

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

SECTION

# PERMIT

Permit Number: 050819

JUL - 5 2005

CITY OF PORTLAND

This is to certify that Hega Realty Trust/Keeley Construction

has permission to Repair ceiling 4th flr

AT 531 Congress St

037 C014001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is altered or closed-in. **24 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. Jay Kelley 6-29-05 P.F.D.

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

DepartmentName

*[Signature]*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

|                              |  |                            |
|------------------------------|--|----------------------------|
| <b>Permit No:</b><br>05-0819 | <b>Date Applied For:</b><br>06/21/2005 | <b>CBL:</b><br>037 C014001 |
|------------------------------|--|----------------------------|

|   |  |  |                                 |
|---|--|--|---------------------------------|
| <b>Location of Construction:</b><br>531 Congress St | <b>Owner Name:</b><br>Hega Realty Trust        | <b>Owner Address:</b><br>218 East Rd                 | <b>Phone:</b><br>( ) 871-1080   |
| <b>Business Name:</b>                               | <b>Contractor Name:</b><br>Keeley Construction | <b>Contractor Address:</b><br>P.O. Box 1174 Portland | <b>Phone:</b><br>(207) 773-8499 |
| <b>Lessee/Buyer's Name</b>                          | <b>Phone:</b>                                  | <b>Permit Type:</b><br>Alterations - Commercial      |                                 |

|  |                        |
|--|------------------------|
|  | Repair ceiling 4th flr |
|--|------------------------|

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Mike Nugent      **Approval Date:** 06/29/2005

**Note:**      **Ok to Issue:**

1) All penetrations in this assembly must be protected in accordance with Section 712.4 of the 2003 IBC

**Dept:** Fire      **Status:** Approved      **Reviewer:** Jay Kelley      **Approval Date:** 06/29/2005

**Note:**      **Ok to Issue:**

1) Maintain sprinkler and fire alarm sys. If applicable.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

**PERMIT ISSUED**

|                                       |   |   |  |
|---------------------------------------|---|---|--|
| Permit No:<br>05-0819                 | Issue Date:<br>JUL 5 2005               | CBI:<br>037 CO 4001                           |  |
| Owner Name:<br>Hega Realty Trust      | Owner Address:<br>218 East Rd           | Phone:<br>874-1080                            |  |
| Business Name:<br>Keeley Construction | Contractor Name:<br>Keeley Construction | Contractor Address:<br>P.O. Box 1174 Portland |  |

|  |   |   |
|--|---|---|
| Location of Construction:<br>531 Congress St | Owner Name:<br>Hega Realty Trust        | Owner Address:<br>218 East Rd                 |
| Business Name:<br>Keeley Construction        | Contractor Name:<br>Keeley Construction | Contractor Address:<br>P.O. Box 1174 Portland |

|                         |   |  |
|-------------------------|---|--|
| Lessee/Buyer's Name     | Phone:  | Permit Type:<br>Alterations - Commercial |
| Past Use:<br>Commercial | Proposed Use:<br>Commercial/ Repair ceiling 4th flr | Zone:                                    |

|   |                              |  |  |
|---|------------------------------|--|--|
| Permit Fee:   | Cost of Work:<br>\$50,000.00 | CEO District:<br>1                                     |  |
| FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied |                              | INSPECTION:<br>Use Group: <i>NO INTENDED USE</i> Type: |  |

Proposed Project Description:  
Repair ceiling 4th flr

Signature: *JLK P.A.D. 6-29-05*

Signature: *[Handwritten Signature]*

**PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)**

Action:  Approved  Approved w/Conditions  Denied

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

|                             |                                 |                        |
|-----------------------------|---------------------------------|------------------------|
| Permit Taken By:<br>jharris | Date Applied For:<br>06/21/2005 | <b>Zoning Approval</b> |
|-----------------------------|---------------------------------|------------------------|

|  |   |   |   |
|--|---|---|---|
| 1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.<br><br>2. Building permits do not include plumbing, septic or electrical work.<br><br>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. | <b>Special Zone or Reviews</b><br><input type="checkbox"/> Shoreland<br><input type="checkbox"/> Wetland<br><input type="checkbox"/> Flood Zone<br><input type="checkbox"/> Subdivision<br><input type="checkbox"/> Site Plan<br><br>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/><br><br>Date: _____ | <b>Zoning Appeal</b><br><input type="checkbox"/> Variance<br><input type="checkbox"/> Miscellaneous<br><input type="checkbox"/> Conditional Use<br><input type="checkbox"/> Interpretation<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Denied<br><br>Date: _____ | <b>Historic Preservation</b><br><input type="checkbox"/> Not in District or Landmark<br><input type="checkbox"/> Does Not Require Review<br><input type="checkbox"/> Requires Review<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Approved w/Conditions<br><input type="checkbox"/> Denied<br><br>Date: _____ |
|--|---|---|---|

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

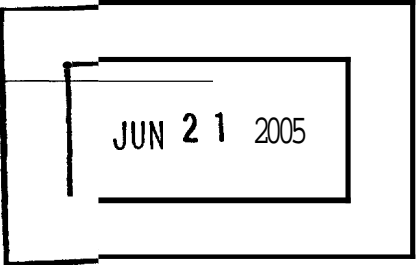
|   |         |      |       |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT                      | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE |         | DATE | PHONE |



# Commercial Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

|   |   |   |
|---|---|---|
| Location/Address of Construction: 531 Congress Street, JB Brown Building  |   |   |
| Total Square Footage of Proposed Structure <sup>110,520 sq. ft.</sup><br>5th Floor 15,127 Sq. Ft.   |   | Square Footage of Lot .484 acres                |
| Tax Assessor's Chart, Block & Lot<br>Chart# 037 Block# C Lot# 14  | Owner: HEGA Realty Trust<br>C/O Dirigo Management Co.<br>One City Center<br>Portland, ME 04101  | Telephone:<br>(207) 871-1080                    |
| Lessee/Buyer's Name (If Applicable)   | Applicant name, address & telephone:<br>Archetype, P.A. 772-6022<br>C/O HEGA Realty Trust<br>Dirigo Management Co.<br>One City Center<br>Portland, ME 04101 | cost Of<br>Work \$ 50,000<br><br>Fee: \$ 921.00 |
| Proposed Specificuse: <del>Vacant</del> Office<br>Project description: Repair ceiling on 4th floor.   |   |   |
| Contractor's name, address & telephone: Jim Keeley<br>Keeley Construction, PO Box 1074, Portland, ME 04104 (207) 773-8499<br>Who should we contact when the permit is ready: Jim Keeley<br>Mailing address: Keeley Construction, PO Box 1074, Portland, ME 04104<br>Phone: (207) 773-8499 |   |   |



**Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.**

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the **Building Inspections office**, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:  Date: JUNE 21, 2005

**Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost**

**This is not a Permit; you may not commence any work until the Permit is issued.**



CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Room 315  
Portland, Maine 04101

ACCESSIBILITY CERTIFICATE

Designer: Archetype P.A

Address of Project: 531 Congress St., JB Brown Building

Nature of Project: Repair the ceiling on the 4th Floor

\_\_\_\_\_  
\_\_\_\_\_

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

Signature: 

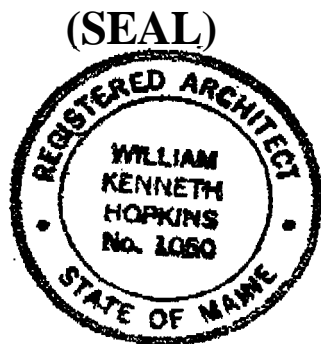
Title: Architect

Firm: Archetype P.A.

Address: 48 Union Wharf

Portland, ME 04101

Phone: (207) 772-6022



359 Congress Street • Portland, Maine 04101 • (207) 874-8703 • FACSIMILE (207) 874-8716 • TTY (207) 874-8936



CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Room 315  
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

FROM: Archetype, P.A.

RE: Certificate of Design

DATE: 6/21/05

These plans and / or specifications covering construction work on:

531 Congress St., JB Brown Building

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the 2003 International Building Code and local amendments.



As per Maine State Law:

\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

Signature: [Handwritten Signature]

Title: Architect

Firm: Archetype, P.A.

Address: 48 Union Wharf  
Portland, ME 04101

FROM DESIGNER: Archetype, P.A.

DATE: 6/21/05

Job Name: JB Brown Building, 4th Floor

Address of Construction: 531 Congress Street

**2003 International Building Code**

Construction project was designed according to the building code criteria listed below:

Building Code and Year ICC 2003 Use Group Classification(s) MB & R-2

Type of Construction 3-A

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC N/A

Is the Structure mixed use? Yes if yes, separated or non separated (see Section 302.3) N/A

Supervisory alarm system? N/A Geotechnical/Soils report required? (See Section 1802.2) N/A

**STRUCTURAL DESIGN CALCULATIONS**

N/A Submitted for all structural members (108.1, 108.1.1)

N/A Live load reduction (1603.1.1, 1607.8, 1607.10)  
N/A Roof live loads (1603.1.2, 1607.11)

**DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1603)**

Uniformly distributed floor live loads (1603.1.1, 1607)

N/A Roof snow loads (1603.1.3, 1608)  
N/A Ground snow load,  $P_g$  (1608.2)  
N/A If  $P_g > 10$  psf, flat-roof snow load,  $P_f$  (1608.3)  
N/A If  $P_g > 10$  psf, snow exposure factor,  $C_e$  (Table 1608.3.1)  
N/A If  $P_g > 10$  psf, snow load importance factor,  $I_s$  (Table 1604.5)  
N/A Roof thermal factor,  $C_t$  (Table 1608.3.2)  
N/A Sloped roof snowload,  $P_s$  (1608.4)

| Floor Area Use | Loads Shown |
|----------------|-------------|
| <u>N/A</u>     | <u>N/A</u>  |
|                |             |
|                |             |
|                |             |
|                |             |

**Wind loads (1603.1.4, 1609)**

N/A Design option utilized (1609.1.1, 1609.6)  
N/A Basic wind speed (1609.3)  
N/A Building category and wind importance factor,  $I_w$  (Table 1604.6, 1609.5)  
N/A Wind exposure category (1609.4)  
N/A Internal pressure coefficient (ASCE 7)  
N/A Component and cladding pressures (1609.1.1, 1609.6.2.2)  
N/A Main force wind pressures (1609.1.1, 1609.6.2.1)

N/A Seismic design category (1616.3)  
N/A Basic seismic force-resisting system (Table 1617.6.2)  
N/A Response modification coefficient,  $R$ , and deflection amplification factor,  $C_d$  (Table 1617.6.2)  
N/A Analysis procedure (1616.6, 1617.5)  
N/A Design base shear (1617.4, 1617.5.1)

**Earthquake design data (1603.1.5, 1614 - 1623)**

N/A Design option utilized (1614.1)  
N/A Seismic use group ("Category") (Table 1604.5, 1616.2)  
N/A Spectral response coefficients,  $S_{DS}$  &  $S_{D1}$  (1615.1)  
N/A Site class (1615.1.5)

**Flood loads (1603.1.5, 1612)**  
N/A Flood hazard area (1612.3)  
N/A Elevation of structure

**Other loads**

N/A Concentrated loads (1607.4)  
N/A Partition loads (1607.5)  
N/A Impact loads (1607.8)  
N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

A R C H I T E C T Y P E

F A X C O V E R S H E E T

To: Donna Martin

COMPANY: City of Portland

FROM: See

DATE: 6/21/05 FAX NUMBER: 874 8714

PROJECT: 531 Congress St. JB Braun Bldg

NUMBER OF PAGES (Including Cover Page): 4

MESSAGE

design professionals  
forms to include  
with Building Permit  
Application

IF YOU HAVE ANY PROBLEMS RECEIVING THIS FAX,  
PLEASE CALL THE PERSON SENDING IT AS SOON AS POSSIBLE.  
THANK YOU.

48 Union Wharf, Portland, Maine 04101 (207) 772-6022 • Fax (207) 772-4056



4TH FLOOR

3 SECTION @ EXISTING 4TH FLOOR CLING  
SCALE 1"=1'

4TH FLOOR

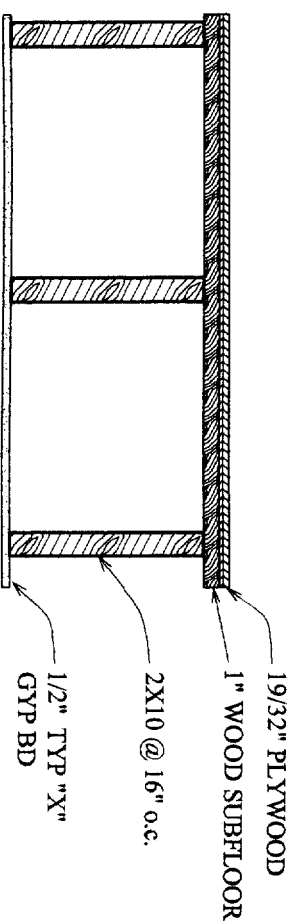
5 EXISTING 4TH FLOOR CLING (J.B. BROWN)  
SCALE 1"=1'

NEW 5/8" TYPE  
"X" GYP. BD.  
APPLIED  
DIRECTLY TO  
JOISTS

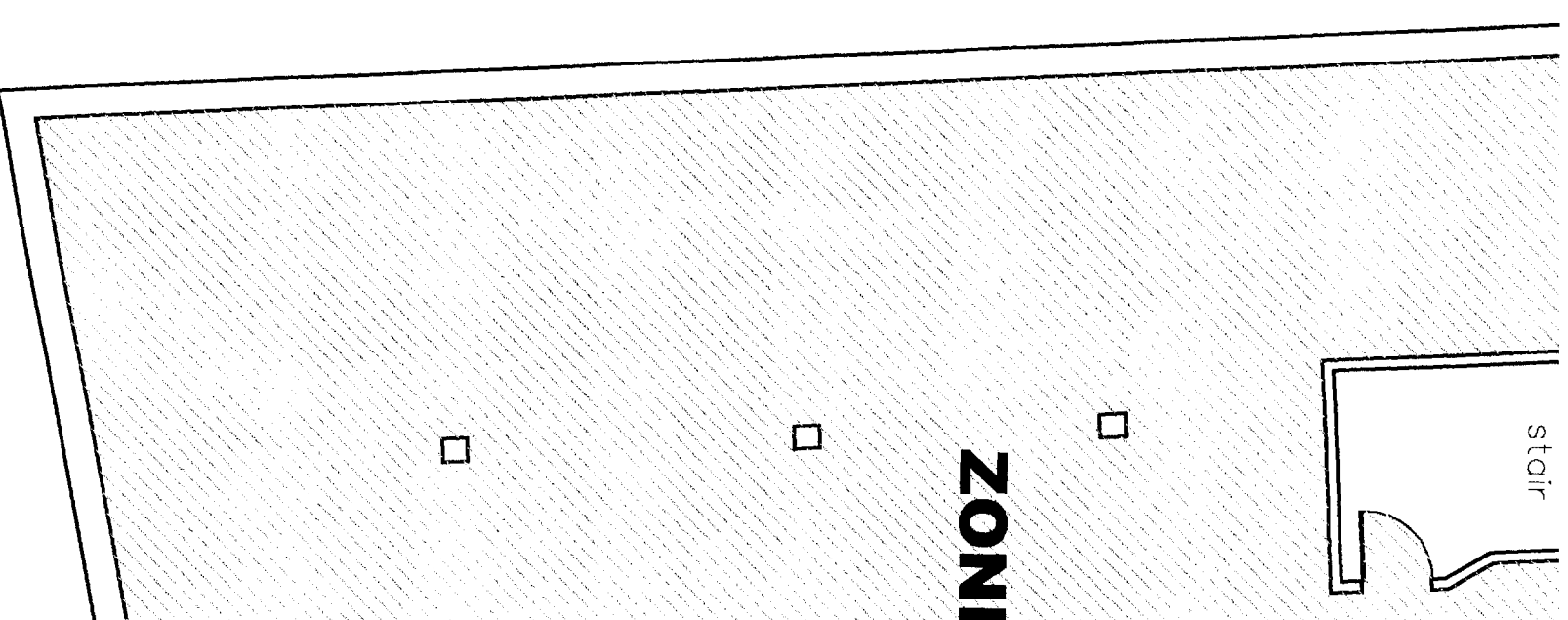
**GENERAL NOTES**

1. Remove all unused cable, pipes, etc. penetration ceiling.
1. Provide min. 2 layers of 5/8" Type "X" Gyp around all steel beams
2. All ceiling penetrations to be fire caulked.

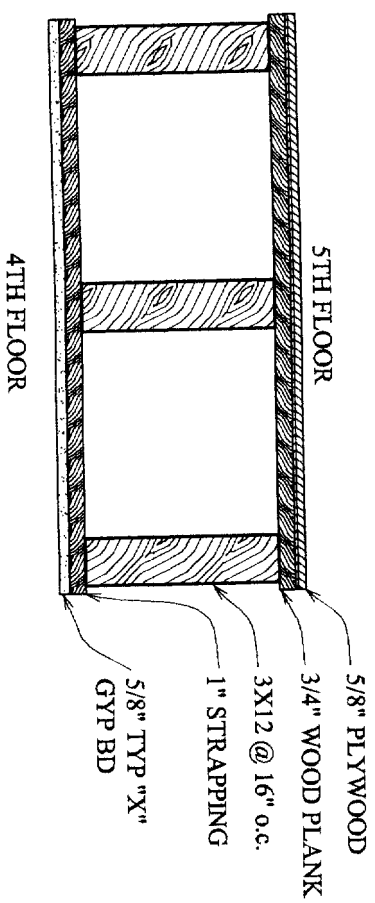
**COMPARITIVE FLOOR /CEILING ASSEMBLY**



6 IHR WALL (UL R1319-66, 11-9-64)  
SCALE 1"=1'

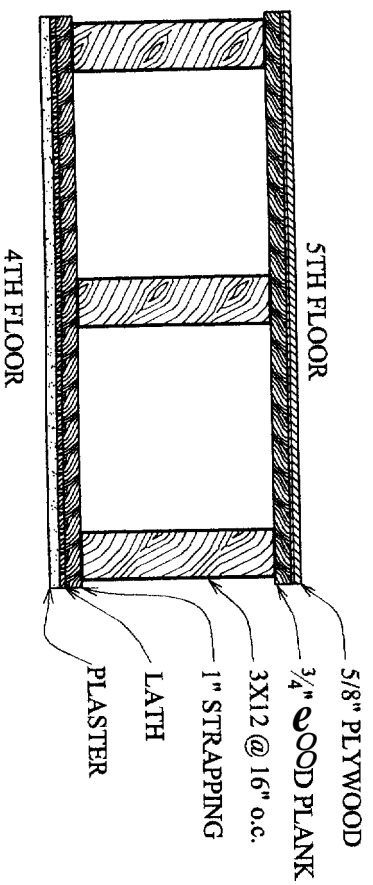


# ZONE 1

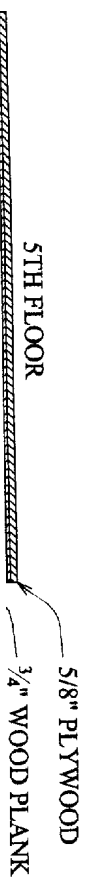


① SECTION @ EXISTING 4TH FLOOR CLNG  
SCALE 1"=1'

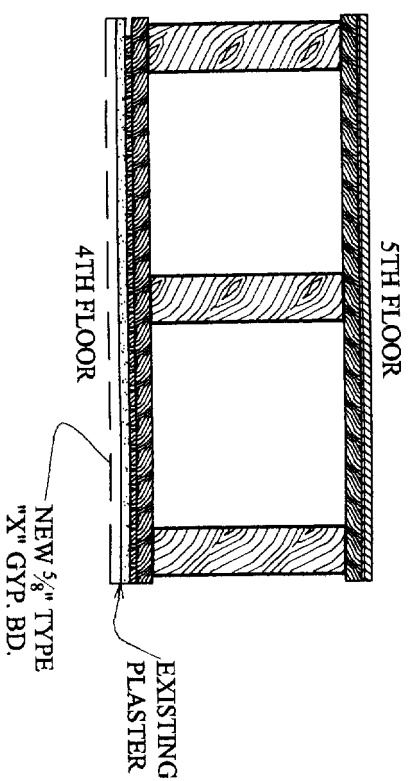
# ZONE 2



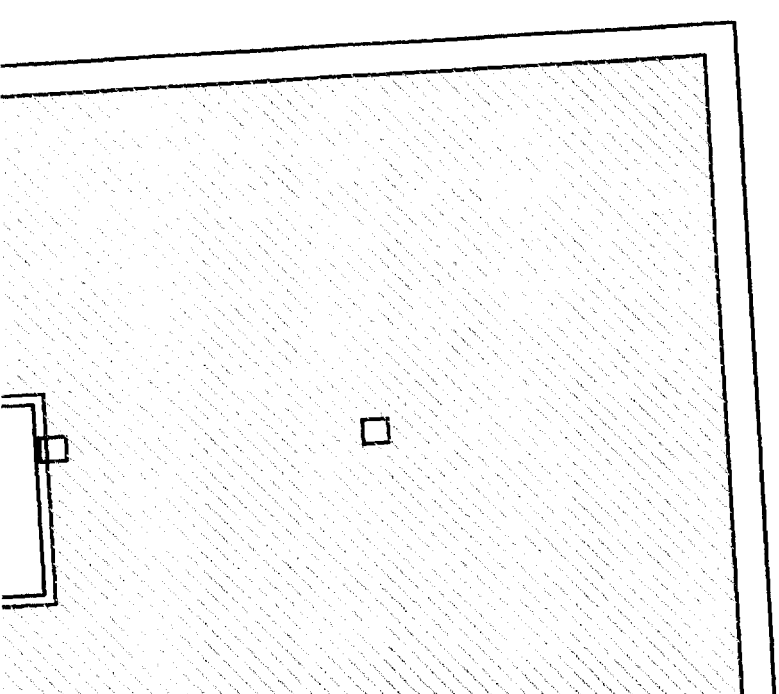
② SECTION @ EXISTING 4TH FLOOR CLNG  
SCALE 1"=1'

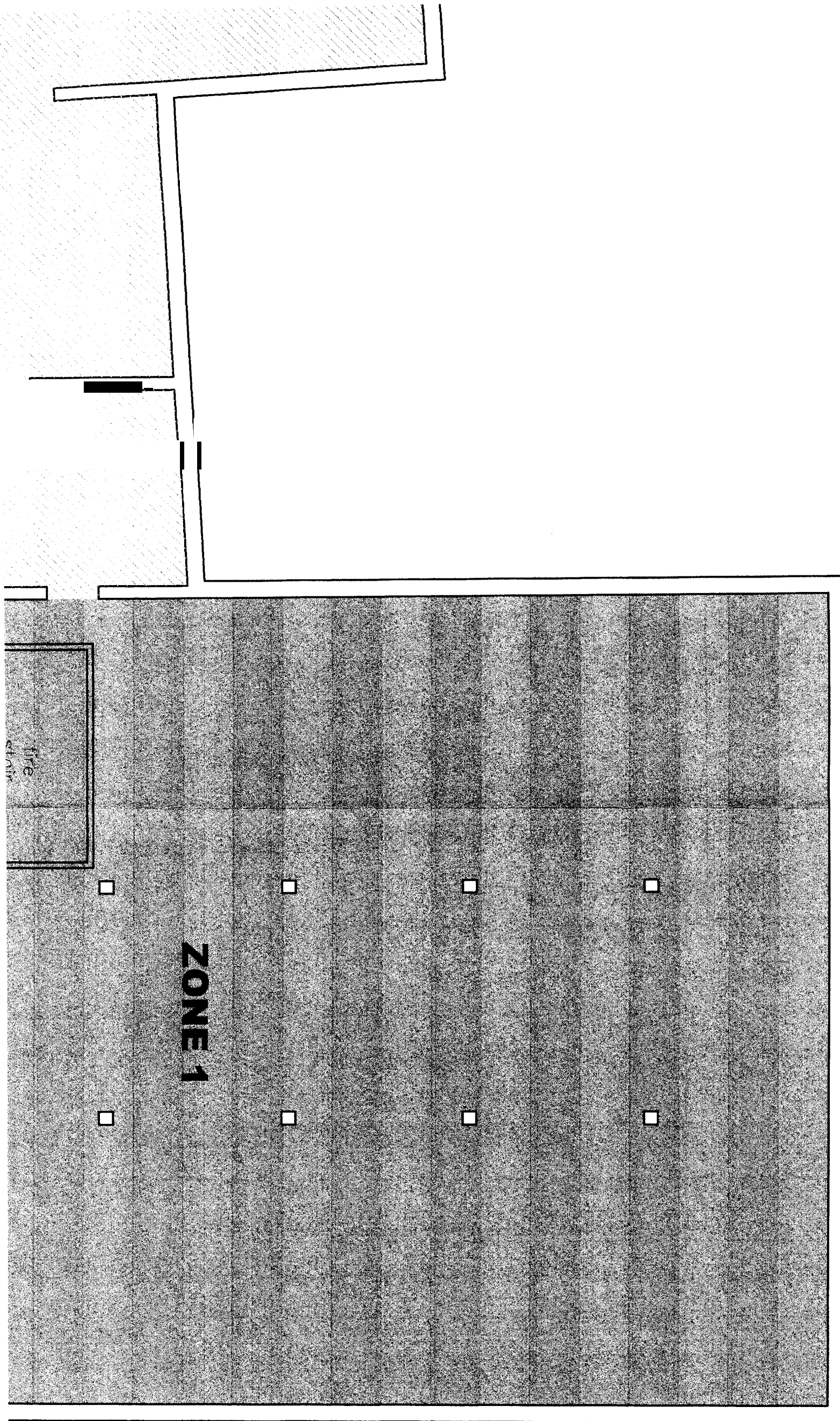


# ZONE 2



④ REVISIONS TO SECTION 2  
SCALE 1"=1'



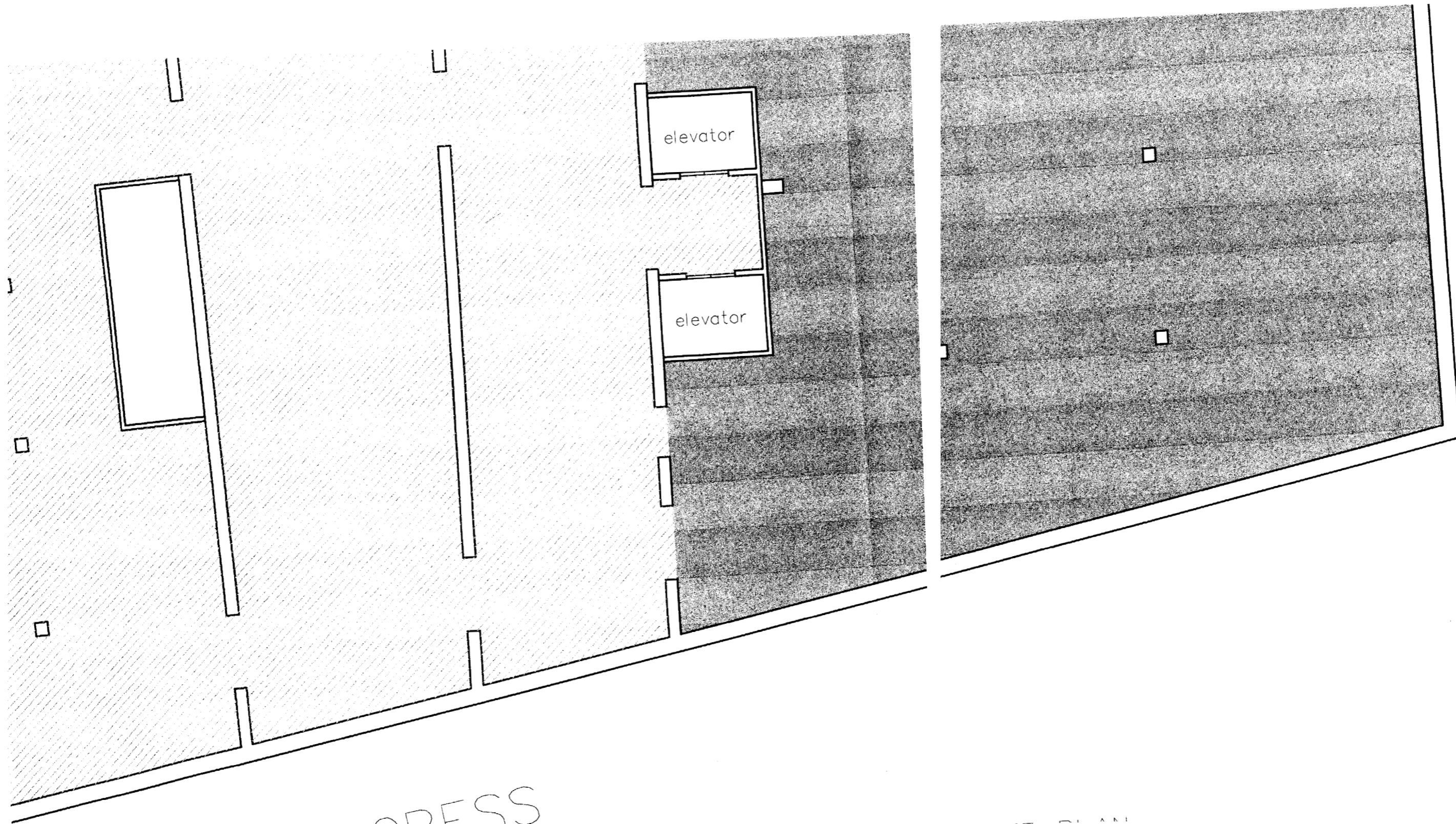


**ARCHETYPE, P.A.  
ARCHITECTS**

48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

**OWNER:**

Peter Skapinsky  
HEGA Reality Trust  
C/O Dirigo Management Co.  
One City Center  
Portland, ME 04101



CONGRESS  
STREET

⑦ 4th FLOOR PLAN  
SCALE: 1/8" = 1'

|                |               |            |
|----------------|---------------|------------|
| Scale as noted |               | J.B.B      |
| Date           | June 20, 2005 | Revisions: |
|                |               |            |
|                |               | 4th Floor  |
|                |               | A          |



**CITY OF PORTLAND, MAINE**  
**Department of Building Inspections**

\_\_\_\_\_ 20\_\_\_\_

Received from \_\_\_\_\_

Location of Work \_\_\_\_\_

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_

Building (I1) \_\_\_ Plumbing (I5) \_\_\_ Electrical (I2) \_\_\_ Site Plan (U2) \_\_\_

Other \_\_\_\_\_

CBL: \_\_\_\_\_

*2771.00*

Check #: \_\_\_\_\_

Total Collected \$ \_\_\_\_\_

*wrong →*

**THIS IS NOT A PERMIT**

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy