

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION PERMIT

Permit Number: 070791

Please Read
Application And
Notes, If Any,
Attached

This is to certify that HEGA REALTY TRUST / Archetype P.A. Architects

has permission to Build new garage for 537 Lots

AT 0 Tolman Pl (rear of 531 Congress St)

CBL 037 C0 3001

PERMIT ISSUED

JUL 3 2007

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is latched or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Oves

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Jeanie Bowke 7/30/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Scanned



CITY OF PORTLAND, MAINE

Department of Building Inspections

_____ 20____

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (IL) ____ Plumbing (I5) ____ Electrical (I2) ____ Site Plan (U2) ____

Other _____

CBL: _____

Check #: _____

Total Collected \$ _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

8/7/07 - Checked Footings, Forms/rebar/schedule
for new garage - OK to pour footings.

8/27/07 Footing + Rebar OK to pour cont. 

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0791	Issue Date:	CBL: 037 C013001
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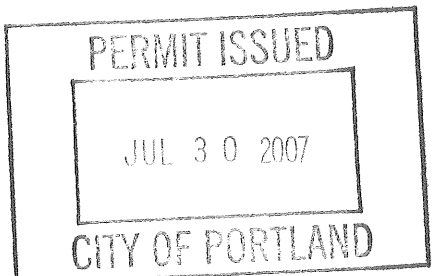
Location of Construction: 0 Tolman Pl (rear of 531 Congress)	Owner Name: HEGA REALTY TRUST	Owner Address: C/O Dirigo Management Co., One Cit	Phone:
Business Name:	Contractor Name: Archetype P A Architects	Contractor Address: 48 Union Wharf Portland	Phone: 2077726022
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	Zone: B-3

Past Use: Parking lot	Proposed Use: Garage - Build new garage for 8 parking spaces for the 10 residential condos located at 537 Congress Street	Permit Fee: \$695.00	Cost of Work: \$60,000.00	CEO District: 1
Proposed Project Description: Build new garage for 537 Lofts		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: U Type: 2B IBC-2003	
		Signature: <i>Craig Cass</i>	Signature: <i>JMB 7/30/07</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 06/29/2007	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel B zmc</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>#2006-0218</i> Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> <i>ok with conditions</i> Date: <i>8/16/07</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0791	Date Applied For: 06/29/2007	CBL: 037 C013001
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Location of Construction: 0 Tolman Pl	Owner Name: HEGA REALTY TRUST	Owner Address: C/O Dirigo Management Co., One City	Phone:
Business Name:	Contractor Name: Archetype P A Architects	Contractor Address: 48 Union Wharf Portland	Phone (207) 772-6022
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	

Proposed Use: Garage - Build new garage for 8 parking spaces for the 10 residential condos located at 537 Congress Street	Proposed Project Description: Build new garage for 537 Lofts
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 07/16/2007
Note: 8 covered parking spaces located on 037-C-013 as accessory to the 10 residential condos located at 037-C-014: 537 lofts. **Ok to Issue:**

Planning still needs to sign off on the site plan application.

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) It is understood that this parking for 8 covered spaces is accessory to the 10 residential condo units (537 lofts) located on 037-C-014.
- 3) Separate permits shall be required for any new signage.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:**
Note: 7/25/07 Waiting for Planning approval **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved **Reviewer:** Capt Greg Cass **Approval Date:** 07/16/2007
Note: **Ok to Issue:**

Dept: Public Works **Status:** Approved **Reviewer:** **Approval Date:**
Note: **Ok to Issue:**

Dept: Zoning **Status:** Approved **Reviewer:** Marge Schmuckal **Approval Date:**
Note: **Ok to Issue:**

Dept: Parks **Status:** Not Applicable **Reviewer:** **Approval Date:**
Note: **Ok to Issue:**

Dept: Fire **Status:** **Reviewer:** **Approval Date:**
Note: **Ok to Issue:**

Dept: DRC **Status:** Approved **Reviewer:** **Approval Date:**
Note: **Ok to Issue:**

Location of Construction: 0 Tolman Pl	Owner Name: HEGA REALTY TRUST	Owner Address: C/O Dirigo Management Co., One City	Phone:
Business Name:	Contractor Name: Archetype P A Architects	Contractor Address: 48 Union Wharf Portland	Phone (207) 772-6022
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	

Dept: Planning **Status:** Approved with Conditions **Reviewer:** **Approval Date:**
Note: **Ok to Issue:**

Comments:

7/16/2007-mes: Site plan #2006-0218 has been on hold because there was a minimum height requirement of 35'. This garage is only 10' high. However, it was known that the planning division was in the process of revising this section of the ordinance. Barbara B. notified the applicant. On 6/4/07, the City Council approved amendments that exempt accessory covered parking garages from the minimum height requirements. The amendments went into effect on 7/4/07 (30 days). The site plan now must be followed up and approved prior to issuing this permit.

7/25/2007-jmb: Spoke with Bill at Archetype to verify if the asphalt for the garage floor meets the ASTM E136 test for noncombustible material. He confirmed it does, ok to issue when approved by Planning.

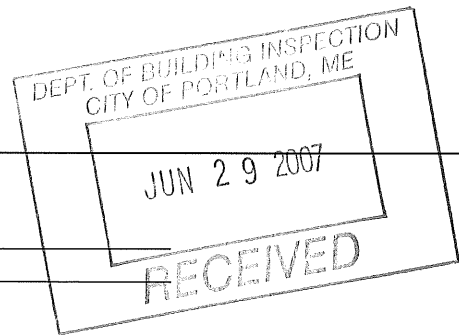
7/30/2007-jmb: Received planning approval, ok to issue



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>537 Lofts Parking Garage - Tolman Place</u>		
Total Square Footage of Proposed Structure 176.0 Sq. Ft. <i>1760?</i>	<i>where cond of the lot?</i> Square Footage of Lot .132 acres	
Tax Assessor's Chart, Block & Lot Chart# 37 Block# C Lot# <u>137</u>	Owner: <u>Hega Realty Trust</u> <u>C/O Dirigo Management Company</u> <u>One City Center</u> <u>Portland, ME 04101</u>	Telephone: <u>(207) 871-1080</u>
Lessee/Buyer's Name (If Applicable) <i>where this is parking lot?</i>	Applicant name, address & telephone: <u>Archetype, PA (207) 772-6022</u> <u>48 Union Wharf</u> <u>Portland, ME 04101</u> As Agent For: <u>Hega Realty Trust</u>	Cost Of Work: \$ <u>60,000</u> Fee: \$ <u>620.00</u> C of O Fee: \$ <u>75.00</u>
Current legal use (i.e. single family) <u>Parking Lot</u> Total: \$695.00		
If vacant, what was the previous use? _____		
Proposed Specific use: <u>Parking Garage</u>		
Is property part of a subdivision? <u>NO</u> If yes, please name _____		
Project description: <u>537 Lofts Parking Garage</u>		
Geotech Report <u>N/A</u> Specifications <u>N/A</u>		
Contractor's name, address & telephone: <u>Unknown</u>		
Who should we contact when the permit is ready: <u>Hega Realty Trust</u>		
Mailing address: <u>Hega Realty Trust</u> Phone: <u>(207) 871-1080</u> <u>C/O Dirigo Management Company</u> <u>One City Center</u> <u>Portland, ME 04101</u>		



Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>6-28-07</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon.

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

 Don McBurn
Signature of Applicant/Designee

 7-30-07
Date

 [Signature]
Signature of Inspections Official

 7-30-07
Date

CBL: 37-C-13

Building Permit #: 070291

From: "David Lloyd" <lloyd@archetypepa.com>
To: "Barbara Barhydt" <BAB@portlandmaine.gov>
Date: 7/23/2007 1:53:09 PM
Subject: RE: 531 Congress St

- 1 Need fire rating of connecting wall.
3+ hours per IBC 2003 T720.1(2)
- 2 Need code summary for ventilation requirements.
There are no ventilation requirements that we can find.
- 3 Need code summary for means of egress
Egress based on NFPA 101 . 7.2.1.4.1.6

David Lloyd
Archetype, P.A.
48 Union Wharf
Portland, ME 04101
Phone: (207) 772-6022
Fax: (207) 772-4056
lloyd@archetypepa.com
<http://www.archetype-architects.com>

-----Original Message-----

From: Barbara Barhydt [mailto:BAB@portlandmaine.gov]
Sent: Friday, July 20, 2007 3:18 PM
To: lloyd@archetypepa.com
Subject: 531 Congress St

Here are Captain Cass comments.

Barbara Barhydt
Development Review Services Manager
Planning Division
389 Congress Street 4th Floor
Portland, ME 04101
(207) 874-8699
Fax: (207) 756-8256
bab@portlandmaine.gov



Certificate of Design Application

From Designer: Archetype, PA

Date: June 21, 2007

Job Name: 537 Lofts Parking Garage

Address of Construction: Tolman Place

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) U

Type of Construction 5B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC No

Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) _____

Supervisory alarm System? No Geotechnical/Soils report required? (See Section 1802.2) From adjoining building

Structural Design Calculations

N/A Submitted for all structural members (106.1 – 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>N/A</u>	<u>N/A</u>
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

1609.1.1 Design option utilized (1609.1.1, 1609.6)

100 MPH Basic wind speed (1809.3)

I Building category and wind importance Factor, I_w
table 1604.5, 1609.5)

B Wind exposure category (1609.4)

N/A Internal pressure coefficient (ASCE 7)

N/A Component and cladding pressures (1609.1.1, 1609.6.2.2)

15.9 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

ASCE-7 Design option utilized (1614.1)

B Seismic use group ("Category")

S_{Ds}=0.25 S_{D1}=1.07 Spectral response coefficients, S_{Ds} & S_{D1} (1615.1)

B Site class (1615.1.5)

N/A Live load reduction

N/A Roof *live* loads (1603.1.2, 1607.11)

34 PSF Roof snow loads (1603.7.3, 1608)

60 PSF Ground snow load, P_g (1608.2)

34 PSF If $P_g > 10$ psf, flat-roof snow load P_f

1.0 If $P_g > 10$ psf, snow exposure factor, C_e

0.8 If $P_g > 10$ psf, snow load importance factor, I_s

1.0 Roof thermal factor, C_t (1608.4)

N/A Sloped roof snowload, P_s (1608.4)

B Seismic design category (1616.3)

1H Basic seismic force resisting system (1617.6.2)

R=6.5 Response modification coefficient, R_f and

C_d=3.5 deflection amplification factor C_d (1617.6.2)

Simplified Analysis procedure (1616.6, 1617.5)

7.0 Kips Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)

N/A Elevation of structure

Other loads

N/A Concentrated loads (1607.4)

N/A Partition loads (1607.5)

N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Accessibility Building Code Certificate

N/A

Designer: _____

Address of Project: _____

Nature of Project: _____

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

Signature: _____

Title: Architect

(SEAL)

Firm: Archetype, PA

Address: 48 Union Wharf

Portland, ME

Phone: (207) 772-6022

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

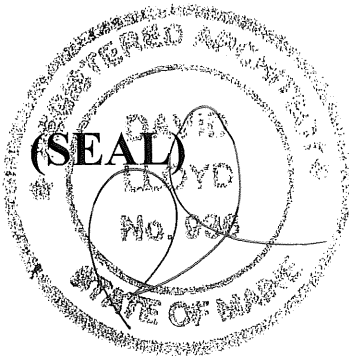
Date: June 21, 2007

From: Archetype, PA

These plans and / or specifications covering construction work on:

537 Lofts Parking Garage
Tolman Place

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: _____
David Lloyd

Title: Architect

Firm: Archetype, PA

Address: 48 Union Wharf

Portland, ME

Phone: (207) 772-6022

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

From: Marge Schmuckal
To: Barbara Barhydt
Date: 7/16/2007 11:42:43 AM
Subject: #2006-0218

Barbara,

This application for a one-story structure for 8 covered parking spaces was put on hold because it was not meeting the B-3 minimum structure height of 35'. However, on 6/4/07 the City Council approved amendments to the B-3 zone allowing an exemption for accessory "covered parking". This project is now meeting the requirements of the B-3 zone.

We currently have a building permit application. This site plan must now be approved thru the site plan review process prior to construction. Please let this office know when this site plan is approved so that we can issue the permit.

thanks,
Marge

Completeness Review

Applicant:

Date:

11/7/06

Address:

531 Congress St

C-B-L:

37-C-14

Wmslow ^{left} CHECKLIST AGAINST ZONING ORDINANCE

permit # ~~0376014~~

Date -

07-0791

Zone Location -

B-3

Interior or corner lot -

Proposed Use/Work -

Amendment for an approved set back plan

Sewage Disposal -

Lot Street Frontage -

15' min

Front Yard -

Street will build to line - 5' max (with 5') unless PB. approved
TAKING PLACE IS TOO NARROW (14') TO BE A "STREET" FOR THIS FRONTAGE PURPOSE

Rear Yard -

No other min yd. dimensions req

Side Yard -

Projections -

Width of Lot -

None req

Height -

14 - 220 (ft) - min height 35' - 10' shown
allows an exemption for covered parking

Lot Area -

No min req

Lot Coverage/ Impervious Surface -

100%

Area per Family -

N/A

Off-street Parking -

N/A

Loading Bays -

N/A

Site Plan -

2006-0218

Shoreland Zoning/ Stream Protection -

N/A

Flood Plains -

panel 13, Zone C

2
19
18
1

46'

PERHAPS AN AMENDMENT

Council PASSED Amendment 6/4/07
in effect 7/4/07

In addition to the provisions of division 25 (space and bulk regulations and exceptions) of this article, lots in the B-3, B-3b and B-3c zones shall meet the following requirements:

- (a) *Minimum lot size:* None.
- (b) *Minimum street frontage:* Fifteen (15) feet.
- (c) *Street wall build-to line:* All buildings or structures shall be located within five (5) feet of the property line along street frontages, unless the Planning Board requires or approves an additional distance to comply with the requirements of section 14-526(a)(16).
- (d) *Minimum yard dimensions:* None required.
- (e) *Minimum lot width:* None required.
- (f) *Maximum length of undifferentiated blank wall along a public street or publicly accessible pedestrian way:*
 - 1. PAD overlay zone: Fifteen (15) feet.
 - 2. All other areas: Thirty (30) feet.
- (g) *Maximum lot coverage:* One hundred (100) percent.
- (h) *Minimum building height:* No new construction of any building shall be less than thirty-five (35) feet in height within fifty (50) feet of any street frontage, except that this provision shall not apply to:

- 1. Accessory building components and structures such as truck loading docks, covered parking, mechanical equipment enclosures and refrigeration units.
- 2. Information kiosks and ticketing booths.
- 3. Public transportation facilities of less than 10,000 square feet, or additions of less than 5000 square feet to existing public transportation facilities provided that the cumulative additions as of June 4, 2007 do not exceed 10,000 square feet.

PASSED
6/4/07

4. Additions to buildings existing as of June 4, 2007 provided that the cumulative additions since June 4, 2007 do not exceed ten percent (10%) of the building footprint on June 4, 2007, except building additions on those portions of the lot located closer to the street line than the building footprint existing as of June 4, 2007 shall not be included in this 10% limitation.
5. Utility substations, including sewage collection and pumping stations, water pumping stations, transformer stations, telephone electronic equipment enclosures and other similar structures.
6. Additions to and/or relocation of designated historic structures or structures determined by the historic preservation committee to be eligible for such designation.
7. Parking attendant booths or bank remote teller facilities.
8. Structures accessory to parks and plazas.
9. Buildings or building additions of less than 2,500 square feet footprint, on lots or available building sites of less than 3,000 square feet.

(i) *Maximum height of structures:*

1. The overall maximum permitted height of structures shall be as depicted on the downtown height overlay map, a copy of which is on file in the department of planning and urban development.
2. Maximum height along street frontages and minimum step-back dimensions shall be as depicted on the downtown maximum street wall height and minimum step-back map, a copy of which is on file in the department of planning and urban development.
3. Where the downtown height overlay map depicts a height plus forty (40) feet, the building form may

Application ID Number: 2006-0218

Save Close

Distribution: 11/07/2006

Add Review

Current Status: Comments Submitted Reviewer Approval Date
Department: Zoning Expiration Date Extension Date



OK to Issue Permit Name Date Date 2

Conditions

Comments

Status: Comments Submitted Date: 11/09/2006 Print

Comment: On 11/7/06 Barbara & I did a completeness check - this property is in a B-3 Zone which requires a MINIMUM height of 35'. This project will only be 10' in height and does not meet zoning. Alex J. Proposed to amend the ordinance on the minimum height to allow structures such as what is proposed - Zoning can not sign off at this time.



Create Date: 11/06/2006 By jimy Update Date: By

Application ID Number: 2006-0218

Save Close

Distribution: []

Add Review

Current Status: Comments Submitted

Reviewer []

Approval Date []

Department: Planning

Expiration Date []

Extension Date []



OK to Issue Permit Name [] Date [] Date 2 []

Conditions

Comments

Status: Comments Submitted

Date: 11/08/2006

Print

Comment:



Memo

The proposed garages do not meet the B-3 zoning for minimum height requirement within 50 feet of a street. I spoke with David Lloyd, representative, on 11/8/2006 and told him that the City will be proposing an amendment to the B-3 zone, which is patterned after the exceptions to minimum height regulations contained in B-5 and B-7 zones. He agreed to inform his client and keep the project on hold until the zoning is resolved.

Create Date: 11/06/2006 By jimy

Update Date: [] By []

completeness check 11/7/06

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy

2006-0218
Application I. D. Number
11/2/2006
Application Date
Amendment to Plan - 531 Congress Str
Project Name/Description

not meeting zoning comment submitted

Archetype 2
Applicant
48 Union Wharf, Portland, ME 04101
Applicant's Mailing Address

531 - 531 Congress St, Portland, Maine
Address of Proposed Site
037 C014001
Assessor's Reference: Chart-Block-Lot

Consultant/Agent
Applicant Ph: (207) 772-6022 Applicant Fax: (207) 772-4056
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) Amendment to Plan

Proposed Building square Feet or # of Units _____ Acreage of Site _____ Zoning B3

Check Review Required:

- Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots _____
- Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation DEP Local Certification
- Amendment to Plan - Staff Review Zoning Variance Flood Hazard Site Location
- After the Fact - Major Stormwater Traffic Movement Other _____
- After the Fact - Minor PAD Review 14-403 Streets Review

Fees Paid: Site Plan _____ Subdivision _____ Engineer Review _____ Date _____

Zoning Approval Status:

- Approved Approved w/Conditions See Attached Denied

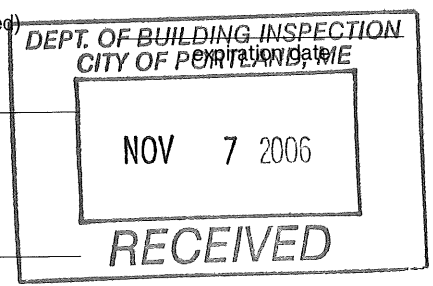
Reviewer *Morgan S. - [Signature]*

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____ date _____ amount _____ expiration date _____
- Inspection Fee Paid _____ date _____ amount _____
- Building Permit Issue _____ date _____
- Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____
- Temporary Certificate of Occupancy _____ date _____ Conditions (See Attached)
- Final Inspection _____ date _____ signature _____
- Certificate Of Occupancy _____ date _____
- Performance Guarantee Released _____ date _____ signature _____
- Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date _____
- Defect Guarantee Released _____ date _____ signature _____



A R C H E T Y P E

November 2, 2006

Bill Needelman
Development Review Manager
City of Portland
389 Congress Street
Portland, ME 04101

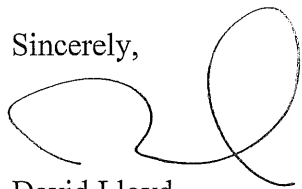
RE: 537 Lofts - Site Plan Revision

Dear Bill,

Attached is a site plan showing a proposed eight (8) unit parking garage to be placed on eight (8) existing parking spaces. Each space will have an overhead door.

Please call with any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to read "David Lloyd". The signature is stylized with a large loop at the end.

David Lloyd
Architect



City of Portland Site Plan Application

If you or the property owner owes real estate taxes, personal property taxes or user charges on any property within the City, payment arrangements must be made before permit applications can be received by the Inspections Division.

Address of Proposed Development: 531 Congress Street			Zone: B-3		
Existing Building Size:		Parking Lot	sq. ft.		Proposed Building Size:
					1,520 sq. ft.
Existing Acreage of Site:		.484 Acres	sq. ft.		Proposed Acreage of Site:
					.484 Acres sq. ft.
Tax Assessor's Chart, Block & Lot:			Property owner's mailing address:		Telephone #:
Chart# 037 Block# C Lot# 14			HEGA Realty Trust C/O Dirigo Management Co. One City Center Portland, ME 04101		(207) 871-1080
Consultant/Agent, mailing address, phone # & contact person:			Applicant's name, mailing address, telephone #/Fax#/Pager#:		Project name:
David Lloyd Archetype, P.A. 48 Union Wharf Portland, ME 04101			David Lloyd Archetype, P.A. 48 Union Wharf Portland, ME 04101 P: (207) 772-6022 F: (207) 772-4056		537 Lofts

Fee For Service Deposit (all applications) X (\$200.00)

Proposed Development (check all that apply)

New Building Building Addition Change of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking lot

Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + major site plan fee if applicable

Site Location of Development (\$3,000.00)

(except for residential projects which shall be \$200.00 per lot _____)

Traffic Movement (\$1,000.00) Storm water Quality (\$250.00)

Section 14-403 Review (\$400.00 + \$25.00 per lot)

Other _____

Major Development (more than 10,000 sq. ft.)

Under 50,000 sq. ft. (\$500.00)

50,000 - 100,000 sq. ft. (\$1,000.00)

Parking Lots over 100 spaces (\$1,000.00)

100,000 - 200,000 sq. ft. (\$2,000.00)

200,000 - 300,000 sq. ft. (\$3,000.00)

Over 300,000 sq. ft. (\$5,000.00)

After-the-fact Review (\$1,000.00 + applicable application fee)

Minor Site Plan Review

Less than 10,000 sq. ft. (\$400.00)

After-the-fact Review (\$1,000.00 + applicable application fee)

Plan Amendments

Planning Staff Review (\$250.00)

Planning Board Review (\$500.00)

~ Please see next page ~

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

Peter S. Skapinsky
HEGA Realty Trust
C/O Dirigo Management Co.
One City Center
Portland, ME 04101
(207) 871-1080

Submittals shall include (9) separate **folded** packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans checklist
- d. 1 set of 11 x 17 plans

Amendment to Plans: **Amendment applications should include 9 separate packets of the above (a, b, & c)**

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process which is available on our web site: portlandmaine.gov

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:



Date:

11-2-06

This application is for site review ONLY; a building Permit application and associated fees will be required prior to construction.

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2006-0218

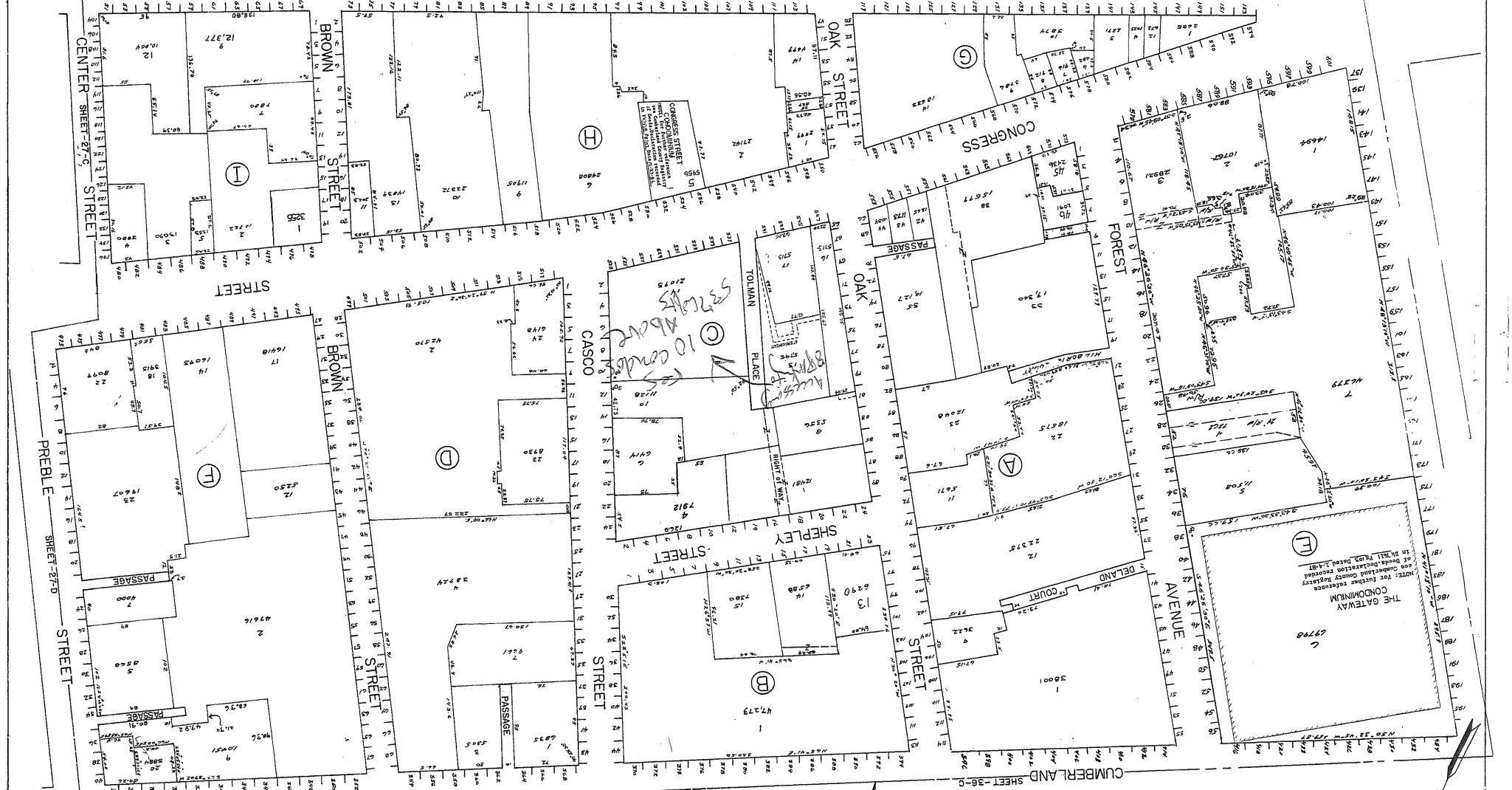
Date: 7/16/2007

On 6/4/07 the City Council approved amendments to the B-3 minimum height requirements that allow accessory garages to be exempted from the minimum height requirements. The amendments go into effect on 7/4/07 (30 days). These 8 parking spaces to be covered are accessory to the 10 residential condos located at 537 Congress Street. This project now meets the requirements of the B-3 Zone.

AVENUE SHEET-33-D

CUMBERLAND SHEET-36-S

REVISIONS 12-12-75
SCALE 1"=50'
CITY OF PORTLAND
ASSESSORS PLAN



THE GATEWAY
CONDOMINIUM
C
22798

NOTE: For further reference
see Cumberland County Registry
in Volume 1785, Dates 1-4-81

CUMBERLAND SHEET-36-S
CONGRESS STREET
SHEET-39-A

SHEET-38-D
BROWN STREET
CENTER SHEET-27-C

STREET

BROWN STREET

CASCO STREET

SHEPLEY STREET

TOLMAN PLACE

OAK STREET

CONGRESS STREET

FOREST AVENUE

BELAND COURT

PREBLE STREET

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Archetype, P.A.
48 Union Wharf
Portland, ME 04101
(207) 772-6022
(207) 772-4056 (Fax)

TRANSMITTAL

37C13

DATE: July 17, 2007

FROM: David Lloyd

TO: City of Portland
Building Permit Department
Congress Street
Portland, Maine

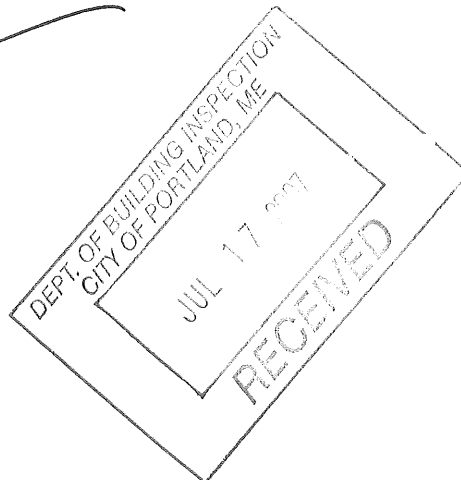
RE: JB Brown Condominium Project – Tolman Place Garage

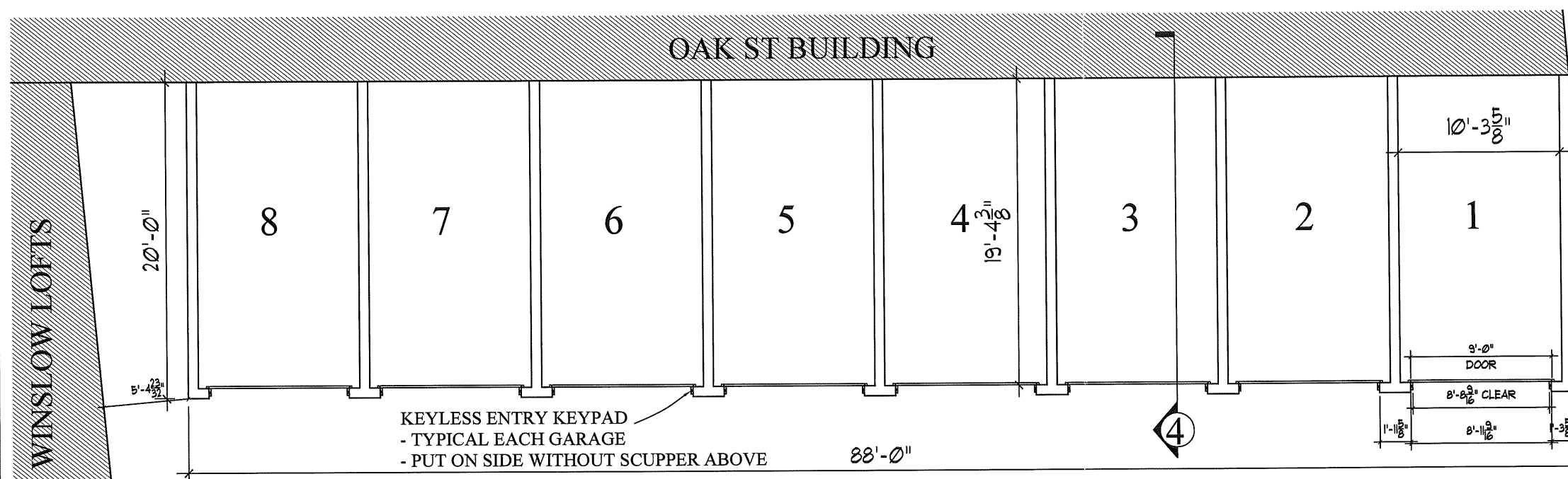
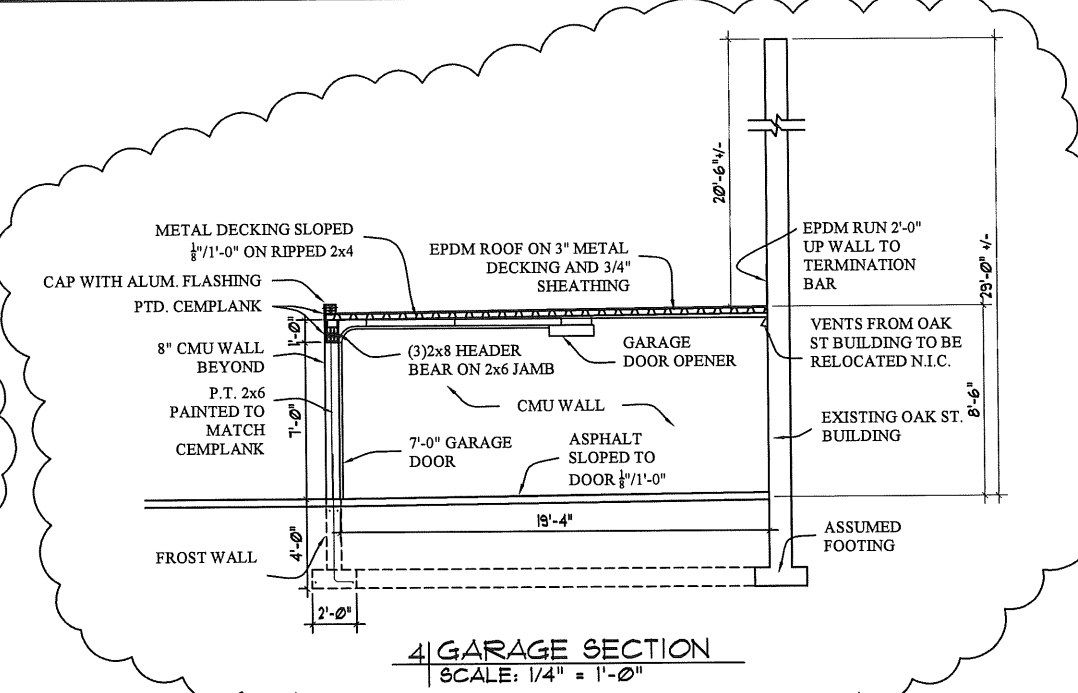
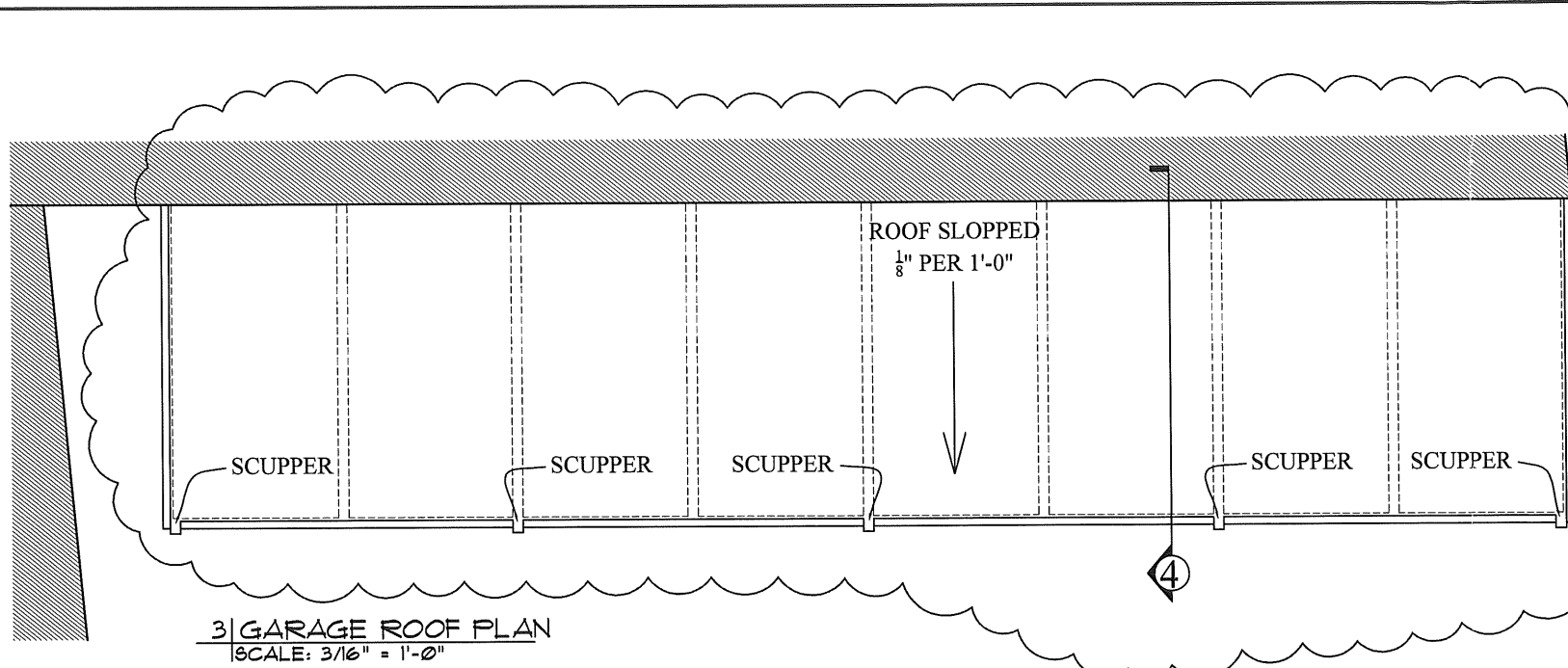
Attached:

Full size set of plans, 11x17 set of plans, CD.

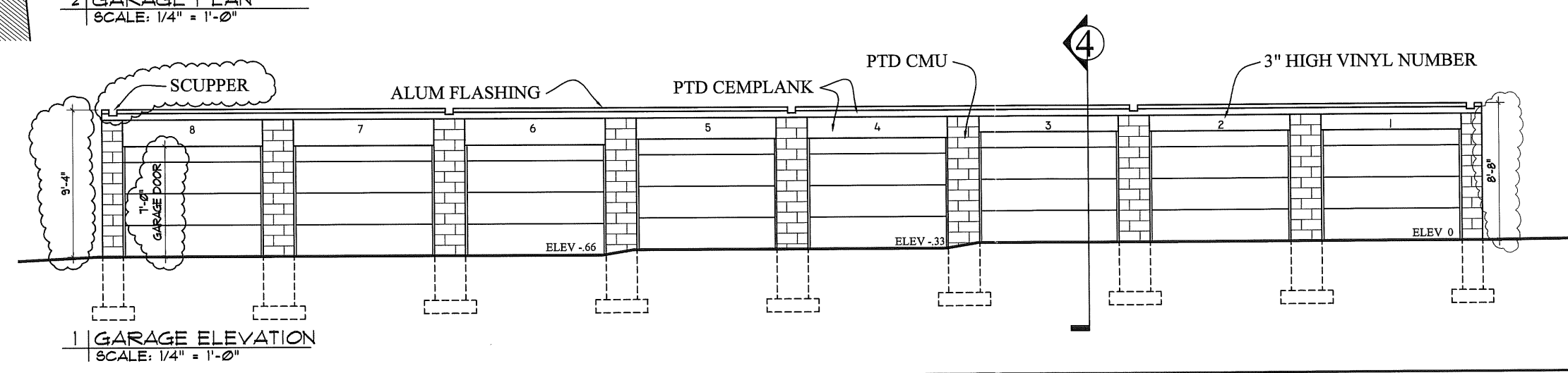
Please replace the current set of plans submitted for Building Permit on 6/28/07, with this set of plans.

revised



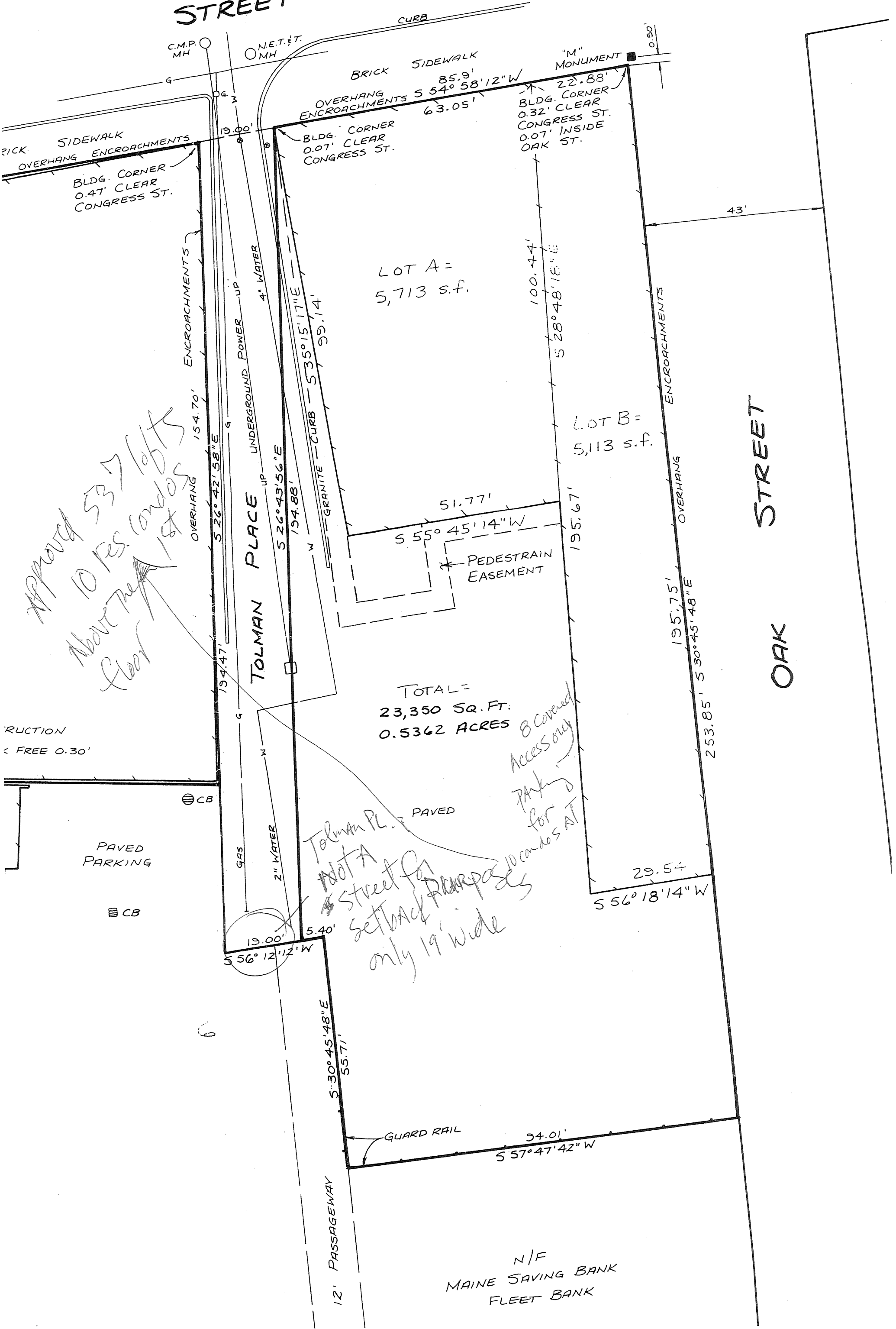


GENERAL NOTES:
 - CONTRACTOR TO WORK WITH OWNER TO PROVIDE ELECTRICAL SERVICE TO GARAGES
 - ONE ELECTRICAL OUTLET PER SPACE
 - GARAGE DOORS TO BE THE "OVERHEAD DOOR" SERIES 313 FROM THE "BANNER COLLECTION"
 - EACH GARAGE DOOR TO HAVE A "OVERHEAD DOOR" "LEGACY" SERIES OPENER WITH DIGITAL WIRELESS KEYPAD AND REMOTE GARAGE DOOR OPENER



OWNER:	
ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	
Project:	
537 LOFTS GARAGES TOLMAN PLACE PORTLAND, ME	
Date:	Scale:
JUNE 14, 2007	AS NOTED
Revisions:	
1	JULY 5, 2007
537 LOFTS PARKING GARAGE PLANS, ELEV. AND SECTION	
A-2	

STREET



C.M.P. MH

N.E.T. MH

BRICK SIDEWALK

"M" MONUMENT

OVERHANG ENCROACHMENTS 5 54° 58' 12" W 85.9' 63.05'

BLDG. CORNER 22.88' 0.32' CLEAR CONGRESS ST. 0.07' INSIDE OAK ST.

BLDG. CORNER 0.47' CLEAR CONGRESS ST.

LOT A = 5,713 s.f.

LOT B = 5,113 s.f.

TOTAL = 23,350 SQ. FT. 0.5362 ACRES

N/F MAINE SAVING BANK FLEET BANK

Approved 537 lots Above the 1st floor

Tolman Pl. Lot A Street for setback parking for 10 condos only 19' wide

8 covered Accessory parking for 10 condos AT

CONSTRUCTION FREE 0.30'

PAVED PARKING

PAVED

GUARD RAIL

12' PASSAGEWAY

STREET

OAK

TOLMAN PLACE

195.75'

S 30° 45' 48" E

29.54'

S 56° 18' 14" W

94.01'

S 57° 47' 42" W

19.00' S 56° 12' 12" W

55.71' S 30° 45' 48" E

2" WATER

GAS

N

W

194.47'

154.70' OVERHANG

ENCROACHMENTS

4" WATER

UNDERGROUND POWER UP

99.14'

S 35° 15' 17" E

194.88'

S 26° 43' 56" E

51.77'

S 55° 45' 14" W

PEDESTRAIN EASEMENT

195.67'

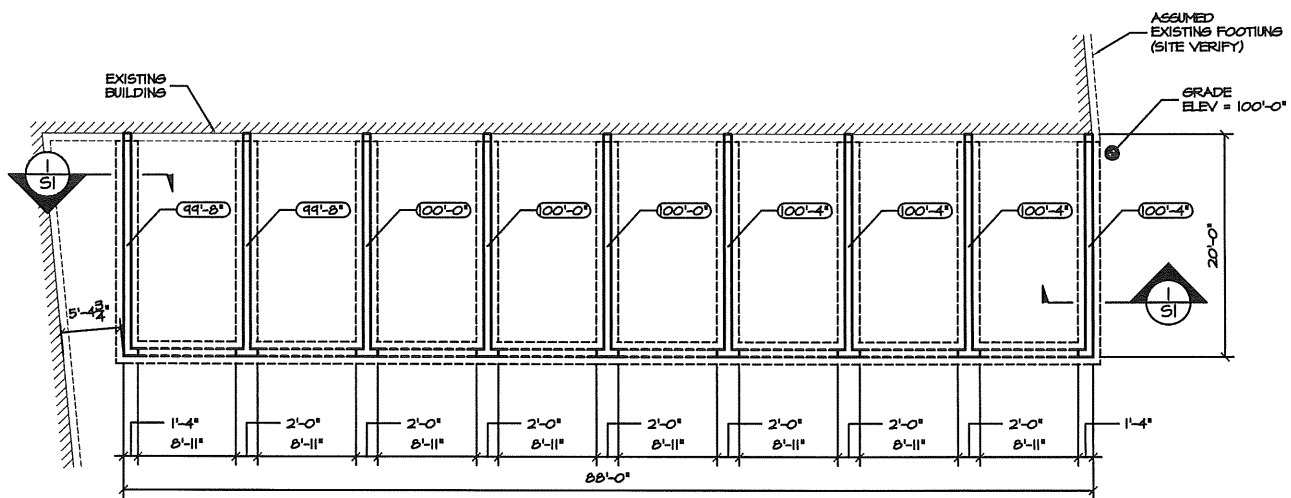
OVERHANG

ENCROACHMENTS

43'

0.50'

Revised 3/7/07

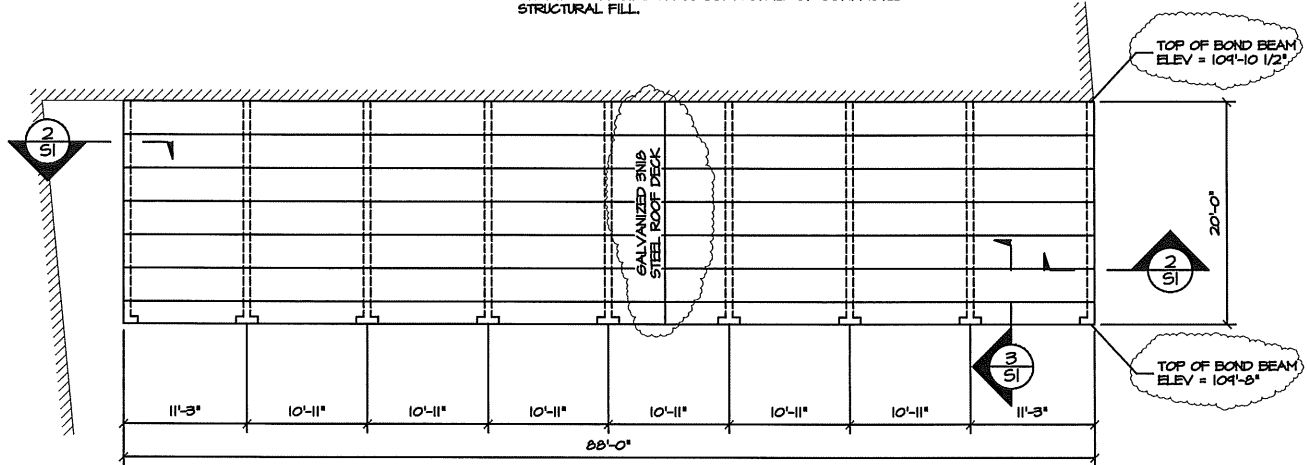


FOUNDATION PLAN
1/8"=1'-0"

(XX'-X") INDICATES TOP OF CONCRETE WALL ELEVATION.
RECESS TOP OF CONCRETE 8" AT DOORWAYS.

ALL CONCRETE SHALL HAVE A 28 COMPRESSIVE STRENGTH OF 5500 PSI AND SHALL CONTAIN 4-6% ENTRAINED AIR.

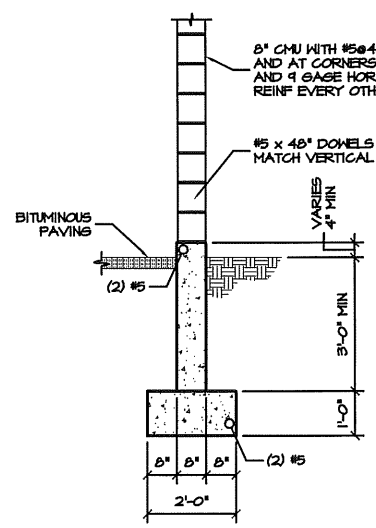
BITUMINOUS PAVING SHALL BEAR ON 12" OF COMPACTED STRUCTURAL FILL.



ROOF FRAMING PLAN
1/8"=1'-0"

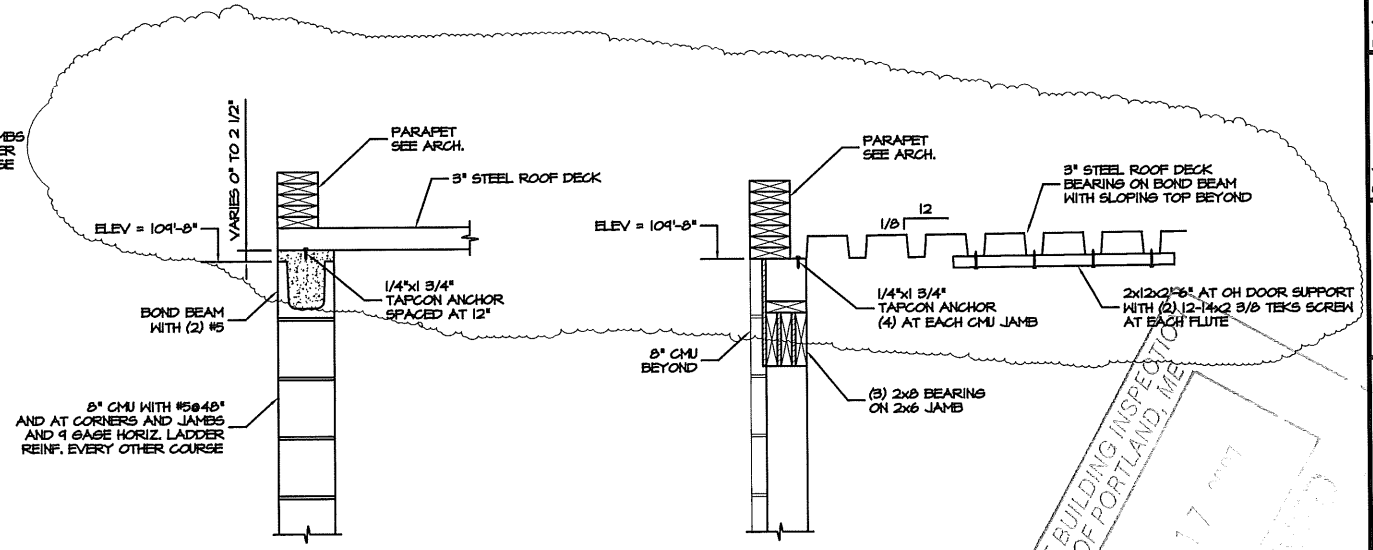
RAFTERS ARE S-P-F NO 2 OR BETTER.

SHEATHING IS 3/4" T&G CDX PLYWOOD OR 3/4" T&G ADVANTECH



SECTION 1
1/2"=1'-0" S1

SIMILAR AT BEARING WALLS DIVIDING GARAGE BAYS



SECTION 2
1"=1'-0" S1

SIMILAR AT BEARING WALLS DIVIDING GARAGE BAYS

SECTION 3
1"=1'-0" S1

GENERAL NOTES

ALL DIMENSIONS, ELEVATIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK. THE CONTRACTOR SHALL DETERMINE ALL NECESSARY DIMENSIONS, ELEVATIONS AND CONDITIONS REQUIRED FOR THE FABRICATION AND ERECTION OF THE BUILDING'S COMPONENTS PRIOR TO THE SUBMISSION OF SHOP DRAWINGS. ALL SHOP DRAWINGS SHALL ACCURATELY REFLECT THE GENERAL CONTRACTOR'S VERIFICATION OF FIELD CONDITIONS.

THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS SOLELY THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCING TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACINGS, GUYS AND/OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE GENERAL CONTRACTOR AFTER COMPLETION OF THE BUILDING.

SECTIONS AND DETAILS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL AND USED IN SIMILAR CONDITIONS.

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL FOLLOW ALL APPLICABLE FEDERAL, STATE AND MUNICIPAL REGULATIONS INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.

DESIGN CRITERIA

BUILDING CODE: 2003 INTERNATIONAL BUILDING CODE

DESIGN LOADS:

SNOW LOAD

GROUND SNOW LOAD, P _g	60 PSF
SNOW EXPOSURE FACTOR, C _e	1.0
SNOW LOAD IMPORTANCE FACTOR, I _s	0.8
THERMAL FACTOR, C _t	1.0
FLAT ROOF SNOW LOAD, P _f	34 PSF

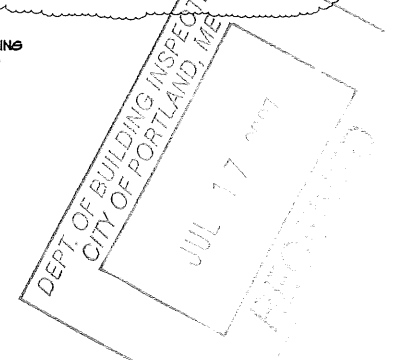
WIND LOAD

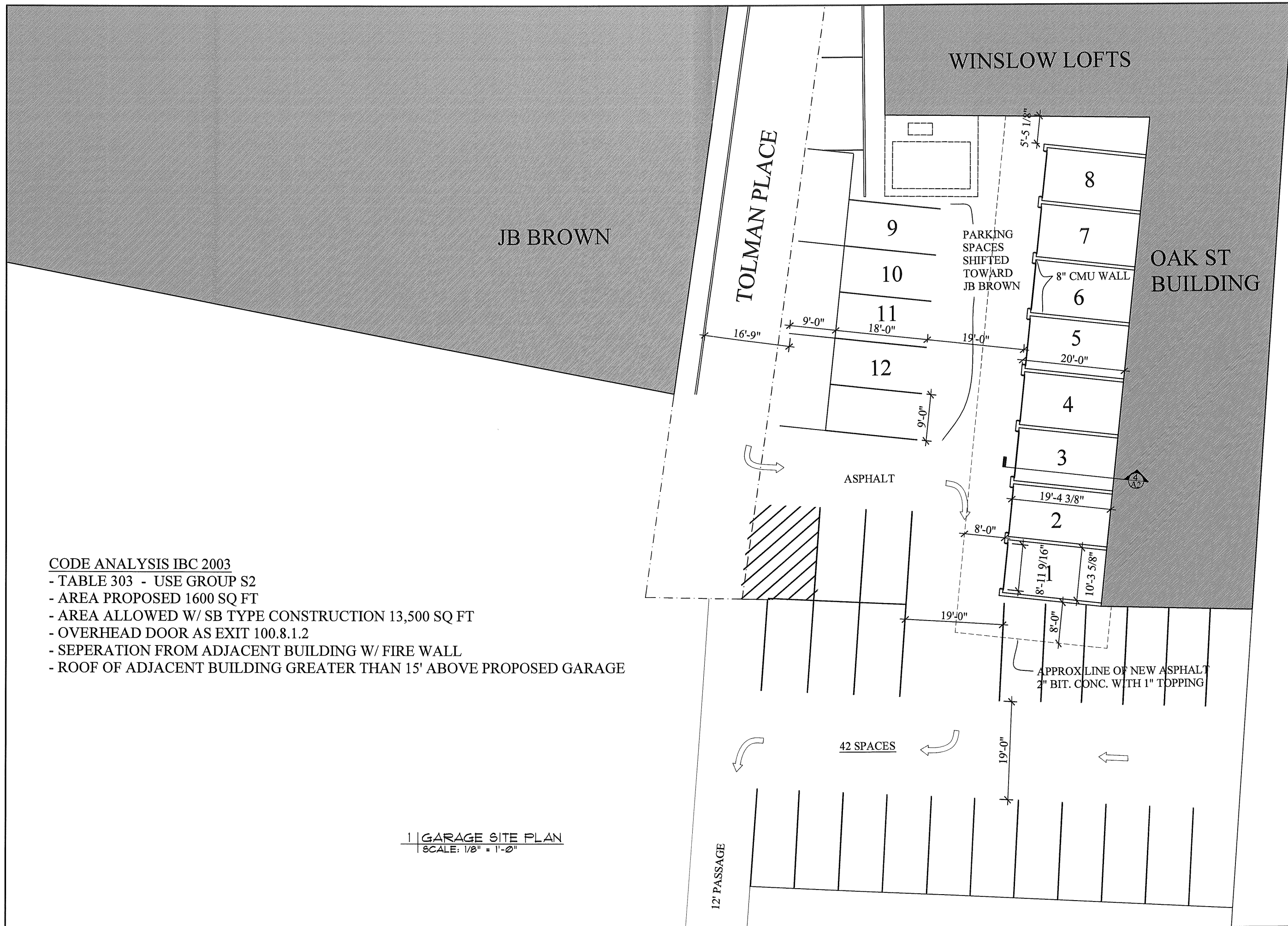
BASIC WIND SPEED (3 SEC GUST), V _{3s}	100 MPH
WIND IMPORTANCE FACTOR, I _w	0.87
BUILDING CATEGORY	I
EXPOSURE CATEGORY	B
HEIGHT AND EXPOSURE ADJUSTMENT COEFFICIENT, K _z	1.00

EARTHQUAKE DESIGN DATA

SEISMIC IMPORTANCE FACTOR, I _e	1.0
MAPPED SPECTRAL RESPONSE ACCELERATIONS	
0.2 SEC PERIOD, S _s	0.37
1 SEC PERIOD, S ₁	0.10
SITE CLASS	B
SPECTRAL RESPONSE COEFFICIENTS	
0.2 PERIOD 5% DAMPED, S _{ds}	0.25
1 SEC PERIOD 5% DAMPED, S _{d1}	0.07
SEISMIC DESIGN CATEGORY	B
BASIC SEISMIC-FORCE-RESISTING SYSTEM	ORDINARY REINFORCED MASONRY SHEAR WALLS
DESIGN BASE SHEAR	1.0 KIPS
SEISMIC RESPONSE COEFFICIENT, C _s	5.0
DEFLECTION AMPLIFICATION FACTOR, C _d	3.5
RESPONSE MODIFICATION COEFFICIENT, R	6.5
SYSTEM OVERSTRENGTH FACTOR, Ω ₀	2.5
ANALYSIS PROCEDURE	SIMPLIFIED ANALYSIS PROCEDURE

OWNER:	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf, Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
Project:	537 LOFTS GARAGES TOLMAN PLACE PORTLAND, ME
Date:	JUNE 14, 2007
Scale:	AS NOTED
Revisions:	1 July 5, 2007
Project:	JB BROWN PARKING FOUNDATION PLAN ROOF FRAMING PLAN
Sheet:	S1





CODE ANALYSIS IBC 2003

- TABLE 303 - USE GROUP S2
- AREA PROPOSED 1600 SQ FT
- AREA ALLOWED W/ SB TYPE CONSTRUCTION 13,500 SQ FT
- OVERHEAD DOOR AS EXIT 100.8.1.2
- SEPERATION FROM ADJACENT BUILDING W/ FIRE WALL
- ROOF OF ADJACENT BUILDING GREATER THAN 15' ABOVE PROPOSED GARAGE

1 | GARAGE SITE PLAN
SCALE: 1/8" = 1'-0"

OWNER:	
ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	
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537 LOFTS GARAGES GARAGE SITE PLAN	
TOLMAN PLACE PORTLAND, ME	
537 LOFTS GARAGES	
TOLMAN PLACE PORTLAND, ME	
A-1	