

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0500	Issue Date:	CBL: 037 C010001
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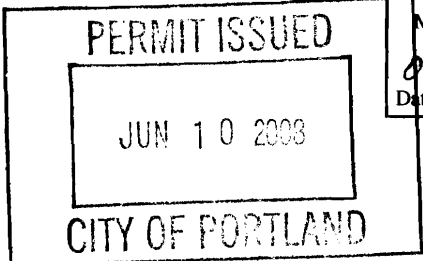
Location of Construction: 16 CASCO ST	Owner Name: 16 CASCO STREET LLC	Owner Address: 477 CONGRESS ST	Phone:
Business Name:	Contractor Name: Avery Services, Inc.	Contractor Address: 7 Thomas Drive Westbrook	Phone: 2077728687
Lessee/Buyer's Name	Phone:	Permit Type: HVAC	Zone: B-3

Past Use: Vacant - no use established - see permit #07-1719	Proposed Use: Vacant - Install Gas/Electric Trane Rooftop units	Permit Fee: \$650.00	Cost of Work: \$62,500.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied TO N FPA 54	INSPECTION: Use Group: N/A Type: HVAC Gas Codes	

Proposed Project Description: Install Gas/Electric Trane Rooftop units	Signature: <i>Greg Cass</i>	Signature: <i>AMS 6/10/08</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: <i>N/A</i> Date:		

Permit Taken By: Idobson	Date Applied For: 05/12/2008	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	<p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>5/12/08</i></p>	<p>Date: <i>5/12/08</i></p>	<p>Date: <i>5/12/08</i></p>



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

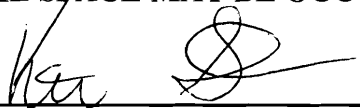
Final inspection required at completion of work.

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling


Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

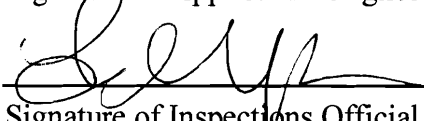
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



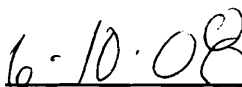
Signature of Applicant/Designee



Date



Signature of Inspections Official

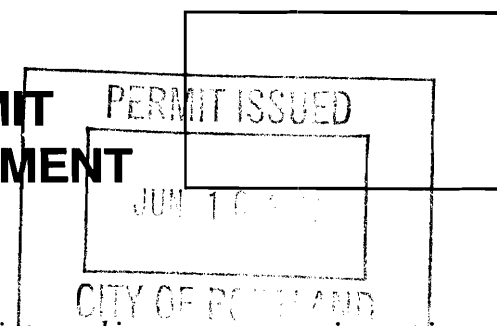


Date



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT



To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL 16 Casco 37 C 10 Use of Building _____ Date 5/12/08
Name and address of owner of appliance _____

Installer's name and address AVERY SERVICES, INC
7 THOMAS DRIVE WESTBOROUGH, ME 04092 Telephone 772-5687
FAX 874-0933

Location of appliance:

- Basement Floor
 Attic Roof

Type of Fuel:

- Gas Oil Solid

Appliance Name: Gas/Electric Rooftop Units

U.L. Approved Yes No

Will appliance be installed in accordance with the manufacture's installation instructions? Yes No

IF NO Explain: _____

The Type of License of Installer:

- Master Plumber # _____
 Solid Fuel # _____
 Oil # _____
 Gas # PWT1431
 Other _____

Type of Chimney:

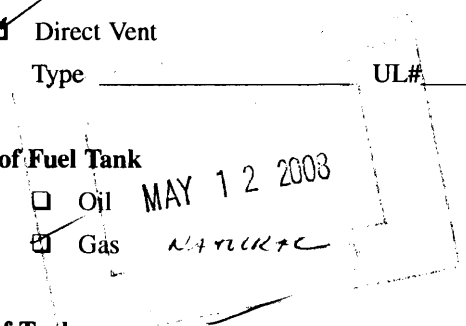
Masonry Lined
Factory built _____

Metal
Factory Built U.L. Listing # _____

Direct Vent
Type _____ UL# _____

Type of Fuel Tank

- Oil Gas NATURAL



Size of Tank _____

Number of Tanks _____

Distance from Tank to Center of Flame _____ feet.

Cost of Work: \$ 62,500

Permit Fee: \$ _____

Approved

Fire: _____

Ele.: _____

Bldg.: _____

Approved with Conditions

See attached letter or requirement

Inspector's Signature

Date Approved

Signature of Installer

[Handwritten Signature]

White - Inspection Yellow - File Pink - Applicant's Gold - Assessor's Copy

City of Portland, Maine - Building or Use Permit

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Permit No: 08-0500	Date Applied For: 05/12/2008	CBL: 037 C010001
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Location of Construction: 16 CASCO ST	Owner Name: 16 CASCO STREET LLC	Owner Address: 477 CONGRESS ST	Phone:
Business Name:	Contractor Name: Avery Services, Inc.	Contractor Address: 7 Thomas Drive Westbrook	Phone (207) 772-8687
Lessee/Buyer's Name	Phone:	Permit Type: HVAC	

Proposed Use: Vacant - Install Gas/Electric Trane Rooftop units	Proposed Project Description: Install Gas/Electric Trane Rooftop units
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 05/12/2008

Note:**Ok to Issue:**

- 1) Permit #07-1510 allowed interior demolition but had a condition on it that stated: "THIS PERMIT IS FOR DEMOLITION ONLY. THE USE WILL BE ESTABLISHED WHEN THE SEPARATE PERMIT IS FILED FOR THE CONSTRUCTION WORK FOR THE FUTURE TENANT." There has been no permit since establishing a use for this property. If there is a tenant, a separate permit SHALL be required to establish the use.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 06/10/2008

Note:**Ok to Issue:**

- 1) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 2) The rooftop work shall not commence until a permit is approved for the structural work.
- 3) The installation must comply with the State of Maine Gas Regulations.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 05/14/2008

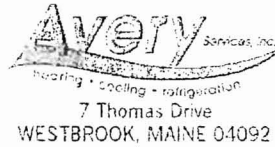
Note:**Ok to Issue:**

- 1) Install shall comply with NFPA 54.
A compliance letter is required

Comments:

6/2/2008-jmb: Left voicemail for Avery Services to call. We have the structural design, but this work should be filed on a separate building permit as this work will be done by the contractor.

6/10/2008-jmb: Mike from Avery called to ask if the contractor applied for the structural work...I do not see anything. I will issue the permit with conditions



(207) 772-8687
FAX (207) 874-0933

TO: NBBR
Attn: Daryl Norton
1028 River Road
Clinton ME 04927

PHONE 653-1515 / Fax: 926-3394	DATE 4/10/2008
JOB NAME / LOCATION 16 Casco Street, Portland Jeff Cohen - Bldg owner	
JOB NUMBER MSD # 903225	JOB PHONE

We hereby submit specifications and estimates for:

Avery Services, Inc. is pleased to submit a quote to perform the following work:

Third floor system:

Provide and install an 8-1/2-ton Carrier, Trane or equal gas fired package unit with roof curb.
Provide and install a galvanized ductwork system comprised of a main trunk line with sixteen (16) 2x2 layin supplies and two (2) return grilles with ductwork. Both roof drops will be lined with 1" acoustical liner for sound attenuation. There will be a manual damper in each supply line and a maximum of 7" of flex tube per run. Wrap ductwork with 1-1/2" insulation.
Provide and install a programmable thermostat.
Provide and install gas piping from unit to meter (meter by utility) to third floor unit.

For the second and first floor on lower roof:

Provide and install a Carrier, Trane or equal 8-1/2-ton gas fired package unit for each floor.
Provide and install duct drop for both units only.
Provide and install gas piping for both units, from unit to meter (meter by utility).
Provide and install a programmable thermostat.
Demo existing ductwork and heat pumps and drain existing chiller below roof liner, leaving rest of pipe up.
Provide crane lift and disposal of existing chiller.

*SUBCONTRACT AGREEMENT
SIGNED FOR \$62,500.00*

OPTION 1: Provide and install a duct system for the first and second floor system with sixteen (16) supplies and two (2) returns, and duct wrap for both systems. ADD: \$8,750.00 *REN* initials. (x 2 = \$17,500.00)

We Propose hereby to furnish material and labor --- complete in accordance with the above specifications, for the sum of:

Cont'd _____ dollars (\$ Cont'd _____).

Payment to be made as follows:

\$11,250.00 upon acceptance - Progress billing/net 10 days - All balances due upon substantial completion.

If payment is not made as outlined above, a service charge of 2% per month on the overdue balance plus all reasonable costs of collection including attorney's fees will be paid.

All material is guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Worker's Compensation insurance.
No promises, agreements or representations of any solicitor or employee of the seller shall be binding upon the seller unless made a part of this order in writing.

Authorized Signature

De Vey, APR 5

Note: This proposal may be withdrawn by us if not accepted within _____ days.

Acceptance of Proposal --- The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____

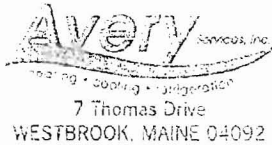
Signature _____

Date of Acceptance: _____

PROPOSAL

399

Page 2 of 2



(207) 772-8687
FAX (207) 374-0933

TO: NBRR
Attn: Daryl Norton
1028 River Road
Clinton ME 04927

PHONE 653-1515 / Fax: 926-3394	DATE 4/10/2008
JOB NAME / LOCATION 16 Casco Street, Portland	
JOB NUMBER MSD	JOB PHONE

We hereby submit specifications and estimates for:

OPTION 2: Eliminate crane costs. DEDUCT \$3,500.00 _____ initials

EXCLUSIONS: Roofing, cutting, patching, soffiting, power wiring, structural, and removal of existing chiller piping system.

We Propose hereby to furnish material and labor --- complete in accordance with the above specifications, for the sum of:
Forty Five Thousand and 00/100 Dollars _____ dollars (\$ ~~45,000.00~~).

Payment to be made as follows:

\$11,250.00 upon acceptance - Progress billing/net 10 days - All balances due upon substantial completion.

If payment is not made as outlined above, a service charge of 2% per month on the overdue balance plus all reasonable costs of collection including attorney's fees will be paid.

All material is guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Worker's Compensation insurance.

Authorized Signature

[Handwritten Signature]
Note: This proposal may be withdrawn by us if not accepted within 30 days.

No promises, agreements or representations of any solicitor or employee of the seller shall be binding upon the seller unless made a part of this order in writing.

Acceptance of Proposal --- The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____

Signature _____

Date of Acceptance: _____



Model Number: **YSC102A3RHA--D0-00000000**

Customer:
Project:

3-10 Ton R22, PKGD Unitary Gas/Electric Rooftop Unit

General			
Unit Function	DX cooling, gas heat	Airflow	Convertible configuration
Unit Efficiency	Standard efficiency	Fresh Air Selection	Econ-dry bulb 0-100%, w/ baro rel 3 ph

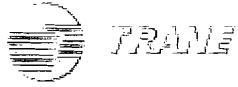
Main Cooling	
Tonnage	102 - 8.5 Ton

Main Heating	
Heating Capacity	High gas heat capacity-ph3

Motor/Electrical	
Voltage	208-230/60/3

DX Cooling, Gas Heat 3-10 Ton	
Unit controls	Microprocessor controls 3 ph

Field Installed Accessories	
Roof curb	Roof curb

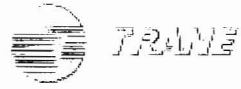


ELECTRICAL GENERAL DATA

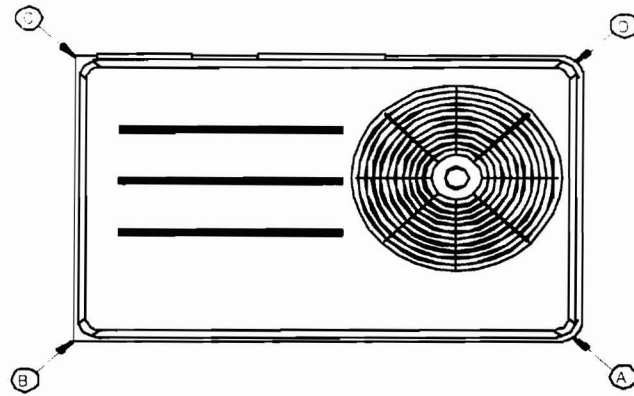
GENERAL ⁽¹⁾ Model YSC102A Oversized Motor Unit Operating Voltage 115V-253 MCA N/A Unit Primary Voltage 208 MFS N/A Unit Secondary Voltage 230 MCB N/A Unit Hertz 60 Unit Phase 3 EER 10.1 Standard Motor MCA 45.1 MCA N/A MFS 60.0 MFS N/A MCB 60.0 MCB N/A		HEATING PERFORMANCE HEATING - GENERAL DATA Heating Model High Heating Input (Btu) 290,000 Heating Output (Btu) 152,000 Gas Inlet Pressure Natural Gas (Min/Mix) 14.5/14.0 LP (Min/Max) 10.0/14.0 Gas Pipe Connection Size 3/4				
INDOOR MOTOR <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 33%; vertical-align: top;"> Standard Motor Number 1 Horsepower 2.0 Motor Speed (RPM) 1750 Phase 3 Full Load Amps 6.30 Locked Rotor Amps 48.0 </td> <td style="width: 33%; vertical-align: top;"> Oversized Motor Number N/A Horsepower N/A Motor Speed (RPM) N/A Phase N/A Full Load Amps N/A Locked Rotor Amps N/A </td> <td style="width: 33%; vertical-align: top;"> Field Installed Oversized Motor Number N/A Horsepower N/A Motor Speed (RPM) N/A Phase N/A Full Load Amps N/A Locked Rotor Amps N/A </td> </tr> </table>				Standard Motor Number 1 Horsepower 2.0 Motor Speed (RPM) 1750 Phase 3 Full Load Amps 6.30 Locked Rotor Amps 48.0	Oversized Motor Number N/A Horsepower N/A Motor Speed (RPM) N/A Phase N/A Full Load Amps N/A Locked Rotor Amps N/A	Field Installed Oversized Motor Number N/A Horsepower N/A Motor Speed (RPM) N/A Phase N/A Full Load Amps N/A Locked Rotor Amps N/A
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COMPRESSOR Circuit 1/2 Number 2 Horsepower 5.1/2.3 Phase 3 Rated Load Amps 18.6/10.3 Locked Rotor Amps 128.0/77.0		OUTDOOR MOTOR Number 1 Horsepower 0.75 Motor Speed (RPM) 1075 Phase 1 Full Load Amps 4.0 Locked Rotor Amps 9.4				
POWER EXHAUST ACCESSORY ⁽³⁾ (Field Installed Power Exhaust) Phase N/A Horsepower N/A Motor Speed (RPM) N/A Full Load Amps N/A Locked Rotor Amps N/A		FILTERS Type Throaway Furnished Yes Number 4 Recommended 20"x25"x2"				
REFRIGERANT ⁽²⁾ Type R-22 Factory Charge Circuit #1 7.9 Circuit #2 4.0						

NOTES:

1. Maximum (HACR) Circuit Breaker sizing is for installations in the United States only.
2. Refrigerant charge is an approximate value. For a more precise value, see unit nameplate and service instructions.
3. Value does not include Power Exhaust Accessory.
4. Value includes oversized motor.
5. Value does not include Power Exhaust Accessory.
6. EER is rated at ARI conditions and in accordance with DOE test procedures.



INSTALLED ACCESSORIES NET WEIGHT DATA

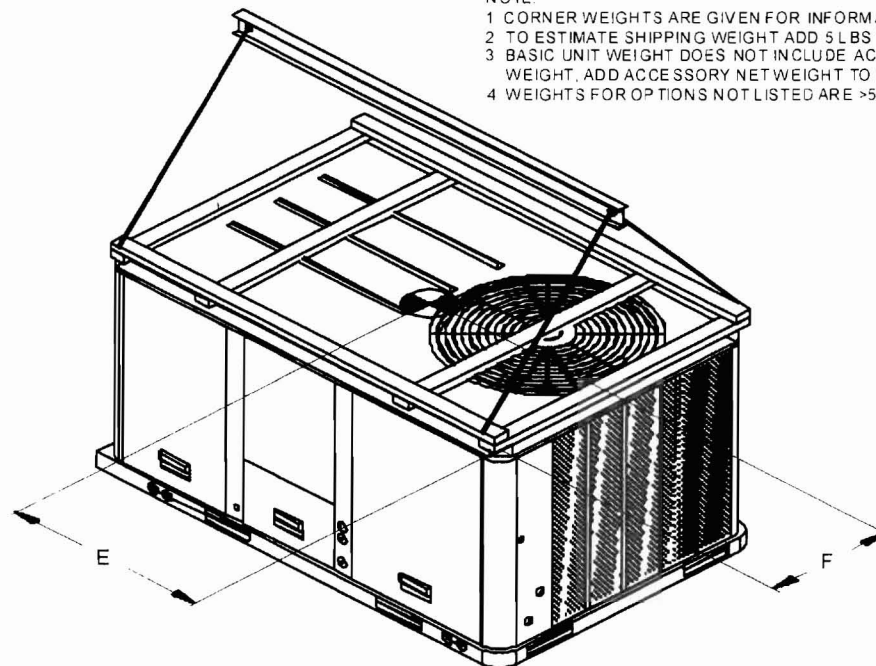


CORNER WEIGHT

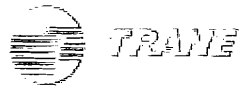
ACCESSORY		WEIGHTS			
ECONOMIZER		35.0 lb			
MOTORIZED OUTSIDE AIR DAMPER					
MANUAL OUTSIDE AIR DAMPER					
BAROMETRIC RELIEF					
OVERSIZED MOTOR					
BELT DRIVE MOTOR					
POWER EXHAUST					
THROUGH THE BASE ELECTRICAL/GAS					
UNIT MOUNTED CIRCUIT BREAKER					
UNIT MOUNTED DISCONNECT					
POWERED CONVENIENCE OUTLET					
HINGED DOORS					
HAIL GUARD					
SMOKE DETECTOR, SUPPLY/RETURN					
NOVAR CONTROL					
DEHUMIDIFICATION (HOT GAS REHEAT) COIL					
ROOF CURB		115.0 lb			
STAINLESS STEEL HEAT EXCHANGER					
<hr/>					
BASIC UNIT WEIGHTS		CORNER WEIGHTS	CENTER OF GRAVITY		
SHIPPING	NET	(A)	(C)	(E) LENGTH	(F) WIDTH
1042.0 lb	899.0 lb	(B) 297.0 lb	(D) 165.0 lb	40"	21"

NOTE

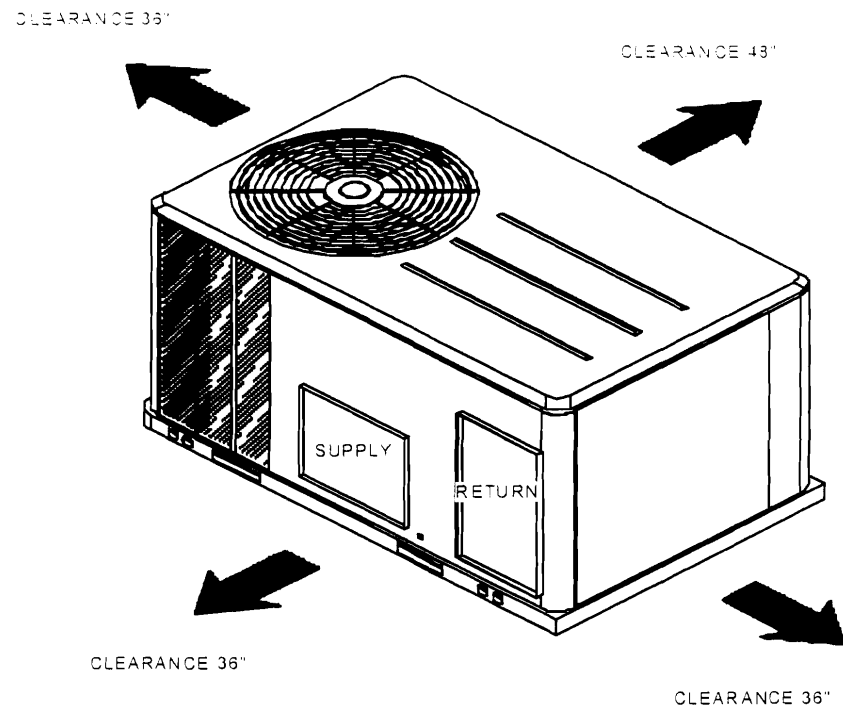
- 1 CORNER WEIGHTS ARE GIVEN FOR INFORMATION ONLY
- 2 TO ESTIMATE SHIPPING WEIGHT ADD 5 LBS TO ACCESSORY WEIGHT
- 3 BASIC UNIT WEIGHT DOES NOT INCLUDE ACCESSORY WEIGHT. TO OBTAIN TOTAL WEIGHT, ADD ACCESSORY NET WEIGHT TO BASIC UNIT WEIGHT
- 4 WEIGHTS FOR OPTIONS NOT LISTED ARE >5 LBS



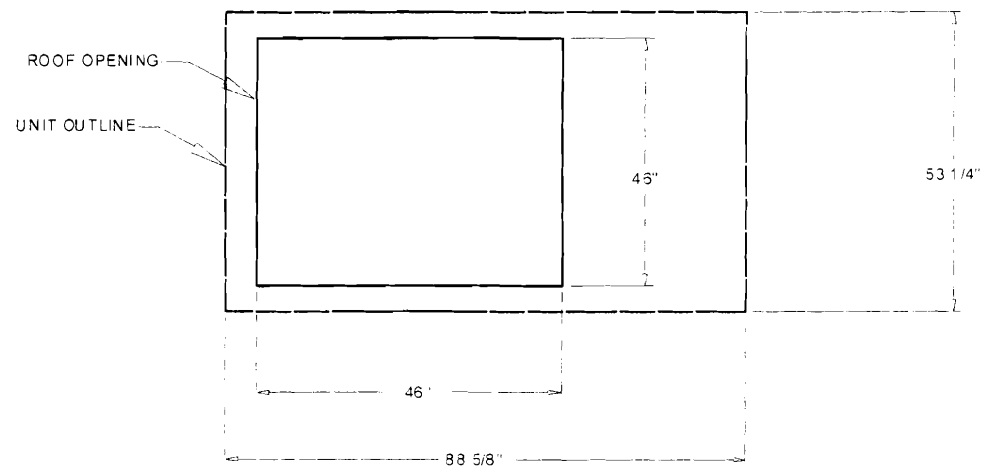
RIGGING AND CENTER OF GRAVITY



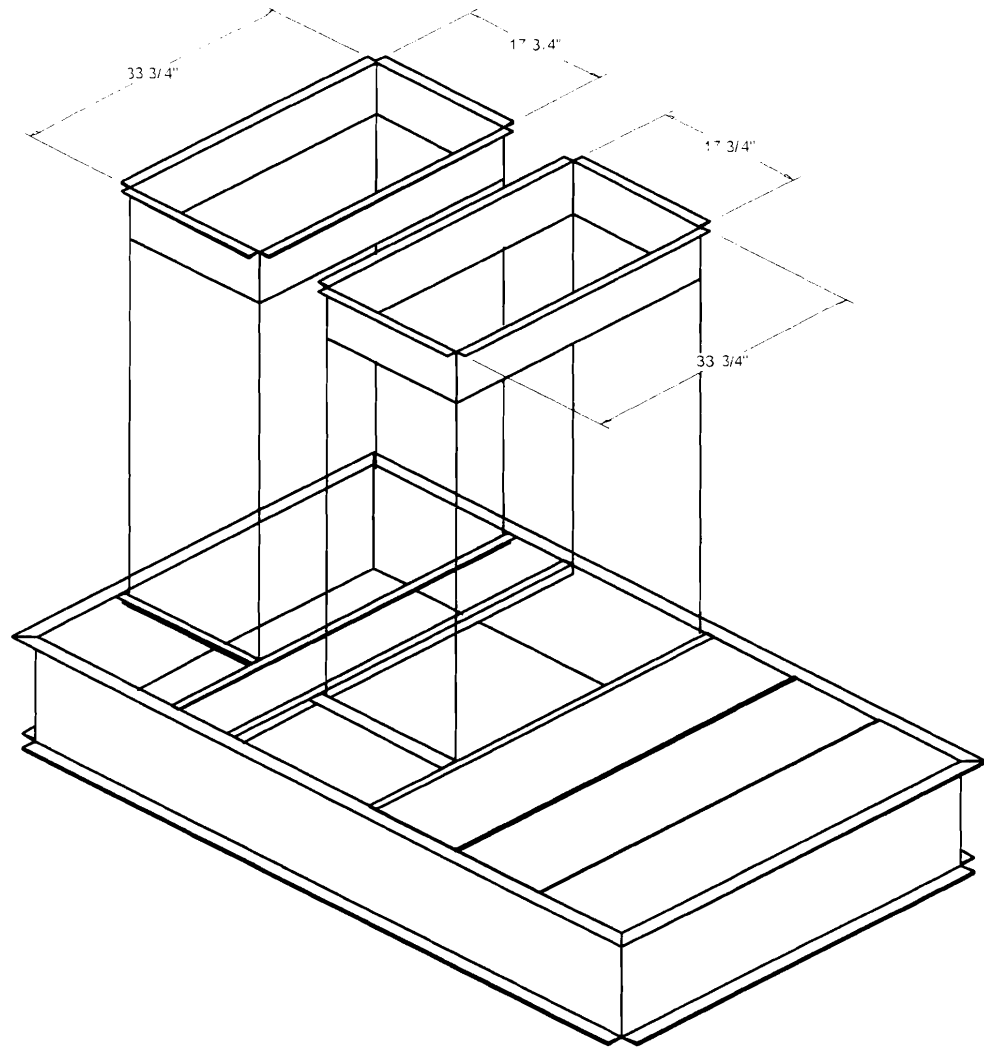
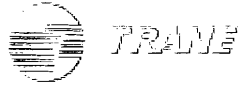
CLEARANCE FROM TOP OF UNIT



HORIZONTAL-PACKAGED COOLING CLEARANCE

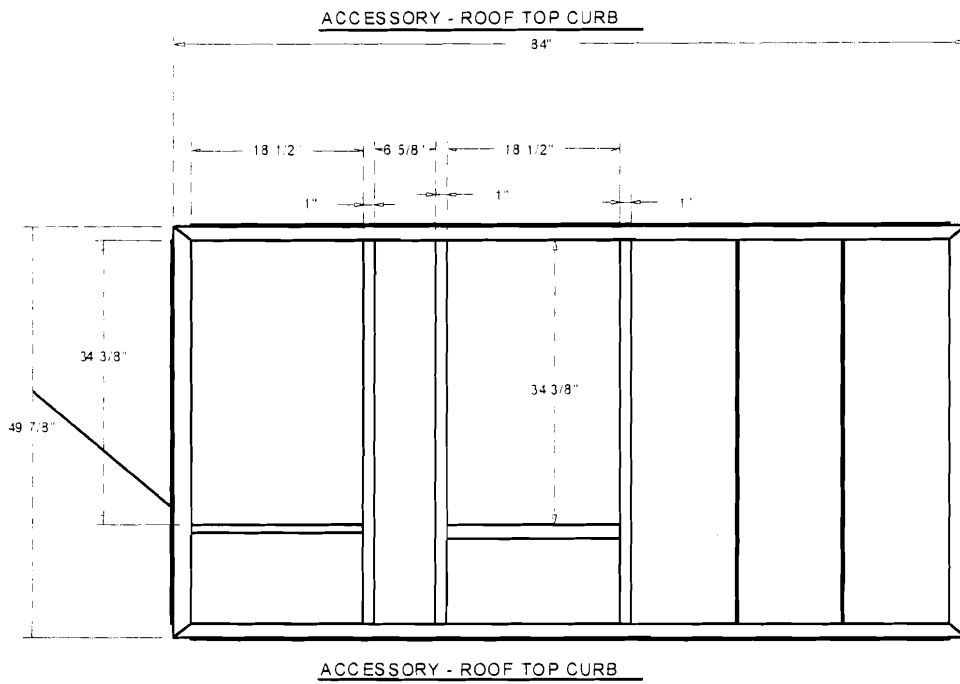
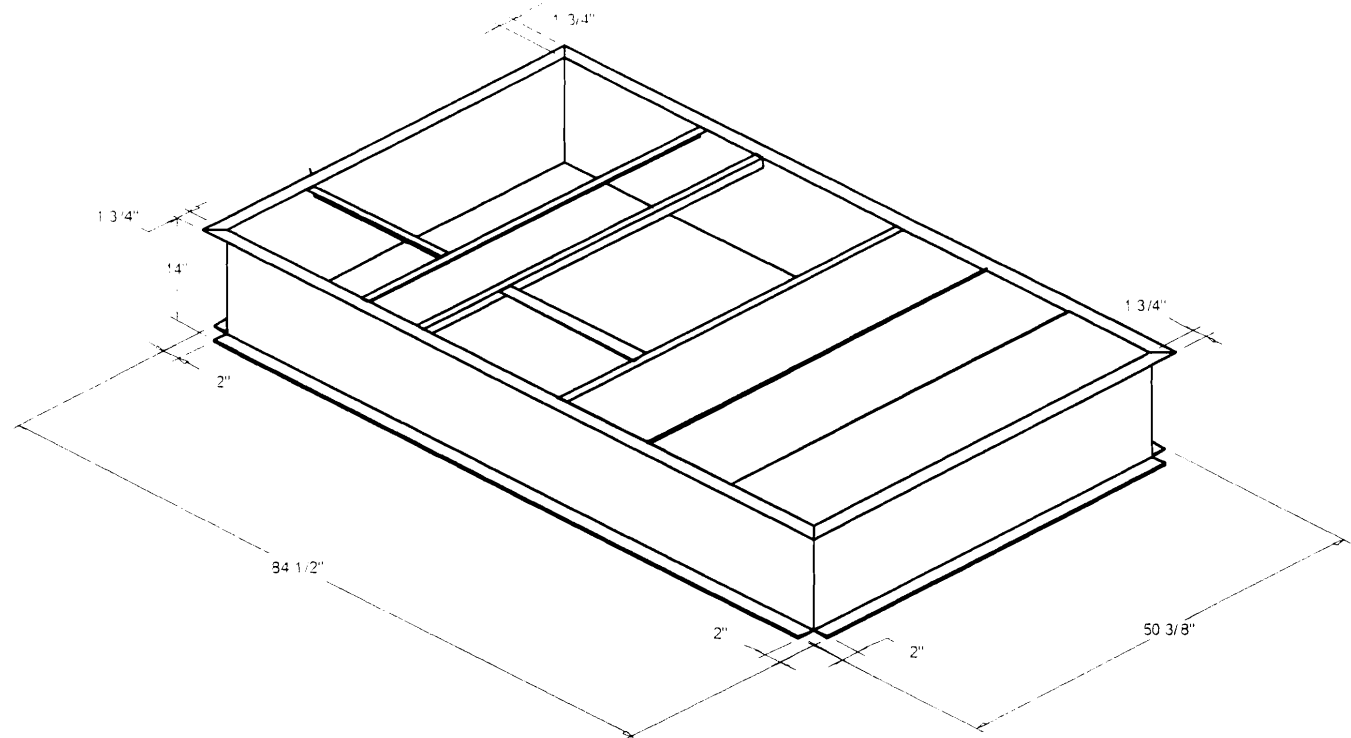


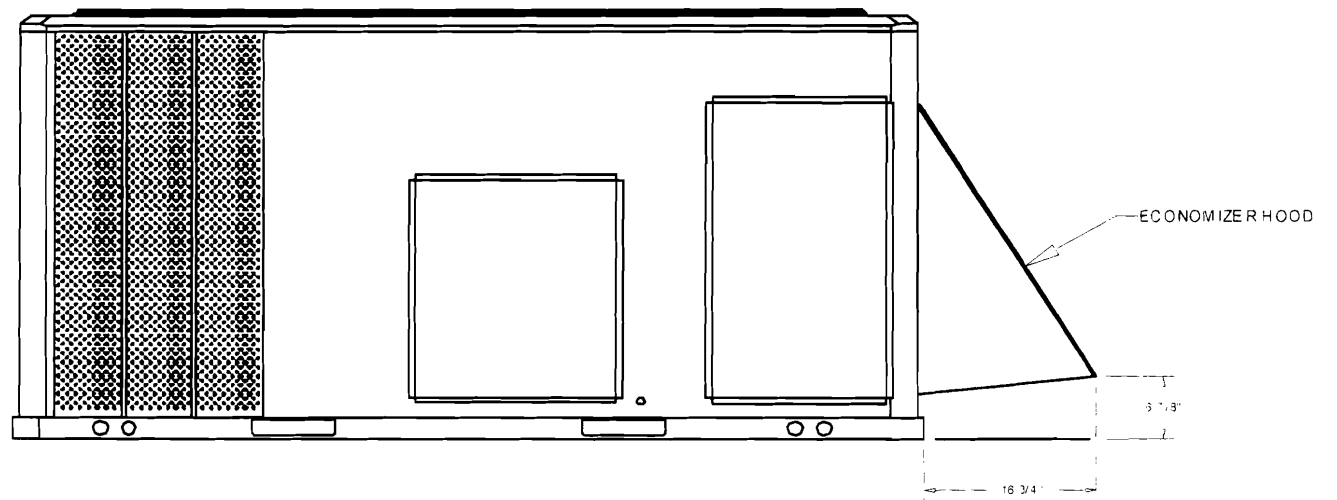
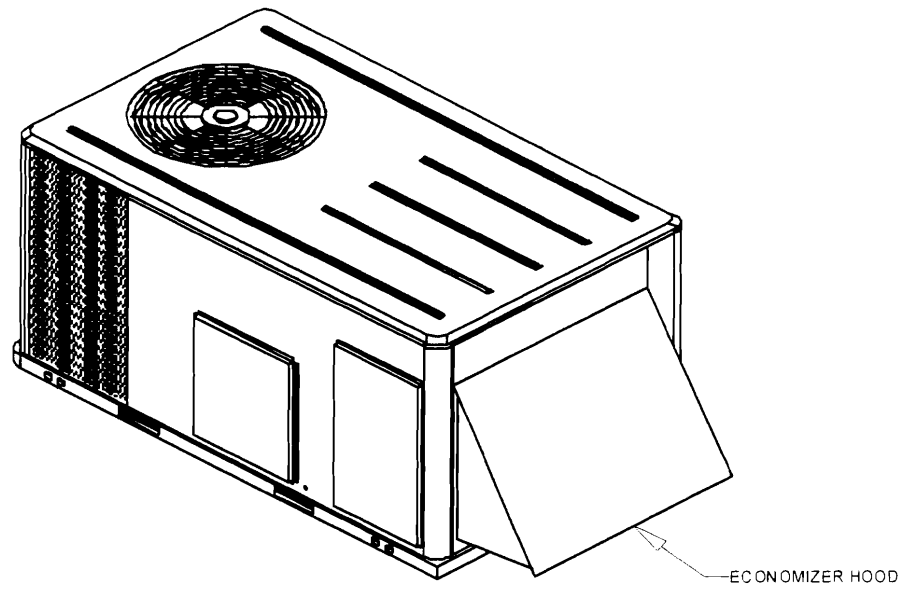
DOWNFLOW-PACKAGED COOLING CLEARANCE



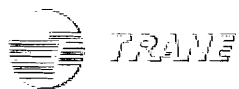
Downflow Duct Connections - Field Fabricated
All Flanges - 1/4"

ACCESSORY - DUCT CONNECTIONS





ACCESSORY - ECONOMIZER HOOD



General

Units shall be convertible airflow. Operating range shall be between 115 deg F [46.1 deg C] and 0 deg F [-17.8 deg C] cooling as standard from the factory for units with microprocessor controls. Operating range for units with electromechanical controls shall be between 115 deg F [46.1 deg C] and 40 deg F [4.4 deg C]. Cooling performance shall be rated in accordance with DOE and/or ARI testing procedures. All units shall be factory assembled, internally wired, fully charged with R-22, and 100% run-tested before leaving the factory. Wiring internal to the unit shall be colored and numbered for simplified identification. Units shall be UL listed and labeled, classified in accordance to ANSI Z21.47 for gas fired central furnaces and UL 1995/CAN/CSA No. 236-M90 for central cooling air conditioners. Canadian units shall be CSA certified.

Compressors

Units shall have direct-drive, hermetic, scroll type compressors with centrifugal type oil pumps. Motor shall be suction gas-cooled and shall have a voltage utilization range of plus or minus 10% of unit nameplate voltage. Low-pressure switches shall be standard on all rooftop units. Internal overloads shall be provided with the scroll compressors. Crankcase heaters shall be standard on the 036 and the 090.

Refrigerant Circuits

Each refrigerant circuit offers a choice of independent fixed orifice expansion device or thermal expansion valve. Service pressure ports, and refrigerant line filter driers shall be factory-installed as standard. An area shall be provided for replacement suction line driers.

Evaporator and Condenser Coils

Internally finned, 5/16" [7.9mm] copper tubes, mechanically bonded to a configured aluminum plate fin shall be standard. Coils shall be leak tested at the factory to ensure pressure integrity. The evaporator coil and condenser coil shall be leak tested to 200 psig [1379 kPa] and pressure tested to 450 psig [3192.8 kPa]. The condensate coil shall have a patent pending 1+1+1 hybrid design with slight gaps for ease of cleaning. A removeable, reversible, double-sloped condensate drain pan is standard. Provision for through the base condensate drain is standard.

Gas Heating Section

The heating section shall have a progressive tubular heat exchanger design using stainless steel burners and corrosion resistant steel throughout. An induced draft combustion blower shall be used to pull the combustion products through the firing tubes. The heater shall use a direct spark ignition (DSI) system. On initial call for heat, the combustion blower shall purge the heat exchanger for 20 seconds [20000 ms] before ignition. After three unsuccessful ignition attempts, the entire heating system shall be locked out until manually reset at the thermostat/zone sensor. Units shall be suitable for use with natural gas or propane (field-installed kit) and also comply with the California requirement for low NO_x emissions.

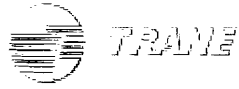
Outdoor Fans

The outdoor fans shall be direct-drive, statically and dynamically balanced, draw-through in the vertical discharge position. The fan motor shall be permanently lubricated and shall have built-in thermal overload protection.

Controls

Unit shall be completely factory wired with necessary controls and contactor pressure lugs or terminal and contactor pressure lugs or terminal block for power wiring. Units shall provide an external location for mounting a fused disconnect device. A choice of microprocessor controls or electromechanical controls shall be available. Microprocessor controls provide for all 24 volt control functions. With the microprocessor controls, the resident control algorithms shall make all heating, cooling, and/or ventilating decisions in response to electronic signals from sensors measuring indoor and outdoor temperatures. The control algorithm maintains accurate temperature control, minimizes drift from set point, and provides better building comfort. A centralized microprocessor shall provide anti-short cycle timing and time delay between compressors to provide a higher level of machine protection. 24-volt electromechanical control circuit shall include control transformer, contactors pressure lugs or terminal block for power wiring. Unit shall have single point power entry as standard.

Indoor Fan



Units offer a choice of direct-drive, FC centrifugal fans or belt driven, FC centrifugal fans with adjustable motor sheaves. Units with belt drive motors shall have an adjustment idler-arm assembly for quick-adjustment to fan belts and motor sheaves. All motors shall be thermally protected. Direct drive oversized motors shall be available for high static operations. All indoor fan motors meet the U.S. Energy Policy Act of 1992 (EPACT).

Casing

Unit casing shall be constructed of zinc coated, heavy gauge, galvanized steel. Exterior surfaces shall be cleaned, phosphatized, and finished with a weather-resistant baked enamel finish. Unit's surface shall be tested 1000 hours in a salt spray test in compliance with ASTM B117. Cabinet construction shall allow for all maintenance on one side of the unit. Service panels shall have lifting handles and be removed and reinstalled by removing only a single fastener while providing a water and air tight seal. All exposed vertical panels and top covers in the indoor air section shall be insulated with a cleanable foil faced, fire-retardant permanent, odorless glass fiber material.

The base of the unit shall be insulated with 1/2 inch [12.7mm], 1 pound [45 kg] density foil-faced, closed-cell material. All insulation edges shall be either captured or sealed. The unit's base pan shall have no penetrations within the perimeter of the curb other than the raised 1 1/8 inch [28.6mm] high downflow supply-return openings to provide an added water integrity precaution, if the condensate drain backs up. The base of the unit shall have provisions for forklift and crane lifting, with forklift capabilities on three side of the unit.

Unit Top

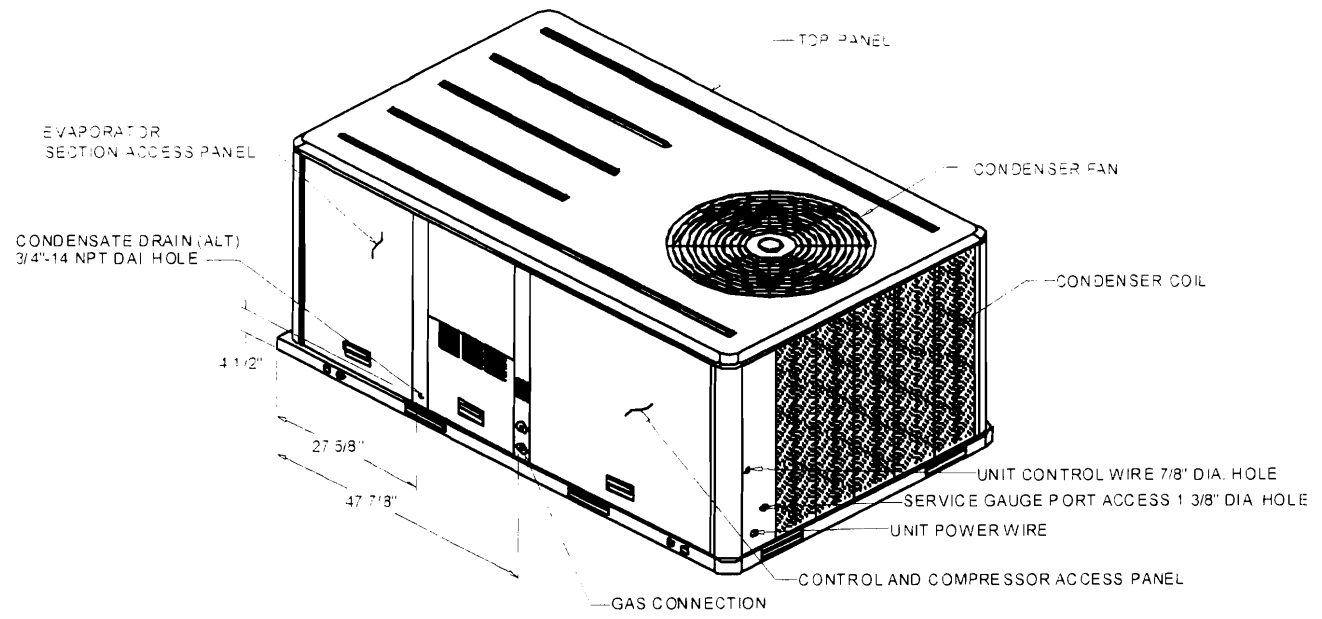
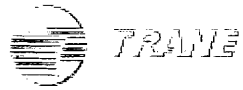
The top cover shall be one piece construction or, where seams exist, it shall be double-hemmed and gasket-sealed. The ribbed top adds extra strength and prevents water from pooling on unit top.

Economizer

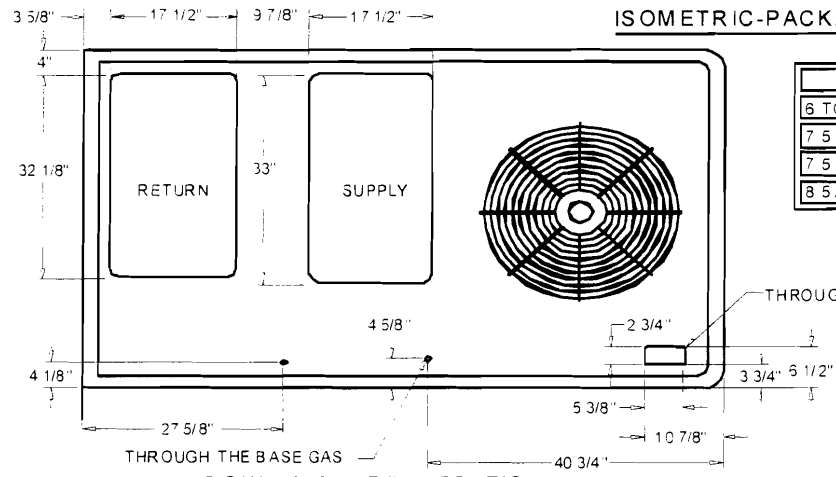
This accessory shall be factory installed and is available with or without barometric relief. The assembly includes fully modulating 0-100% motor and dampers, minimum position setting, preset linkage, wiring harness with plug, and fixed dry bulb control. Optional solid state enthalpy control shall be either factory or field installed. The factory-installed economizer arrives in the shipping position and shall be moved to the operating position by the installing contractor.

Roof curb

The roof curb shall be designed to mate with the unit's downflow supply and return openings and provide support and a watertight installation when installed properly. The roof curb design shall allow field-fabricated rectangular supply/return ductwork to be connected directly to the curb. Curb design shall comply with NRCA requirements. Curb shall be shipped knocked down for field assembly and shall include wood nailer strips.

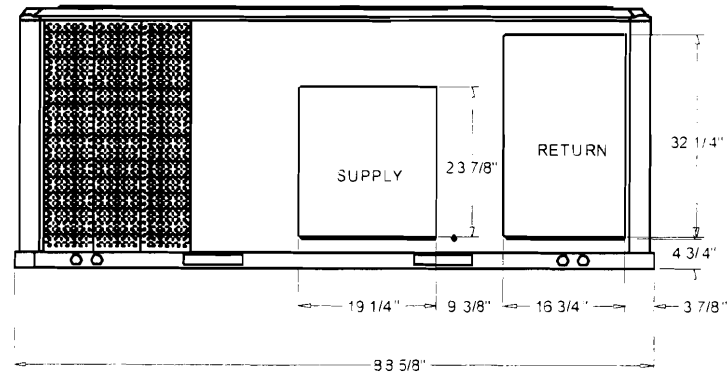


ISOMETRIC-PACKAGED COOLING

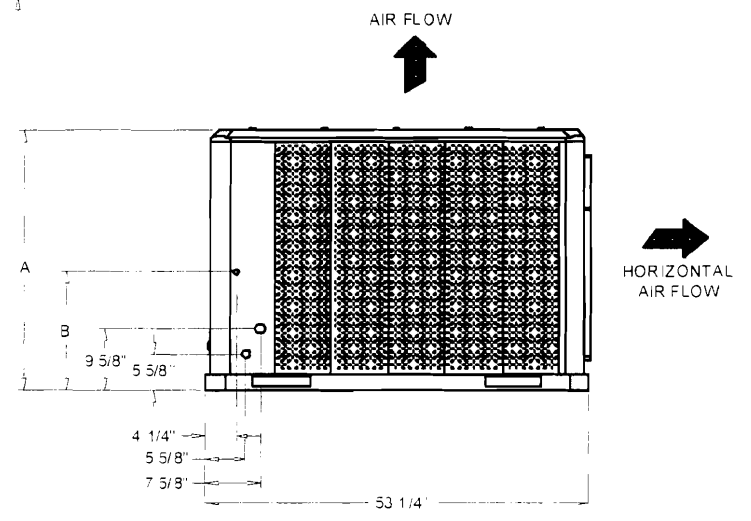


UNIT HEIGHT	A	B
6 TONS STANDARD HIGH EFFICIENCY	40 7/8"	18 1/2"
7 5 TON STANDARD EFFICIENCY	40 7/8"	18 1/2"
7 5 TON HIGH EFFICIENCY	46 7/8"	24 1/2"
8 5 AND 10 TONS STANDARD AND HIGH EFFICIENCY	46 7/8"	24 1/2"

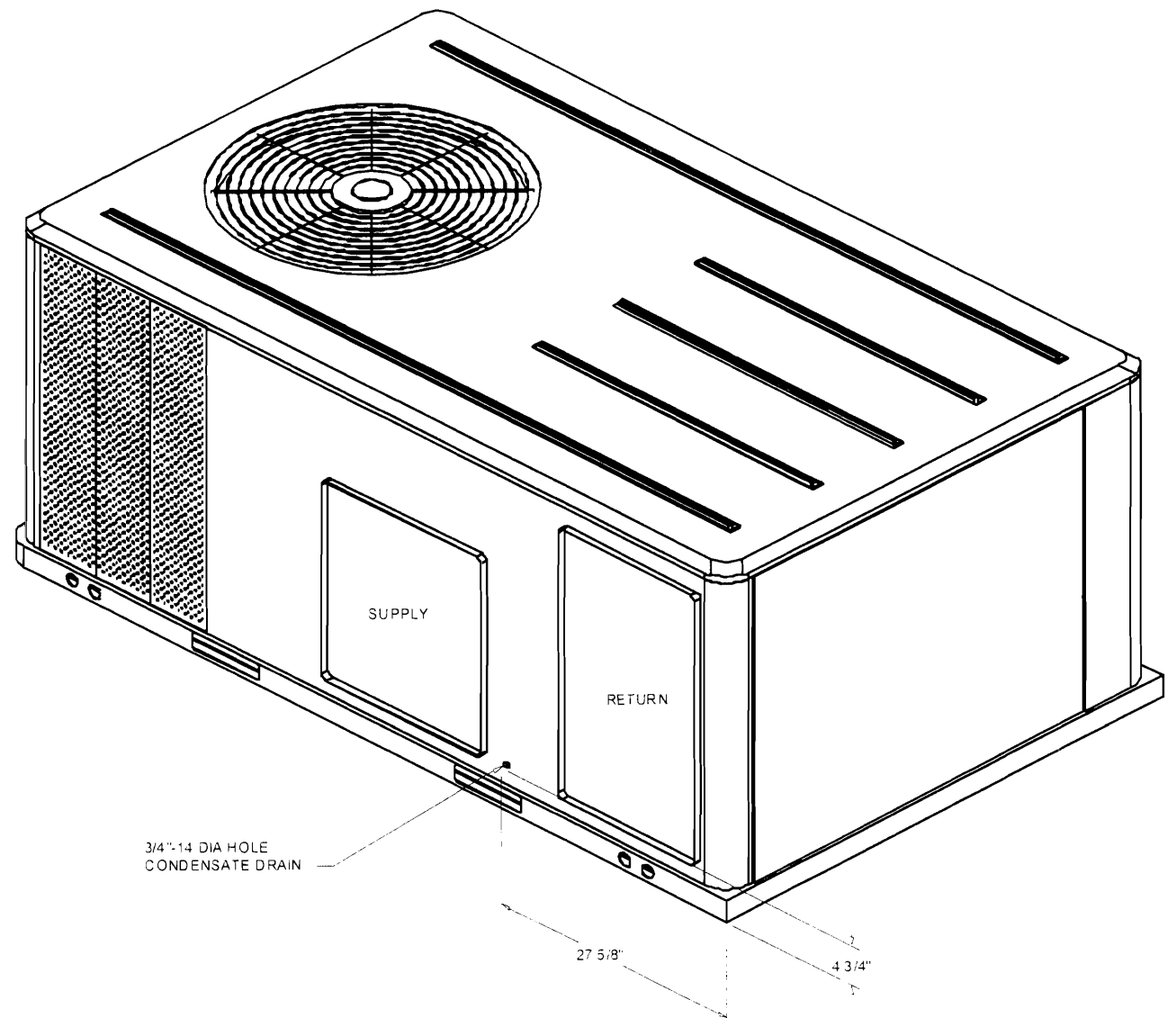
DOWNFLOW-PENETRATION



HORIZONTAL-PENETRATION



RIGHT-PACKAGED COOLING



ISOMETRIC-PACKAGED COOLING

GENERAL NOTES:

1. GENERAL CONDITIONS: THE GENERAL CONDITIONS OF THE AA DOCUMENT A-201 (LATEST EDITION) ARE INCLUDED BY REFERENCE. VERBAL REPRESENTATIONS DURING BIDDING OR CONSTRUCTION SHALL NOT BE RELIED UPON AS VALID UNLESS DOCUMENTED AND SUBMITTED IN WRITING BY THE ARCHITECT.
2. SITE CONDITIONS: ALL CONTRACTORS BY COMMENCING THE WORK ACCEPT THE CONDITIONS OF THE SITE AND THE COMPLETENESS OF THE CONTRACT DOCUMENTS. ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL CONDITIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BEGINNING THE WORK. NO EXTRAS SHALL BE ALLOWED FOR DISCREPANCIES AFTER THE WORK HAS BEGUN.
3. DRAWINGS: ALL CONTRACTORS SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS. CONTRACTORS ARE RESPONSIBLE FOR COMPLETE REVIEW. ITEMS AFFECTING ALL TRADES ARE PLACED THROUGHOUT THE SET OF DRAWINGS. NO "EXTRAS" FOR MISSED ITEMS IN OTHER SECTIONS WILL BE PERMITTED. THE CONTRACTORS SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY AMBIGUITY, INCONSISTENCY OR ERROR WHICH THEY DISCOVER UPON EXAMINATION OF THE CONTRACT DOCUMENTS, THE SITE, OR LOCAL CONDITIONS. IN CASE OF A CONFLICT BETWEEN ARCHITECTURAL DRAWINGS, AND STRUCTURAL ELECTRICAL OR MECHANICAL DRAWINGS, PROMPTLY NOTIFY ARCHITECT FOR COORDINATION.
4. THE GENERAL CONTRACTOR SHALL DISTRIBUTE COMPLETE SETS OF DRAWINGS TO ALL SUBCONTRACTORS. DO NOT SEPARATE DRAWINGS BY DISCIPLINE. DO NOT SCALE DRAWINGS.
5. COMPLETENESS: ANY MATERIAL OR LABOR, NEITHER SHOWN ON THE DRAWINGS, NOR SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK OF A SIMILAR NATURE OR TO COMPLY WITH ALL APPLICABLE CODES SHALL BE FURNISHED WITHOUT ADDITIONAL COST TO THE OWNER OR THE ARCHITECT. IN THE CASE OF CONFLICTING QUANTITIES/VALUES, THE GREATER AMOUNT OR THE ONE OF GREATER VALUE SHALL PREVAIL AND BE PROVIDED BY THE CONTRACTORS AS A PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION. IN THE CASE OF CONFLICTING OR INCONSISTENT INFORMATION, THE MOST STRINGENT REQUIREMENTS SHALL PREVAIL AND BE PROVIDED BY THE CONTRACTORS AS A PART OF THEIR BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION.
6. PERMITS: EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, FEES, LABOR, EQUIPMENT, ETC AS MAY BE REQUIRED TO COMPLETE THEIR RESPECTIVE WORK CATEGORY. CONTRACTORS SHALL FORWARD TO THE ARCHITECT A COPY OF ALL APPROVED PERMITS, DRAWINGS AND CODE COMPLIANCE ADDENDA WITH PLAN EXAMINERS COMMENTS WITHIN 48 HOURS OF RECEIPT OF THE SAME AT NO COST TO THE ARCHITECT. ANY ADDITIONAL WORK REQUIRED AS A RESULT OF THE ABOVE SHALL BE PROVIDED BY THE CONTRACTOR AS A PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION IF THE CONTRACTOR FAILS TO COMPLY WITH PROVIDING THE APPROVED PLANS OR ADDENDA TO THE ARCHITECT.
7. INSURANCE: ALL CONTRACTORS SHALL OBTAIN "ALL RISK" INSURANCE, AS STIPULATED IN THE SPECIFICATION, AND ALL CUSTOMARY STATUTORY INSURANCES, COMPREHENSIVE GENERAL LIABILITY, ETC, AS INDICATED IN THE PROJECT MANUAL. THE ARCHITECT AND THE OWNER SHALL BE NAMED AS INSURED PARTIES TO THE "ALL RISK" INSURANCE POLICY.
8. SUBSTITUTIONS: NO SUBSTITUTIONS OF SPECIFIED MATERIALS OR EQUIPMENT WILL BE ACCEPTED UNLESS WRITTEN REQUEST FOR APPROVAL HAS BEEN RECEIVED BY THE ARCHITECT AND THE CONTRACTOR HAS RECEIVED WRITTEN APPROVAL BY THE ARCHITECT.
9. DOCUMENTATION / RECORD DRAWINGS: THE CONTRACTORS SHALL KEEP A RECORD OF ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS. THEY SHALL NEATLY AND CORRECTLY ENTER IN COLOR PENCIL, ANY DEVIATIONS ON THE DRAWINGS AND SPECIFICATIONS AFFECTED AND SHALL KEEP THE DRAWINGS AVAILABLE FOR INSPECTION. AN EXTRA SET OF CONSTRUCTION DOCUMENTS WILL BE FURNISHED FOR THE PURPOSE.
10. PROTECTION: ALL CONTRACTORS SHALL BE JOINTLY RESPONSIBLE FOR TAKING ALL STEPS NECESSARY TO PROTECT THE PUBLIC FROM INJURY AND ADJACENT PROPERTY FROM DAMAGES DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES. ALL CONTRACTORS SHALL ALSO BE RESPONSIBLE FOR PROJECT SECURITY FROM THE START OF THE WORK UNTIL THE OWNER ACCEPTS THE PROJECT AS TOTALLY COMPLETE.
11. AT COMPLETION OF THE JOB AND BEFORE FINAL APPROVAL, THE CONTRACTORS WILL MAKE ANY FINAL CORRECTIONS TO DRAWINGS RELATED TO THEIR WORK CATEGORY AND SHALL CERTIFY TO THE ACCURACY OF EACH PRINT, THAT THE WORK IS COMPLETED ACCORDING TO ALL CONTRACT DOCUMENTS, AND THE CORRECTIONS TO THE DRAWINGS BY SIGNATURE THEREON AND DELIVERY SAME TO THE ARCHITECT.
12. DRAWINGS INDICATE THE MINIMUM STANDARDS, SHOULD ANY WORK INDICATED BE SUBSTANDARD TO ANY ORDINANCES, LAWS, CODES, RULES OR REGULATIONS BEARING ON THE WORK, THE CONTRACTOR SHALL EXECUTE THE WORK IN ACCORDANCE WITH SUCH ORDINANCES, LAWS, CODES, RULES, OR REGULATIONS AS A PART OF HIS BASE CONTRACT WITHOUT INCREASE IN COST TO OWNER OR ARCHITECT.
13. ALL DIMENSIONS ARE NOMINAL DIMENSIONS, UNLESS OTHERWISE NOTED.
14. EXTERIOR DIMENSIONS ARE FROM FACE OF ROUGH FRAMING UNLESS OTHERWISE NOTED.
15. ALL ANGLES 90 DEGREES UNLESS OTHERWISE NOTED.
16. CONTRACTORS SHALL REMOVE ALL CONSTRUCTION DEBRIS RELATED TO THEIR WORK CATEGORY FROM JOB SITE. ALL CONSTRUCTION DEBRIS SHALL BE CONTAINED WITHIN LIMITS OF CONTRACT.
17. ALL CONTRACTORS ARE JOINTLY RESPONSIBLE TO HAVE ENTIRE AREA CLEAN AND SPOTLESS AT TIME OF TURN OVER.
18. WOOD TREATMENT
 1. ALL WOOD EXPOSED TO MOISTURE SHALL BE PRESERVATIVE PRESSURE TREATED WOOD
 2. ALL WOOD USED IN FIRE RATED ASSEMBLY SHALL BE FIRE-RETARDANT TREATED
19. WHERE APPLICABLE TO THEIR SCOPE OF WORK, CONTRACTORS SHALL FIELD VERIFY ALL VERTICAL DIMENSIONS AND FLOOR LEVELS IN ORDER TO ENSURE ALIGNMENT OF NEW FLOOR LEVELS WITH EXISTING AND NEW EXTERIOR HORIZONTAL COURSING AND TRIM WITH EXISTING. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

INTERIOR ALTERATIONS TO 16 CASCO STREET PORTLAND, MAINE 04101 CONSTRUCTION DOCUMENTS MARCH 6, 2008

REMOVAL NOTES:

1. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO ALL AREAS AFFECTED BY THE WORK. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO ANY BUILDING COMPONENTS WHICH OCCUR AS A RESULT OF ALL PHASES OF WORK. ALL EXISTING SURFACES AND EQUIPMENT SCHEDULED TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. SHOULD DAMAGE OCCUR THE CONTRACTOR SHALL MAKE REQUIRED REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER.
2. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
5. ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED FROM DAMAGE.
6. REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVALS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.
7. THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN ALL TEMPORARY BARRIER, GUARDS, AND ALL TEMPORARY SHORING MEETING STRUCTURAL REQUIREMENTS OF THE IBC 2003.
8. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.

TENANT SAFETY PLAN:

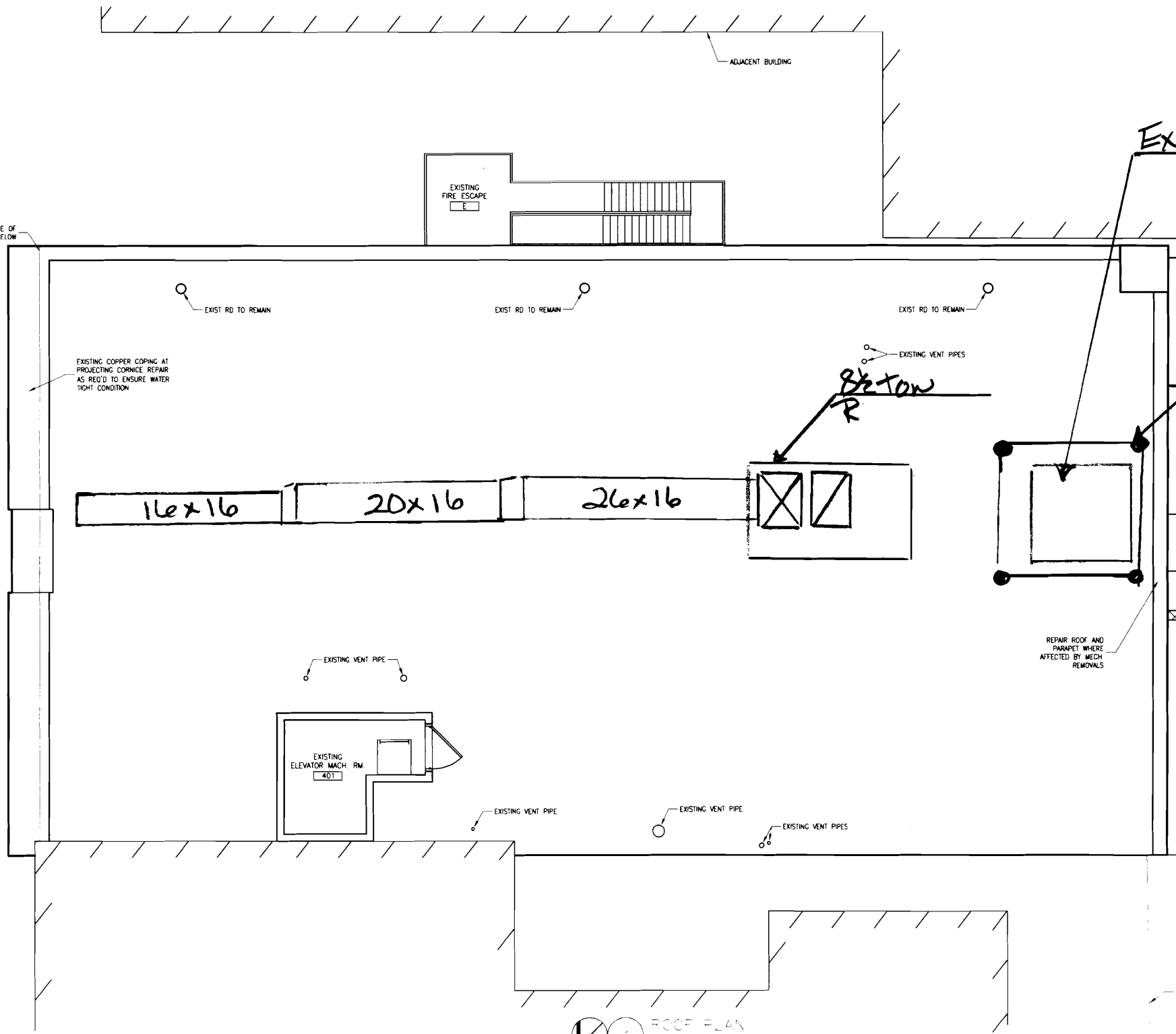
1. THIS IS AN OCCUPIED BUILDING AS SUCH, IT IS NECESSARY TO MAINTAIN ACCESS AND EGRESS TO THE PUBLIC AT ALL TIMES THROUGHOUT CONSTRUCTION.
2. MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR TENANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS SUCH AS BUILDING MATERIALS, TOOLS, ETC.
3. FIRE SAFETY:
 - A. ALL BUILDING MATERIALS WHICH ARE STORED AT THE SITE OR ANY AREA OF THE BUILDING ARE TO BE STORED IN A LOCKED AREA ACCESS TO THE AREA TO BE CONTROLLED BY THE OWNER, OR THE GENERAL CONTRACTOR
 - B. ALL MATERIALS TO BE STORED IN AN ORDERLY FASHION
 - C. ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURER'S CONTAINERS. SUCH MATERIALS ARE TO BE KEPT AWAY FROM HEAT
 - D. ALL FLAMMABLE MATERIALS TO BE USED AND STORED IN AN ADEQUATELY VENTILATED SPACE
 - E. ALL ELECTRICAL POWER TO BE SHUT OFF WHERE THERE ARE EXPOSED CONDUITS.
 - F. ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA TO BE SHUT OFF AFTER WORKING HOURS
 - G. CONTRACTOR, AT ALL TIMES, TO ENSURE THAT THERE IS NO NATURAL GAS LEAKAGE IN THE BUILDING, OR ANY FLAMMABLE GAS TO BE USED DURING CONSTRUCTION.
4. DUST CONTROL
 - A. DEBRIS, DIRT, AND DUST TO BE KEPT TO A MINIMUM AND CONFINED TO THE IMMEDIATE CONSTRUCTION AREA
 - B. CONTRACTOR TO ISOLATE CONSTRUCTION AREA FROM OCCUPIED BUILDING AREA BY MEANS OF TEMPORARY PARTITIONS OR HEAVYWEIGHT DROP CLOTHS
 - C. DEBRIS, DIRT, AND DUST TO BE CLEANED UP AND CLEARED FROM THE BUILDING SITE PERIODICALLY TO AVOID EXCESSIVE ACCUMULATION.
5. NOISE AFTER HOURS:
 - A. CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS
 - E. CONTRACTOR MUST OBTAIN WRITTEN PERMISSION FROM ALL AFFECTED PARTIES, TO WORK OTHER THAN REGULAR HOURS
6. CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, OR ELECTRICAL SERVICES TO OTHER TENANTS WITHOUT WRITTEN PERMISSION FROM AFFECTED PARTIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE, BUILDING, AND ITS CONTENTS ARE SECURE FROM THEFT, FIRE, VANDALISM, AND OTHER POTENTIAL DAMAGE.

WORK AFFECTING ADJACENT PROPERTY:

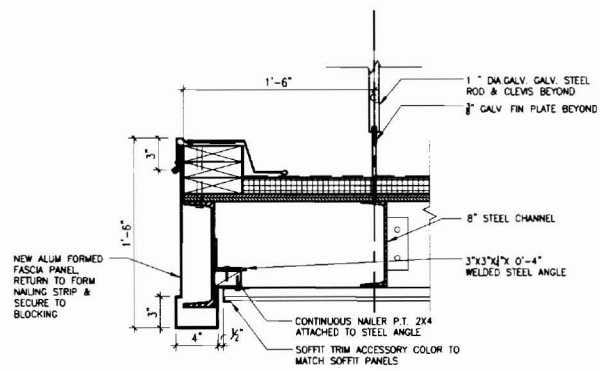
1. CONTRACTOR SHALL REFER TO PROPERTY SURVEY PROVIDED BY THE OWNER TO ENSURE THAT ALL WORK IS PERFORMED WITHIN THE PROJECT'S PROPERTY LIMITS.
2. CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR ANY WORK OR ACCESS REQUIREMENTS WHICH MAY AFFECT ADJACENT PROPERTIES.
3. NO WORK AFFECTING ADJACENT PROPERTY SHALL PROCEED UNTIL WRITTEN APPROVAL FROM THE OWNER IS OBTAINED.

CASCO STREET

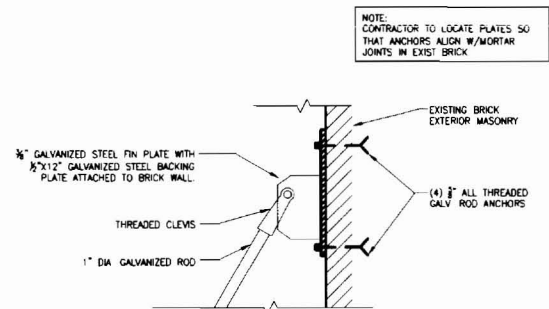
16 CASCO ST. LINE OF EXISTING WALL BELOW



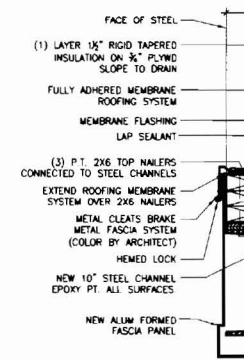
ROOF PLAN
1/4" = 1'-0"



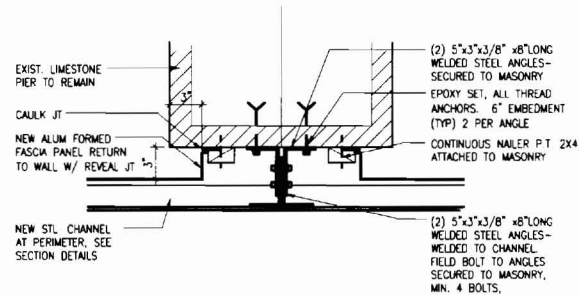
3 CANOPY @ NORTH/SOUTH EDGE
1 1/2"=1'-0" WEST EDGE SIMILAR



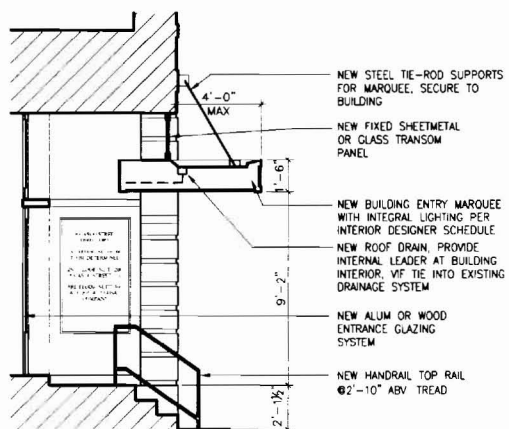
2 CANOPY @ BLDG
1 1/2"=1'-0"



1 CANOPY @
1 1/2"=1'-0"



4 PLAN DETAIL CONNECTION TO PIER
1 1/2"=1'-0"



B ENTRY ELEVATION (NORTH)
1/4"=1'-0"



A CASCO STREET ELEVATION (EAST)
1/4"=1'-0"

A. TOILET ROOM REMOVAL NOTES:

1. EXISTING FIXTURES AND FITTINGS SHALL BE REMOVED.
2. PLUMBING PIPING SCHEDULED TO REMAIN SHALL BE TEMPORARILY CAPPED PER CODE FOR INSTALLATION OF NEW FIXTURES.
3. EXISTING FINISHES SHALL BE REMOVED. PATCH & PREPARE WALLS AND FLOORS TO RECEIVE NEW FINISHES, PER FINISH SCHEDULE.
4. EXISTING TOILET ACCESSORIES SHALL BE REMOVED.
5. REMOVE EXISTING LIGHT FIXTURES.
6. REMOVE EXISTING HUNG CEILING.

B. WINDOW REMOVAL NOTES:

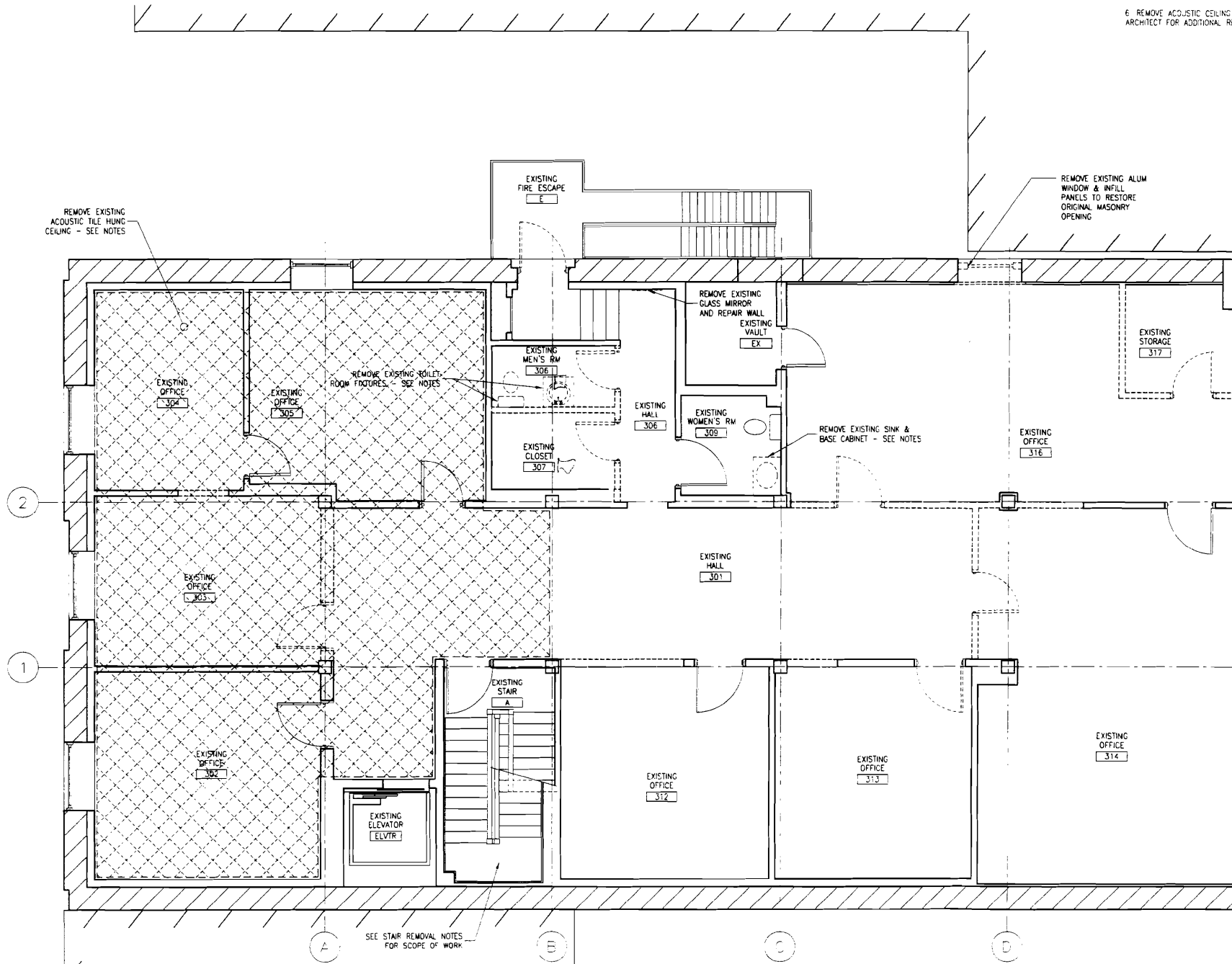
- REMOVE EXISTING ALUMINUM WINDOWS WHERE INDICATED. INCLUDE FRAMES & ATTACHMENTS. INTERIOR GWB FURRING, SILLS, ETC. PREPARE OPENINGS FOR NEW WINDOW INSTALLATION.

C. STAIR REMOVAL NOTES:

1. EXISTING WOOD STAIRS, WOOD HANDRAILS, NEWEL POSTS, AND STRINGER MOULDINGS ETC. SHALL REMAIN. PROVIDE PROTECTION THROUGHOUT CONSTRUCTION OPERATIONS.
2. REMOVE EXISTING STAIR COVERINGS AT TREADS AND PLATFORMS. TYPICAL INSTALL NEW FLOOR COVERINGS PER FINISH SCHEDULE.
3. REMOVE RECENT TREAD REPAIRS (COVERINGS) AND REPLACE FULL TREAD FOR CODE COMPLIANCE. REPLACE TREAD TO ORIGINAL DIMENSIONS FOR RISER HEIGHT CONTINUITY.
4. REMOVE AND REPLACE EXISTING EMERGENCY LIGHTING AND PROVIDE ADDITIONAL EMERGENCY LIGHTING FOR CODE COMPLIANCE.

GENERAL REMOVALS THROUGHOUT:

1. ALL INTERIOR & EXTERIOR COLUMNS, TIMBER BEAMS AND THEREFORE, EXTREME CARE IS PHASES OF PREPARATION AND ADEQUATE PROTECTION TO ALL BE HELD RESPONSIBLE FOR AS A RESULT OF ALL PHASES.
2. ALL REMOVALS OF ASBESTOS DISPOSED OF AS REQUIRED BY SUPPLIED BY THE OWNER FOR.
3. REMOVE EXISTING FLOOR CLEAN AND PREPARE SUBSTRATE FOR SURFACE LEVELING.
4. REMOVE ALL ACCESSORIES BULLETIN BOARDS, SIGNAGE, ETC.
5. REMOVE EXISTING CEILING.
6. REMOVE ACUSTIC CEILING ARCHITECT FOR ADDITIONAL RE



FLOOR OCCUPANCY DATA
 EXISTING BUSINESS USE: 100SF PERSON
 EXISTING FLOOR AREA: 2,920 SF
 EXISTING OCCUPANT LOAD: 29 MAX

THIRD FLOOR DEMOLITION PLAN
 1/2" = 1'-0"

PROJECT NOTES

- TYPICAL FOR ALL INTERIOR STAIRS:
 1. INSTALL NEW EMERGENCY LIGHTING WITH 90-MINUTE BATTERY BACK-UP, POWER W/ 2. INSTALL NEW VINYL/RUBBER TREAD COVERINGS W/NON-SLIP NOSINGS

- NEW INTERIOR PARTITIONS:
 3 5/8" MTL STUDS (22GA) @ 16" O.C. W/ TOP & BOT RUNNERS HEIGHT: 6" ABV F.
 PROVIDE MOISTURE RESISTANT CMG @ TOILETS, SHOWERS & SINK LOCATIONS

- EXISTING STAIR A:
 1. EXISTING WOOD RAILING AND POSTS SHALL REMAIN CLEAN AND RESECURE ANY LC RAIL INFILL SCREEN, SEE DETAIL.

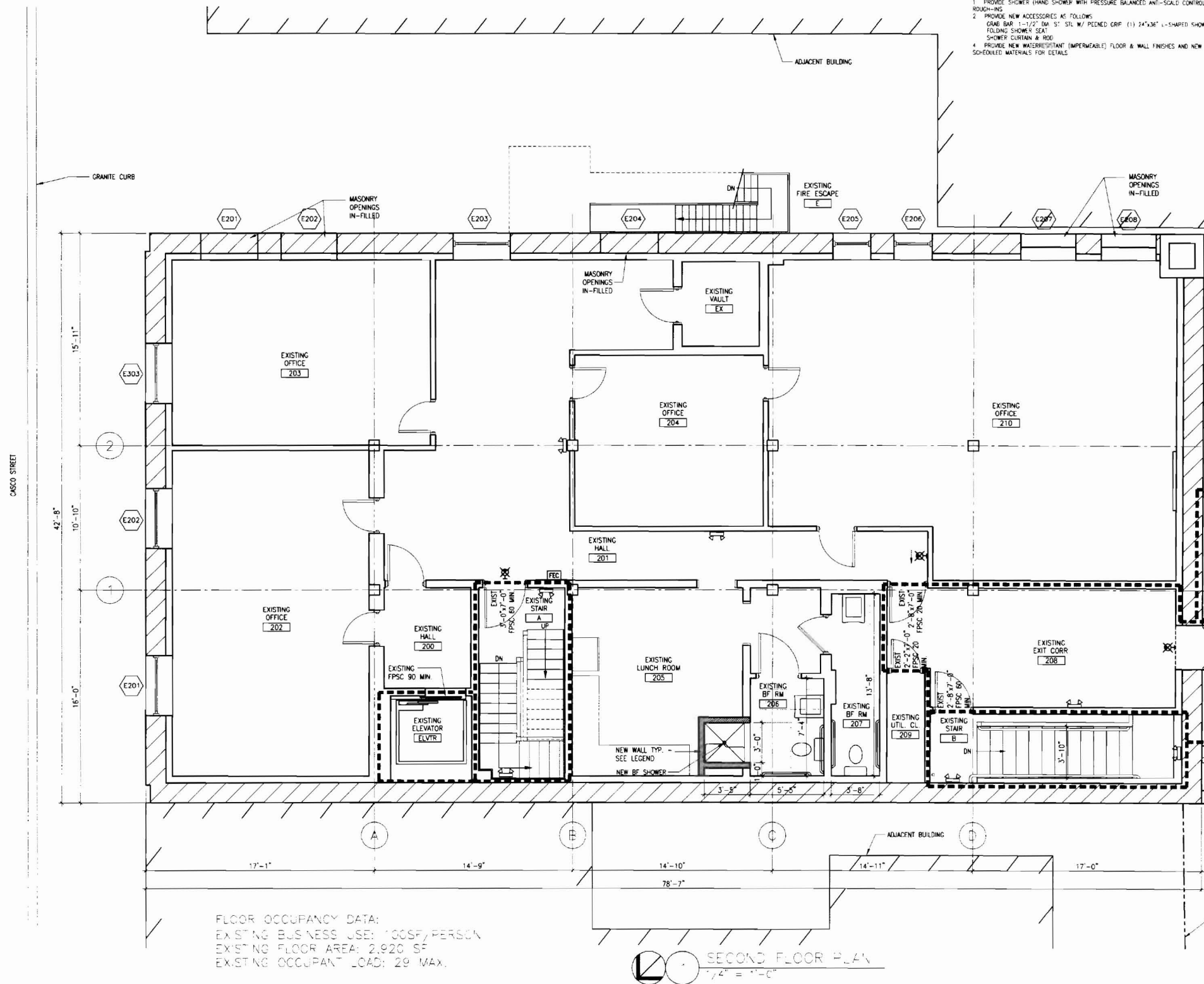
- EXISTING STAIR B:
 1. EXISTING WOOD HANDRAILS SHALL REMAIN, RESET WHERE REQUIRED FOR TOP OF MOUNTING BRACKETS TO REPLACE MISSING OR DAMAGED BRACKETS

- EXISTING STAIR B-1:
 1. REMOVE AND REPLACE EXISTING WOOD TREADS & RISERS
 2. PROVIDE NEW WOOD TREADS AND RISERS
 3. RESET OR REPLACE EXISTING METAL HANDRAILS EACH SIDE, TOP OF HANDRAIL SH

- EXISTING STAIR D:
 1. SEE DETAILS FOR ALTERATION OF EXISTING UPPER STAIR RUN AND EXTERIOR ENCL

- TOILET ROOM NOTES:
 SEE DWG 01.2 FOR MOUNTING HEIGHTS OF FIXTURES & ACCESSORIES

- EXISTING BF TOILET ROOM 206:
 1. PROVIDE SHOWER (HAND SHOWER WITH PRESSURE BALANCED ANTI-SCALD CONTROL ROUGH-IN)
 2. PROVIDE NEW ACCESSORIES AS FOLLOWS:
 GRAB BAR 1-1/2" DIA 5' STL W/ PEENED GRIP (1) 24"x36" L-SHAPED SHAW FOLDING SHOWER SEAT
 SHOWER CURTAIN & ROD
 4. PROVIDE NEW WATERRESISTANT (IMPERMEABLE) FLOOR & WALL FINISHES AND NEW SCHEDULED MATERIALS FOR DETAILS



FLOOR OCCUPANCY DATA:
 EXISTING BUSINESS USE: 100SF/PERSON
 EXISTING FLOOR AREA: 2,920 SF
 EXISTING OCCUPANT LOAD: 29 MAX.

SECOND FLOOR PLAN
 1/4" = 1'-0"

A. TOILET ROOM REMOVAL NOTES

- EXISTING FIXTURES AND FITTINGS SHALL BE REMOVED.
- PLUMBING PIPING SCHEDULED TO REMAIN SHALL BE TEMPORARILY CAPPED PER CODE FOR INSTALLATION OF NEW FIXTURES.
- EXISTING FINISHES SHALL BE REMOVED PATCH & PREPARE WALLS AND FLOORS TO RECEIVE NEW FINISHES PER FINISH SCHEDULE.
- EXISTING TOILET ACCESSORIES SHALL BE REMOVED.
- REMOVE EXISTING LIGHT FIXTURES.
- REMOVE EXISTING HUNG CEILING.

B. WINDOW REMOVAL NOTES

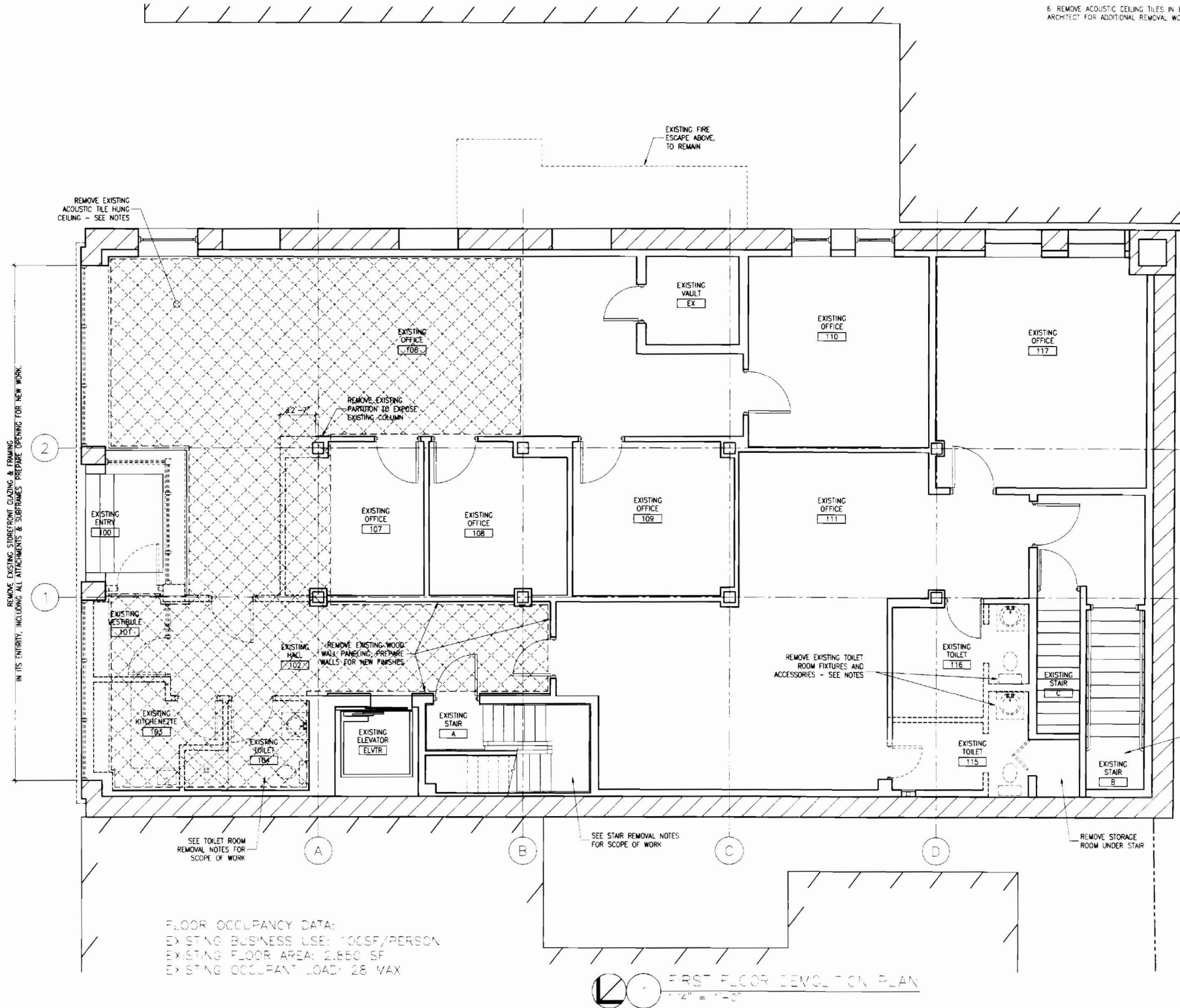
- REMOVE EXISTING ALUMINUM WINDOWS WHERE INDICATED INCLUDE FRAMES & ATTACHMENTS, INTERIOR GWB FLOORING, SILLS, ETC. PREPARE OPENINGS FOR NEW WINDOW INSTALLATION.

C. STAIR REMOVAL NOTES

- EXISTING WOOD STAIRS, WOOD HANDRAILS, NEWEL POSTS, AND STRINGER MOULDINGS, ETC. SHALL REMAIN. PROVIDE PROTECTION THROUGHOUT CONSTRUCTION OPERATIONS.
- REMOVE EXISTING STAIR COVERINGS AT TREADS AND PLATFORMS, TYPICAL INSTALL NEW FLOOR COVERINGS PER FINISH SCHEDULE.
- REMOVE RECENT TREAD REPAIRS (COVERINGS) AND REPLACE FULL TREAD FOR CODE COMPLIANCE. REPLACE TREAD TO ORIGINAL DIMENSIONS FOR RISER HEIGHT CONTINUITY.
- REMOVE AND REPLACE EXISTING EMERGENCY LIGHTING AND PROVIDE ADDITIONAL EMERGENCY LIGHTING FOR CODE COMPLIANCE.

GENERAL REMOVALS THROUGHOUT AREA

- ALL INTERIOR & EXTERIOR CORNERS, COLUMNS, TIMBER BEAMS AND GIRDERS, THEREFORE, EXTREME CARE SHALL BE TAKEN THROUGHOUT PHASES OF PREPARATION AND CONSTRUCTION. ADEQUATE PROTECTION TO ALL AREAS TO BE HELD RESPONSIBLE FOR ANY DAMAGE AS A RESULT OF ALL PHASES OF WORK.
- ALL REMOVALS OF ASBESTOS CONTAINING MATERIALS SHALL BE DISPOSED OF AS REQUIRED BY GOVERNMENT REGULATIONS SUPPLIED BY THE OWNER FOR LOCATIONS.
- REMOVE EXISTING FLOOR FINISHES AT CLEAN AND PREPARE SUBSTRATE AS REQ FOR SURFACE LEVELING.
- REMOVE ALL ACCESSORIES/ ATTACHMENTS, BULLETIN BOARDS, SIGNAGE, ETC.
- REMOVE EXISTING CEILING WHERE SHOWN.
 - ACOUSTIC CEILING TILES SUSPENSION.
 - LIGHTING FIXTURES.
 - HVAC DUCTS, DIFFUSERS, REGISTERS.
 - MISCELLANEOUS ASSOCIATED DEVICES.
- REMOVE ACOUSTIC CEILING TILES IN B, ARCHITECT FOR ADDITIONAL REMOVAL WORK.



DOOR #	SIZE	MATERIAL		FIRE RATING (MINUTES)	HARDWARE			
		DOOR	FRAME		LOCKSET	CLOSER	HINGES	WEATHERSTRIPPING THRESHOLD
003	3'-0" x 7'-0"	HM (PTD)	HM (PTD)		●	●	●	-

