defect Guarantee will be released after a year.

Other reimbursements to the City include actual or apportioned costs for advertising and mailed notices. All fees shall be paid prior to the issuance of any building permit.

For more information on the fees or review process, please call the Planning Division at 874-8719 or 874-8721.

A2



BK7686PG0335

APPENDIX A

All those certain lots or parcels of land, with buildings thereon, situated at or near 529-551 Congress Street in the City of Portland, County of Cumberland and State of Maine, consisting of 44,500 square feet of land, more or less; being the same premises as set forth in the following deeds, which premises are hereby conveyed by the Grantor herein to the Grantee herein.

Parcel 1 - Being the same premises conveyed by Warranty Deed from Abby M. Tolman to John B. Brown dated December 4, 1860 and recorded in Book 305, Page 152, and by Quit-Claim Deed from Mary M. Tolman, et al, to John B. Brown dated December 4, 1860 and recorded in Book 306, Page 18.

Parcel 2 - Being the same premises conveyed by Warranty Deed from Harriett T. Henderson to John B. Brown dated December 29, 1880 and recorded in Book 474, Page 135.

Parcel 3 - Being the same premises conveyed by Warranty Deed from Emma E. Foster, et al, to John B. Brown dated June 20, 1881 and recorded in Book 478, Page 180.

The above-described parcels being a portion of the premises conveyed by deed from Joseph W. Synonds, et al, Trustees u/v/o John B. Brown to J. B. Brown & Sons dated May 16, 1904 and recorded in Book 749, Page 43.

Excepting therefrom such portion of the above-described Parcel 3 as was conveyed by Warranty Deed from J. B. Brown & Sons to Portland Water District dated May 22, 1963 and recorded in Book 2750, Page 299.

Subject to utility easement described in deed from J. B. Brown & Sons to Central Maine Power Company dated April 30, 1969 and recorded in Book 3091, Page 29.

Parcel 4 - Being the same premises conveyed by Quit-Claim Deed from Congress Realty Company to J. B. Brown & Sons dated December 31, 1959 and recorded in Book 2519, Page 39.

Subject to the right, title and interest of others in and to Tolman Place.

Parcel 5 - Being the same premises conveyed by Warranty Deed from Maurice Dress to J. B. Brown & Sons dated September 2, 1980 and recorded in Book 4655, Page 241.

Parcel 6 - Being the same premises conveyed by Warranty Deed from Roland R. Labbe, Jr. to J. B. Brown & Sons dated May 23, 1980 and recorded in Book 4610, Page 243.

Subject to right, title and interest of others in and to the 12 foot right-of-way adjoining the northeasterly boundary of the premises.

Parcel 7 - Being the same premises conveyed by Warranty Deed from Hezekiah Winslow, et al, to John B. Brown dated December 12, 1863 and recorded in Book 323, Page 319, and later conveyed by the heirs of Ellen Greeley Clifford to W. H. Clifford Company by deed dated August 30, 1904 and recorded in Book 756, Page 312, J. B. Brown & Sons being the successor to the W. H. Clifford Company.

Excepting therefrom such portion of the above-described Parcel 7 as was conveyed by deed from the W. H. Clifford Company to Walter G. Davis, et al, dated November 5, 1920 and recorded in Book 1053, Page 300.

Parcel 8 - Being the same premises conveyed by Warranty Deed from Walter G. Davis, et al, to W. H. Clifford Company dated March 1, 1907 and recorded in Book 804, Page 428, J. B. Brown & Sons being the successor to the W. H. Clifford Company.

The above described premises are subject to a utility easement set forth in a deed from J. B. Brown & Sons to Central Maine Power Company dated April 30, 1969 and recorded in the Cumberland County Registry of Deeds in Book 3091, Page 29.

Tolman Place, so-called, and the 12 foot right of way adjoining the northeasterly boundary of the premises are subject to the right, title and interest of others.

Meaning and intending to convey the same premises conveyed to the grantor by deed of J. B. Brown & Sons dated March 10, 1986 and recorded in the Cumberland County Registry of Deeds in Book , Page .

RECEIVED  
RECORDED REGISTRY OF DEEDS  
1987 MAR 26 AM 10:00  
CUMBERLAND COUNTY  
James J. Walsh

BI



To have and to hold the same, together with all the privileges and appurtenances thereunto belonging, to the said **HAMPSTEAD OUTLOOK, INC.,**

its/ <sup>successors</sup> heirs and assigns forever.

And it does so covenant with the said Grantee, its/ <sup>successors</sup> heirs and assigns, that it shall and will warrant and defend the premises to the said Grantee, its/ <sup>successors</sup> heirs and assigns forever, against the lawful claims and demands of all persons claiming by, through, or under it.

In Witness Whereof, the said J. B. Brown & Sons has caused this instrument to be sealed with its corporate seal and signed in its corporate name by Curtis W. Scribner, its President, thereunto duly authorized,

In testimony whereof

gave and delivered this 10th day of the month of March, A.D. 1986.

Signed, Sealed and Delivered in presence of

J. B. Brown & Sons

[Signature]

By [Signature] aka Curtis W. Scribner President

State of Maine, County of Cumberland ss. March 10, 1986.

Then personally appeared the above named Curtis W. Scribner, President

of said J. B. Brown & Sons and acknowledged the foregoing instrument to be his free act and deed, in his said capacity and the free act and deed of J. B. Brown & Sons.

Before me,

[Signature]

Notary Public

Name:

CHARLES R. OESTREICHER NOTARY PUBLIC, MAINE MY COMMISSION EXPIRES SEPTEMBER 18, 1989

RECEIVED RECORDED DEPT. OF REEDS 1986 MAR 18 AM 11:53

CUMBERLAND COUNTY James [Signature]

B3

BOOK 7101 PAGE 304

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B4

SCHEDULE A

BOOK 7101 PAGE 303

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**Know all Men by these Presents,**

**That** J. B. BROWN & SONS, a Maine corporation with a principal place of business in Portland, in the County of Cumberland and State of Maine,

in consideration of One Dollar and Other Valuable Consideration,

paid by HAMPSTEAD OUTLOOK, INC., doing business as HAMPSTEAD HOSPITAL, a corporation organized and existing under the laws of the State of New Hampshire, with a principal place of business in ~~Whose making records~~ Hampstead, in the County of Rockingham and State of New Hampshire,

the receipt whereof it does ~~dox~~ <sup>es</sup> hereby acknowledge, do / hereby ~~return~~, release, bargain, sell and convey, and forever quitclaim unto the said HAMPSTEAD OUTLOOK, INC.,

<sup>successors</sup>  
its/ heirs and assigns forever.

SEE ATTACHED SCHEDULE A

B6

# HEGA Realty Trust

218 East Road Hampstead, New Hampshire 03841

Tel: 603 329-5311 Fax: 603 329-4746

July 7, 2005

Ethan Boxer-Macomber, AICP  
City of Portland Planning Division  
389 Congress Street  
Portland, ME 04101

Re: JB Brown condominium project

Dear Mr. Boxer-Macomber:

During the past twenty years we have completed more than \$11M in renovations and tenant fit-up projects in the JB Brown building including a \$4.1M addition to accommodate the Federal Bankruptcy court, trustees and probation departments.

Our general contractor, Keeley Construction Co., is estimating that the construction cost for this contemplated condominium conversion project is in the range of \$1.2M.

HEGA Realty Trust owns the JB Brown building outright with no mortgage or other debts or encumbrances. Our current operating account balance is in excess of \$1M, which together with the building's current income will be more than sufficient to complete this project without reliance on outside funding sources.

Please do not hesitate to contact me if there are any questions or the need for additional information as the Planning Board considers our application.

Sincerely,



Phillip J. Kubiak  
Principal

(C)

**Neighborhood Meeting Minutes**  
**JB Brown Building – 531-537 Congress Street**  
**August 30, 2005**

**Present:**     **David Lloyd**                     **Archetype, P.A.**  
                  **Alex Landry**                     **30 Preble Street, Portland, ME**

---

- 1. Discussion regarding parking spaces required. Mr. Landry expressed he is opposed to parking requirements in the downtown area. He liked the idea that owners have the opportunity to lease, but not necessarily to own spaces. Mr. Landry himself lives in the downtown area and does not own a vehicle.**
- 2. Mr. Landry asked about the brick infill that was done in the 80's, it's a light yellowish brick that could be painted a darker color that might fade away and be esthetically more pleasing.**
- 3. Mr. Landry was pleased about any residential units coming to the downtown area.**
- 4. Mr. Landry asked if it was possible that Tolman Place could be labeled with a small metal black and white street sign that he sees on many of the buildings. Tolman Place is not presently labeled. He also asked whether it was a public street or private way.**
- 5. Discussion was had in regards to potential trees in front of the JB Brown Building. Are there any trees planned? If there are, that would be good or if there is presently a granite planter, maybe a tree could be planted in its place.**

\*\*\*End of Notes\*\*\*

DI



## Neighborhood Meeting Certification

**JB Brown Building – 531-537 Congress Street**

I, David Lloyd hereby certify that a neighborhood meeting was held on 8/30/05 at Archetype, 48 Union Wharf at 5:30 pm.

I also certify that on August 6, 2005, invitations were mailed to all addresses on the mailing list provided by the Planning Division, including property owners within 500 feet of the proposed development and the residents on the “interested parties” list.

Signed,



A handwritten signature consisting of two large, overlapping loops, written over a horizontal line.

8/31/05 date

Attached to this certification are:

1. Copy of the invitation sent
2. Sign-in sheet
3. Meeting minutes

D2

SIGN UP SHEET  
JB Brown Neighborhood Meeting  
August 30, 2005 @ 5:30 pm

1 ALEX LANDRY 30 Preble St,

2

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D3

## IMPORTANT NOTICE

### TO RESIDENTS AND PROPERTY OWNERS IN THE VICINITY OF 531-537 CONGRESS STREET – PORTLAND ME

#### WHAT:

There will be a Neighborhood Meeting regarding the conversion of the J B Brown Building's 5<sup>th</sup> floor from business to ten residential condominiums.

#### WHERE:

Archetype, P.A  
48 Union Wharf  
2<sup>nd</sup> Floor  
Portland, Maine  
Tuesday, August 30, 2005 @ 5:30 p.m.

#### FOR MORE INFORMATION:

If you have any questions, please call:

David Lloyd  
Archetype, PA  
48 Union Wharf  
Portland, ME 04101  
(207) 772-6022

DY



CUSTOMER SERVICE  
OFFICE HOURS  
8:30 A.M. - 4:30 P.M.

**Portland Water District**  
FROM SEBAGO LAKE TO CASCO BAY

July 26, 2005

Susan McEwen  
Archetype  
48 Union Wharf  
Portland, Me. 04101

Re: 531 Congress St.-Portland

Susan:

This letter is to confirm there should be an adequate supply of clean and healthful water to serve the needs of the proposed building conversion to office/residential space at 531 Congress St. in Portland. A booster pump may be necessary to supply sufficient water to the upper floors. Checking District records, I find there is a 16" water main on the south side of Congress st.. The nearest hydrant is located across the street from the property. A map of the water main layout is included as well as the service records for the property.

The current data from the nearest hydrant indicates there should be adequate capacity of water to serve the needs of your proposed project.

Hydrant Location: Congress St. 100' west of Casco St.  
Hydrant # 84  
Static pressure = 70 PSI  
Flow = 1255 GPM  
Last Tested = 7/15/88

If the District can be of further assistance in this matter, please let us know.

Sincerely,  
Portland Water District

Jim Pandiscio  
Means Coordinator

225 DOUGLASS STREET . P.O. Box 3553 . PORTLAND, MAINE 04104-3553  
PHONE: 207.761.8310 FAX: 207.879.5837 E-MAIL: CUSTOMERHELP@PWD.ORG WEB: WWW.PWD.ORG

TYPE:

CATALOG #:

**McGraw-Edison®**

**DESCRIPTION**

McGraw-Edison's Galleria combines beauty and versatility to make it an excellent choice for architects, specifiers and contractors in today's energy- and design-conscious environment. An aesthetic reveal in the formed aluminum housing gives the Galleria a distinctive look while a variety of mounting options and lamp wattages provide maximum flexibility.

**APPLICATION**

The Galleria achieves superior light distribution by utilizing a seamless reflector system, making it the optimum choice for almost any small, medium or large area lighting application.

**SPECIFICATION FEATURES**

**A--Housing**

Formed aluminum housing with stamped reveal has interior-welded seams for structural integrity and is finished in premium TGIC polyester powder coat. U.L. listed and CSA certified for wet locations.

**B--Ballast Tray**

Ballast tray is hard-mounted to housing interior for cooler operation.

**C--Ballast**

Long-life core and coil ballast.

**D--Reflector**

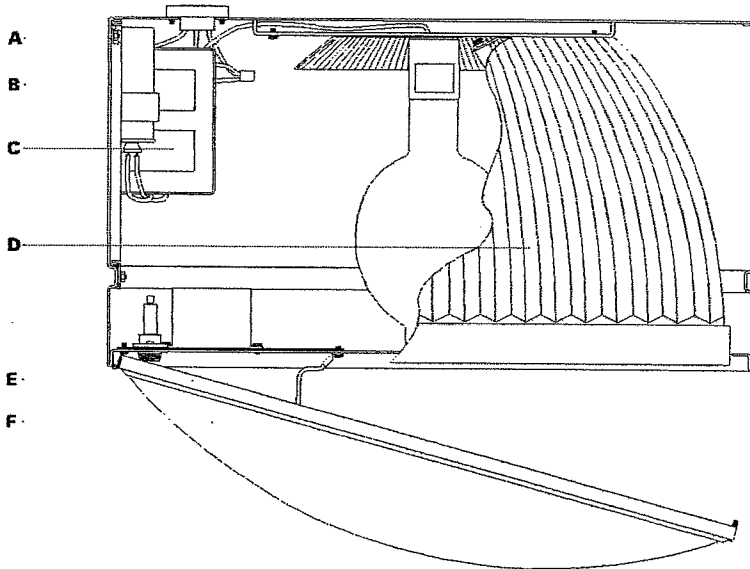
Spun and stamped aluminum reflector in vertical lamp units, or hydroformed anodized aluminum reflector in horizontal lamp units. Rotatable optics standard.

**E--Door**

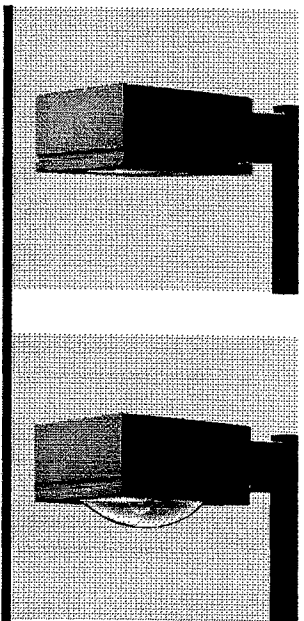
Formed aluminum door has heavy-duty hinges, captive retaining screws and is finished in premium TGIC polyester powder coat. (Spider mount unit has steel door.)

**F--Lens**

Convex tempered glass lens or flat glass.



**DARK SKY FRIENDLY**  
In all flat glass configurations.



**GSS/GSM/GSL  
GALLERIA  
SQUARE**

**70 - 1000 W**  
Metal Halide  
Pulse Start Metal Halide  
High Pressure Sodium  
**ARCHITECTURAL  
AREA LUMINAIRE**

**ENERGY DATA**

**CWA Ballast Input Watts**  
150W MH HPF (210 Watts)  
175W MH HPF (210 Watts)  
175W MH HPF (210 Watts)  
250W MH HPF (295 Watts)  
250W HPS HPF (300 Watts)  
400W MH HPF (455 Watts)  
400W HPS HPF (465 Watts)  
1000W MH HPF (1080 Watts)  
1000W HPS HPF (1100 Watts)

**EPA**

Effective Projected Area: (Sq. Ft.)  
[Without Arm]

**GSS: 1.2**  
**GSM: 2.4**  
**GSL: 3.9**

[With Arm]

**GSS: 1.7**  
**GSM: 3.02**  
**GSL: 4.90**

[Spider Mount]

**GSS: 1.04**  
**GSM: 2.22**  
**GSL: 3.7**

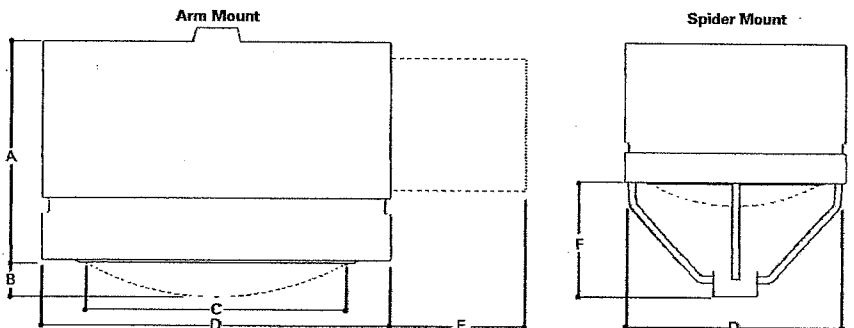
**SHIPPING DATA**

Approximate Net Weight:  
36 lbs. (16 kgs.)  
79 lbs. (36 kgs.)  
88 lbs. (40 kgs.)

ADH050675



**DIMENSIONS**

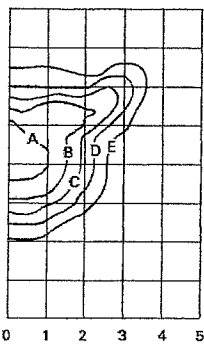


FIXTURE	A	B	C	D	E	F
GSS (in.)	9 1/4	1 1/2	12 7/8	15 5/8	6 or 9	3 1/4
(mm)	235	38	327	397	152 or 229	337
GSM (in.)	11	3 1/2	19 1/4	21 3/4	6 or 14	15 or 16
(mm)	279	89	480	552	152 or 356	381 or 406
GSL (in.)	14 1/2	4 1/4	25 7/8	27	6 or 14	18 3/4 or 19 3/4
(mm)	368	108	657	686	152 or 356	476 or 502

NOTE: Top cap used on GSM with 1000W flat glass vertically lamped optics only.

**COOPER LIGHTING**

PHOTOMETRICS

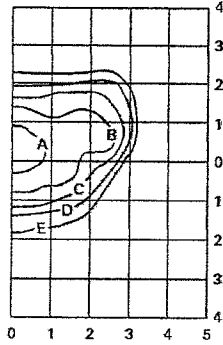


**TABLE 1**  
GSS-AM-175-MH-MT-3F-FG  
175-Watt MH, Type III  
14,000-Lumen Clear Lamp

**Footcandle Table**

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
10'	11.25	4.50	2.25	1.16	0.45
15'	5.00	2.00	1.00	0.50	0.25
20'	2.80	1.12	0.56	0.28	0.19

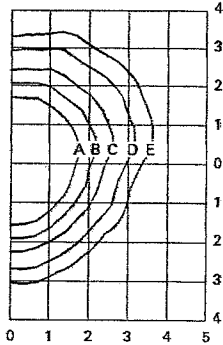


**TABLE 2**  
GSM-AM-400-HPS-MT-3F-FG  
400-Watt HPS, Type III  
50,000-Lumen Clear Lamp

**Footcandle Table**

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
30'	2.00	1.00	0.50	0.25	0.10
35'	1.46	0.73	0.37	0.18	0.07
40'	1.12	0.56	0.28	0.14	0.06

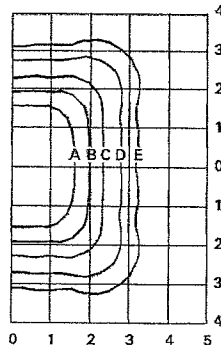


**TABLE 3**  
GSM-AM-1000-MH-MT-3V-FG  
1000-Watt MH, Type III Vertical  
110,000-Lumen Clear Lamp

**Footcandle Table**

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
30'	3.50	2.00	1.00	0.50	0.20
35'	2.60	0.73	0.37	0.18	0.07
40'	2.00	1.00	0.50	0.20	0.10

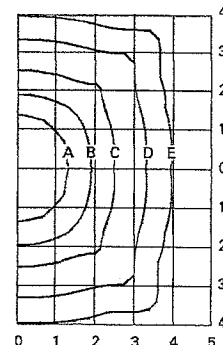


**TABLE 4**  
GSM-AM-1000-MH-MT-AS-FG  
1000-Watt MH, Area Square  
110,000-Lumen Clear Lamp

**Footcandle Table**

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
30'	3.50	2.00	1.00	0.50	0.20
35'	2.60	0.73	0.37	0.18	0.07
40'	2.00	1.00	0.50	0.20	0.10



**TABLE 5**  
GSM-AM-1000-MH-MT-AS-SG  
1000-Watt MH, Area Square  
110,000-Lumen Clear Lamp

**Footcandle Table**

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
30'	3.50	2.00	1.00	0.50	0.20
35'	2.60	0.73	0.37	0.18	0.07
40'	2.00	1.00	0.50	0.20	0.10

WATTAGE TABLE	
Fixture Size	Wattage
GSS	70W-175W
GSM	175W-1000W
GSL	400W-1000W

ORDERING INFORMATION

SAMPLE NUMBER: GSM-AM-400-MH-MT-3V-SG-BK-L

<p><b>Product Family</b> GSS=Galleria Square Small GSM=Galleria Square Medium GSL=Galleria Square Large</p> <p><b>Mounting Method</b> AM=Arm Mount<sup>1</sup> AIR=Arm Included for Round Pole<sup>2</sup> AIS=Arm Included for Square Pole<sup>2</sup> SM1=Spider Mount (2 3/8" O.D. Tenon)<sup>3</sup> SM2=Spider Mount (3" O.D. Tenon)<sup>3</sup> SM3=Spider Mount (3 1/2" O.D. Tenon)<sup>4</sup></p> <p><b>Lamp Wattage*</b> 70=70W 100=100W 150=150W 175=175W 250=250W 320=320W* 350=350W* 400=400W* 450=450W* 750=750W* 1000=1000W*</p>	<p><b>Lamp Type</b> MH=Metal Halide MP=Pulse Start Metal Halide HPS=High Pressure Sodium</p> <p><b>Voltage*</b> 120=120V 208=208V 240=240V 277=277V 480=480V MT=Multi-Tap wired 277V<sup>10</sup> TT=Triple-Tap wired 347V<sup>10</sup></p>	<p><b>Distribution</b> 1F=Type I Formed (Horizontal)<sup>11</sup> 2F=Type II Formed (Horizontal)<sup>12</sup> 2S=Type II Segmented (Horizontal)<sup>12</sup> 3F=Type III Formed (Horizontal)<sup>12</sup> 3S=Type III Segmented (Horizontal)<sup>12</sup> 4S=Type IV Segmented (Horizontal)<sup>12</sup> 5S=Type V Segmented (Horizontal)<sup>12</sup> FT=Forward Throw Formed (Horizontal)<sup>12</sup> AR=Area Round (Vertical) AS=Area Square (Vertical) 3V=Type III (Vertical)<sup>11</sup> RW=Rectangular Wide (Vertical)<sup>13</sup> SL=Spill Light Eliminator<sup>14</sup></p> <p><b>Lens Type</b> FG=Flat Glass* SG=Sag Glass</p> <p><b>Colors (add as suffix/ must specify) **</b> BK=Black AP=Grey BZ=Bronze WH=Architectural White DP=Dark Platinum GM=Graphite Metallic</p> <p><b>Options (add as suffix) **</b> F=Single Fuse (120, 277 or 347V) FF=Double Fused (208,240 or 480V) EM=Quartz Restrike with Delay (Hot Restrike Only) Q=Quartz Restrike (Hot Restrike Only) R=NEMA Twistlock Photocontrol Receptacle HS=House Side Shield<sup>15</sup> VS=Vandal Shield (Arm Mount only, 400W Maximum) L=Lamp Included</p>	<p><b>Accessories (order separately)</b> MA1004-XX=14" Arm for Square Pole, 1.0 EPA (GSM &amp; GSL only)<sup>16</sup> MA1005-XX=6" Arm for Square Pole, 0.5 EPA (GSM &amp; GSL only)<sup>16</sup> MA1006-XX=Direct Mount Kit for Square Pole (GSM &amp; GSL only)<sup>16</sup> MA1007-XX=14" Arm for Round Pole, 1.0 EPA (GSM &amp; GSL only)<sup>16</sup> MA1008-XX=6" Arm for Round Pole, 0.5 EPA (GSM &amp; GSL only)<sup>16</sup> MA1009-XX=Direct Mount Kit for Round Pole (GSM &amp; GSL only)<sup>16</sup> MA1010-XX=Single-arm Tenon Adapter for 3 1/2" O.D. Tenon<sup>16</sup> MA1011-XX=2 @ 180° Tenon Adapter for 3 1/2" O.D. Tenon<sup>16</sup> MA1012-XX=3 @ 120° Tenon Adapter for 3 1/2" O.D. Tenon<sup>16</sup> MA1013-XX=4 @ 90° Tenon Adapter for 3 1/2" O.D. Tenon<sup>16</sup> MA1014-XX=2 @ 90° Tenon Adapter for 3 1/2" O.D. Tenon<sup>16</sup> MA1015-XX=2 @ 120° Tenon Adapter for 3 1/2" O.D. Tenon<sup>16</sup> MA1016-XX=3 @ 90° Tenon Adapter for 3 1/2" O.D. Tenon<sup>16</sup> MA1017-XX=Single-arm Tenon Adapter for 2 3/8" O.D. Tenon<sup>16</sup> MA1018-XX=2 @ 180° Tenon Adapter for 2 3/8" O.D. Tenon<sup>16</sup> MA1019-XX=3 @ 120° Tenon Adapter for 2 3/8" O.D. Tenon<sup>16</sup> MA1021-XX=6" Arm for Square Pole, 0.5 EPA (GSS Only)<sup>16</sup> MA1022-XX=6" Arm for Round Pole, 0.5 EPA (GSS Only)<sup>16</sup> MA1023-XX=9" Arm for Square Pole, 0.5 EPA (GSS Only)<sup>16</sup> MA1024-XX=9" Arm for Round Pole, 0.5 EPA (GSS Only)<sup>16</sup> MA1029-XX=Wall Mount Bracket with 10" Arm (Specify color)<sup>16</sup> MA1045-XX=4 @ 90° Tenon Adapter for 2 3/8" O.D. Tenon<sup>16</sup> MA1046-XX=Wall Mount Bracket with 9" Arm (GSS Only, Specify color)<sup>16</sup> MA1048-XX=2 @ 90° Tenon Adapter for 2 3/8" O.D. Tenon<sup>16</sup> MA1049-XX=3 @ 90° Tenon Adapter for 2 3/8" O.D. Tenon<sup>16</sup> MA1060=House Side Shield for GSS (Field Installed)<sup>15</sup> MA1061=House Side Shield for GSM (Field Installed)<sup>15</sup> MA1062=House Side Shield for GSL (Field Installed)<sup>15</sup> OA/RA1016=Photocontrol-Multi-Tap OA/RA1027=Photocontrol-480V OA1066-XX=Mast Arm Adapter GSM-EXTHS=External House Side Shield-2.24 EPA GSL-EXTHS=External House Side Shield-2.46 EPA</p>
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NOTES: 1 Arm not included. See accessories. 2 Arm length varies based on housing size: 9" for GSS, 11 1/2" for GSM and 14" for GSL. 3 Available on GSS housing only. 4 Available on GSL housing only. 5 Medium-base lamp for GSS housing. Mogul-base on GSM and GSL housings. 6 Pulse Start Metal Halide only. 250, 350, 400 & 450W Pulse Start for vertical mount only. 7 Requires reduced envelope ED-28 lamp when used with GSM housing and flat glass vertically lamped optics. 8 Requires reduced envelope BT-37 lamp when used with GSM housing. 9 Product also available in non-US voltages and 50Hz for international markets. Consult factory for availability and ordering information. 10 Multi-Tap ballast is 120/208/240/277V wired 277V. Triple-Tap ballast is 120/277/347V wired 347V. 11 Available on GSM and GSL housings only. 12 Maximum wattage on segmented optical distributions is 400W. 400W Metal Halide lamp must use reduced envelope ED-28 lamp. Not available in GSL housing. 13 RWV optic not available with flat glass. 14 Must use reduced envelope lamp, not available in GSL housing. 15 1000W GSL with flat glass requires BT-37 lamp and is not available in AS, RW, 3V distributions. 16 Other finish colors available. Including a full line of RAL color matches. Consult your Cooper Lighting Representative. 17 Must be listed in the order shown and separated by a dash. 18 House side shields available on 2F, 3F, FT, 3V (flat glass), 2S, 3S, 4S distributions only, and all vertically lamped optics when specified with sag lens. 19 Add fixture color at end of number. 20 Compatible with sag lens vertical optics only.

NOTE: Specifications and dimensions subject to change without notice.

Visit our web site at [www.cooperlighting.com](http://www.cooperlighting.com)

Customer First Center 1121 Highway 74 South Peachtree City, GA 30269 770.486.4800 FAX 770.486.4801 ADH050675



F2

**PLANNING BOARD REPORT #56-05**

**JB BROWN BUILDING –RESIDENTIAL CONVERSION PROJECT  
531 CONGRESS STREET**

**MAJOR SITE PLAN AND SUBDIVISION REVIEW**

**HEGA REALTY TRUST, APPLICANT**

Submitted to:  
Portland Planning Board  
Portland, Maine

Submitted by:  
Ethan Boxer-Macomber, Planner

September 22, 2005

A September 27, 2005 Public Hearing has been scheduled for the Planning Board to consider the above referenced application.

## I. PROJECT SUMMARY

**Applicant:** Hega Realty Trust  
C/O Dirigo Management  
One City Center  
Portland, ME 04101

**Site Location:** JB Brown Building - 531 Congress Street

**CBL#:** 037 C014001

**Zoning:** B3

**Development Proposal:** Conversion of fifth floor mezzanine level from leaseable office space to 10 residential condominium units

**Square Foot Areas:**

Building Total:	110, 520 S.F.
Project Total:	
Fifth Floor:	15,127 S.F.
Mezzanine:	9,057 S.F.
Total:	<hr/> 24,184 S.F.

## II. PROJECT DESCRIPTION

The 110,520 square foot, 5 ½ level JB Brown Building at 531 Congress Street is currently occupied by retail stores at the street level and leaseable office spaces in the upper levels. The applicant proposes to convert the fifth floor and mezzanine into 10 residential condominiums.

The proposed residential units range in size from 1,315 and 3,192 square feet in area. The units are accessed by the building's existing elevators and stair wells. A common central corridor leads to unit entries. Each unit features kitchen and living area on the fifth floor level and bedrooms on the mezzanine level. The applicant has indicated an intention to develop a condominium association and market the project as individual ownership units.

The application is subject to major site plan review as a change of use over 10,000 s.f. in area and subdivision review for the creation of 3 or more new residential units.



### III. PUBLIC OUTREACH AND RESPONSE

Upon receipt of the subject site plan application; staff noticed property owners within 500 feet of the site and placed an ad in the *Portland Press Herald* newspaper in accordance with the requirements of the site plan ordinance. Prior to the July 21, 2005 Workshop and September 27, 2005 Public Hearing the project was again noticed in the same manner.

The applicant held a required neighborhood meeting on August 30, 2005 and has provided required documentation (Attachment D).

As of the date of this report, staff has not received any public communication regarding this project.

### IV. SITE PLAN

1. Traffic, Loading, and Circulation §14-526(a)(1)

*Traffic*

The proposed project is not anticipated to have any significant adverse effect on regional traffic.

*Loading*

The site offers ample space for vehicular loading and unloading at the rear of the building. Metered on-street parking is also available near the project's front entry.

*Pedestrian Circulation*

Residents of the proposed project will access the JB Brown building from Congress Street. Access between the provided on-site parking area and Congress Street is via Tolman Place.

2. Parking §14-526(a)(2)

13 on-site parking spaces are provided to the rear of the building adjacent to Tolman Place. While the project need not provide any dedicated parking for the project under the zoning ordinance as a change of use in the B3, the applicant is providing parking at an approximately 1 : 1.25 ratio in order to satisfy this standard of the site plan ordinance.

3. Health and Safety §14-526(a)(3)

Per the Site Plan ordinance, the massing and placement of the proposed building should "not cause health or safety problems as to the existing uses in the neighborhood". No changes to the massing or placement of the building are proposed.

4. Value / Utility of Neighboring Structures §14-526(a)(4)

Staff finds the proposed project in conformance with this standard.

5. Sewers, Stormdrains, Water §14-526(a)(5)

The applicant has requested a letter of wastewater capacity from the Department of Public Works. As of this writing that letter had not be received, however, Planning staff understands from recent residential projects in vicinity of the site that ample sewer capacity exists to serve the project. Staff a condition of approval as follows:

*The applicant shall submit a letter from the Engineering Division of Public Works to the Planning Division verifying adequate sewer and stormwater capacity to serve the project.*

The applicant has presented a letter of adequate water capacity from the Portland Water District (Attachment E).

6. Drainage and Erosion Control §14-526(a)(8)

In the present condition the site is fully impervious. Existing drainage flows and catchments systems appear to be functioning effectively.

7. Exterior Lighting §14-526(a)(9)

Whereas the proposed project would result in the use of the rear parking lot by future residents, the applicant proposes to add one pole mounted and three wall-mounted exterior lighting fixtures (Attachment F).

While, the exterior lighting plan appears to be well conceived, more detailed information will be required to determine compliance with the City's exterior lighting standards. These details include items such as: proposed pole height, wall pack fixture detail, and specifications for light source type and wattage.

Staff recommends that the Planning Board include a condition of approval as follows:

*The applicant shall refine the exterior lighting plan to demonstrate full compliance with the City's exterior lighting standards, subject to final review and approval by the Planning Authority.*

8. Fire Prevention §14-526(a)(10)

The Fire Department, Office of Fire Prevention, has reviewed and approved the proposed site plan "with conditions". However, in his report to the Planning Division, the reviewing officer did not list any specify which conditions. Where the reviewing officer was not available for clarification as of this writing, staff recommends that following condition of approval as a precaution:

*The project shall be subject to final review and approval by the City's Fire Prevention officer.*

9. Historic District / Landmark §14-526(a)(18)

The proposed project involves the addition of a number of windows to the rear of the building. The impact of this change is minimal. This façade change has undergone review by the Historic Preservation Board and was approved with conditions.

V. SUBDIVISION

1. Water and Air Pollution §14-497(a)(1)

Staff finds the proposed project in conformance with this standard.

2. Water Capacity and Supply §14-497(a)(2-3)

The applicant has presented a capacity letter from the Portland Water District (Attachment E).

3. Soil Erosion §14-497(a)(4)

The proposed project will not result in any soil erosion.

4. Traffic §14-497(a)(5)

See IV. (1) above.

5. Sanitary and Stormwater Capacity §14-497(a)(6)

See IV. (5) above.

6. Sewage and Solid Waste Disposal §14-497(a)(7)

As a private, multi-family residential project, the proposed project will not be eligible for City trash collection services. The developer and/or future condominium association will be required to provide private trash collection services. The final condominium documents should reflect this requirement. Staff therefore recommends the following condition of approval:

*The applicant shall present draft condominium documents for review and approval by Corporation Counsel.*

7. Scenic Beauty §14-497(a)(8)

The proposed project will not have an adverse effect on the scenic or natural beauty of the area.

**8. Financial and Technical Capability**

§14-497(a)(10)

The applicant has presented a financial capacity letter (Attachment C).

**9. Subdivision Technical and Design Standards**

§14-498

*Street Trees*

Under the standards of the subdivision ordinance, all subdivisions are required to provide street trees at a ratio of two (2) trees per lot or unit. The subject application is for 20 units and must therefore contribute 20 street trees. Where as the subject site is located in a fully developed urban environment, staff recommends that the Planning Board follow recent precedent and require that the developer contribute a fee of \$200 per tree required into a street tree fund for use by the City Arborist in the installation and maintenance of urban street trees in the vicinity of the site.

Staff recommends the following condition of approval:

*The applicant shall contribute \$4,000 to a street tree fund for use by the City Arborist in the installation and maintenance of urban street trees in the vicinity of the site.*

**VI. CONCLUSION AND RECOMMENDATION**

Staff finds, that with the proposed conditions of approval satisfied, the proposed project will be consistent with the B3 Zoning Ordinance and the standards of the Site Plan and Subdivision ordinances and recommends that the Planning Board approve the proposed motion.

**VII. MOTION FOR THE BOARD TO CONSIDER**

On the basis of plans submitted by the applicant and on the basis of information contained in Planning Report #56-05 relevant to standards for site plan and subdivision regulations, and other findings as follows:

1. That the plan is in conformance with the subdivision standards of the land use code.

Potential Conditions of Approval:

- i. *The applicant shall contribute \$4,000 to a street tree fund for use by the City Arborist in the installation and maintenance of urban street trees in the vicinity of the site.*
2. That the plan is in conformance with the site plan standards of the land use code.

Potential Conditions of Approval:

- i. *The applicant shall submit a letter from the Engineering Division of Public Works to the Planning Division verifying adequate sewer and stormwater capacity to serve the project.*
- ii. *The applicant shall refine the exterior lighting plan to demonstrate full compliance with the City's exterior lighting standards, subject to final review and approval by the Planning Authority.*
- iii. *The project shall be subject to final review and approval by the City's Fire Prevention officer.*

**VIII. ATTACHMENTS**

- A. Application
- B. Evidence of Right, Title, and Interest
- C. Financial Capacity Letter
- D. Neighborhood Meeting Certification
- E. Water Capacity Letter
- F. Exterior Lighting
- G1. Site Survey
- G2+3 Floor Plans



# City of Portland Site Plan Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

<b>Address of Proposed Development:</b> 531 Congress Street		<b>Zone:</b> B3
<b>Total Square Footage of Proposed Structure:</b> 110,520 sq. ft. 5th Floor 15,127 Sq. Ft. Mezzanine 9,057 Sq. Ft.		<b>Square Footage of Lot:</b> .484 Acres
<b>Tax Assessor's Chart, Block &amp; Lot:</b>  Chart# 037    Block# C    Lot# 14	<b>Property owner's mailing address:</b> HEGA Realty Trust C/O Dirigo Management Co. One City Center Portland, ME 04101	<b>Telephone #:</b>  (207) 871-1080
<b>Consultant/Agent, mailing address, phone # &amp; contact person:</b>  David Lloyd Archetype, P.A. 48 Union Wharf Portland, ME 04101 (207) 772-6022	<b>Applicant's name, mailing address, telephone #/Fax#/Pager#:</b>  <i>Peter Skapinsky</i> HEGA Realty Trust C/O Dirigo Management Co. One City Center Portland, ME 04101 (207) 871-1080 Fax (207) 871-7189	<b>Project name:</b>  JB Brown Building
<b>Proposed Development (check all that apply)</b> <input type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input checked="" type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input checked="" type="checkbox"/> Subdivision (\$500.00) + amount of lots <u>10</u> (\$25.00 per lot) \$ <u>250</u> <input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____) <input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Stormwater Quality (\$250.00) <input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot) <input type="checkbox"/> Other _____		
<b>Major Development (more than 10,000 sq. ft.)</b> <input checked="" type="checkbox"/> Under 50,000 sq. ft. (\$500.00) <input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00) <input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00) <input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00) <input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00) <input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)		
<b>Minor Site Plan Review</b> <input type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)		
<b>Plan Amendments</b> <input type="checkbox"/> Planning Staff Review (\$250.00) <input type="checkbox"/> Planning Board Review (\$500.00)		

- Please see next page -

AI

Who billing will be sent to: (Company, Contact Person, Address, Phone #)	Peter Skapinsky HEGA Realty Trust C/O Dirigo Management Co. One City Center Portland, ME 04101 (207) 871-1080
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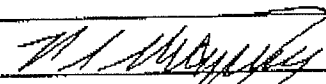
Submittals shall include (9) separate folded packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, & c)  
**ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM**

Section 14-522 of the Zoning Ordinance outlines the process; copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: [ci.portland.me.us](http://ci.portland.me.us) chapter 14

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: 	Date: 7/26/05
---	---------------

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

## Development in Portland

The City of Portland has instituted the following fees to recover the costs of reviewing development proposals under the Site Plan and Subdivision ordinances: application fee, engineering fee, and inspection fee. Performance and defect guarantees are also required by ordinance to cover all site work proposed.

The Application Fee covers general planning and administrative processing costs, and is paid at the time of application.

The Planning Division is required to send notices to neighbors upon receipt of an application and prior to public meetings. The applicant will be billed for mailing and advertisement costs. Applicants for development will be charged an Engineering Review Fee. This fee is charged by the Planning Division for review of on-site improvements of a civil engineering nature, such as storm water management as well as the engineering analysis of related improvements within the public right-of-way, such as public streets and utility connections, as assessed by the Department of Public Works. The Engineering Review fee must be paid before a building permit can be issued. Monthly invoices are sent out by the Planning Division on a monthly basis to cover engineering costs.

A Performance Guarantee will be required following approval of development plans. This guarantee covers all required improvements within the public right-of-way, plus certain site improvements such as landscaping, paving, and drainage improvements. The Planning Division will provide a cost estimate form for figuring the amount of the performance guarantee, as well as sample form letters to be filled out by a financial institution.

An Inspection Fee must also be submitted to cover inspections to ensure that sites are developed in accordance with the approved plan. The inspection fee is 2.0% of the performance guarantee amount, or as assessed by the planning or public works engineer. The minimum inspection fee is \$300 for development, unless no site improvements are proposed. Public Works inspects work within the City right-of-way and Planning inspects work within the site including pipe-laying and connections. (The contractor must work with inspectors to coordinate timely inspections, and should provide adequate notice before inspections, especially in the case of final inspection.)

Upon completion of a development project, the performance guarantee is released, and a Defect Guarantee in the amount of 10% of the performance guarantee must be provided. The Defect Guarantee will be released after a year.

Other reimbursements to the City include actual or apportioned costs for advertising and mailed notices. All fees shall be paid prior to the issuance of any building permit.

For more information on the fees or review process, please call the Planning Division at 874-8719 or 874-8721.

A2

BK 7686PG0335

APPENDIX A

All these certain lots or parcels of land, with buildings thereon, situated at or near 529-531 Congress Street in the City of Portland, County of Cumberland and State of Maine, consisting of 44,500 square feet of land, more or less; being the same premises as set forth in the following deeds, which premises are hereby conveyed by the Grantor herein to the Grantee herein.

Parcel 1 - Being the same premises conveyed by Warranty Deed from Abby M. Tolman to John B. Brown dated December 4, 1860 and recorded in Book 305, Page 152, and by Quit-Claim Deed from Mary K. Tolman, et al, to John B. Brown dated December 4, 1860 and recorded in Book 306, Page 18.

Parcel 2 - Being the same premises conveyed by Warranty Deed from Harriett T. Henderson to John B. Brown dated December 29, 1880 and recorded in Book 474, Page 135.

Parcel 3 - Being the same premises conveyed by Warranty Deed from Emma E. Foster, et al, to John B. Brown dated June 20, 1881 and recorded in Book 478, Page 180.

The above-described parcels being a portion of the premises conveyed by deed from Joseph W. Symonds, et al, Trustees u/w/o John B. Brown to J. B. Brown & Sons dated May 16, 1904 and recorded in Book 749, Page 43.

Excepting therefrom such portion of the above-described Parcel 3 as was conveyed by Warranty Deed from J. B. Brown & Sons to Portland Water District dated May 22, 1963 and recorded in Book 2750, Page 299.

Subject to utility easement described in deed from J. B. Brown & Sons to Central Maine Power Company dated April 30, 1969 and recorded in Book 3091, Page 29.

Parcel 4 - Being the same premises conveyed by Quit-Claim Deed from Congress Realty Company to J. B. Brown & Sons dated December 31, 1959 and recorded in Book 2519, Page 39.

Subject to the right, title and interest of others in and to Tolman Place.

Parcel 5 - Being the same premises conveyed by Warranty Deed from Maurice Dress to J. B. Brown & Sons dated September 2, 1980 and recorded in Book 4655, Page 241.

Parcel 6 - Being the same premises conveyed by Warranty Deed from Roland R. Lobbe, Jr. to J. B. Brown & Sons dated May 23, 1980 and recorded in Book 4610, Page 243.

Subject to right, title and interest of others in and to the 12 foot right-of-way adjoining the northeasterly boundary of the premises.

Parcel 7 - Being the same premises conveyed by Warranty Deed from Hezekiah Winslow, et al, to John B. Brown dated December 12, 1863 and recorded in Book 323, Page 319, and later conveyed by the heirs of Ellen Greeley Clifford to W. H. Clifford Company by deed dated August 30, 1904 and recorded in Book 756, Page 312, J. B. Brown & Sons being the successor to the W. H. Clifford Company.

Excepting therefrom such portion of the above-described Parcel 7 as was conveyed by deed from the W. H. Clifford Company to Walter G. Davis, et al, dated November 5, 1920 and recorded in Book 1053, Page 300.

Parcel 8 - Being the same premises conveyed by Warranty Deed from Walter G. Davis, et al, to W. H. Clifford Company dated March 1, 1907 and recorded in Book 804, Page 428, J. B. Brown & Sons being the successor to the W. H. Clifford Company.

The above described premises are subject to a utility easement set forth in a deed from J. B. Brown & Sons to Central Maine Power Company dated April 30, 1969 and recorded in the Cumberland County Registry of Deeds in Book 3091, Page 29.

Tolman Place, so-called, and the 12 foot right of way adjoining the northeasterly boundary of the premises are subject to the right, title and interest of others.

Meaning and intending to convey the same premises conveyed to the grantor by deed of J. B. Brown & Sons dated March 10, 1986 and recorded in the Cumberland County Registry of Deeds in Book \_\_\_\_\_, Page \_\_\_\_\_.

RECEIVED  
RECORDED REGISTRY OF DEEDS  
1987 MAR 26 AM 10:00  
CUMBERLAND COUNTY  
*James J. Walsh*

BI





To have and to hold the same, together with all the privileges and appurtenances thereto belonging, to the said HAMPSTEAD OUTLOOK, INC.,

its/ successors heirs and assigns forever.

And it does so covenant with the said Grantee, its/ successors and assigns, that it shall and will warrant and defend the premises to the said Grantee, its/ successors and assigns forever, against the lawful claims and demands of all persons claiming by, through, or under it.

In Witness Whereof, the said J. B. Brown & Sons has caused this instrument to be sealed with its corporate seal and signed in its corporate name by Curtis W. Scribner its President, thereunto duly authorized,

Witness my hand and seal this

10th day of the month of March, A.D. 1986.

Signed, Sealed and Delivered in presence of

[Signature]

J. B. Brown & Sons

By [Signature] aka Curtis W. Scribner President

State of Maine, County of Cumberland ss. March 10, 1986.

Then personally appeared the above named Curtis W. Scribner, President

of said J. B. Brown & Sons and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of J. B. Brown & Sons. Before me,

SEAL

[Signature]

Notary Public

Name: CHARLES R. OESTREICHER NOTARY PUBLIC STATE OF MAINE COMMISSION EXPIRES SEPTEMBER 18, 1993

RECEIVED REGISTERED DEPT. OF REEDS 1986 MAR 18 AM 11:53 CUMBERLAND COUNTY James [Signature]

B3

BOOK 7101 PAGE 304

The above described premises are subject to a utility easement set forth in a deed from J. B. Brown & Sons to Central Maine Power Company dated April 30, 1969 and recorded in the Cumberland County Registry of Deeds in Book 3091, Page 29.

Tolman Place, so-called, and the 12 foot right of way adjoining the northeasterly boundary of the premises are subject to the right, title and interest of others.

B4

QUITCLAIM DEED  
With Covenant

**Know all Men by these Presents,**

**That** J. B. BROWN & SONS, a Maine corporation with a principal place of business in Portland, in the County of Cumberland and State of Maine,

in consideration of One Dollar and Other Valuable Consideration,

paid by HAMPSTEAD OUTLOOK, INC., doing business as HAMPSTEAD HOSPITAL, a corporation organized and existing under the laws of the State of New Hampshire, with a principal place of business in ~~whose mailing address is~~ Hampstead, in the County of Rockingham and State of New Hampshire,

the receipt whereof it does ~~dox~~ <sup>es</sup> hereby acknowledge, do / hereby ~~return~~, release, bargain, sell and convey, and forever quitclaim unto the said HAMPSTEAD OUTLOOK, INC.,

its/ <sup>successors</sup> heirs and assigns forever.

SEE ATTACHED SCHEDULE A

B6

# HEGA Realty Trust

218 East Road Hampstead, New Hampshire 03841

Tel: 603 329-5311 Fax: 603 329-4746

July 7, 2005

Ethan Boxer-Macomber, AICP  
City of Portland Planning Division  
389 Congress Street  
Portland, ME 04101

Re: JB Brown condominium project

Dear Mr. Boxer-Macomber:

During the past twenty years we have completed more than \$11M in renovations and tenant fit-up projects in the JB Brown building including a \$4.1M addition to accommodate the Federal Bankruptcy court, trustees and probation departments.

Our general contractor, Keeley Construction Co., is estimating that the construction cost for this contemplated condominium conversion project is in the range of \$1.2M.

HEGA Realty Trust owns the JB Brown building outright with no mortgage or other debts or encumbrances. Our current operating account balance is in excess of \$1M, which together with the building's current income will be more than sufficient to complete this project without reliance on outside funding sources.

Please do not hesitate to contact me if there are any questions or the need for additional information as the Planning Board considers our application.

Sincerely,



Phillip J. Kubiak  
Principal

©

**Neighborhood Meeting Minutes**  
**JB Brown Building – 531-537 Congress Street**  
**August 30, 2005**

**Present:**     **David Lloyd**                    **Archetype, P.A.**  
                  **Alex Landry**                    **30 Preble Street, Portland, ME**

---

- 1. Discussion regarding parking spaces required. Mr. Landry expressed he is opposed to parking requirements in the downtown area. He liked the idea that owners have the opportunity to lease, but not necessarily to own spaces. Mr. Landry himself lives in the downtown area and does not own a vehicle.**
- 2. Mr. Landry asked about the brick infill that was done in the 80's, it's a light yellowish brick that could be painted a darker color that might fade away and be esthetically more pleasing.**
- 3. Mr. Landry was pleased about any residential units coming to the downtown area.**
- 4. Mr. Landry asked if it was possible that Tolman Place could be labeled with a small metal black and white street sign that he sees on many of the buildings. Tolman Place is not presently labeled. He also asked whether it was a public street or private way.**
- 5. Discussion was had in regards to potential trees in front of the JB Brown Building. Are there any trees planned? If there are, that would be good or if there is presently a granite planter, maybe a tree could be planted in its place.**

\*\*\*End of Notes\*\*\*

DI

## Neighborhood Meeting Certification

**JB Brown Building – 531-537 Congress Street**

I, David Lloyd hereby certify that a neighborhood meeting was held on 8/30/05 at Archetype, 48 Union Wharf at 5:30 pm.

I also certify that on August 6, 2005, invitations were mailed to all addresses on the mailing list provided by the Planning Division, including property owners within 500 feet of the proposed development and the residents on the “interested parties” list.

Signed,

A handwritten signature in black ink, consisting of two large, overlapping loops, written over a horizontal line.

8/31/05 date

Attached to this certification are:

1. Copy of the invitation sent
2. Sign-in sheet
3. Meeting minutes

D2

SIGN UP SHEET  
JB Brown Neighborhood Meeting  
August 30, 2005 @ 5:30 pm

1 ALEX LANDRY 30 Preble St,

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**IMPORTANT NOTICE**

**TO RESIDENTS AND PROPERTY OWNERS  
IN THE VICINITY OF 531-537 CONGRESS STREET – PORTLAND ME**

**WHAT:**

There will be a Neighborhood Meeting regarding the conversion of the J B Brown Building's 5<sup>th</sup> floor from business to ten residential condominiums.

**WHERE:**

Archetype, P.A  
48 Union Wharf  
2<sup>nd</sup> Floor  
Portland, Maine  
Tuesday, August 30, 2005 @ 5:30 p.m.

**FOR MORE INFORMATION:**

If you have any questions, please call:

David Lloyd  
Archetype, PA  
48 Union Wharf  
Portland, ME 04101  
(207) 772-6022

DY



CUSTOMER SERVICE  
OFFICE HOURS  
8:30 A.M. - 4:30 P.M.

**Portland Water District**  
FROM SEBAGO LAKE TO CASCO BAY

July 26, 2005

Susan McEwen  
Archetype  
48 Union Wharf  
Portland, Me. 04101

Re: 531 Congress St.-Portland

Susan:

This letter is to confirm there should be an adequate supply of clean and healthful water to serve the needs of the proposed building conversion to office/residential space at 531 Congress St. in Portland. A booster pump may be necessary to supply sufficient water to the upper floors. Checking District records, I find there is a 16" water main on the south side of Congress st.. The nearest hydrant is located across the street from the property. A map of the water main layout is included as well as the service records for the property.

The current data from the nearest hydrant indicates there should be adequate capacity of water to serve the needs of your proposed project.

Hydrant Location: Congress St. 100' west of Casco St.  
Hydrant # 84  
Static pressure = 70 PSI  
Flow = 1255 GPM  
Last Tested = 7/15/88

If the District can be of further assistance in this matter, please let us know.

Sincerely,  
Portland Water District

Jim Pandiscio  
Means Coordinator

225 DOUGLASS STREET . P.O. Box 3553 . PORTLAND, MAINE 04104-3553  
PHONE: 207.761.8310 FAX: 207.879.5837 E-MAIL: CUSTOMERHELP@PWD.ORG WEB: WWW.PWD.ORG

TYPE:

CATALOG #:

**McGRAW-EDISON®**

**DESCRIPTION**

McGraw-Edison's Galleria combines beauty and versatility to make it an excellent choice for architects, specifiers and contractors in today's energy- and design-conscious environment. An aesthetic reveal in the formed aluminum housing gives the Galleria a distinctive look while a variety of mounting options and lamp wattages provide maximum flexibility.

**APPLICATION**

The Galleria achieves superior light distribution by utilizing a seamless reflector system, making it the optimum choice for almost any small, medium or large area lighting application.

**SPECIFICATION FEATURES**

**A--Housing**

Formed aluminum housing with stamped reveal has interior-welded seams for structural integrity and is finished in premium TGIC polyester powder coat. U.L. listed and CSA certified for wet locations.

**B--Ballast Tray**

Ballast tray is hard-mounted to housing interior for cooler operation.

**C--Ballast**

Long-life core and coil ballast.

**D--Reflector**

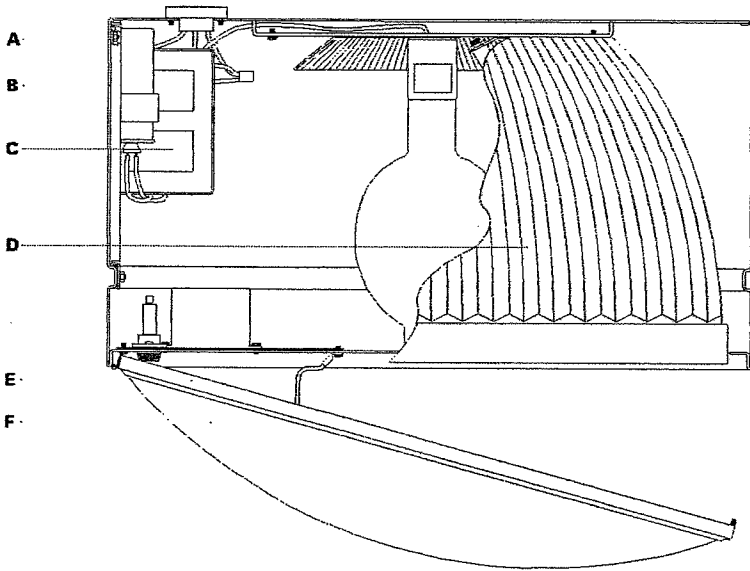
Spun and stamped aluminum reflector in vertical lamp units, or hydroformed anodized aluminum reflector in horizontal lamp units. Rotatable optics standard.

**E--Door**

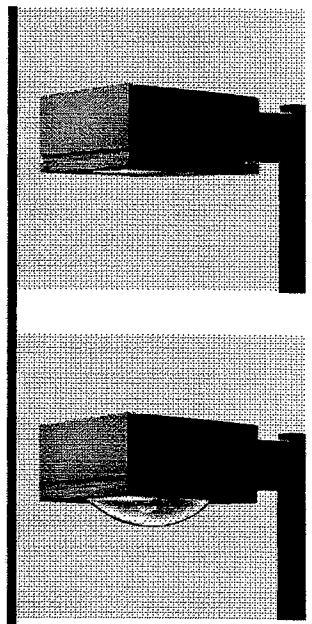
Formed aluminum door has heavy-duty hinges, captive retaining screws and is finished in premium TGIC polyester powder coat. (Spider mount unit has steel door.)

**F--Lens**

Convex tempered glass lens or flat glass.



**DARK SKY FRIENDLY**  
In all flat glass configurations.



**GSS/GSM/GSL  
GALLERIA  
SQUARE**

**70 - 1000W**

**Metal Halide  
Pulse Start Metal Halide  
High Pressure Sodium**

**ARCHITECTURAL  
AREA LUMINAIRE**

**ENERGY DATA**

- CWA Ballast Input Watts
- 150W MH HPF (210 Watts)
- 175W MH HPF (210 Watts)
- 175W MH HPF (210 Watts)
- 250W MH HPF (295 Watts)
- 250W HPS HPF (300 Watts)
- 400W MH HPF (455 Watts)
- 400W HPS HPF (465 Watts)
- 1000W MH HPF (1080 Watts)
- 1000W HPS HPF (1100 Watts)

**EPA**

Effective Projected Area: (Sq. Ft.)

[Without Arm]

- GSS: 1.2
- GSM: 2.4
- GSL: 3.9

[With Arm]

- GSS: 1.7
- GSM: 3.02
- GSL: 4.90

[Spider Mount]

- GSS: 1.04
- GSM: 2.22
- GSL: 3.7

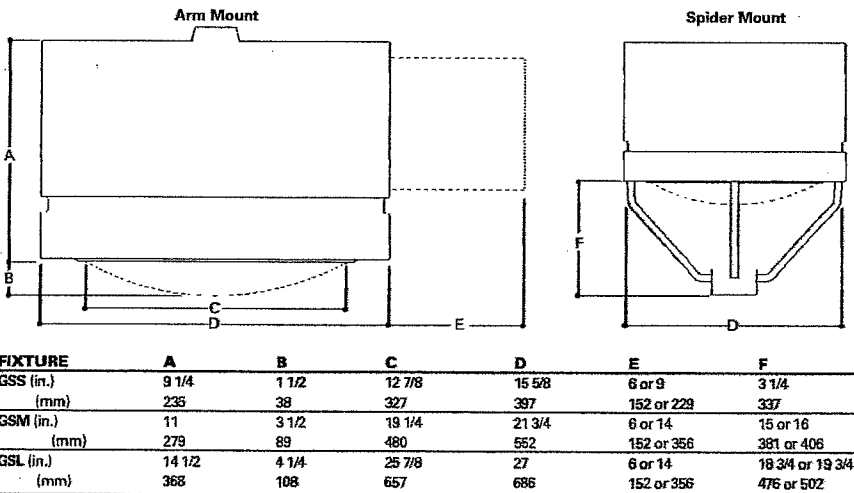
**SHIPPING DATA**

Approximate Net Weight:  
36 lbs. (16 kgs.)  
79 lbs. (36 kgs.)  
88 lbs. (40 kgs.)

ADH050675



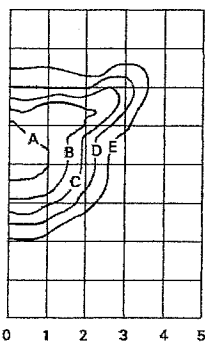
**DIMENSIONS**



NOTE: Top cap used on GSM with 1000W flat glass vertically lamped optics only.

**COOPER LIGHTING**

PHOTOMETRICS

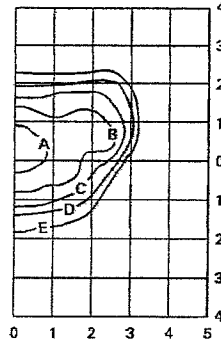


**TABLE 1**  
GSS-AM-175-MH-MT-3F-FG  
175-Watt MH, Type III  
14,000-Lumen Clear Lamp

**Footcandle Table**

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
10'	11.25	4.50	2.25	1.16	0.45
15'	5.00	2.00	1.00	0.50	0.25
20'	2.80	1.12	0.56	0.28	0.19

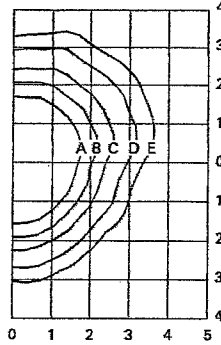


**TABLE 2**  
GSM-AM-400-HPS-MT-3F-FG  
400-Watt HPS, Type III  
50,000-Lumen Clear Lamp

**Footcandle Table**

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
30'	2.00	1.00	0.50	0.25	0.10
35'	1.46	0.73	0.37	0.18	0.07
40'	1.12	0.56	0.28	0.14	0.06

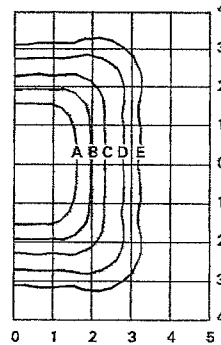


**TABLE 3**  
GSM-AM-1000-MH-MT-3V-FG  
1000-Watt MH, Type III Vertical  
110,000-Lumen Clear Lamp

**Footcandle Table**

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
30'	3.50	2.00	1.00	0.50	0.20
35'	2.60	0.73	0.37	0.18	0.07
40'	2.00	1.00	0.50	0.20	0.10

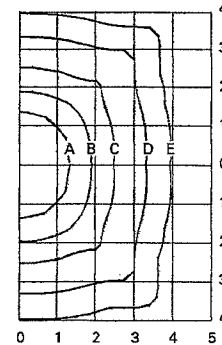


**TABLE 4**  
GSM-AM-1000-MH-MT-AS-FG  
1000-Watt MH, Area Square  
110,000-Lumen Clear Lamp

**Footcandle Table**

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
30'	3.50	2.00	1.00	0.50	0.20
35'	2.60	0.73	0.37	0.18	0.07
40'	2.00	1.00	0.50	0.20	0.10



**TABLE 5**  
GSM-AM-1000-MH-MT-AS-SG  
1000-Watt MH, Area Square  
110,000-Lumen Clear Lamp

**Footcandle Table**

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
30'	3.50	2.00	1.00	0.50	0.20
35'	2.60	0.73	0.37	0.18	0.07
40'	2.00	1.00	0.50	0.20	0.10

**WATTAGE TABLE**

Fixture Size	Wattage
GSS	70W-175W
GSM	175W-1000W
GSL	400W-1000W

ORDERING INFORMATION

SAMPLE NUMBER: GSM-AM-400-MH-MT-3V-SG-BK-L

<p><b>Product Family</b> GSS=Galleria Square Small GSM=Galleria Square Medium GSL=Galleria Square Large</p>	<p><b>Lamp Type</b> MH=Metal Halide MP=Pulse Start Metal Halide HPS=High Pressure Sodium</p>	<p><b>Distribution</b> 1F=Type I Formed (Horizontal)<sup>11</sup> 2F=Type II Formed (Horizontal) 2S=Type II Segmented (Horizontal)<sup>12</sup> 3F=Type III Formed (Horizontal) (Horizontal)<sup>12</sup> 3S=Type III Segmented (Horizontal)<sup>12</sup> 4S=Type IV Segmented (Horizontal)<sup>12</sup> 5S=Type V Segmented (Horizontal)<sup>12</sup> F1=Forward Throw Formed (Horizontal) AR=Area Round (Vertical) AS=Area Square (Vertical) 3V=Type III (Vertical)<sup>11</sup> RW=Rectangular Wide (Vertical)<sup>12, 28</sup> SL=Spill Light Eliminator<sup>12</sup></p>	<p><b>Accessories (order separately)</b> MA1004-XX=14" Arm for Square Pole, 1.0 EPA (GSM &amp; GSL only)<sup>19</sup> MA1005-XX=6" Arm for Square Pole, 0.5 EPA (GSM &amp; GSL only)<sup>19</sup> MA1006-XX=Direct Mount Kit for Square Pole (GSM &amp; GSL only)<sup>19</sup> MA1007-XX=14" Arm for Round Pole, 1.0 EPA (GSM &amp; GSL only)<sup>19</sup> MA1008-XX=6" Arm for Round Pole, 0.5 EPA (GSM &amp; GSL only)<sup>19</sup> MA1009-XX=Direct Mount Kit for Round Pole (GSM &amp; GSL only)<sup>19</sup> MA1010-XX=Single-arm Tenon Adapter for 3 1/2" O.D. Tenon<sup>19</sup> MA1011-XX=2 @ 180° Tenon Adapter for 3 1/2" O.D. Tenon<sup>19</sup> MA1012-XX=3 @ 120° Tenon Adapter for 3 1/2" O.D. Tenon<sup>19</sup> MA1013-XX=4 @ 90° Tenon Adapter for 3 1/2" O.D. Tenon<sup>19</sup> MA1014-XX=2 @ 90° Tenon Adapter for 3 1/2" O.D. Tenon<sup>19</sup> MA1015-XX=2 @ 120° Tenon Adapter for 3 1/2" O.D. Tenon<sup>19</sup> MA1016-XX=3 @ 90° Tenon Adapter for 3 1/2" O.D. Tenon<sup>19</sup> MA1017-XX=Single-arm Tenon Adapter for 2 3/8" O.D. Tenon<sup>19</sup> MA1018-XX=2 @ 180° Tenon Adapter for 2 3/8" O.D. Tenon<sup>19</sup> MA1019-XX=3 @ 120° Tenon Adapter for 2 3/8" O.D. Tenon<sup>19</sup> MA1021-XX=6" Arm for Square Pole, 0.5 EPA (GSS Only)<sup>19</sup> MA1022-XX=6" Arm for Round Pole, 0.5 EPA (GSS Only)<sup>19</sup> MA1023-XX=9" Arm for Square Pole, 0.5 EPA (GSS Only)<sup>19</sup> MA1024-XX=9" Arm for Round Pole, 0.5 EPA (GSS Only)<sup>19</sup> MA1029-XX=Wall Mount Bracket with 10" Arm (Specify color)<sup>19</sup> MA1045-XX=4 @ 90° Tenon Adapter for 2 3/8" O.D. Tenon<sup>19</sup> MA1046-XX=Wall Mount Bracket with 9" Arm (GSS Only, Specify color)<sup>19</sup> MA1048-XX=2 @ 90° Tenon Adapter for 2 3/8" O.D. Tenon<sup>19</sup> MA1049-XX=3 @ 90° Tenon Adapter for 2 3/8" O.D. Tenon<sup>19</sup> MA1060=House Side Shield for GSS (Field Installed)<sup>19</sup> MA1061=House Side Shield for GSM (Field Installed)<sup>19</sup> MA1062=House Side Shield for GSL (Field Installed)<sup>19</sup> OA/RA1016=Photocontrol-Multi-Tap OA/RA1027=Photocontrol-480V QA1066-XX=Mast Arm Adapter GSM-EXTHS=External House Side Shield-2.24 EPA GSL-EXTHS=External House Side Shield-2.46 EPA</p>
<p><b>Mounting Method</b> AM=Arm Mount<sup>1</sup> AIR=Arm Included for Round Pole<sup>2</sup> AIS=Arm Included for Square Pole<sup>2</sup> SM1=Spider Mount (2 3/8" O.D. Tenon)<sup>3</sup> SM2=Spider Mount (3" O.D. Tenon) SM3=Spider Mount (3 1/2" O.D. Tenon)<sup>4</sup></p>	<p><b>Voltage</b><sup>5</sup> 120=120V 208=208V 240=240V 277=277V 480=480V MT=Multi-Tap wired 277V<sup>6</sup> TT=Triple-Tap wired 347V<sup>6</sup></p>	<p><b>Lens Type</b> FG=Flat Glass<sup>7</sup> SG=Sag Glass</p>	<p><b>Options (add as suffix)<sup>17</sup></b> F=Single Fuse (120, 277 or 347V) FF=Double Fused (208,240 or 480V) EM=Quartz Restrike with Delay (Hot Restrike Only) Q=Quartz Restrike (Hot Restrike Only) R=NEMA Twistlock Photocontrol Receptacle HS=House Side Shield<sup>18</sup> VS=Vandal Shield (Arm Mount only, 400W Maximum) L=Lamp Included</p>
<p><b>Lamp Wattage</b><sup>8</sup> 70=70W 100=100W 150=150W 175=175W 250=250W 320=320W<sup>9</sup> 350=350W<sup>9</sup> 400=400W<sup>9</sup> 450=450W<sup>9</sup> 750=750W<sup>9</sup> 1000=1000W<sup>9</sup></p>	<p><b>Colors (add as suffix/ must specify)<sup>16</sup></b> BK=Black AP=Grey BZ=Bronze WH=Architectural White DP=Dark Platinum GM=Graphite Metallic</p>		

NOTES: 1 Arm not included. See accessories. 2 Arm length varies based on housing size: 9" for GSS, 11 1/2" for GSM and 14" for GSL. 3 Available on GSS housing only. 4 Available on GSL housing only. 5 Medium-base lamp for GSS housing. Mogul-base on GSM and GSL housings. 6 Pulse Start Metal Halide only. 250, 350, 400 & 450W Pulse Start for vertical mount only. 7 Requires reduced envelope ED-28 lamp when used with GSM housing and flat glass vertically lamped optics. 8 Requires reduced envelope BT-37 lamp when used with GSM housing. 9 Product also available in non-US voltages and 50Hz for international markets. Consult factory for availability and ordering information. 10 Multi-Tap ballast is 120/208/240/277V wired 277V. Triple-Tap ballast is 120/277/347V wired 347V. 11 Available on GSM and GSL housings only. 12 Maximum wattage on segmented optical distributions is 400W. 400W Metal Halide lamp must use reduced envelope ED-28 lamp. Not available in GSL housing. 13 RW optic not available with flat glass. 14 Must use reduced envelope lamp, not available in GSL housing. 15 1000W GSL with flat glass requires BT-37 lamp and is not available in AS, RW, 3V distributions. 16 Other finish colors available. Including a full line of RAL color matches. Consult your Cooper Lighting Representative. 17 Must be listed in the order shown and separated by a dash. 18 House side shields available on 2F, 3F, FT, 3V (flat glass), 2S, 3S, 4S distributions only, and all vertically lamped optics when specified with sag lens. 19 Add fixture color at end of number. 20 Compatible with sag lens vertical optics only.

NOTE: Specifications and dimensions subject to change without notice.



Visit our web site at [www.cooperlighting.com](http://www.cooperlighting.com)  
Customer First Center 1121 Highway 74 South Peachtree City, GA 30269 770.486.4800 FAX 770.486.4801 ADH050675

F2



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

**Planning and Development Department**

Lee D. Urban, Director

**Planning Division**

Alexander Jaegerman, Director

June 22, 2005

Peter Skapinsky  
HEGA Realty Trust  
C/o Dirigo Management  
One City Center  
Portland, Maine 04101

RE: Proposed Change of Use – JB Brown Building – 531 Congress Street  
Application ID #2005-0117  
CBL: 037 C014001

Dear Mr. Skapinsky:

The Planning Division has received the above referenced application to convert approximately 24,000 square feet of office space on the fifth floor and mezzanine levels of the JB Brown building into 10 residential condominiums. Please be advised that the proposed project is subject to both site plan and subdivision review by the Planning Board. Please submit an additional \$750 (\$500 base plus \$25 per unit) for subdivision review along with a revised application.

Planning Division staff has conducted a preliminary review of the materials you have submitted to date. Please be advised that the application has been found substantially incomplete. Attached you will find an application form including a required submittals checklist for your convenience.

Once the applicable fees have been paid and the application has been found substantially complete, a workshop will be scheduled for the Planning board to consider the proposal.

If you have any questions, please do not hesitate to contact me by phone at 756-8083 or by email at [ebm@portlandmaine.gov](mailto:ebm@portlandmaine.gov).

Best regards,

Ethan Boxer-Macomber  
Planner

CC: Sarah Hopkins, Development Review Services Manager

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Planning Copy**

2005-0117  
Application I. D. Number  
  
6/1/2005  
Application Date  
  
JB Brown Building - Change of Use  
Project Name/Description

Hega Realty Trust, c/o Dirigo Mgmt.  
Applicant  
One City Center, Portland, NH 04101  
Applicant's Mailing Address

Consultant/Agent  
Applicant Ph: (207) 871-1080 Applicant Fax: (207) 871-7189  
Applicant or Agent Daytime Telephone, Fax

531 - 531 Congress St, Portland, Maine  
Address of Proposed Site  
037 C014001  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

110,520 s.f. B3  
Proposed Building square Feet or # of Units Acreage of Site Zoning

**Check Review Required:**

- |   |  |  |  |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                       | <input type="checkbox"/> Shoreland                   | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance             | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Pla \$500.00 Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date 6/6/2005

**Planning Approval Status:**

Approved  Approved w/Conditions See Attached  Denied Reviewer \_\_\_\_\_

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

OK to Issue Building Permit \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input checked="" type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	



May 31, 2005

Sarah Hopkins  
Development Review Manager  
City of Portland  
389 Congress Street  
Portland, ME 04101

**RE: JB Brown Building**

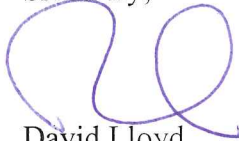
Dear Sarah,

Attached is our site plan application for the "change of use" from business occupancy on the fifth and mezzanine level to residential condominiums. The fifth floor is a 15,127 square foot area with a mezzanine level above at 9,057 square feet. Our proposal is to convert these areas to 10 residential units.

I have attached schematic floor plans and a site plan for your review. We do not anticipate any site development necessary to incorporate this change.

Please call with any questions or concerns.

Sincerely,



David Lloyd  
Architect



## City of Portland Site Plan Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

<b>Address of Proposed Development:</b> 531 Congress Street		<b>Zone:</b> B3
<b>Total Square Footage of Proposed Structure:</b> 110,520 sq. ft. 5th Floor 15,127 Sq. Ft. Mezzanine 9,057 Sq. Ft.		<b>Square Footage of Lot:</b> .484 Acres
<b>Tax Assessor's Chart, Block &amp; Lot:</b>  Chart# 037    Block# C    Lot# 14	<b>Property owner's mailing address:</b> HEGA Realty Trust C/O Dirigo Management Co. One City Center Portland, ME 04101	<b>Telephone #:</b>  (207) 871-1080
<b>Consultant/Agent, mailing address, phone # &amp; contact person:</b>  David Lloyd Archetype, P.A. 48 Union Wharf Portland, ME 04101 (207) 772-6022	<b>Applicant's name, mailing address, telephone #/Fax#/Pager#:</b> <i>Peter Skapinsky</i> <i>peter@dirigomgmt.com</i> HEGA Realty Trust C/O Dirigo Management Co. One City Center Portland, ME 04101    (207) 871-1080 Fax (207) 871-7189	<b>Project name:</b>  JB Brown Building
<p><b>Proposed Development (check all that apply)</b></p> <p><input type="checkbox"/> New Building    <input type="checkbox"/> Building Addition    <input checked="" type="checkbox"/> Change of Use    <input checked="" type="checkbox"/> Residential    <input type="checkbox"/> Office    <input type="checkbox"/> Retail    <input type="checkbox"/> Manufacturing</p> <p><input type="checkbox"/> Warehouse/Distribution    <input type="checkbox"/> Parking lot</p> <p><input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____</p> <p><input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____)</p> <p><input type="checkbox"/> Traffic Movement (\$1,000.00)    <input type="checkbox"/> Stormwater Quality (\$250.00)</p> <p><input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot)</p> <p><input type="checkbox"/> Other _____</p> <p><b>Major Development (more than 10,000 sq. ft.)</b></p> <p><input checked="" type="checkbox"/> Under 50,000 sq. ft. (\$500.00)</p> <p><input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00)</p> <p><input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00)</p> <p><input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00)</p> <p><input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00)</p> <p><input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)</p> <p><b>Minor Site Plan Review</b></p> <p><input type="checkbox"/> Less than 10,000 sq. ft. (\$400.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)</p> <p><b>Plan Amendments</b></p> <p><input type="checkbox"/> Planning Staff Review (\$250.00)</p> <p><input type="checkbox"/> Planning Board Review (\$500.00)</p>		
- Please see next page -		



<b>Who billing will be sent to: (Company, Contact Person, Address, Phone #)</b>	Peter Skapinsky HEGA Realty Trust C/O Dirigo Management Co. One City Center Portland, ME 04101 (207) 871-1080
---	---

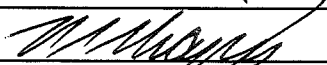
Submittals shall include (9) separate **folded** packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

**Amendment to Plans:** Amendment applications should include 6 separate packets of the above (a, b, & c)  
**ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM**

Section 14-522 of the Zoning Ordinance outlines the process; copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: [ci.portland.me.us](http://ci.portland.me.us) chapter 14

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: 	Date: 6/1/05
---	--------------

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

## Development in Portland

The City of Portland has instituted the following fees to recover the costs of reviewing development proposals under the Site Plan and Subdivision ordinances: application fee; engineering fee; and inspection fee. Performance and defect guarantees are also required by ordinance to cover all site work proposed.

The **Application Fee** covers general planning and administrative processing costs, and is paid at the time of application.

The **Planning Division** is required to send notices to neighbors upon receipt of an application and prior to public meetings. The applicant will be billed for mailing and advertisement costs. Applicants for development will be charged an **Engineering Review Fee**. This fee is charged by the Planning Division for review of on-site improvements of a civil engineering nature, such as storm water management as well as the engineering analysis of related improvements within the public right-of-way, such as public streets and utility connections, as assessed by the Department of Public Works. The Engineering Review fee must be paid before a building permit can be issued. Monthly invoices are sent out by the Planning Division on a monthly basis to cover engineering costs.

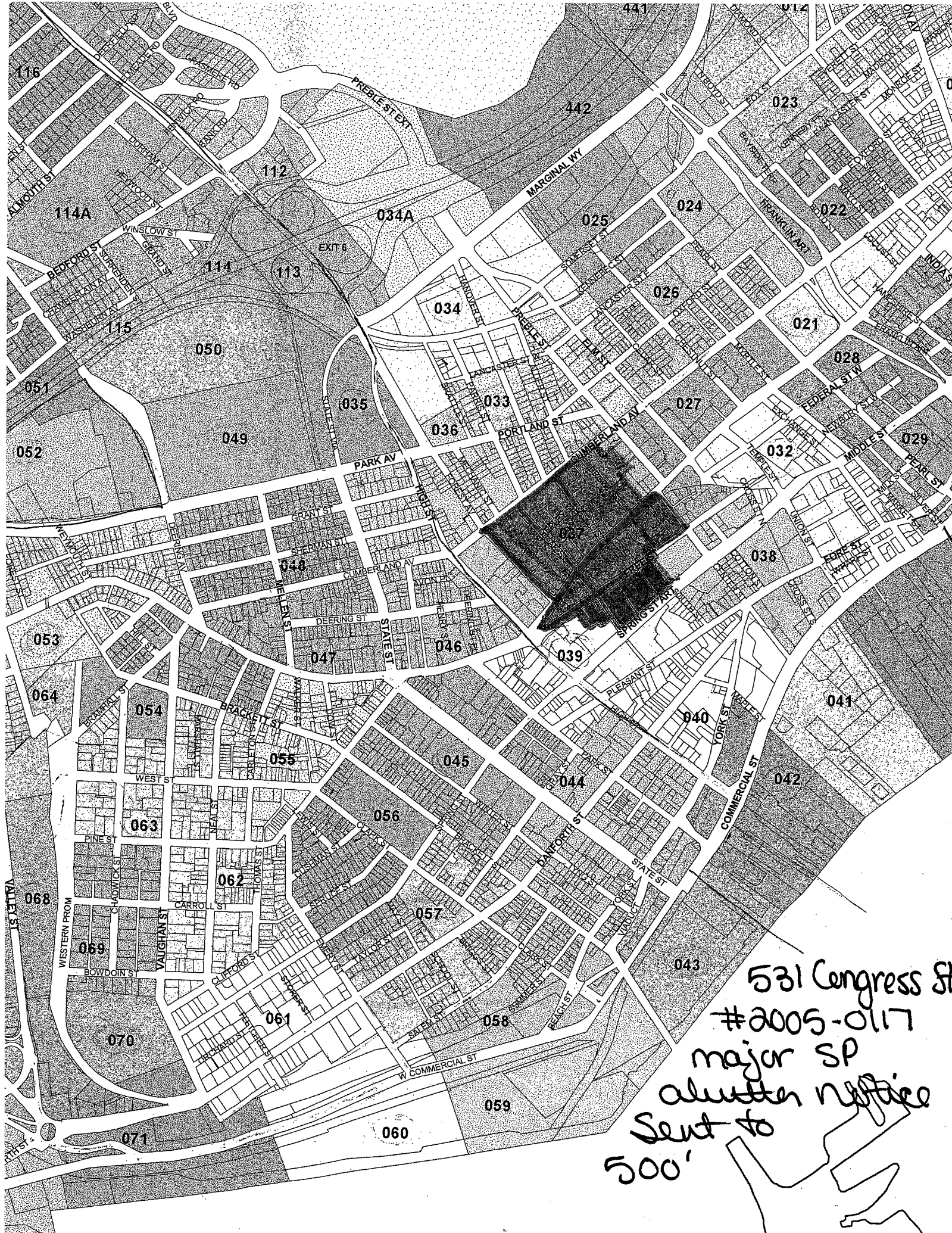
A **Performance Guarantee** will be required following approval of development plans. This guarantee covers all required improvements within the public right-of-way, plus certain site improvements such as landscaping, paving, and drainage improvements. The Planning Division will provide a cost estimate form for figuring the amount of the performance guarantee, as well as sample form letters to be filled out by a financial institution.

An **Inspection Fee** must also be submitted to cover inspections to ensure that sites are developed in accordance with the approved plan. The inspection fee is 2.0% of the performance guarantee amount, or as assessed by the planning or public works engineer. The minimum inspection fee is \$300 for development, unless no site improvements are proposed. Public Works inspects work within the City right-of-way and Planning inspects work within the site including pipe-laying and connections. (The contractor must work with inspectors to coordinate timely inspections, and should provide adequate notice before inspections, especially in the case of final inspection.)

Upon completion of a development project, the performance guarantee is released, and a **Defect Guarantee** in the amount of 10% of the performance guarantee must be provided. The Defect Guarantee will be released after a year.

Other reimbursements to the City include actual or apportioned costs for advertising and mailed notices. All fees shall be paid prior to the issuance of any building permit.

For more information on the fees or review process, please call the Planning Division at 874-8719 or 874-8721.



531 Congress St  
#2005-0117  
major SP  
alutler n office  
Sent to  
500'



# PORTLAND MAINE

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Planning and Development Department  
Lee D. Urban, Director

July 30, 2007

Planning Division  
Alexander Jaegerman, Director

David Lloyd  
Archetype, P.A. Architects  
48 Union Wharf  
Portland, Maine 04101

RE: Amendment to 531 Congress Street, 537 Lofts Garage  
CBL: 037-C-014  
Application ID: 2006-0218

Dear David:

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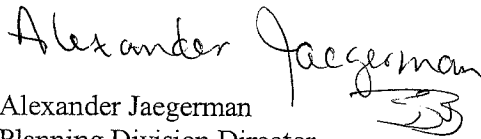
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4. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Barbara Barhydt, Development Review Services Manager at 874-8699.

Sincerely,



Alexander Jaegerman  
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director  
Alexander Jaegerman, Planning Division Director  
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Philip DiPierro, Development Review Coordinator  
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Bill Clark, Public works  
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Michael Farmer, Public Works  
Leslie Kaynor, Public Works  
Jeff Tarling, City Arborist  
Captain Greg Cass, Fire Prevention  
Assessor's Office  
Approval Letter File



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**Planning and Development Department**  
Lee D. Urban, Director

July 30, 2007

**Planning Division**  
Alexander Jaegerman, Director

David Lloyd  
Archetype, P.A. Architects  
48 Union Wharf  
Portland, Maine 04101

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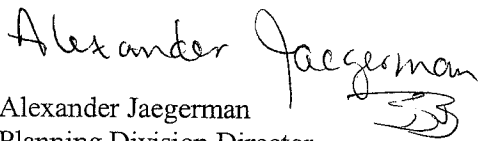
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Sincerely,



Alexander Jaegerman  
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director  
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Jeff Tarling, City Arborist  
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Assessor's Office  
Approval Letter File





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Planning and Development Department  
Lee D. Urban, Director

July 30, 2007

Planning Division  
Alexander Jaegerman, Director

David Lloyd  
Archetype, P.A. Architects  
48 Union Wharf  
Portland, Maine 04101

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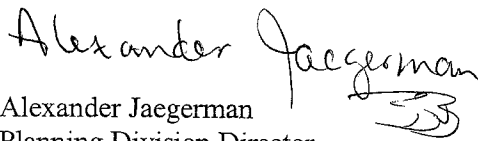
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Alexander Jaegerman  
Planning Division Director

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Lee D. Urban, Director

July 30, 2007

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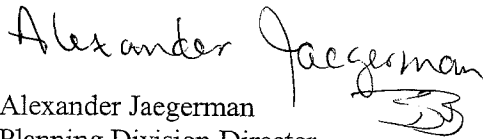
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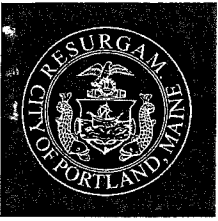
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Alexander Jaegerman  
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## Planning and Development Department

Lee D. Urban, Director

## Planning Division

Alexander Jaegerman, Director

July 30, 2007

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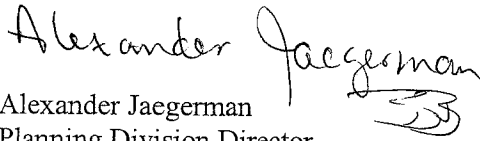
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Sincerely,



Alexander Jaegerman  
Planning Division Director

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Jeff Tarling, City Arborist  
Captain Greg Cass, Fire Prevention  
Assessor's Office  
Approval Letter File



November 2, 2006

Bill Needelman  
Development Review Manager  
City of Portland  
389 Congress Street  
Portland, ME 04101

**RE: 537 Lofts - Site Plan Revision**

Dear Bill,

Attached is a site plan showing a proposed eight (8) unit parking garage to be placed on eight (8) existing parking spaces. Each space will have an overhead door.

Please call with any questions or concerns.

Sincerely,



David Lloyd  
Architect



# City of Portland Site Plan Application

If you or the property owner owes real estate taxes, personal property taxes or user charges on any property within the City, payment arrangements must be made before permit applications can be received by the Inspections Division.

<b>Address of Proposed Development:</b> 531 Congress Street		<b>Zone:</b> B-3
<b>Existing Building Size:</b> Parking Lot sq. ft.	<b>Proposed Building Size:</b> 1,520 sq. ft.	
<b>Existing Acreage of Site:</b> .484 Acres sq. ft.	<b>Proposed Acreage of Site:</b> .484 Acres sq. ft.	
<b>Tax Assessor's Chart, Block &amp; Lot:</b> Chart# 037 Block# C Lot# 14	<b>Property owner's mailing address:</b> HEGA Realty Trust C/O Dirigo Management Co. One City Center Portland, ME 04101	<b>Telephone #:</b> (207) 871-1080
<b>Consultant/Agent, mailing address, phone # &amp; contact person:</b> David Lloyd Archetype, P.A. 48 Union Wharf Portland, ME 04101	<b>Applicant's name, mailing address, telephone #/Fax#/Pager#:</b> David Lloyd Archetype, P.A. 48 Union Wharf Portland, ME 04101 P: (207) 772-6022 F: (207) 772-4056	<b>Project name:</b> 537 Lofts

**Fee For Service Deposit (all applications)**  (\$200.00)

**Proposed Development (check all that apply)**

- New Building  Building Addition  Change of Use  Residential  Office  Retail
- Manufacturing  Warehouse/Distribution  Parking lot
- Subdivision (\$500.00) + amount of lots \_\_\_\_\_ (\$25.00 per lot) \$ \_\_\_\_\_ + major site plan fee if applicable
- Site Location of Development (\$3,000.00)  
(except for residential projects which shall be \$200.00 per lot \_\_\_\_\_)
- Traffic Movement (\$1,000.00)  Storm water Quality (\$250.00)
- Section 14-403 Review (\$400.00 + \$25.00 per lot)
- Other \_\_\_\_\_

**Major Development (more than 10,000 sq. ft.)**

- Under 50,000 sq. ft. (\$500.00)
- 50,000 - 100,000 sq. ft. (\$1,000.00)
- Parking Lots over 100 spaces (\$1,000.00)
- 100,000 - 200,000 sq. ft. (\$2,000.00)
- 200,000 - 300,000 sq. ft. (\$3,000.00)
- Over 300,000 sq. ft. (\$5,000.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

**Minor Site Plan Review**

- Less than 10,000 sq. ft. (\$400.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

**Plan Amendments**

- Planning Staff Review (\$250.00)
- Planning Board Review (\$500.00)

~ Please see next page ~

**Who billing will be sent to: (Company, Contact Person, Address, Phone #)**

Peter S. Skapinsky  
HEGA Realty Trust  
C/O Dirigo Management Co.  
One City Center  
Portland, ME 04101  
(207) 871-1080

Submittals shall include (9) separate **folded** packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans checklist
- d. 1 set of 11 x 17 plans

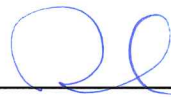
Amendment to Plans: **Amendment applications should include 9 separate packets of the above (a, b, & c)**

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process which is available on our web site: [portlandmaine.gov](http://portlandmaine.gov)

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:



Date:

11-2-06

**This application is for site review ONLY; a building Permit application and associated fees will be required prior to construction.**



**From:** "David Lloyd" <lloyd@archetypepa.com>  
**To:** ""Barbara Barhydt"" <bab@portlandmaine.gov>  
**Date:** 7/20/2007 12:22:00 PM  
**Subject:** FW: 537 Lofts Garages Space Layout Revision

Barbara

Attached is a possible solution that we worked out with the building owners. By eliminating three spaces in the parking lot and using the end garage unit for storage it allows greater movement on the site. If you or the traffic engineer feel OK with this let me know. If not we can meet per your request on Tuesday at noon at your office.

David

David Lloyd  
Archetype, P.A.  
48 Union Wharf  
Portland, ME 04101  
Phone: (207) 772-6022  
Fax: (207) 772-4056  
lloyd@archetypepa.com  
<http://www.archetype-architects.com> <<http://www.archetype-architects.com/>>

---

From: Jared McKenna [mailto:jared@archetypepa.com]  
Sent: Friday, July 20, 2007 11:24 AM  
To: David Lloyd  
Subject: 537 Lofts Garages Space Layout Revision

Jared McKenna  
Archetype Architects  
Portland, ME 04101, USA  
Tel: (207)-772-6022  
Fax: (207)-772-4056  
jared <mailto:jared@archetypepa.com> @archetypepa.com

<blocked::<http://www.archetype-architects.com/>>  
[www.archetype-architects.com](http://www.archetype-architects.com)

DATE	NOV 14, 2007
SCALE	1/8" = 1'-0"
PROJECT	537 LOFTS GARAGES
ARCHITECT	ARCHITECTS
OWNER	

537 LOFTS GARAGES  
TOLMAN PLACE  
PORTLAND, ME

ARCHITECTS  
48 Crown Street Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

OWNER:

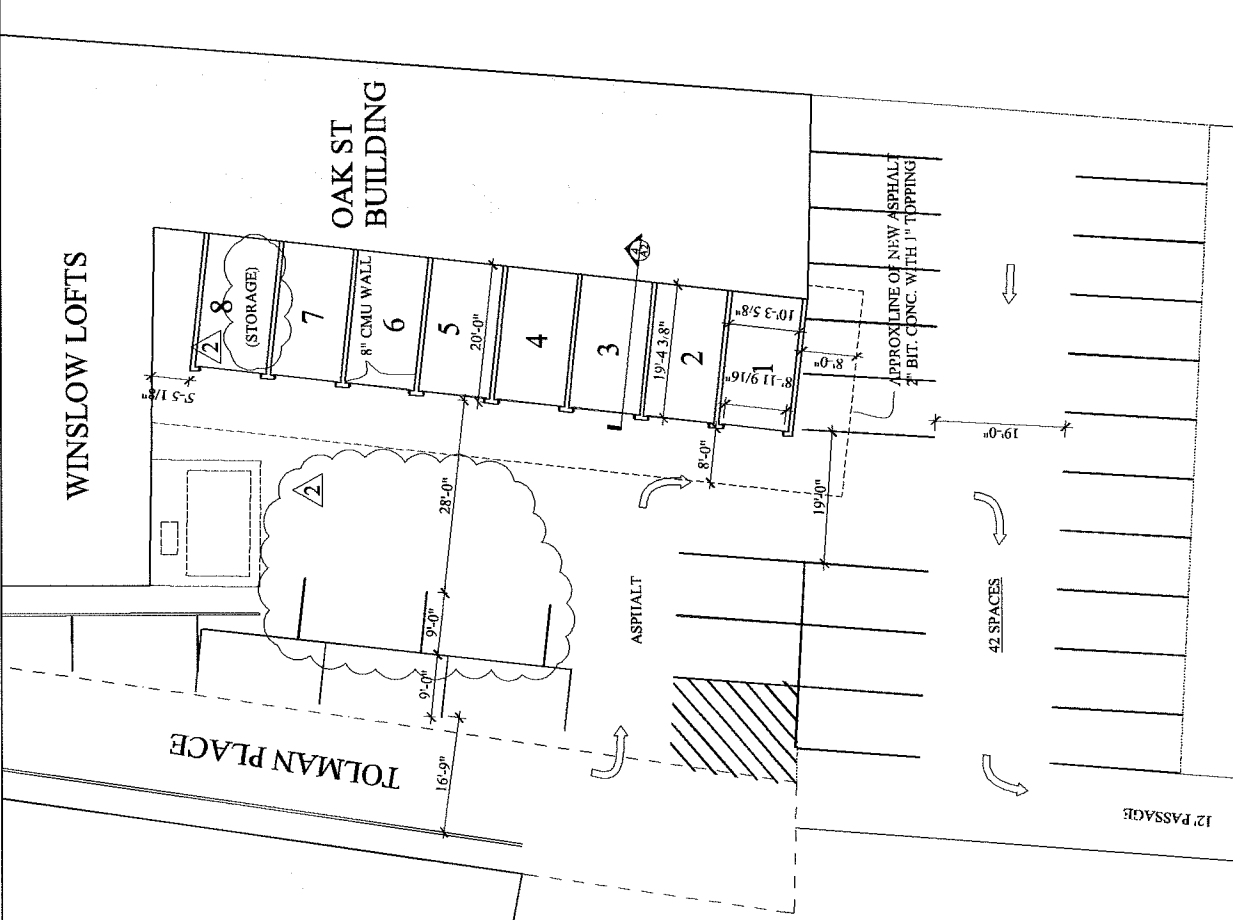


- CODE ANALYSIS IBC 2003
- TABLE 303 - USE GROUP S2
- AREA PROPOSED 1600 SQ FT
- AREA ALLOWED W/ SB TYPE CONSTRUCTION 13,500 SQ FT
- OVERHEAD DOOR AS EXIT 100.8.1.2
- SEPERATION FROM ADJACENT BUILDING W/ FIRE WALL
- ROOF OF ADJACENT BUILDING GREATER THAN 15' ABOVE PROPOSED GARAGE

GARAGE SITE PLAN  
SCALE: 1/8" = 1'-0"

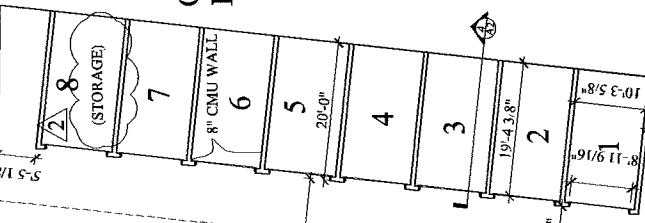
OWNER:	ARCHITECTS: ARCHITYPE, P.A. 48 E. Main Street Portland, Maine 04101 (207) 772-8022 Fax (207) 772-8035	PROJECT:	537 LOFTS GARAGES		DATE: JUNE 14, 2007	SCALE: 1/8" = 1'-0"
			TOLMAN PLACE	PORTLAND, ME		
			1	JULY 29, 2007		
			2	JULY 29, 2007		
			3	JULY 29, 2007		

A-1



WINSLOW LOFTS

OAK ST BUILDING



TOLMAN PLACE

JB BROWN

ASPHALT

42 SPACES

12' PASSAGE

CODE ANALYSIS IBC 2003  
 - TABLE 303 - USE GROUP S2  
 - AREA PROPOSED W/ SB TYPE CONSTRUCTION 13,500 SQ FT  
 - AREA ALLOWED W/ SB TYPE CONSTRUCTION 1600 SQ FT  
 - OVERHEAD DOOR AS EXIT 100.8.1.2  
 - SEPERATION FROM ADJACENT BUILDING W/ FIRE WALL  
 - ROOF OF ADJACENT BUILDING GREATER THAN 15' ABOVE PROPOSED GARAGE

1" GARAGE SITE PLAN  
 SCALE: 1/8" = 1'-0"

**From:** "David Lloyd" <lloyd@archetypepa.com>  
**To:** ""Barbara Barhydt"" <BAB@portlandmaine.gov>  
**Date:** 7/23/2007 1:53:09 PM  
**Subject:** RE: 531 Congress St

- 1 Need fire rating of connecting wall.  
3+ hours per IBC 2003 T720.1(2)
- 2 Need code summary for ventilation requirements.  
There are no ventilation requirements that we can find.
- 3 Need code summary for means of egress  
Egress based on NFPA 101 . 7.2.1.4.1.6

David Lloyd  
Archetype, P.A.  
48 Union Wharf  
Portland, ME 04101  
Phone: (207) 772-6022  
Fax: (207) 772-4056  
lloyd@archetypepa.com  
<http://www.archetype-architects.com>

-----Original Message-----

From: Barbara Barhydt [mailto:BAB@portlandmaine.gov]  
Sent: Friday, July 20, 2007 3:18 PM  
To: lloyd@archetypepa.com  
Subject: 531 Congress St

Here are Captain Cass comments.

Barbara Barhydt  
Development Review Services Manager  
Planning Division  
389 Congress Street 4th Floor  
Portland, ME 04101  
(207) 874-8699  
Fax: (207) 756-8256  
bab@portlandmaine.gov

**From:** James Carmody  
**To:** Barhydt, Barbara; Hopkins, Bill  
**Date:** 7/24/2007 11:43:00 AM  
**Subject:** Re: FW: Fwd: FW: 537 Lofts Garages Space Layout Revision

Yes.

James Carmody, P. E.  
City Transportation Engineer  
City of Portland  
207-874-8894  
[JPC@portlandmaine.gov](mailto:JPC@portlandmaine.gov)

>>> Barbara Barhydt 07/24 11:38 AM >>>  
Hi Jim:

Attached is Bill Hopkins response to your question regarding the parking spaces. Please let us know if this meets your comments.

Barbara

Barbara Barhydt  
Development Review Services Manager  
Planning Division  
389 Congress Street 4th Floor  
Portland, ME 04101  
(207) 874-8699  
Fax: (207) 756-8256  
[bab@portlandmaine.gov](mailto:bab@portlandmaine.gov)

>>> "Bill Hopkins" <[hopkins@archetypepa.com](mailto:hopkins@archetypepa.com)> 07/24 11:19 AM >>>

-----Original Message-----

From: Bill Hopkins [<mailto:hopkins@archetypepa.com>]  
Sent: Monday, July 23, 2007 2:57 PM  
To: 'Peter Skapinsky'; 'David Lloyd'; 'Jared McKenna'  
Subject: RE: Fwd: FW: 537 Lofts Garages Space Layout Revision

Barbara,  
We believe there is sufficient space (17 to 19 feet)for a compact car to enter and exit garage 1. I am available if there is a need for further discussion @ noon  
Bill Hopkins

-----Original Message-----

From: Peter Skapinsky [<mailto:Peter@dirigomgmt.com>]  
Sent: Monday, July 23, 2007 9:44 AM  
To: David Lloyd; Bill Hopkins; Jared McKenna  
Subject: RE: Fwd: FW: 537 Lofts Garages Space Layout Revision

Did everything get worked out or is there still a meeting at City Hall?

Peter S. Skapinsky, CPM  
Dirigo Management Company  
One City Center, 4th Floor  
Portland, Maine 04101

(207) 871-1080 (Work)  
(207) 871-7189 (FAX)  
Email: [peter@dirigomgmt.com](mailto:peter@dirigomgmt.com)  
Website: [www.dirigomgmt.com](http://www.dirigomgmt.com)

-----Original Message-----

From: David Lloyd [<mailto:lloyd@archetypepa.com>]  
Sent: Friday, July 20, 2007 5:19 PM  
To: 'Bill Hopkins'; 'Jared McKenna'  
Cc: Peter Skapinsky  
Subject: FW: Fwd: FW: 537 Lofts Garages Space Layout Revision

Bill, can you follow up on this change

David Lloyd  
Archetype, P.A.  
48 Union Wharf  
Portland, ME 04101  
Phone: (207) 772-6022  
Fax: (207) 772-4056  
[lloyd@archetypepa.com](mailto:lloyd@archetypepa.com)  
<http://www.archetype-architects.com>

-----Original Message-----

From: Barbara Barhydt [<mailto:BAR@portlandmaine.gov>]  
Sent: Friday, July 20, 2007 3:34 PM  
To: [lloyd@archetypepa.com](mailto:lloyd@archetypepa.com); James Carmody  
Subject: Re: Fwd: FW: 537 Lofts Garages Space Layout Revision

Hi Jim:

I am adding David Lloyd on this e-mail, so he can address your question. Thanks.

Barbara

Barbara Barhydt  
Development Review Services Manager  
Planning Division  
389 Congress Street 4th Floor  
Portland, ME 04101  
(207) 874-8699  
Fax: (207) 756-8256  
[bar@portlandmaine.gov](mailto:bar@portlandmaine.gov)

>>> James Carmody 07/20 3:22 PM >>>

Hi Barbara:

Much better. It's workable, except for garage space #1. Is it possible to shift the 2 open spaces opposite garage space #1

James Carmody, P. E.  
City Transportation Engineer  
City of Portland  
207-874-8894  
[JPC@portlandmaine.gov](mailto:JPC@portlandmaine.gov)

>>> Barbara Barhydt 07/20 3:10 PM >>>

Hi Jim:

Here is an alternative that they are proposing for the 537 garages. They want to know if this alternative is acceptable. I am out of the office on Monday, but if you have any thoughts on it, let me know. I will pull out the original site plan on Tuesday.

Thanks.

Barbara

>>> "David Lloyd" <[lloyd@archetypepa.com](mailto:lloyd@archetypepa.com)> 07/20 12:19 PM >>>

Barbara

Attached is a possible solution that we worked out with the building owners. By eliminating three spaces in the parking lot and using the end garage unit for storage it allows greater movement on the site. If you or the traffic engineer feel OK with this let me know. If not we can meet per your request on Tuesday at noon at your office.

David

David Lloyd  
Archetype, P.A.  
48 Union Wharf  
Portland, ME 04101  
Phone: (207) 772-6022  
Fax: (207) 772-4056  
[lloyd@archetypepa.com](mailto:lloyd@archetypepa.com)  
<http://www.archetype-architects.com>  
<<http://www.archetype-architects.com/>>

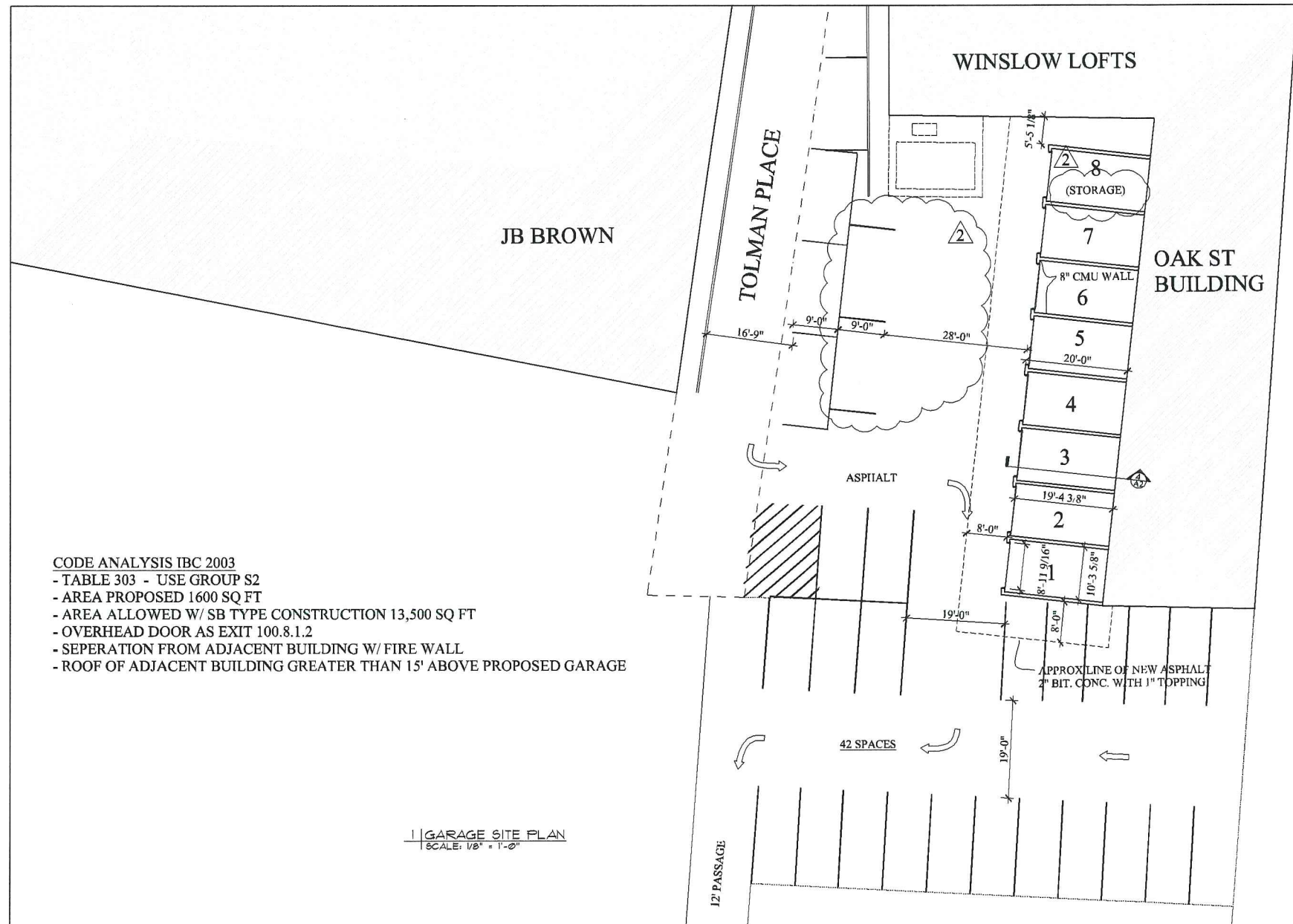
---

**From:** Jared McKenna [<mailto:jared@archetypepa.com>]  
**Sent:** Friday, July 20, 2007 11:24 AM  
**To:** David Lloyd  
**Subject:** 537 Lofts Garages Space Layout Revision

Jared McKenna  
Archetype Architects  
Portland, ME 04101, USA  
Tel: (207)-772-6022  
Fax: (207)-772-4056  
jared <<mailto:jared@archetypepa.com>> @archetypepa.com

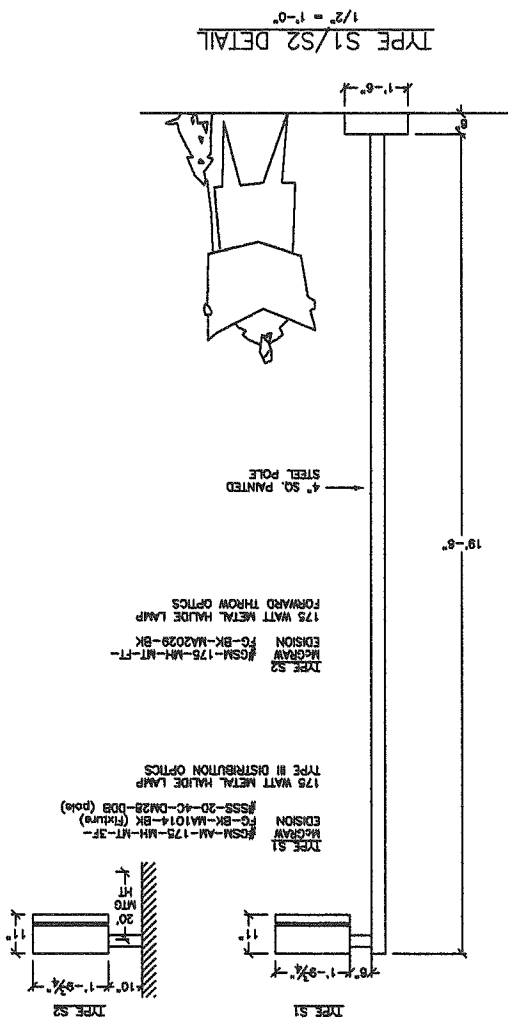
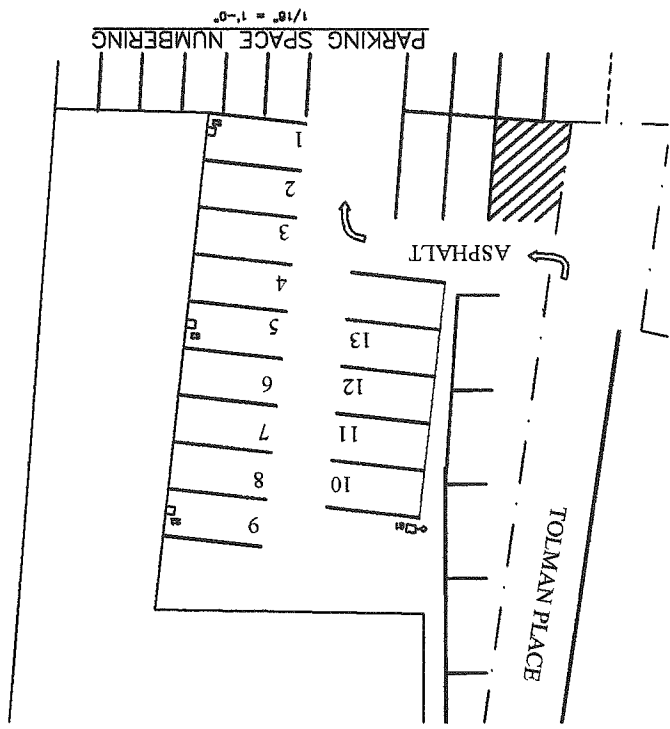
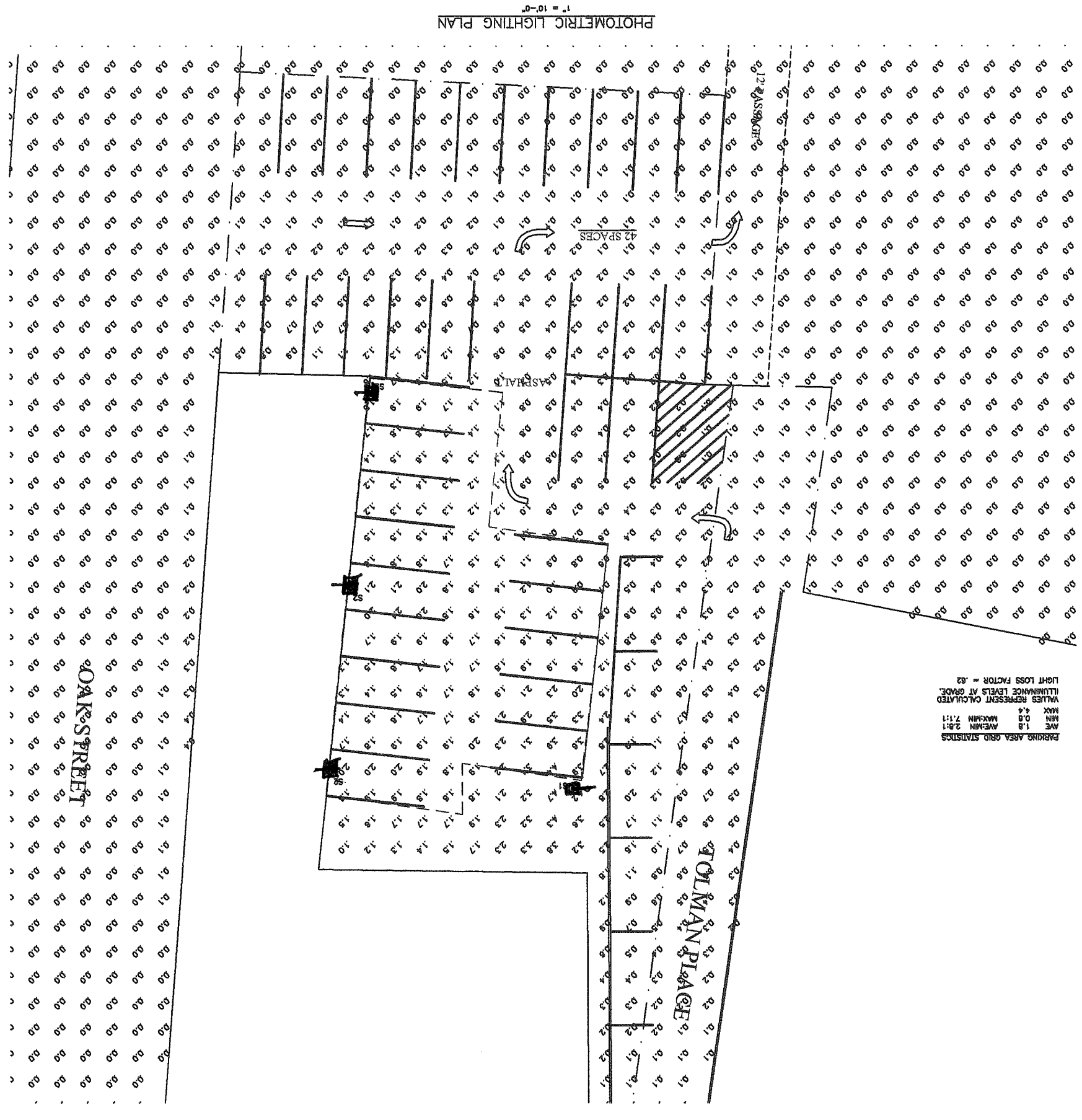
<blocked::http://www.archetype-architects.com/>  
[www.archetype-architects.com](http://www.archetype-architects.com)





OWNER:	
ARCHETYPE, P.A. ARCHITECTS 48 Canal Street, Portland, Maine 04101 (207) 772-0022 Fax (207) 772-0056	
Project:	537 LOFTS GARAGES TOLMAN PLACE PORTLAND, ME
Date:	JUNE 14, 2007
Scale:	1/8" = 1'-0"
Revisions:	1 JULY 3, 2007 2 JULY 20, 2007
537 LOFTS GARAGES GARAGE SITE PLAN	
A-1	

PARKING AREA GRID STATISTICS  
 AVE 1.8 AVE/MIN 2.8:1  
 MAX 4.4  
 VALUES REPRESENT CALCULATED  
 ILLUMINANCE LEVELS AT GRADE  
 LIGHT LOSS FACTOR = .82



E-1	LIGHTING PLAN	Date	30 AUG. 2005
		Revisions	
Project		Scale	AS NOTED
J.B. BROWN 537 CONGRESS STREET PORTLAND, ME			
OWNER:			
ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax: (207) 772-4056			
STATE OF MAINE LAWRENCE BARTLETT REGISTERED PROFESSIONAL ENGINEER 7728			

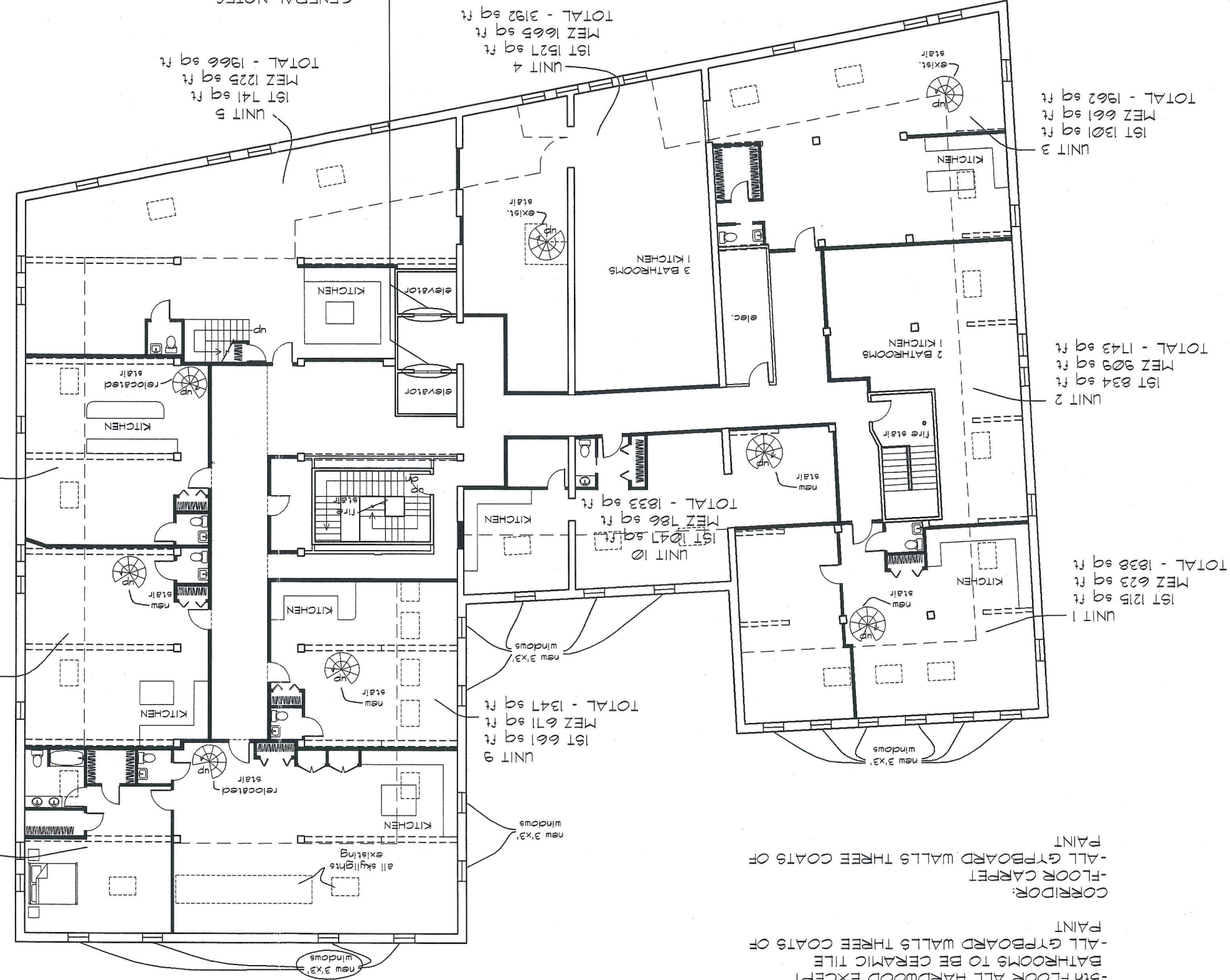




**ROOM FINISH SCHEDULE**

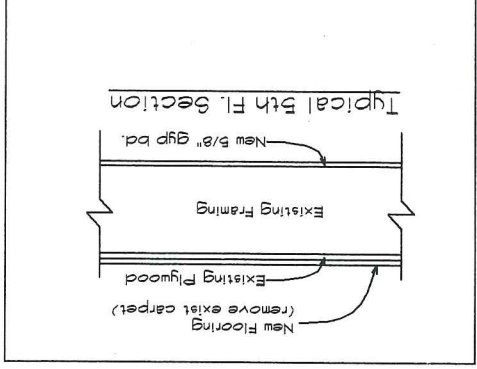
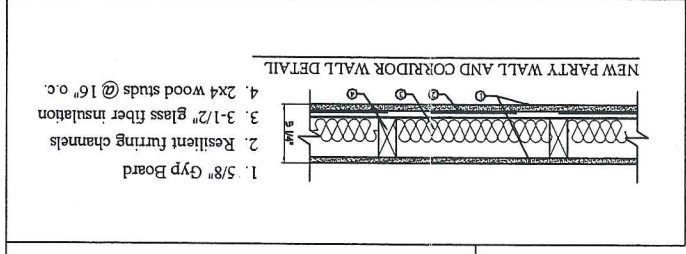
- 5th FLOOR ALL HARDWOOD EXCEPT BATHROOMS TO BE CERAMIC TILE
- ALL GYPSUM WALLS THREE COATS OF PAINT
- CORRIDOR:
  - FLOOR CARPET
  - ALL GYPSUM WALLS THREE COATS OF PAINT

TYPICAL AT NEW OPENINGS:  
-SUPPORT WITH STEEL LINTEL  
-NEW 3'x3' ALUMINUM WINDOWS



**GENERAL NOTES:**  
 - PROVIDE SMOKE LOUVERS AT ELEVATOR DOORS (PER 2003 IBC CODE) ALL OPENINGS ENTIRE BUILDING  
 - CARRY ALLOWANCE OF \$2500 PER OPENING

--- existing wall  
 = new wall  
 --- trusses



<b>A1</b>	5TH FLOOR PLAN	Date: April 2005	Scale: 1/8" = 1'	Project: <b>J.B. BROWN</b> CONGRESS ST. PORTLAND, MAINE	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-4022 Fax (207) 772-4056	OWNER:
		Revisions:				





ROOM FINISH SCHEDULE

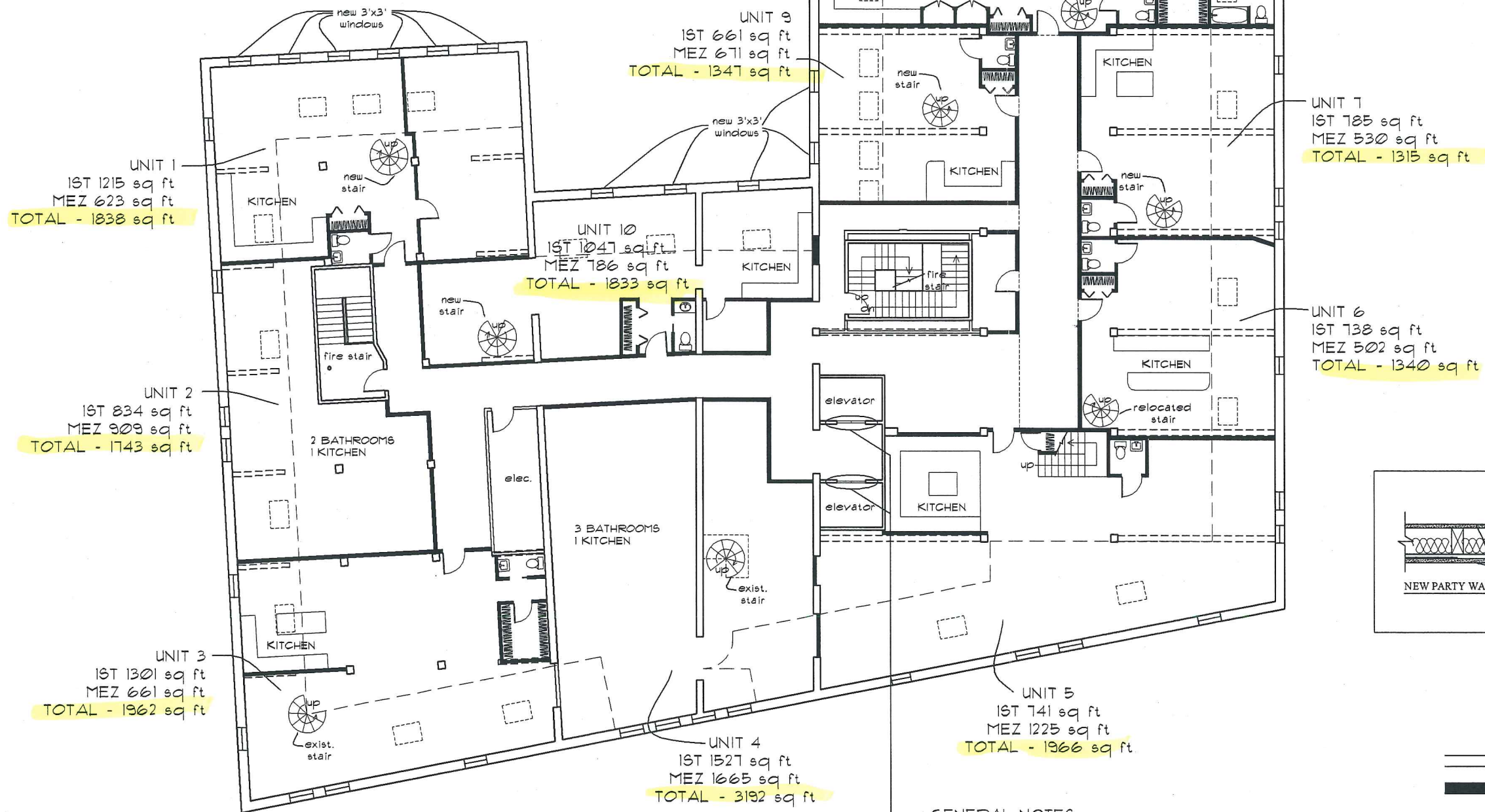
TYPICAL APARTMENT:

- 5th FLOOR ALL HARDWOOD EXCEPT BATHROOMS TO BE CERAMIC TILE
- ALL GYPBOARD WALLS THREE COATS OF PAINT

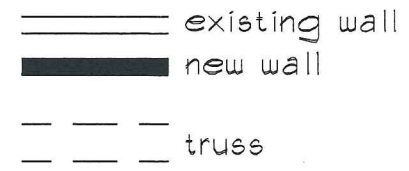
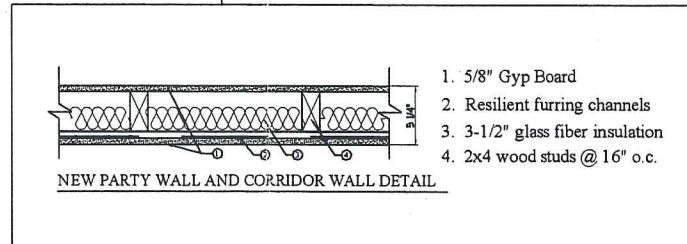
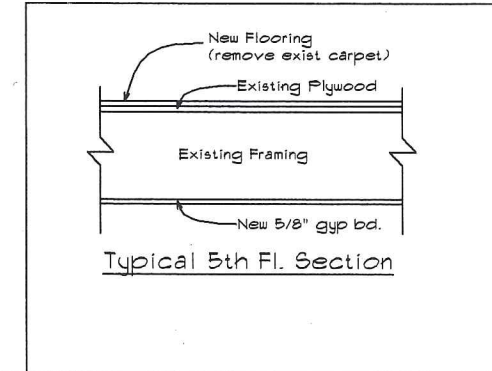
CORRIDOR:

- FLOOR CARPET
- ALL GYPBOARD WALLS THREE COATS OF PAINT

TYPICAL AT NEW OPENINGS:  
 -SUPPORT WITH STEEL LINTEL  
 -NEW 3'x3' ALUMINUM WINDOWS



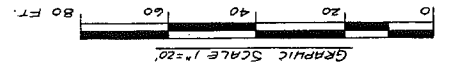
1315 # -  
 3192 #



GENERAL NOTES:  
 - PROVIDE SMOKE LOUVERS AT ELEVATOR DOORS (PER 2003 IBC CODE) ALL OPENINGS ENTIRE BUILDING  
 - CARRY ALLOWANCE OF \$2500 PER OPENING

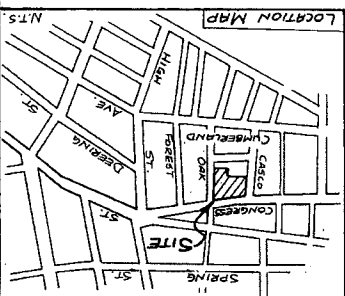
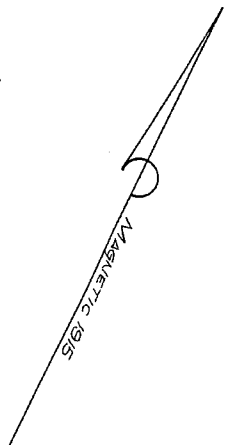
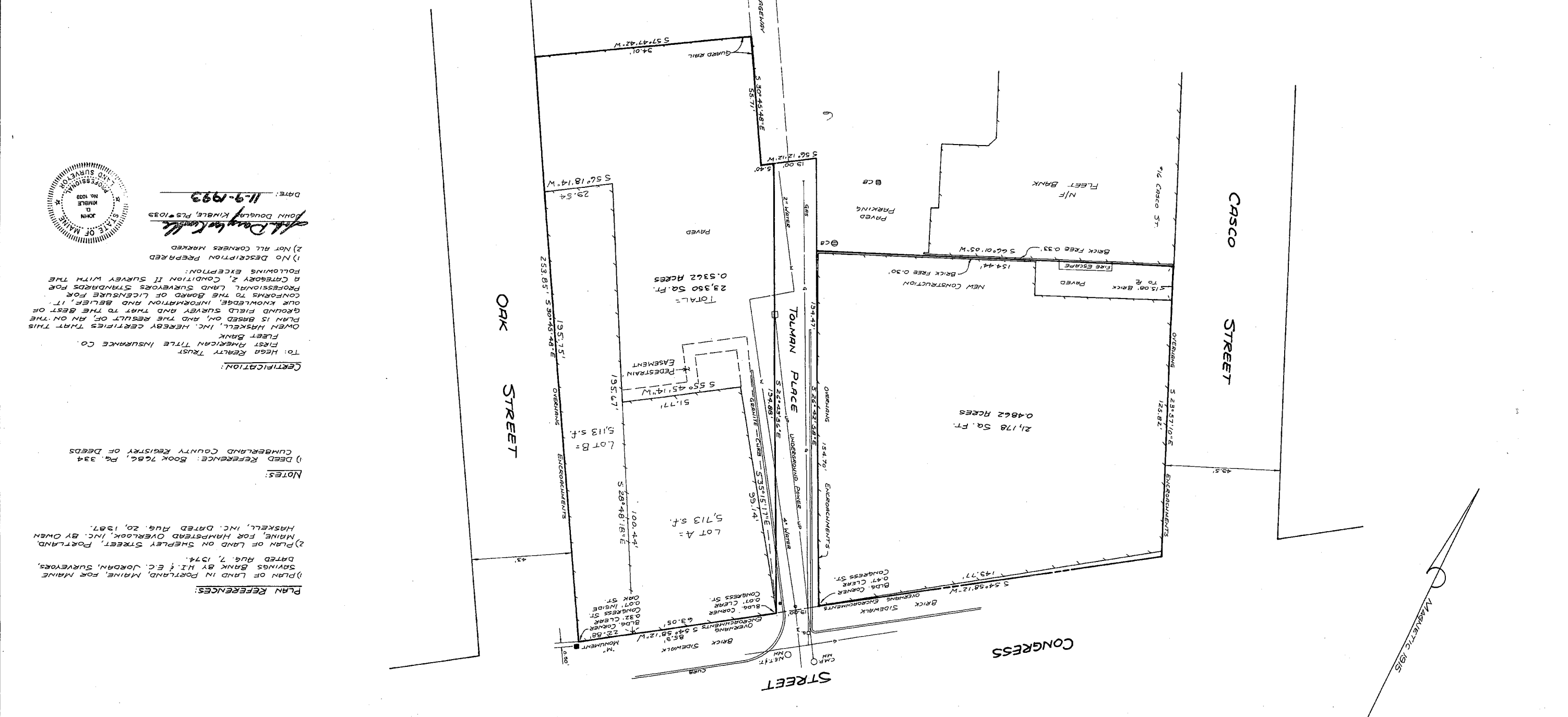
OWNER:	
ARCHETYPE, P.A. ARCHITECTS	48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
Project:	J.B. BROWN CONGRESS ST. PORTLAND, MAINE
Date	April 2005
Scale	1/8" = 1'
Revisions:	
5TH FLOOR PLAN	
A1	





- LEGEND:
- Water Valve
  - Manhole
  - Catch Basin
  - Gas Valve
  - Building Line
  - Curbs
  - N/E
  - N/W
  - S/E
  - S/W
  - Non or Formerly

Rev. 2	1-7-05	Added Pedestrian Easement
Rev. 1	9-29-04	Added Lots A & B
<b>LAND TITLE SURVEY</b> OF PROPERTY AT 523-547 CONGRESS ST., PORTLAND, MAINE MADE FOR HEGA REALTY TRUST 218 EAST ROAD, HAMSTEAD, NH 03871 <b>Owen Haskell, Inc.</b> Civil Engineers 8 Broadway South Portland, Maine Land Surveyors		
Drawn By	DBP	Job No. 93231P
Trace By	JLK	Date Nov. 9, 1993
Check By	JDK	Scale 1" = 20'
Drawn No.	332/627	Drawg. No. 1




DATE: 11-9-93  
 JOHN DOUGLAS KIMBLE, PLS #1039  
*John Douglas Kimble*

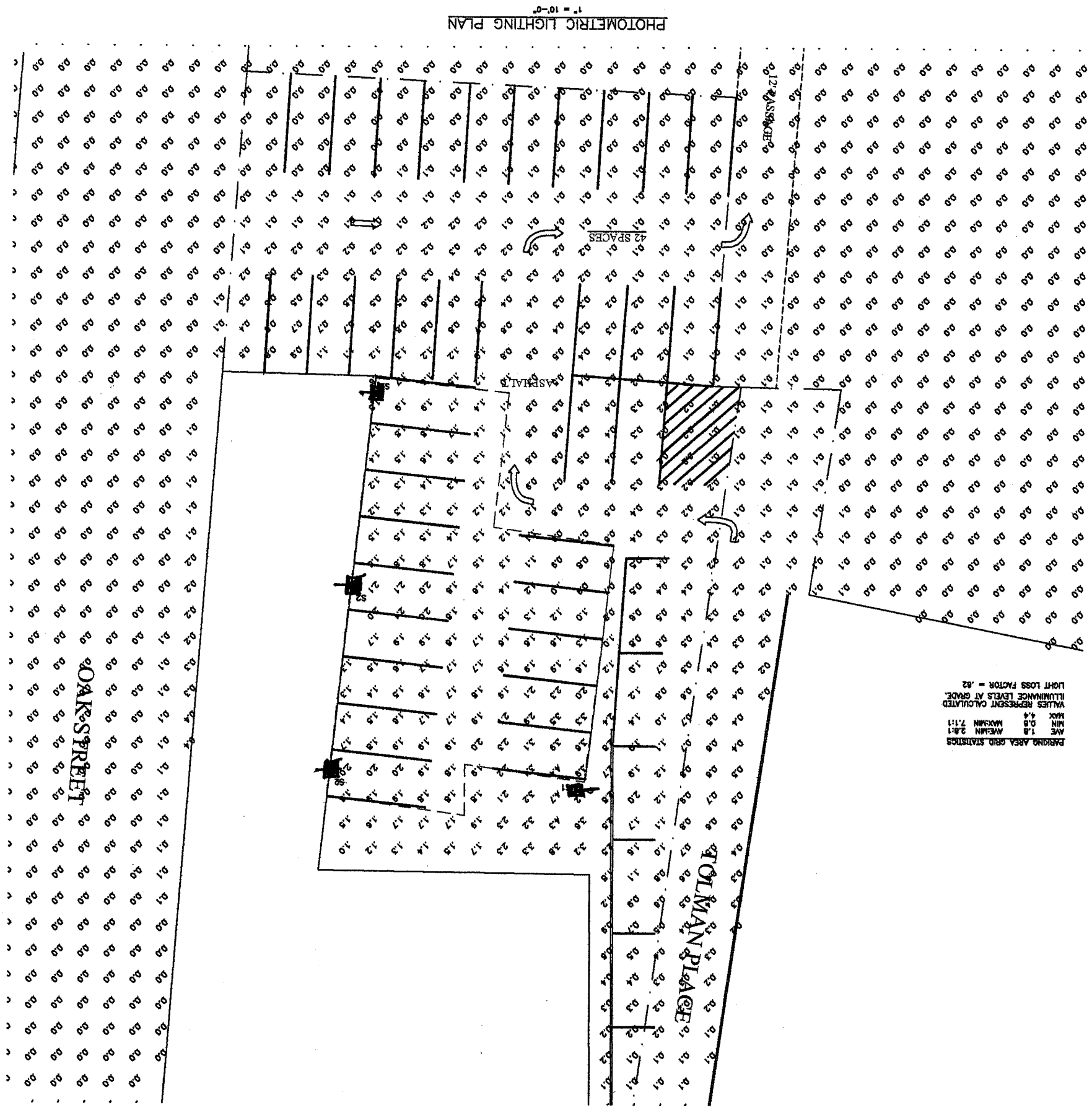
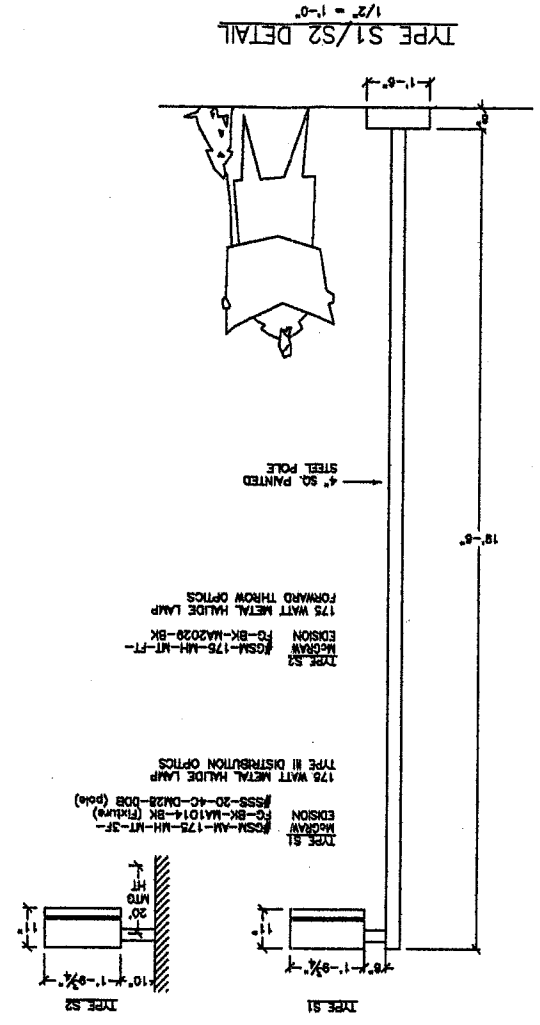
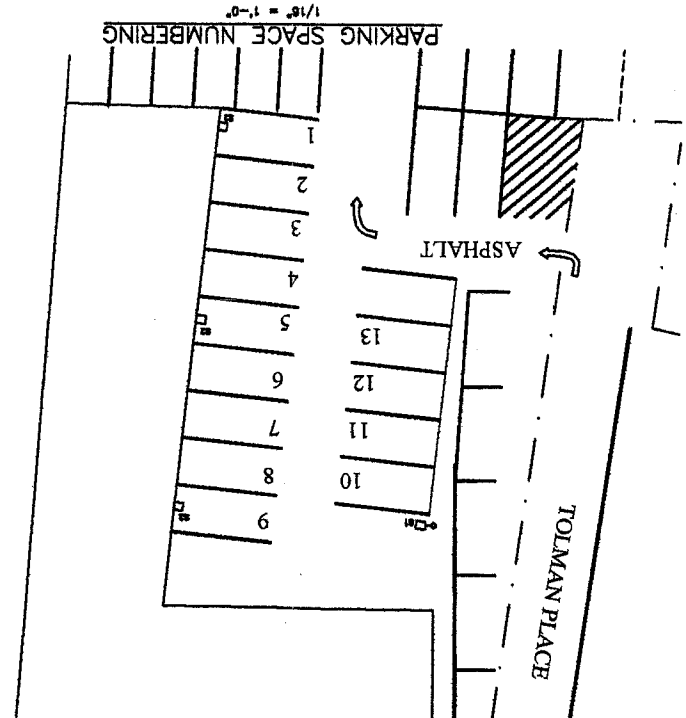
**CERTIFICATION:**  
 TO: HEGA REALTY TRUST  
 FIRST AMERICAN TITLE INSURANCE CO.  
 FLEET BANK  
 OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS  
 PLAN IS BASED ON, AND THE RESULT OF, AN ON THE  
 GROUND FIELD SURVEY AND THAT TO THE BEST OF  
 OUR KNOWLEDGE, INFORMATION AND BELIEF, IT  
 CONFORMS TO THE BOARD OF LICENSURE FOR  
 PROFESSIONAL LAND SURVEYORS STANDARDS FOR  
 CATEGORY 2, CONDITION II SURVEY WITH THE  
 FOLLOWING EXCEPTION:  
 1) NO DESCRIPTION PREPARED  
 2) NOT ALL CORNERS MARKED

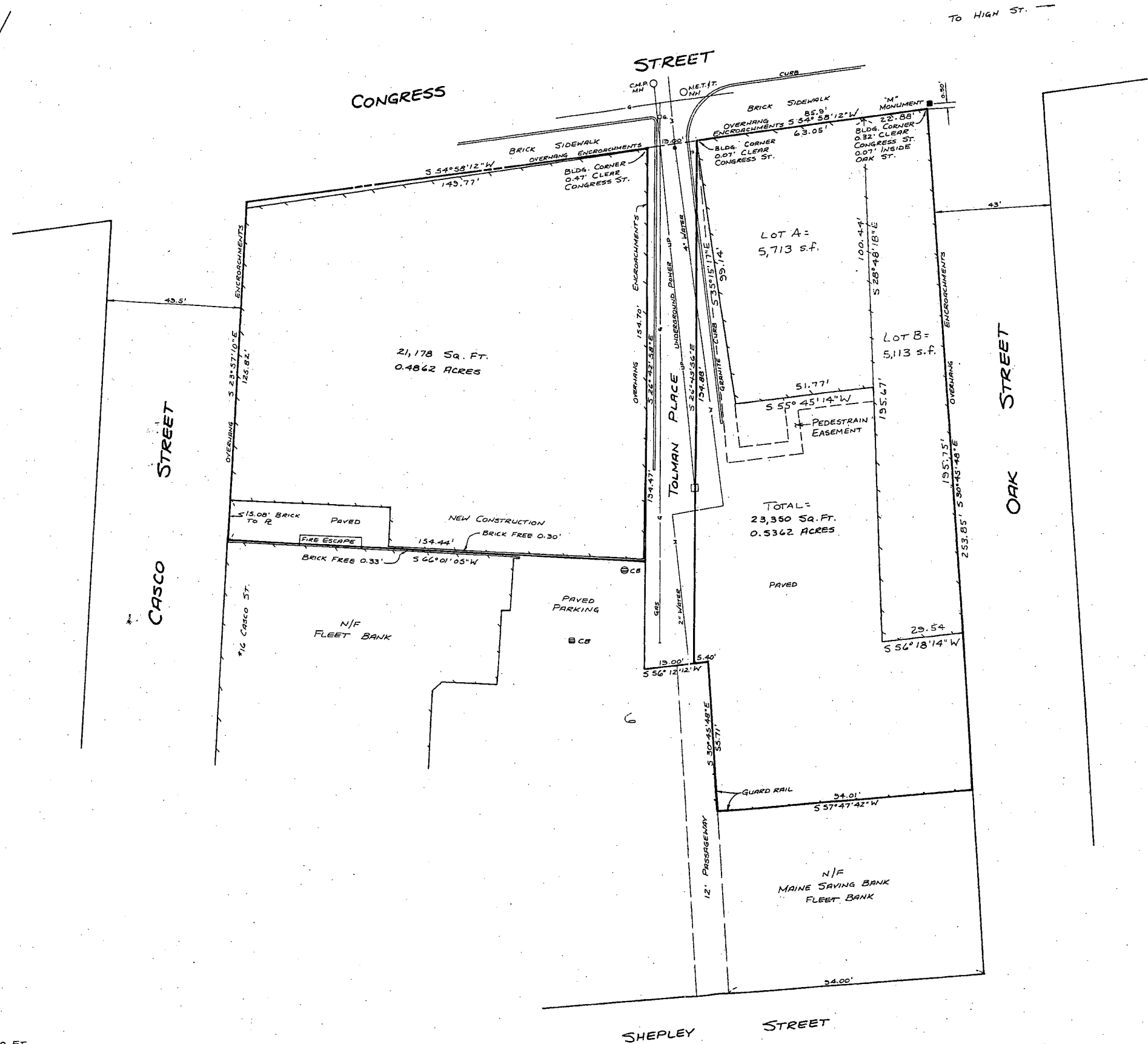
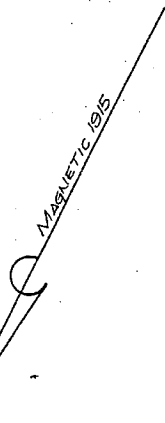
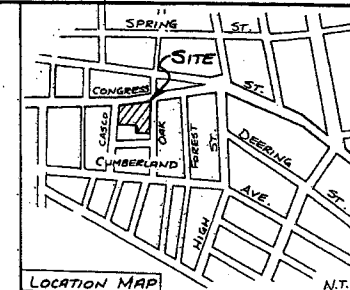
**PLAN REFERENCES:**  
 1) PLAN OF LAND IN PORTLAND, MAINE, FOR MAINE  
 SAVINGS BANK BY H.I. & E.C. JORDAN, SURVEYORS,  
 DATED AUG. 7, 1974.  
 2) PLAN OF LAND ON SHEPLEY STREET, PORTLAND,  
 MAINE, FOR HAMSTEAD OVERLOOK, INC. BY OWEN  
 HASKELL, INC. DATED AUG. 20, 1987.  
**NOTES:**  
 1) DEED REFERENCE: BOOK 766C, PG. 334  
 CUMBERLAND COUNTY REGISTRY OF DEEDS



F3

E-1		LIGHTING PLAN		Date: 30 AUG. 2005	Scale: AS NOTED	Project: J.B. BROWN 537 CONGRESS STREET PORTLAND, ME	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	OWNER:	
				Revision:					





**PLAN REFERENCES:**

- 1) PLAN OF LAND IN PORTLAND, MAINE, FOR MAINE SAVINGS BANK BY H.I. & E.C. JORDAN, SURVEYORS, DATED AUG. 7, 1974.
- 2) PLAN OF LAND ON SHEPLEY STREET, PORTLAND, MAINE, FOR HAMPSTEAD OVERLOOK, INC. BY OWEN HASKELL, INC. DATED AUG. 20, 1987.

**NOTES:**

- 1) DEED REFERENCE: BOOK 7686, PG. 334 CUMBERLAND COUNTY REGISTRY OF DEEDS.

**CERTIFICATION:**

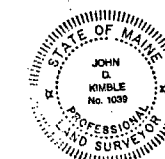
TO: HEGA REALTY TRUST  
FIRST AMERICAN TITLE INSURANCE CO.  
FLEET BANK

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON-THE-GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS FOR A CATEGORY 2, CONDITION II SURVEY WITH THE FOLLOWING EXCEPTION:

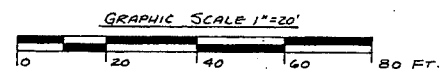
- 1) NO DESCRIPTION PREPARED
- 2) NOT ALL CORNERS MARKED

*John Douglas Kimble*  
JOHN DOUGLAS KIMBLE, PLS #1033

DATE: 11-9-1993



- LEGEND:**
- MH WATER VALVE
  - MANHOLE
  - ⊗ CB CATCH BASIN
  - ⊙ G.V. GAS VALVE
  - BUILDING LINE
  - CURB
  - N/F NOW OR FORMERLY



REV. 2	1-7-05	ADDED PEDESTRAIN EASEMENT
REV. 1	5-23-04	ADD LOTS A & B
<b>LAND TITLE SURVEY</b> OF PROPERTY AT 523-547 CONGRESS ST., PORTLAND, MAINE MADE FOR HEGA REALTY TRUST 218 EAST ROAD, HAMSTEAD, NH 03841		
<b>Owen Haskell, Inc.</b> <small>Civil Engineers      8 Broadway      Land Surveyors</small> <small>South Portland, Maine</small>		
Drawn By	DBP	Date
Trace By	JLW	Nov. 9, 1993
Check By	JDK	Scale
Bk No	392/667	1" = 20'
Job No.	93231 P	Drwg. No.
		1

91

ROOM FINISH SCHEDULE

TYPICAL APARTMENT:

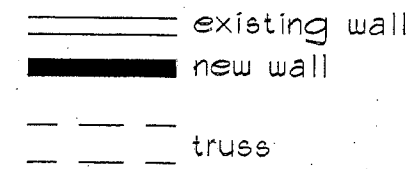
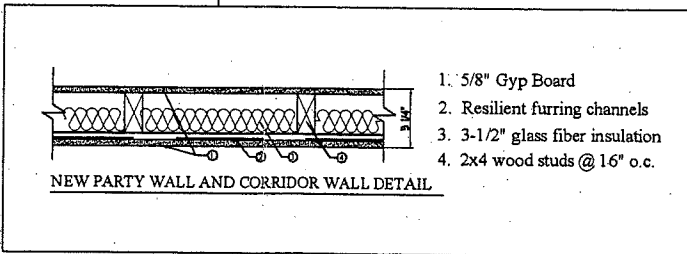
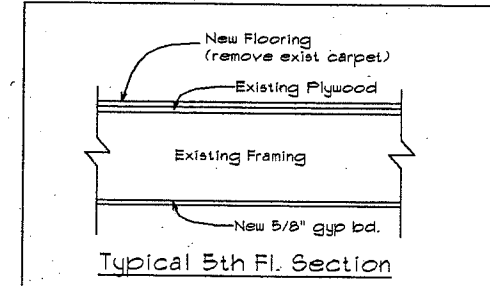
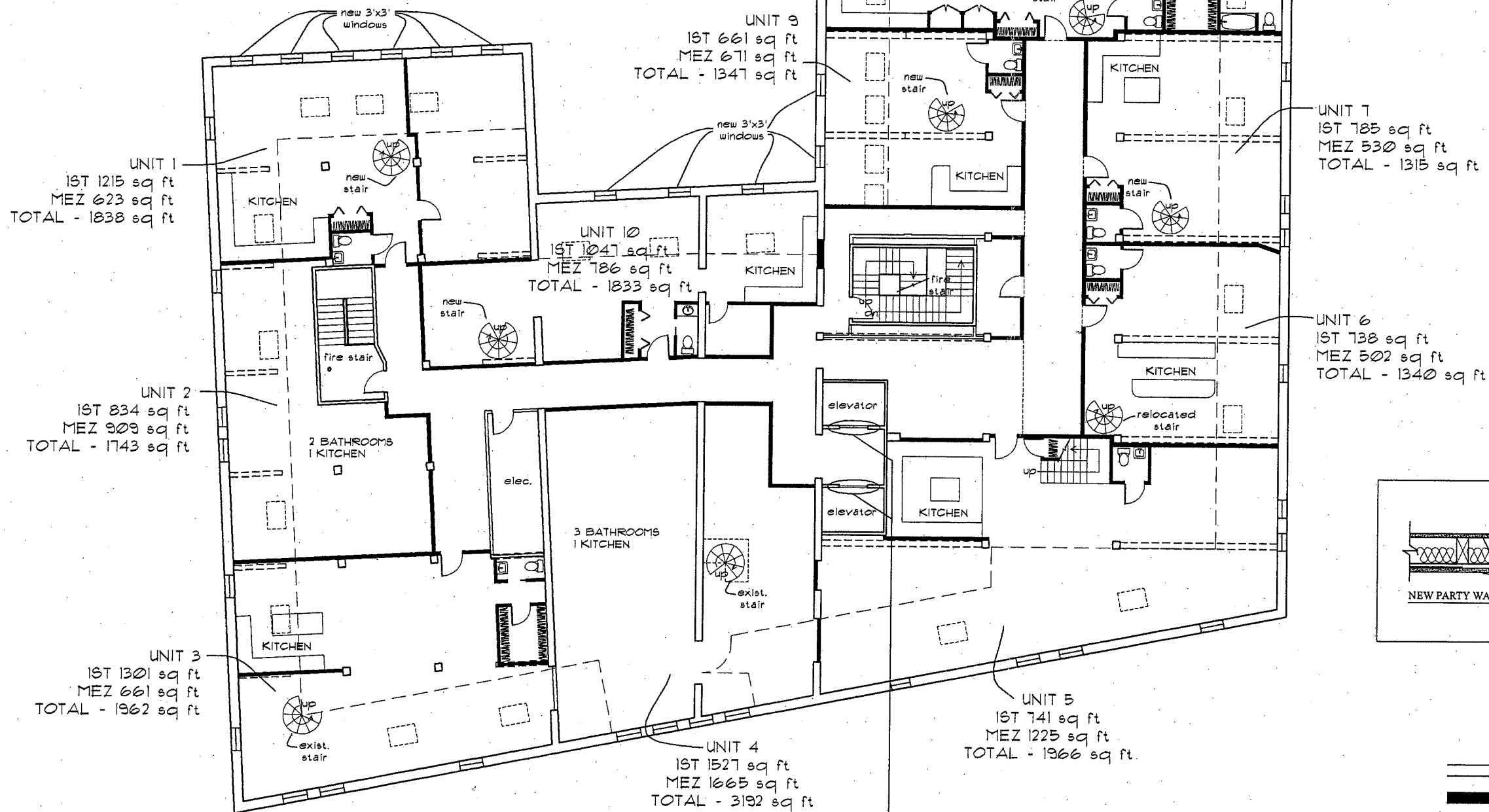
- 5th FLOOR ALL HARDWOOD EXCEPT BATHROOMS TO BE CERAMIC TILE
- ALL GYPBOARD WALLS THREE COATS OF PAINT

CORRIDOR:

- FLOOR CARPET
- ALL GYPBOARD WALLS THREE COATS OF PAINT

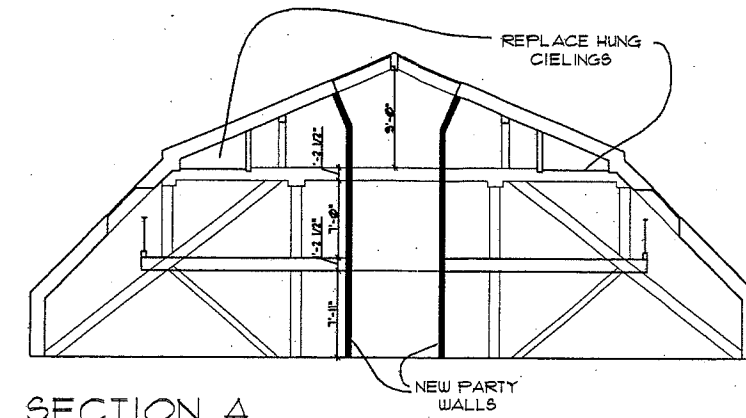
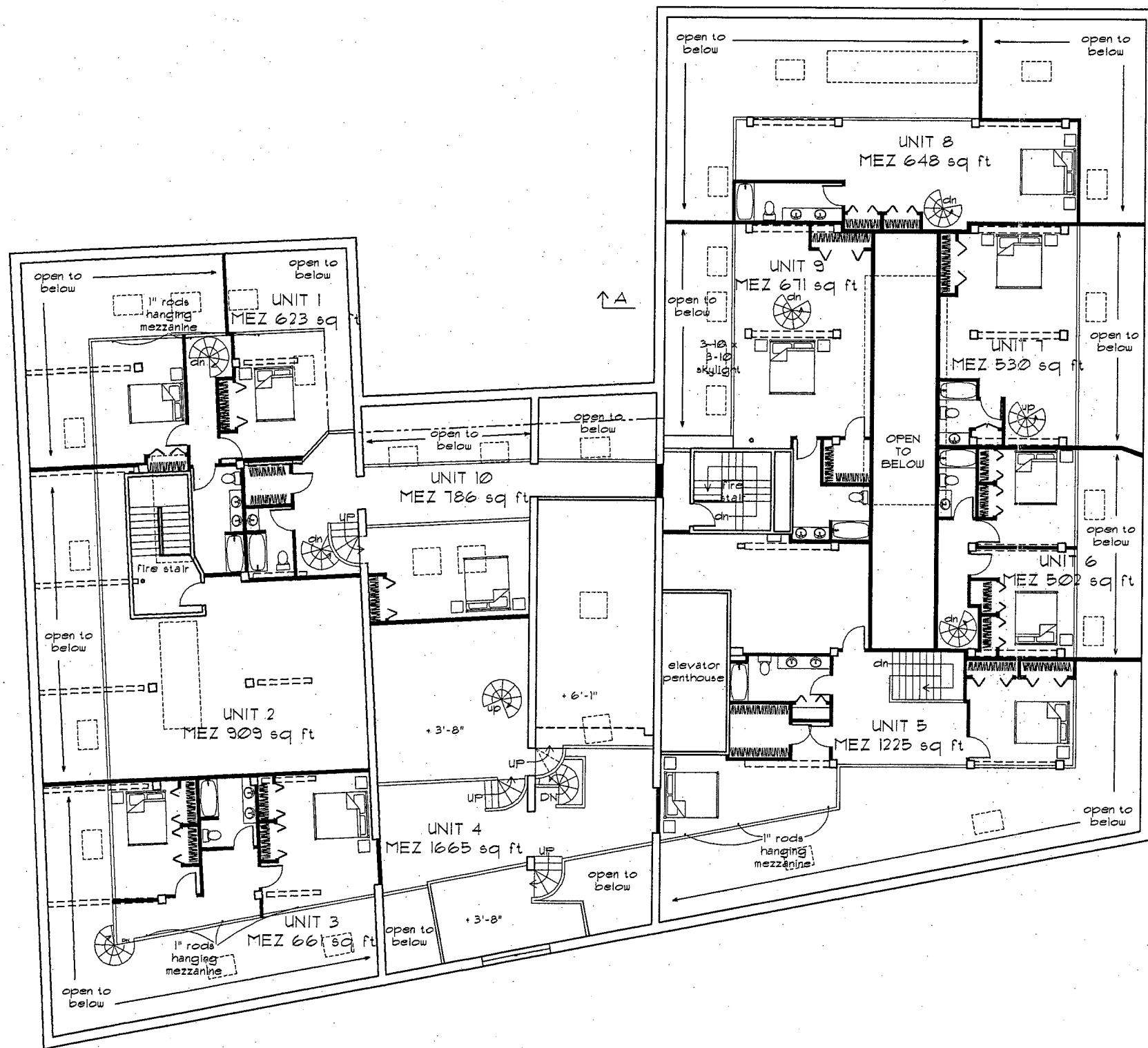
TYPICAL AT NEW OPENINGS:

- SUPPORT WITH STEEL LINTEL
- NEW 3'x3' ALUMINUM WINDOWS



**GENERAL NOTES:**  
 - PROVIDE SMOKE LOUVERS AT ELEVATOR DOORS (PER 2003 IBC CODE) ALL OPENINGS ENTIRE BUILDING  
 - CARRY ALLOWANCE OF \$2500 PER OPENING

OWNER:	
ARCHETYPE, P.A. ARCHITECTS	48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
J.B. BROWN	CONGRESS ST. PORTLAND, MAINE
Project	
Date	April 2005
Scale	1/8" = 1'
Revisions:	
5TH FLOOR PLAN	
A1	

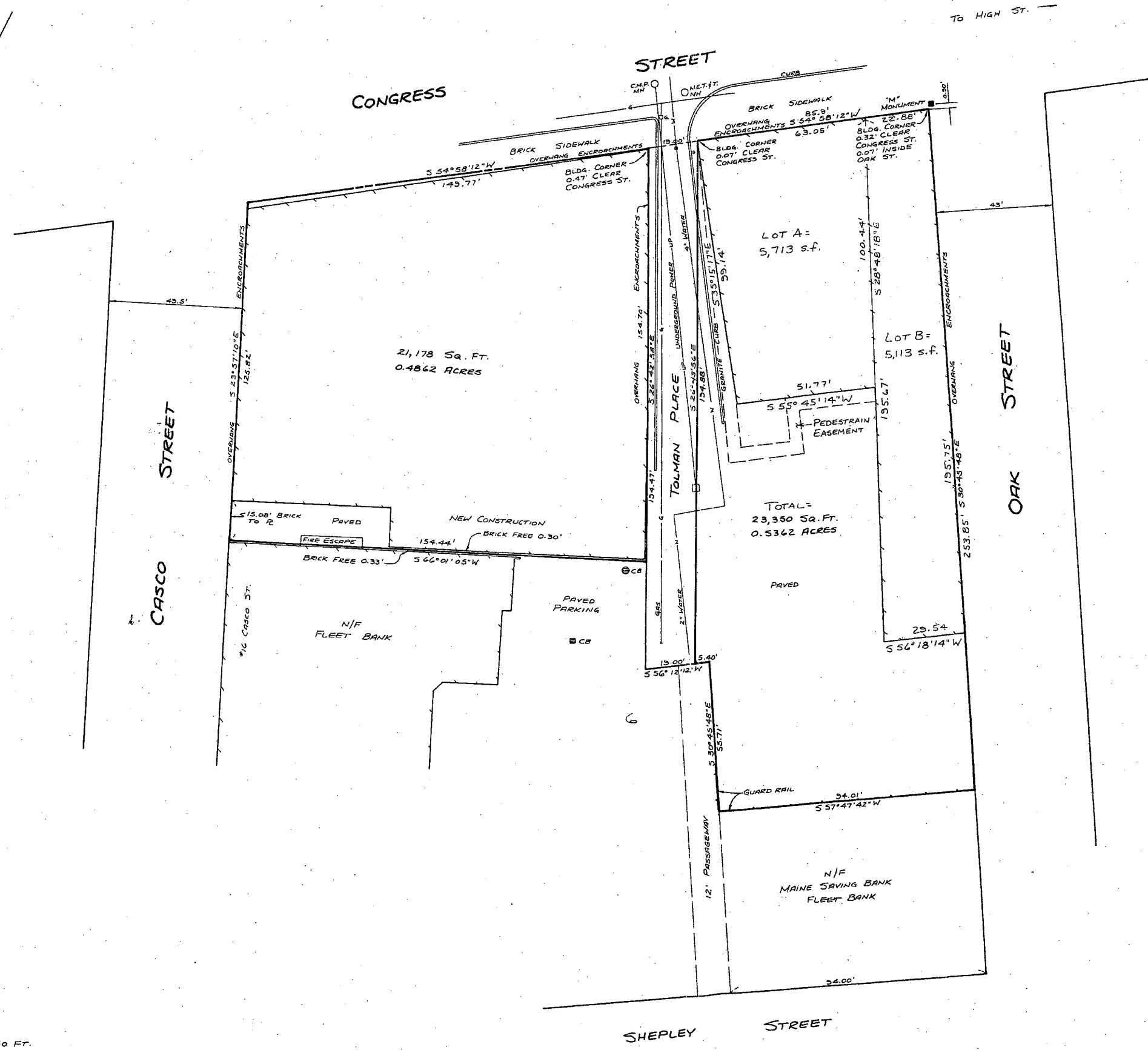
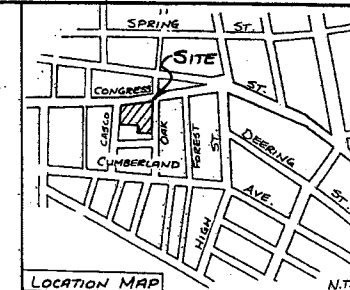


SECTION A

- existing wall
- new wall
- truss

	OWNER:	
ARCHETYPE, P.A. ARCHITECTS		48 Union Wharf Portland, Maine 04101 (207) 772-5022 Fax (207) 772-4056
J.B. BROWN		CONGRESS ST. PORTLAND, MAINE
MEZZANINE PLAN	Project:	
A2	Date: April 2005	Scale: 1/8" = 1'
	Revisions:	

G3



**PLAN REFERENCES:**

- 1) PLAN OF LAND IN PORTLAND, MAINE, FOR MAINE SAVINGS BANK BY H.I. & E.C. JORDAN, SURVEYORS, DATED AUG. 7, 1974.
- 2) PLAN OF LAND ON SHEPLEY STREET, PORTLAND, MAINE, FOR HAMPSTEAD OVERLOOK, INC. BY OWEN HASKELL, INC. DATED AUG. 20, 1987.

**NOTES:**

- 1) DEED REFERENCE: BOOK 7686, Pg. 334 CUMBERLAND COUNTY REGISTRY OF DEEDS.

**CERTIFICATION:**

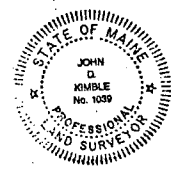
TO: HEGA REALTY TRUST  
FIRST AMERICAN TITLE INSURANCE CO.  
FLEET BANK

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON-THE-GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS FOR A CATEGORY 2, CONDITION II SURVEY WITH THE FOLLOWING EXCEPTION:

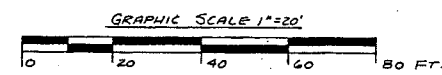
- 1) NO DESCRIPTION PREPARED
- 2) NOT ALL CORNERS MARKED

*John Douglas Kimble*  
JOHN DOUGLAS KIMBLE, PLS #1039

DATE: 11-9-1993



- LEGEND:**
- MH WATER VALVE
  - CB MANHOLE
  - ⊙ CB CATCH BASIN
  - G.V. GAS VALVE
  - BUILDING LINE
  - CURB
  - N/F NOW OR FORMERLY



REV. 2	1-7-05	ADDED PEDESTRIAN EASEMENT
REV. 1	9-23-04	ADD LOTS A & B
<b>LAND TITLE SURVEY</b>		
OF PROPERTY AT		
523-547 CONGRESS ST., PORTLAND, MAINE		
MADE FOR		
HEGA REALTY TRUST		
218 EAST ROAD, HAMSTEAD, NH 03841		
<b>Owen Haskell, Inc.</b>		
Civil Engineers		Land Surveyors
8 Broadway South Portland, Maine		
Drawn By	Date	Job No.
DBP	Nov. 9, 1993	93231P
Trace By	Scale	Drwg. No.
JLW	1" = 20'	i
Check By		
JDK		
Bk No		
392/647		

91

**ROOM FINISH SCHEDULE**

**TYPICAL APARTMENT:**

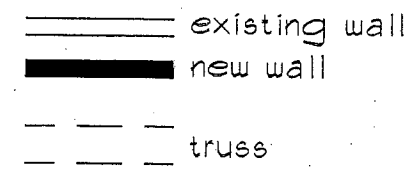
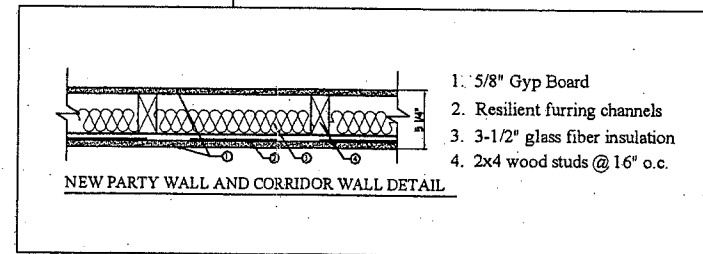
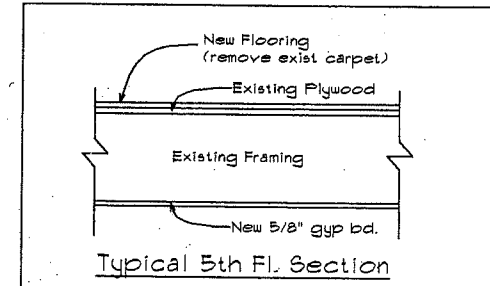
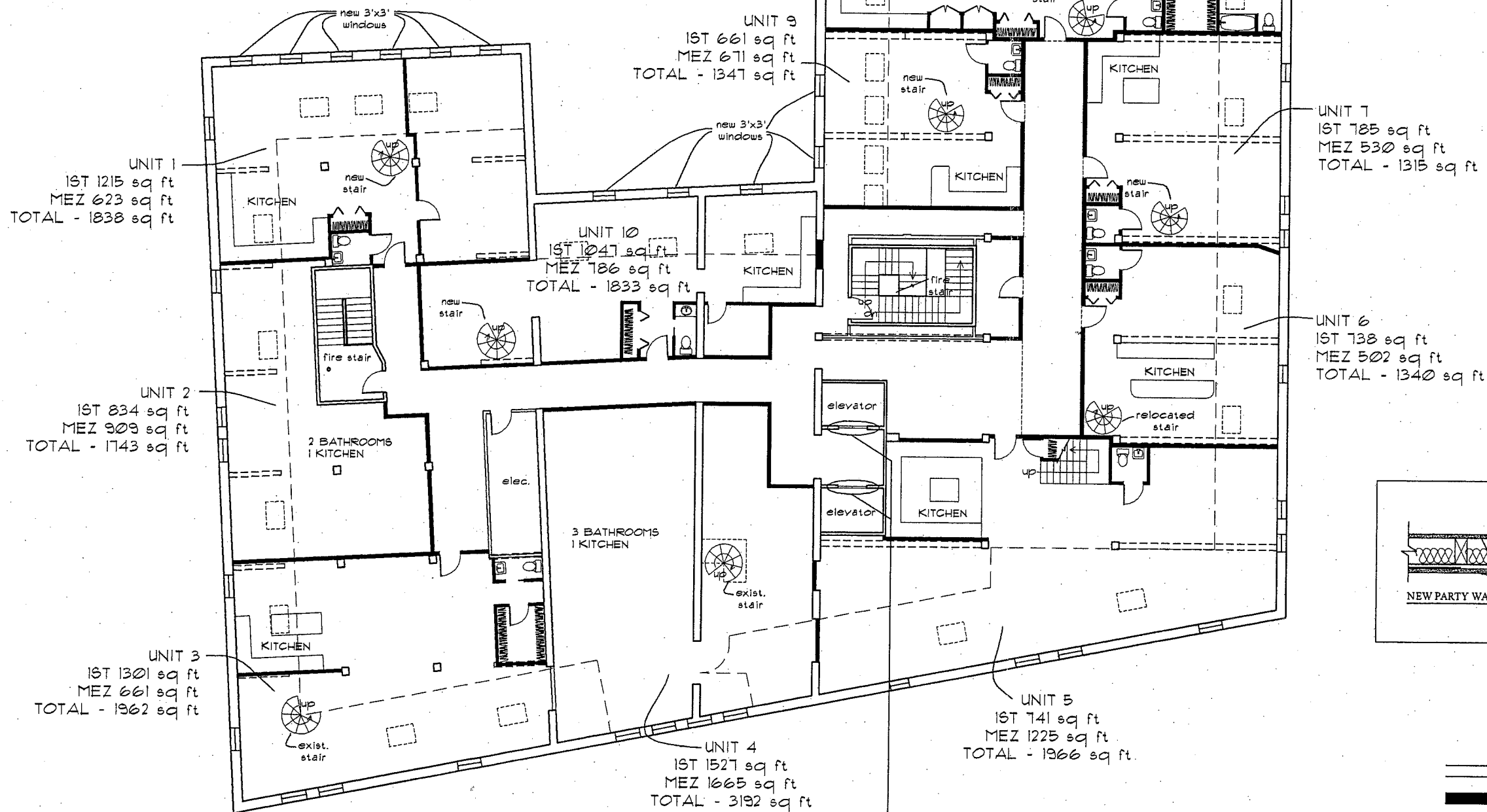
- 5th FLOOR ALL HARDWOOD EXCEPT BATHROOMS TO BE CERAMIC TILE
- ALL GYPBOARD WALLS THREE COATS OF PAINT

**CORRIDOR:**

- FLOOR CARPET
- ALL GYPBOARD WALLS THREE COATS OF PAINT

**TYPICAL AT NEW OPENINGS:**

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**GENERAL NOTES:**  
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OWNER:	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
Project:	J.B. BROWN CONGRESS ST. PORTLAND, MAINE
Date:	April 2005
Scale:	1/8" = 1'
Revisions:	
5TH FLOOR PLAN	
A1	





OWNER:  
ARCHETYPE, P.A.  
ARCHITECTS

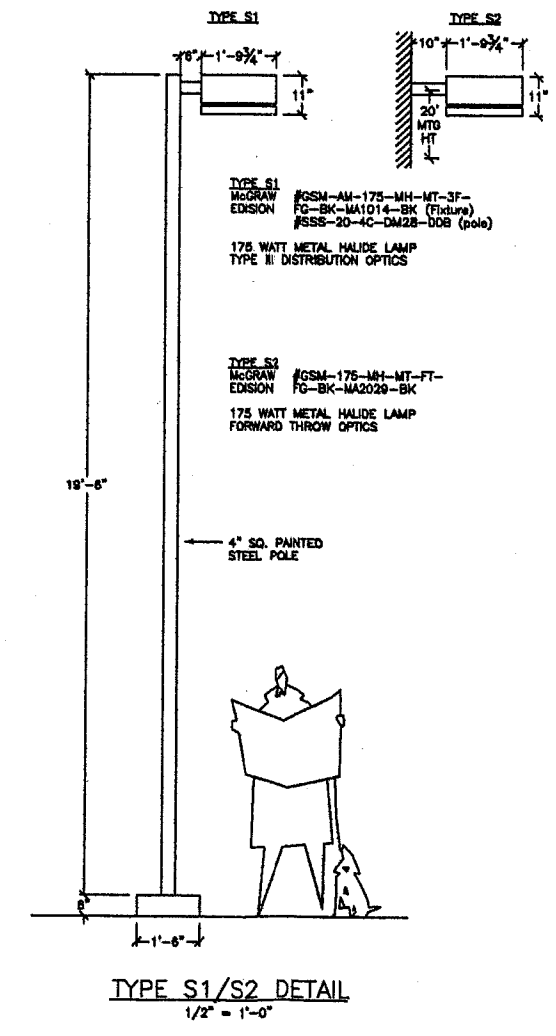
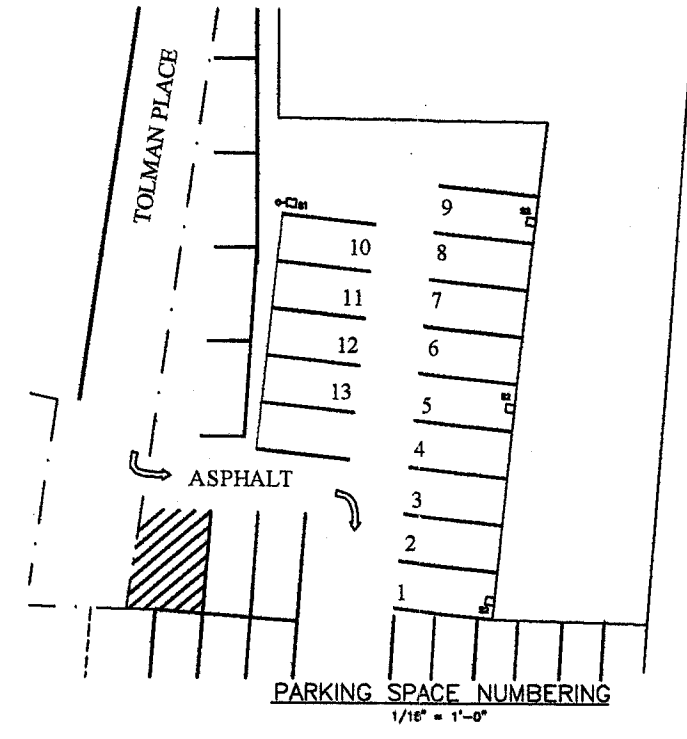
48 Union Wharf, Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Project:  
J.B. Brown  
537 CONGRESS STREET  
PORTLAND, ME

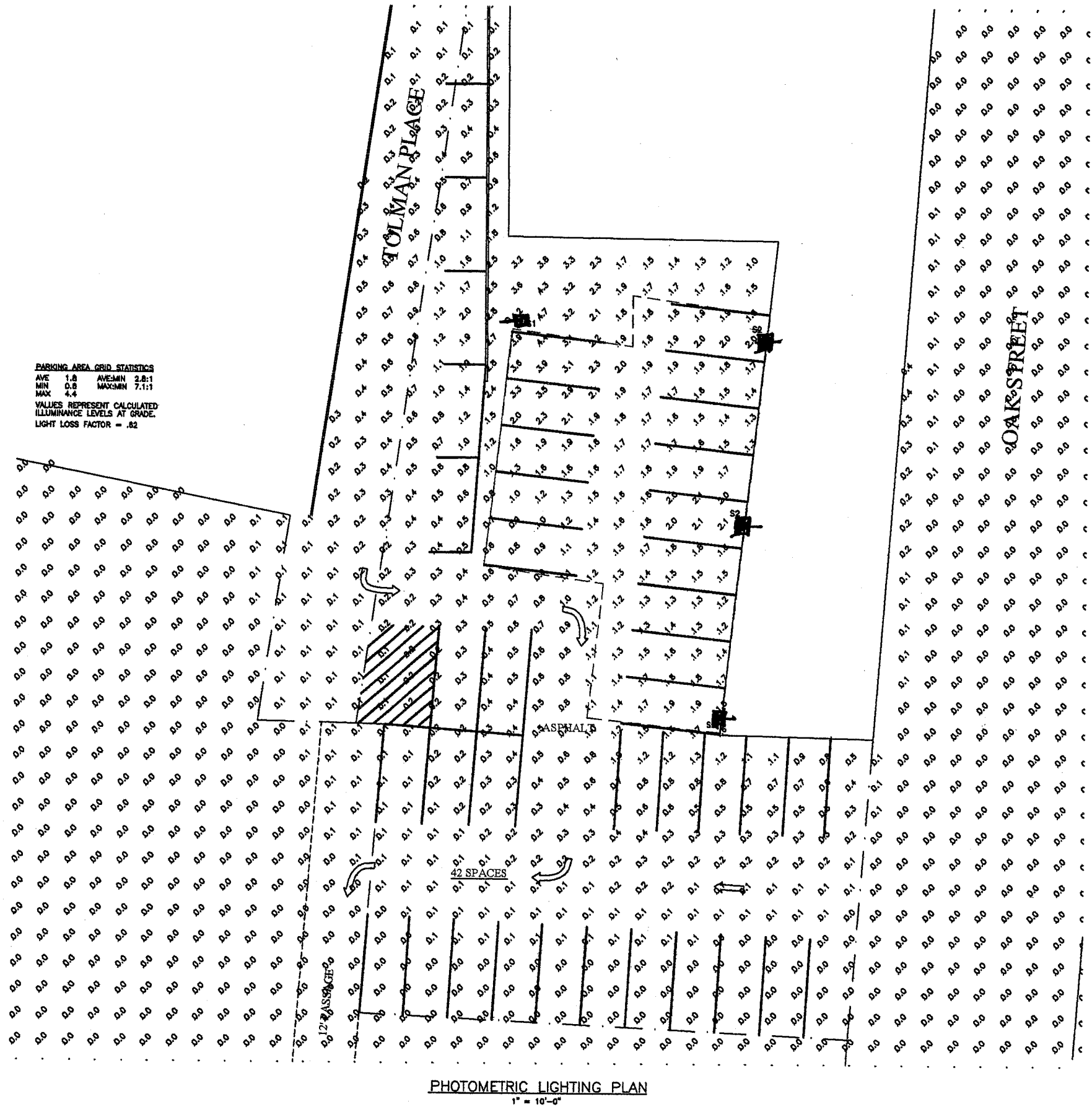
Date: 30 AUG. 2005  
Scale: AS NOTED  
Revisions:

LIGHTING PLAN

E-1



PARKING AREA GRID STATISTICS  
AVE 1.8 AVE/MIN 2.8:1  
MIN 0.8 MAX/MIN 7.1:1  
MAX 4.4  
VALUES REPRESENT CALCULATED ILLUMINANCE LEVELS AT GRADE.  
LIGHT LOSS FACTOR = .82



F3