

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0500	Issue Date:	CBL: 037 C010001
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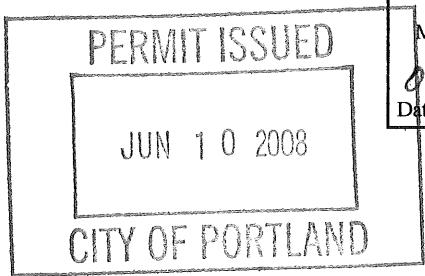
Location of Construction: 16 CASCO ST	Owner Name: 16 CASCO STREET LLC	Owner Address: 477 CONGRESS ST	Phone:
Business Name:	Contractor Name: Avery Services, Inc.	Contractor Address: 7 Thomas Drive Westbrook	Phone 2077728687
Lessee/Buyer's Name	Phone:	Permit Type: HVAC	Zone: B-3

Past Use: Vacant - no use established - see permit #07-1719	Proposed Use: Vacant - Install Gas/Electric Trane Rooftop units	Permit Fee: \$650.00	Cost of Work: \$62,500.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied TONRPA 54	INSPECTION: Use Group: N/A Type: HVAC Gas Codes	

Proposed Project Description: Install Gas/Electric Trane Rooftop units	Signature: Greg Cass	Signature: AMB 6/10/08
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: N/A Date:		

Permit Taken By: Idobson	Date Applied For: 05/12/2008	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 5/12/08	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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Scanned

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE



CITY OF PORTLAND, MAINE
Department of Building Inspections

May 12 20 08

Received from

Arvix Services

Location of Work

16 Casco Street

Cost of Construction

\$ 62,500⁰⁰

Permit Fee

\$ 650⁰⁰

Building (IL) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other Roof top Gas/Electric - units

CBL: 037-0010

Check #: 33848

Total Collected \$ 650⁰⁰

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

- WHITE - Applicant's Copy
- YELLOW - Office Copy
- PINK - Permit Copy

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X Final inspection required at completion of work.

 X Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

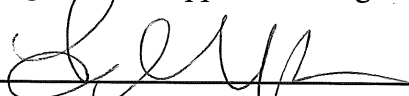
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

6/10/08

Date



Signature of Inspections Official

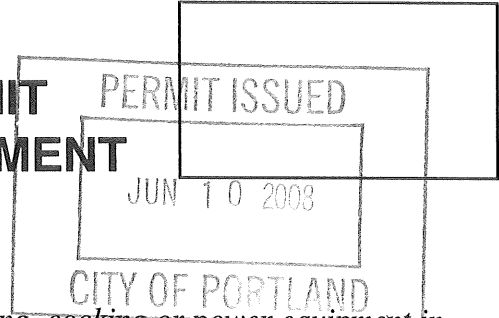
6-10-08

Date



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT



To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL 16 Casco 37 C 10 Use of Building _____ Date 5/12/08

Name and address of owner of appliance _____

Installer's name and address Avery Services, Inc
7 Thomas Drive Westbrook, Me 04092 Telephone 772-8687
FAX 874-0933

Location of appliance:

Basement Floor
 Attic Roof

Type of Fuel:

Gas Oil Solid

Appliance Name: Gas/Electric Rooftop units

U.L. Approved Yes No

Will appliance be installed in accordance with the manufacture's installation instructions? Yes No

IF NO Explain: _____

The Type of License of Installer:

Master Plumber # _____
 Solid Fuel # _____
 Oil # _____
 Gas # PNT1431
 Other _____

Type of Chimney:

Masonry Lined
Factory built _____

Metal
Factory Built U.L. Listing # _____

Direct Vent
Type _____ UL# _____

Type of Fuel Tank

Oil
 Gas NATURAL

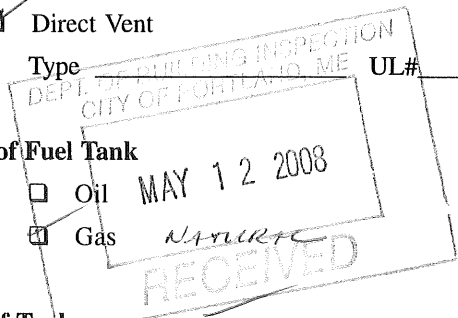
Size of Tank _____

Number of Tanks _____

Distance from Tank to Center of Flame _____ feet.

Cost of Work: \$ 62,500

Permit Fee: \$ _____



Approved

Approved with Conditions

Fire: _____
Ele.: _____
Bldg.: _____

See attached letter or requirement

Inspector's Signature Date Approved

Signature of Installer [Signature]

White - Inspection Yellow - File Pink - Applicant's Gold - Assessor's Copy

City of Portland, Maine - Building or Use Permit

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Permit No: 08-0500	Date Applied For: 05/12/2008	CBL: 037 C010001
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Location of Construction: 16 CASCO ST	Owner Name: 16 CASCO STREET LLC	Owner Address: 477 CONGRESS ST	Phone:
Business Name:	Contractor Name: Avery Services, Inc.	Contractor Address: 7 Thomas Drive Westbrook	Phone (207) 772-8687
Lessee/Buyer's Name	Phone:	Permit Type: HVAC	

Proposed Use: Vacant - Install Gas/Electric Trane Rooftop units	Proposed Project Description: Install Gas/Electric Trane Rooftop units
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 05/12/2008

Note: **Ok to Issue:**

- 1) Permit #07-1510 allowed interior demolition but had a condition on it that stated: "THIS PERMIT IS FOR DEMOLITION ONLY. THE USE WILL BE ESTABLISHED WHEN THE SEPARATE PERMIT IS FILED FOR THE CONSTRUCTION WORK FOR THE FUTURE TENANT." There has been no permit since establishing a use for this property. If there is a tenant, a separate permit SHALL be required to establish the use.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 06/10/2008

Note: **Ok to Issue:**

- 1) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 2) The rooftop work shall not commence until a permit is approved for the structural work.
- 3) The installation must comply with the State of Maine Gas Regulations.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 05/14/2008

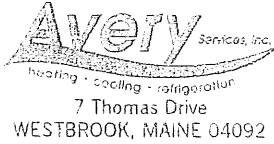
Note: **Ok to Issue:**

- 1) Install shall comply with NFPA 54.
A compliance letter is required

Comments:

6/2/2008-jmb: Left voicemail for Avery Services to call. We have the structural design, but this work should be filed on a separate building permit as this work will be done by the contractor.

6/10/2008-jmb: Mike from Avery called to ask if the contractor applied for the structural work...I do not see anything. I will issue the permit with conditions



(207) 772-8687
FAX (207) 874-0933

TO: NBBR
Attn: Daryl Norton
1028 River Road
Clinton ME 04927

PHONE 653-1515 / Fax: 926-3394	DATE 4/10/2008
JOB NAME / LOCATION 16 Casco Street, Portland Jeff Cohen - Bldg owner	
JOB NUMBER MSD #803225	JOB PHONE

We hereby submit specifications and estimates for:

Avery Services, Inc. is pleased to submit a quote to perform the following work:

Third floor system:

- Provide and install an 8-1/2-ton Carrier, Trane or equal gas fired package unit with roof curb.
- Provide and install a galvanized ductwork system comprised of a main trunk line with sixteen (16) 2x2 layin supplies and two (2) return grilles with ductwork. Both roof drops will be lined with 1" acoustical liner for sound attenuation. There will be a manual damper in each supply line and a maximum of 7" of flex tube per run. Wrap ductwork with 1-1/2" insulation.
- Provide and install a programmable thermostat.
- Provide and install gas piping from unit to meter (meter by utility) to third floor unit.

For the second and first floor on lower roof:

- Provide and install a Carrier, Trane or equal 8-1/2-ton gas fired package unit for each floor.
- Provide and install duct drop for both units only.
- Provide and install gas piping for both units, from unit to meter (meter by utility).
- Provide and install a programmable thermostat.
- Demo existing ductwork and heat pumps and drain existing chiller below roof liner, leaving rest of pipe up.
- Provide crane lift and disposal of existing chiller.

SUBCONTRACT AGREEMENT
SIGNED FOR \$62,500.00

OPTION 1: Provide and install a duct system for the first and second floor system with sixteen (16) supplies and two (2) returns, and duct wrap for both systems. ADD: \$8,750.00 REN initials. (x2 = \$17,500.00)

We Propose hereby to furnish material and labor — complete in accordance with the above specifications, for the sum of:
Cont'd _____ dollars (\$ Cont'd _____).

Payment to be made as follows:

\$11,250.00 upon acceptance - Progress billing/net 10 days - All balances due upon substantial completion.

If payment is not made as outlined above, a service charge of 2% per month on the overdue balance plus all reasonable costs of collection including attorney's fees will be paid.

All material is guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Worker's Compensation insurance. No promises, agreements or representations of any solicitor or employee of the seller shall be binding upon the seller unless made a part of this order in writing.

Authorized Signature

[Handwritten Signature]

Note: This proposal may be withdrawn by us if not accepted within _____ days. of the seller shall be binding upon the seller unless made a part of this

Acceptance of Proposal — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____

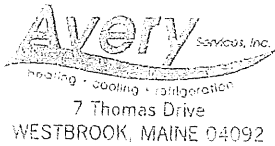
Signature _____

Date of Acceptance: _____

PROPOSAL

399

Page 2 of 2



(207) 772-8687
FAX (207) 874-0933

TO: NBBR
Attn: Daryl Norton
1028 River Road
Clinton ME 04927

PHONE 653-1515 / Fax: 926-3394	DATE 4/10/2008
JOB NAME / LOCATION 16 Casco Street, Portland	
JOB NUMBER MSD	JOB PHONE

We hereby submit specifications and estimates for:

OPTION 2: Eliminate crane costs. DEDUCT \$3,500.00 _____ initials

EXCLUSIONS: Roofing, cutting, patching, soffitting, power wiring, structural, and removal of existing chiller piping system.

We Propose hereby to furnish material and labor — complete in accordance with the above specifications, for the sum of:

Forty Five Thousand and 00/100 Dollars

dollars (\$ ~~45,000.00~~)

Payment to be made as follows:

\$11,250.00 upon acceptance - Progress billing/net 10 days - All balances due upon substantial completion.

If payment is not made as outlined above, a service charge of 2% per month on the overdue balance plus all reasonable costs of collection including attorney's fees will be paid.

All material is guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Worker's Compensation insurance.

Authorized Signature

[Handwritten Signature]

Note: This proposal may be withdrawn by us if not accepted within

30 days.

No promises, agreements or representations of any solicitor or employee of the seller shall be binding upon the seller unless made a part of this order in writing.

Acceptance of Proposal — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____

Signature _____

Date of Acceptance: _____



Model Number: YSC102A3RHA--D0-00000000

Customer:
Project:

3-10 Ton R22, PKGD Unitary Gas/Electric Rooftop Unit

General			
Unit Function	DX cooling, gas heat	Airflow	Convertible configuration
Unit Efficiency	Standard efficiency	Fresh Air Selection	Econ-dry bulb 0-100%, w/ baro rel 3 ph

Main Cooling	
Tonnage	102 - 8.5 Ton

Main Heating	
Heating Capacity	High gas heat capacity-ph3

Motor/Electrical	
Voltage	208-230/60/3

DX Cooling, Gas Heat 3-10 Ton	
Unit controls	Microprocessor controls 3 ph

Field Installed Accessories	
Roof curb	Roof curb

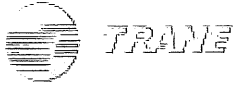


ELECTRICAL / GENERAL DATA

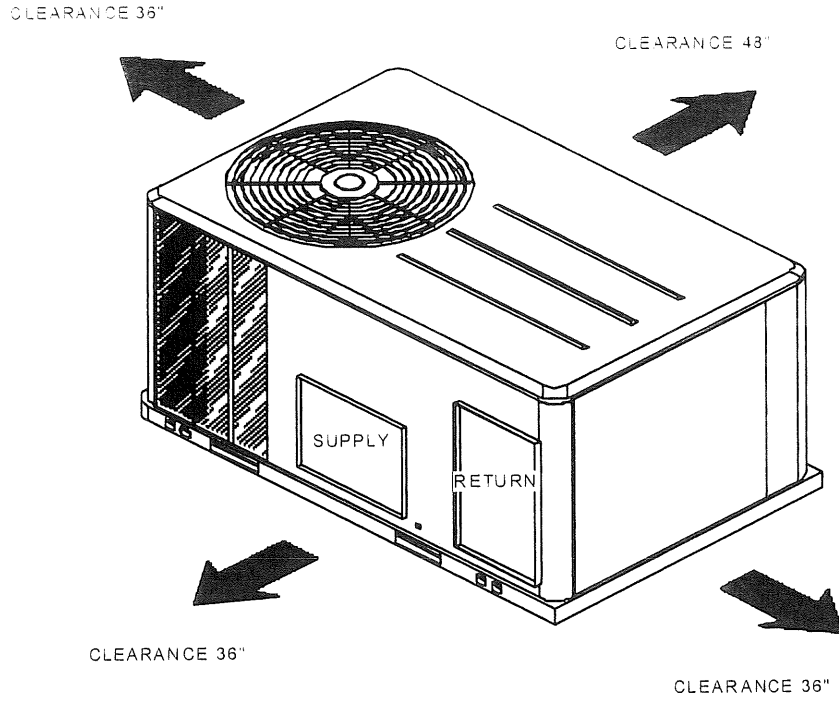
GENERAL ⁽¹⁾ Model YSC102A Oversized Motor Unit Operating Voltage 137-253 MCA N/A Unit Primary Voltage 208 MFS N/A Unit Secondary Voltage 230 MCB N/A Unit Hertz 60 Unit Phase 3 EER 10.1 Standard Motor MCA 45.1 MCA N/A MFS 80.0 MFS N/A MCB 80.0 MCB N/A		HEATING PERFORMANCE HEATING - GENERAL DATA Heating Model High Heating Input (Btu) 200,000 Heating Output (Btu) 162,000 Gas Inlet Pressure Natural Gas (Min/Mix) 4.5/14.0 LP (Min/Max) 10.0/14.0 Gas Pipe Connection Size 3/4	
INDOOR MOTOR Standard Motor Number 1 Horsepower 2.0 Motor Speed (RPM) 1,750 Phase 3 Full Load Amps 6.30 Locked Rotor Amps 48.0		Oversized Motor Number N/A Horsepower N/A Motor Speed (RPM) N/A Phase N/A Full Load Amps N/A Locked Rotor Amps N/A	
COMPRESSOR Circuit 1/2 Number 2 Horsepower 5 1/2.8 Phase 3 Rated Load Amps 18.6/10.3 Locked Rotor Amps 128.0/77.0		OUTDOOR MOTOR Number 1 Horsepower 0.75 Motor Speed (RPM) 1,075 Phase 1 Full Load Amps 4.0 Locked Rotor Amps 9.4	
POWER EXHAUST ACCESSORY ⁽³⁾ (Field Installed Power Exhaust) Phase N/A Horsepower N/A Motor Speed (RPM) N/A Full Load Amps N/A Locked Rotor Amps N/A	FILTERS Type Throaway Furnished Yes Number 4 Recommended 20"x25"x2"	REFRIGERANT ⁽²⁾ Type R-22 Factory Charge Circuit #1 7.9 Circuit #2 4.0	

NOTES:

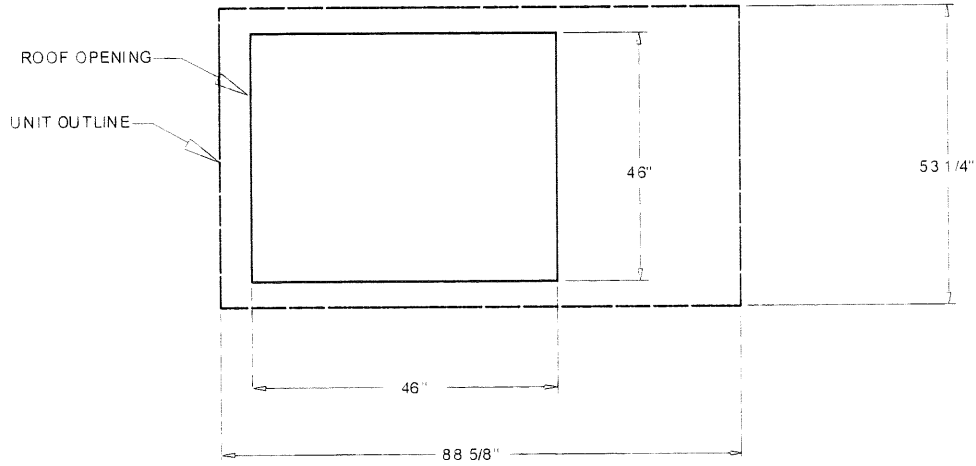
1. Maximum (HACR) Circuit Breaker sizing is for installations in the United States only.
2. Refrigerant charge is an approximate value. For a more precise value, see unit nameplate and service instructions.
3. Value does not include Power Exhaust Accessory.
4. Value includes oversized motor.
5. Value does not include Power Exhaust Accessory.
6. EER is rated at ARI conditions and in accordance with DOE test procedures.



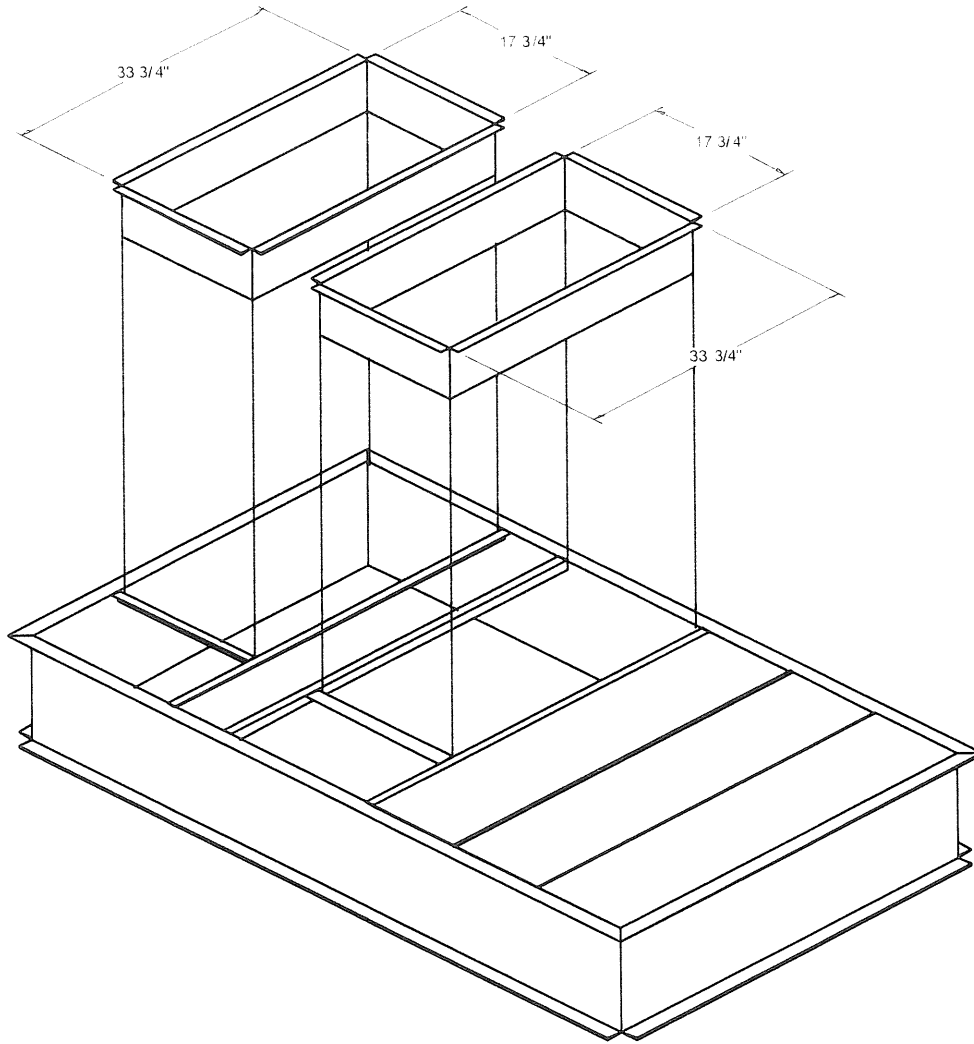
CLEARANCE FROM TOP OF UNIT



HORIZONTAL-PACKAGED COOLING CLEARANCE

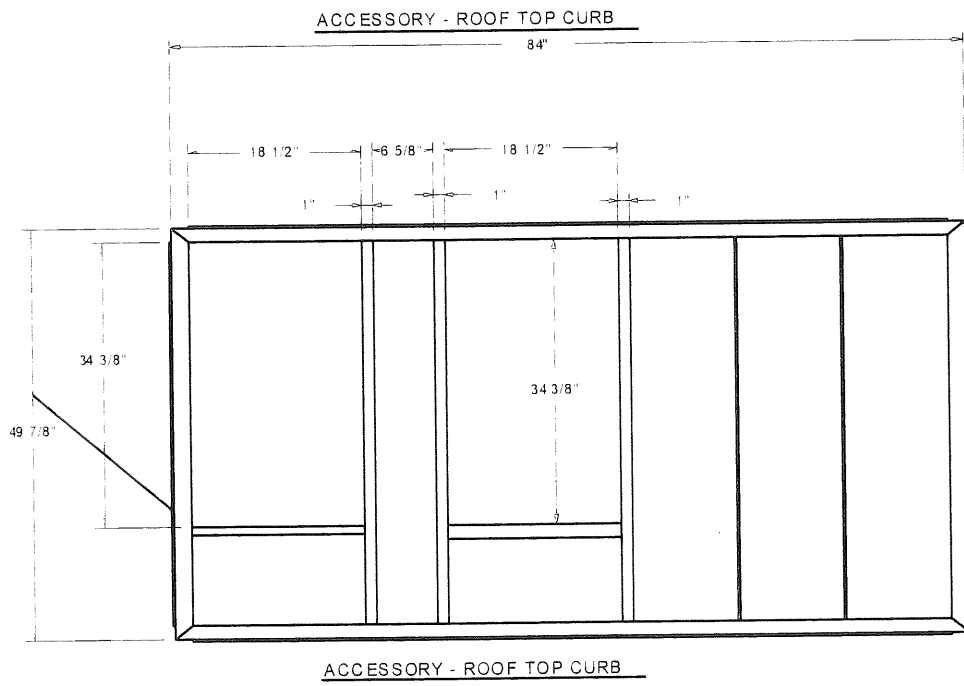
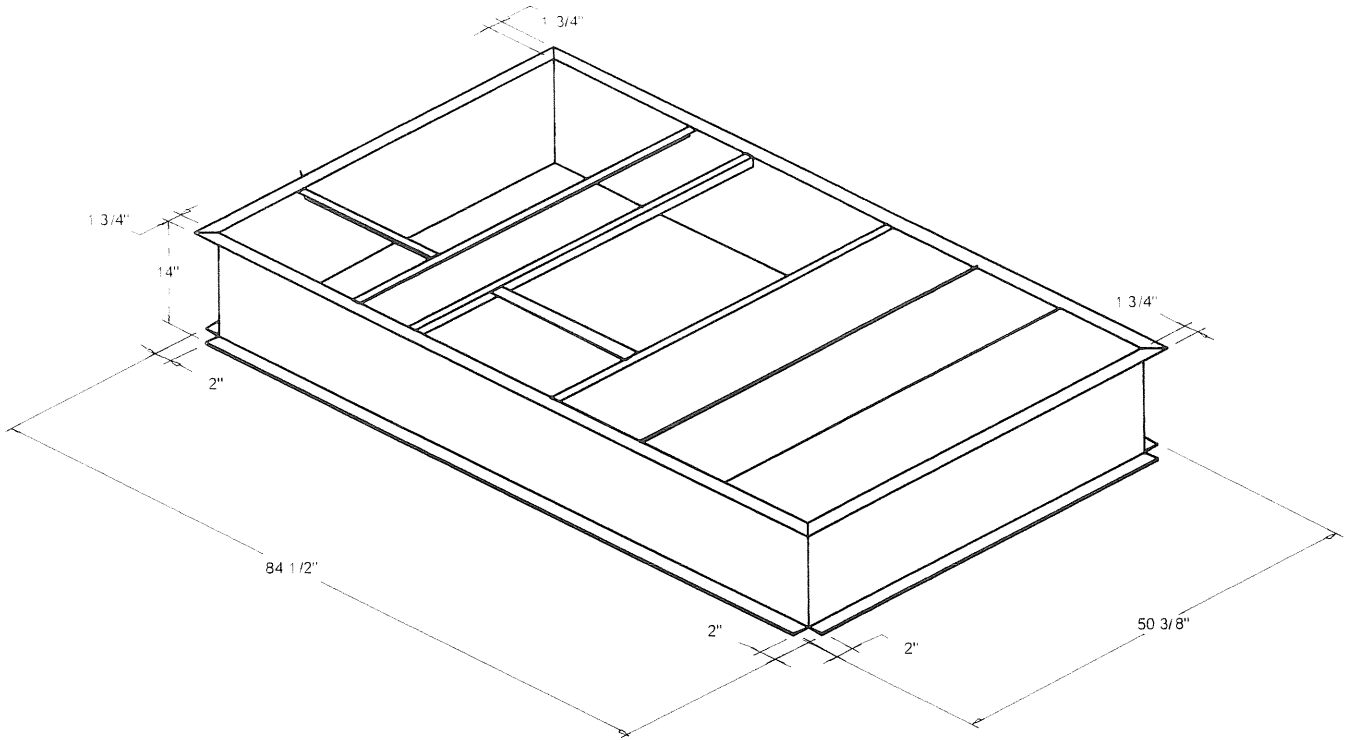


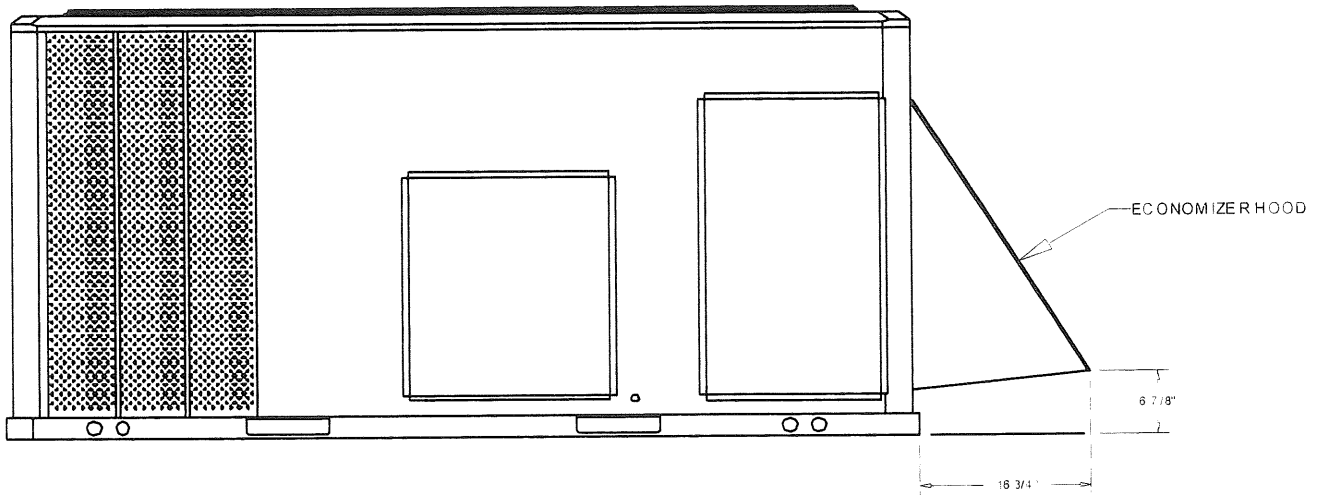
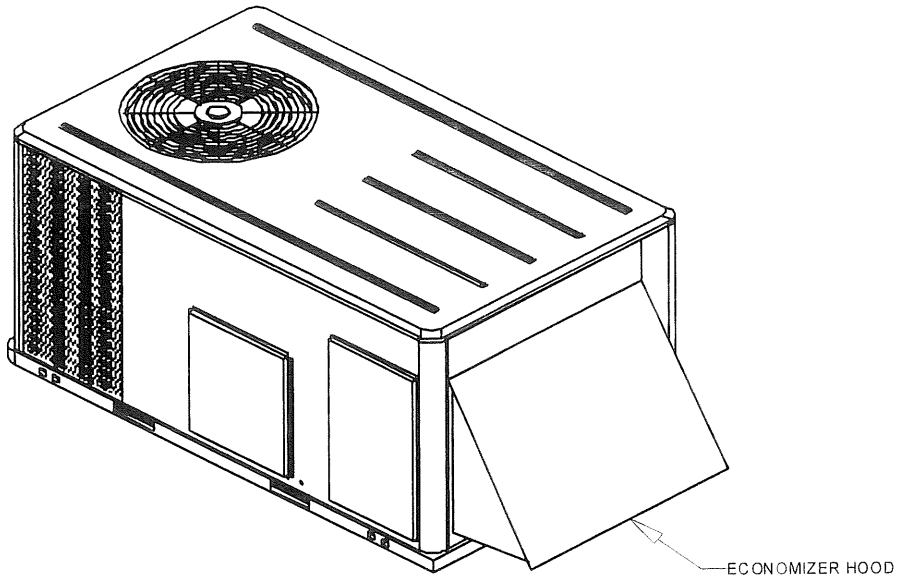
DOWNFLOW-PACKAGED COOLING CLEARANCE



Downflow Duct Connections - Field Fabricated
All Flanges - 1 1/4"

ACCESSORY - DUCT CONNECTIONS





ACCESSORY - ECONOMIZER HOOD



General

Units shall be convertible airflow. Operating range shall be between 115 deg F [46.1 deg C] and 0 deg F [-17.8 deg C] cooling as standard from the factory for units with microprocessor controls. Operating range for units with electromechanical controls shall be between 115 deg F [46.1 deg C] and 40 deg F [4.4 deg C]. Cooling performance shall be rated in accordance with DOE and/or ARI testing procedures. All units shall be factory assembled, internally wired, fully charged with R-22, and 100% run-tested before leaving the factory. Wiring internal to the unit shall be colored and numbered for simplified identification. Units shall be UL listed and labeled, classified in accordance to ANSIZ21.47 for gas fired central furnaces and UL 1995/CAN/CSA No. 236-M90 for central cooling air conditioners. Canadian units shall be CSA certified.

Compressors

Units shall have direct-drive, hermetic, scroll type compressors with centrifugal type oil pumps. Motor shall be suction gas-cooled and shall have a voltage utilization range of plus or minus 10% of unit nameplate voltage. Low-pressure switches shall be standard on all rooftop units. Internal overloads shall be provided with the scroll compressors. Crankcase heaters shall be standard on the 036 and the 090.

Refrigerant Circuits

Each refrigerant circuit offers a choice of independent fixed orifice expansion device or thermal expansion valve. Service pressure ports, and refrigerant line filter driers shall be factory-installed as standard. An area shall be provided for replacement suction line driers.

Evaporator and Condenser Coils

Internally finned, 5/16" [7.9mm] copper tubes, mechanically bonded to a configured aluminum plate fin shall be standard. Coils shall be leak tested at the factory to ensure pressure integrity. The evaporator coil and condenser coil shall be leak tested to 200 psig [1379 kPa] and pressure tested to 450 psig [3192.8 kPa]. The condensate coil shall have a patent pending 1+1+1 hybrid design with slight gaps for ease of cleaning. A removeable, reversible, double-sloped condensate drain pan is standard. Provision for through the base condensate drain is standard.

Gas Heating Section

The heating section shall have a progressive tubular heat exchanger design using stainless steel burners and corrosion resistant steel throughout. An induced draft combustion blower shall be used to pull the combustion products through the firing tubes. The heater shall use a direct spark ignition (DSI) system. On initial call for heat, the combustion blower shall purge the heat exchanger for 20 seconds [20000 ms] before ignition. After three unsuccessful ignition attempts, the entire heating system shall be locked out until manually reset at the thermostat/zone sensor. Units shall be suitable for use with natural gas or propane (field-installed kit) and also comply with the California requirement for low NO_x emissions.

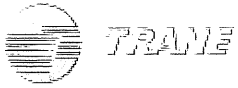
Outdoor Fans

The outdoor fans shall be direct-drive, statically and dynamically balanced, draw-through in the vertical discharge position. The fan motor shall be permanently lubricated and shall have built-in thermal overload protection.

Controls

Unit shall be completely factory wired with necessary controls and contactor pressure lugs or terminal and contactor pressure lugs or terminal block for power wiring. Units shall provide an external location for mounting a fused disconnect device. A choice of microprocessor controls or electromechanical controls shall be available. Microprocessor controls provide for all 24 volt control functions. With the microprocessor controls, the resident control algorithms shall make all heating, cooling, and/or ventilating decisions in response to electronic signals from sensors measuring indoor and outdoor temperatures. The control algorithm maintains accurate temperature control, minimizes drift from set point, and provides better building comfort. A centralized microprocessor shall provide anti-short cycle timing and time delay between compressors to provide a higher level of machine protection. 24-volt electromechanical control circuit shall include control transformer, contactors pressure lugs or terminal block for power wiring. Unit shall have single point power entry as standard.

Indoor Fan



Units offer a choice of direct-drive, FC centrifugal fans or belt driven, FC centrifugal fans with adjustable motor sheaves. Units with belt drive motors shall have an adjustment idler-arm assembly for quick-adjustment to fan belts and motor sheaves. All motors shall be thermally protected. Direct drive oversized motors shall be available for high static operations. All indoor fan motors meet the U.S. Energy Policy Act of 1992 (EPACT).

Casing

Unit casing shall be constructed of zinc coated, heavy gauge, galvanized steel. Exterior surfaces shall be cleaned, phosphatized, and finished with a weather-resistant baked enamel finish. Unit's surface shall be tested 1000 hours in a salt spray test in compliance with ASTM B117. Cabinet construction shall allow for all maintenance on one side of the unit. Service panels shall have lifting handles and be removed and reinstalled by removing only a single fastener while providing a water and air tight seal. All exposed vertical panels and top covers in the indoor air section shall be insulated with a cleanable foil faced, fire-retardent permanent, odorless glass fiber material.

The base of the unit shall be insulated with 1/2 inch [12.7mm], 1 pound [.45 kg] density foil-faced, closed-cell material. All insulation edges shall be either captured or sealed. The unit's base pan shall have no penetrations within the perimeter of the curb other than the raised 1 1/8 inch [28.6mm] high downflow supply-return openings to provide an added water integrity precaution, if the condensate drain backs up. The base of the unit shall have provisions for forklift and crane lifting, with forklift capabilities on three side of the unit.

Unit Top

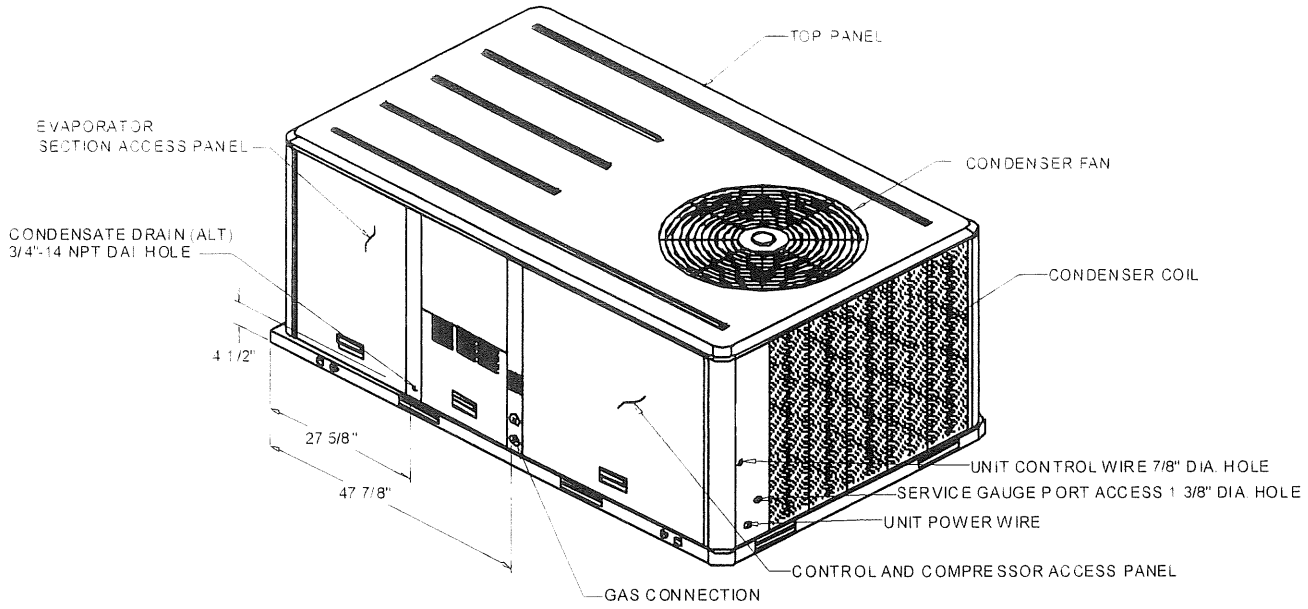
The top cover shall be one piece construction or, where seams exist, it shall be double-hemmed and gasket-sealed. The ribbed top adds extra strength and prevents water from pooling on unit top.

Economizer

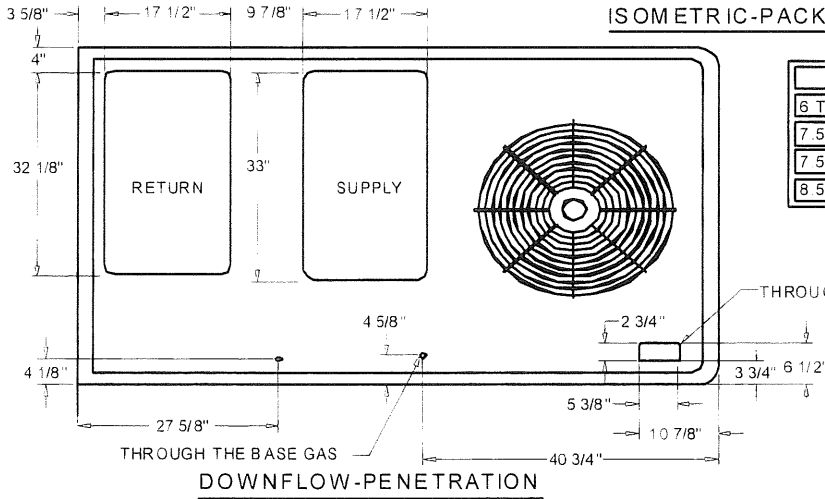
This accessory shall be factory installed and is available with or without barometric relief. The assembly includes fully modulating 0-100% motor and dampers, minimum position setting, preset linkage, wiring harness with plug, and fixed dry bulb control. Optional solid state enthalpy control shall be either factory or field installed. The factory-installed economizer arrives in the shipping position and shall be moved to the operating position by the installing contractor.

Roof curb

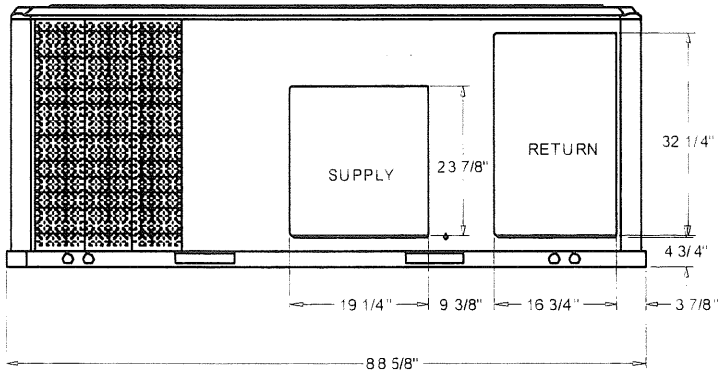
The roof curb shall be designed to mate with the unit's downflow supply and return openings and provide support and a watertight installation when installed properly. The roof curb design shall allow field-fabricated rectangular supply/return ductwork to be connected directly to the curb. Curb design shall comply with NRCA requirements. Curb shall be shipped knocked down for field assembly and shall include wood nailer strips.



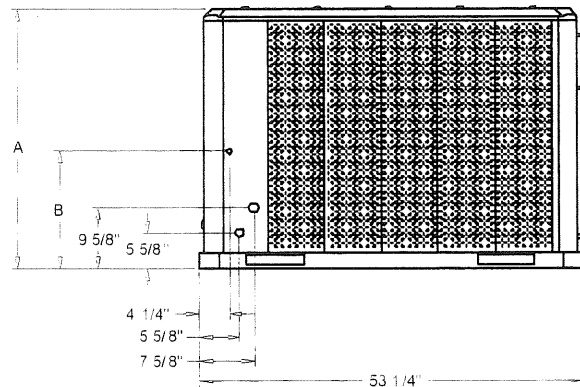
ISOMETRIC-PACKAGED COOLING



UNIT HEIGHT	A	B
6 TONS STANDARD HIGH EFFICIENCY	40 7/8"	18 1/2"
7.5 TONS STANDARD EFFICIENCY	40 7/8"	18 1/2"
7.5 TONS HIGH EFFICIENCY	46 7/8"	24 1/2"
8.5 AND 10 TONS STANDARD AND HIGH EFFICIENCY	46 7/8"	24 1/2"

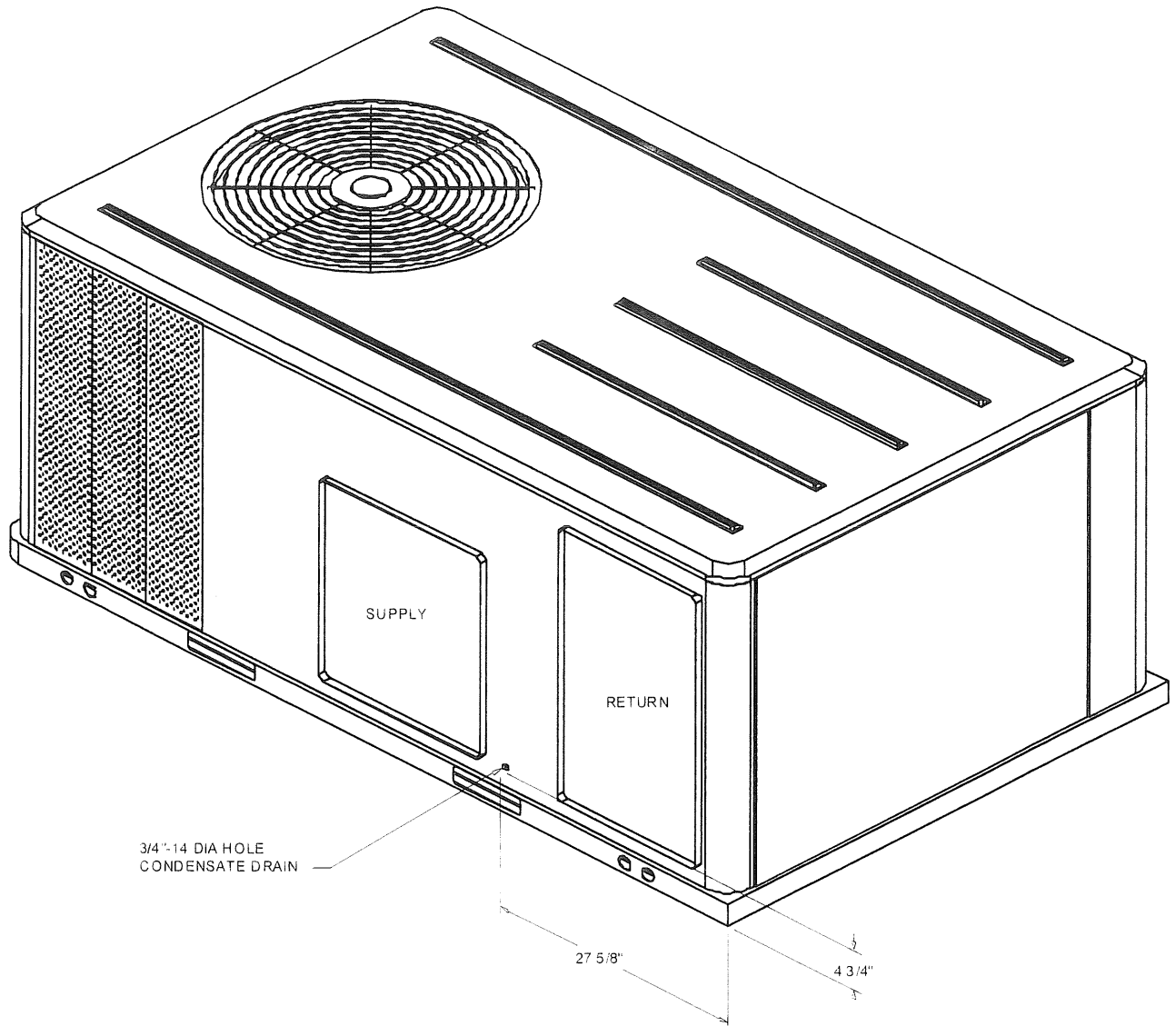


HORIZONTAL-PENETRATION

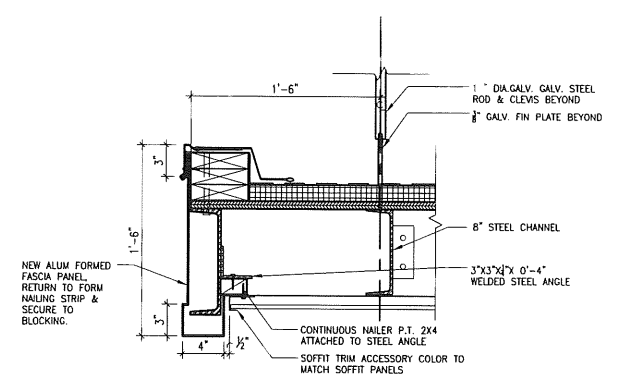


RIGHT-PACKAGED COOLING

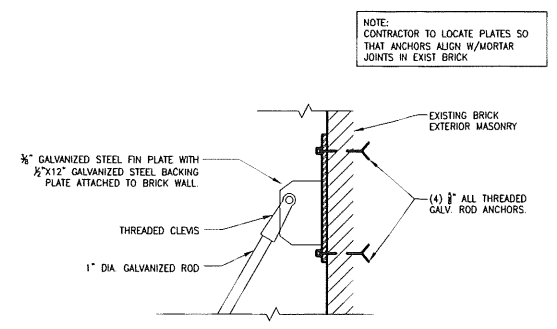




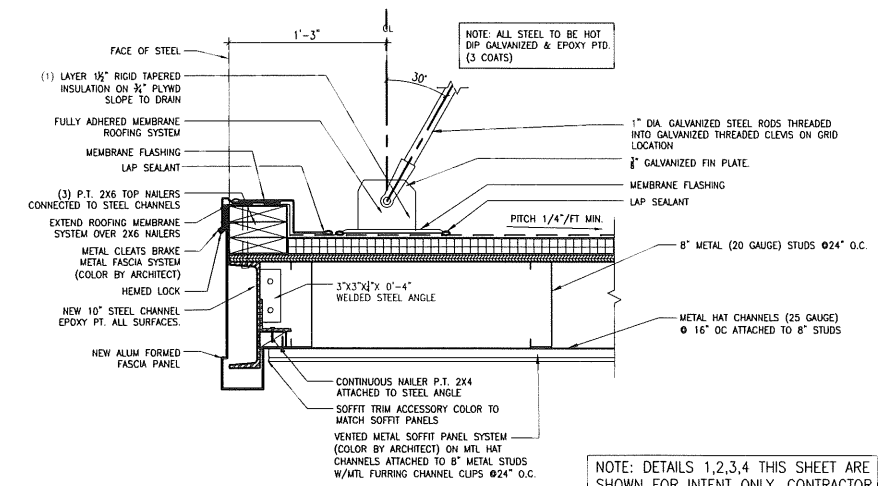
ISOMETRIC-PACKAGED COOLING



3 CANOPY @ NORTH/SOUTH EDGE
1 1/2"=1'-0" WEST EDGE SIMILAR

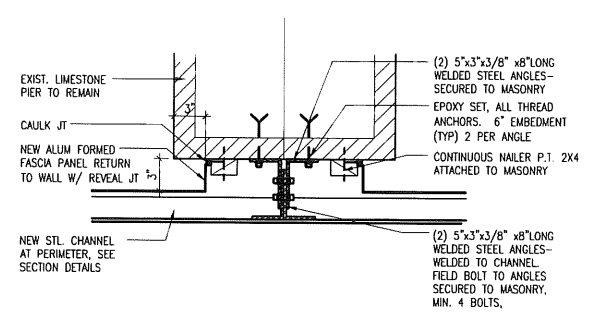


2 CANOPY @ BLDG
1 1/2"=1'-0"

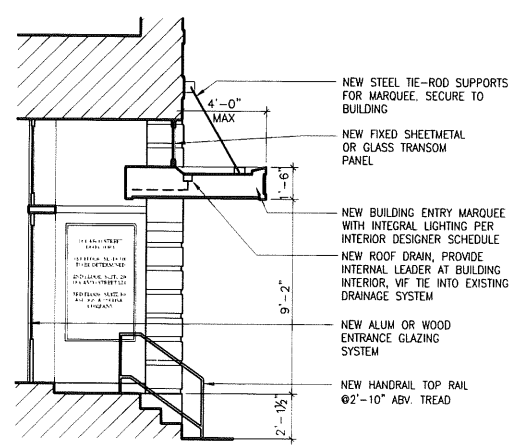


1 CANOPY @ EAST EDGE
1 1/2"=1'-0"

NOTE: DETAILS 1,2,3,4 THIS SHEET ARE SHOWN FOR INTENT ONLY. CONTRACTOR SHALL SUPPLY ENGINEERED SHOP DRAWINGS FOR REVIEW PRIOR TO CONSTRUCTION OF THIS MARQUEE



4 PLAN DETAIL CONNECTION TO PIER
1 1/2"=1'-0"



B ENTRY ELEVATION (NORTH)
1/4"=1'-0"



A CASCO STREET ELEVATION (EAST)
1/4"=1'-0"

R:\2007 Drawings\16 Casco Street\Working_Drawing\Sheet_A2.1_ExtElev.dwg, A2.1 - ExtElev.dwg, A2.1 - 3/7/2008 9:48:55 AM, Adobe PDF

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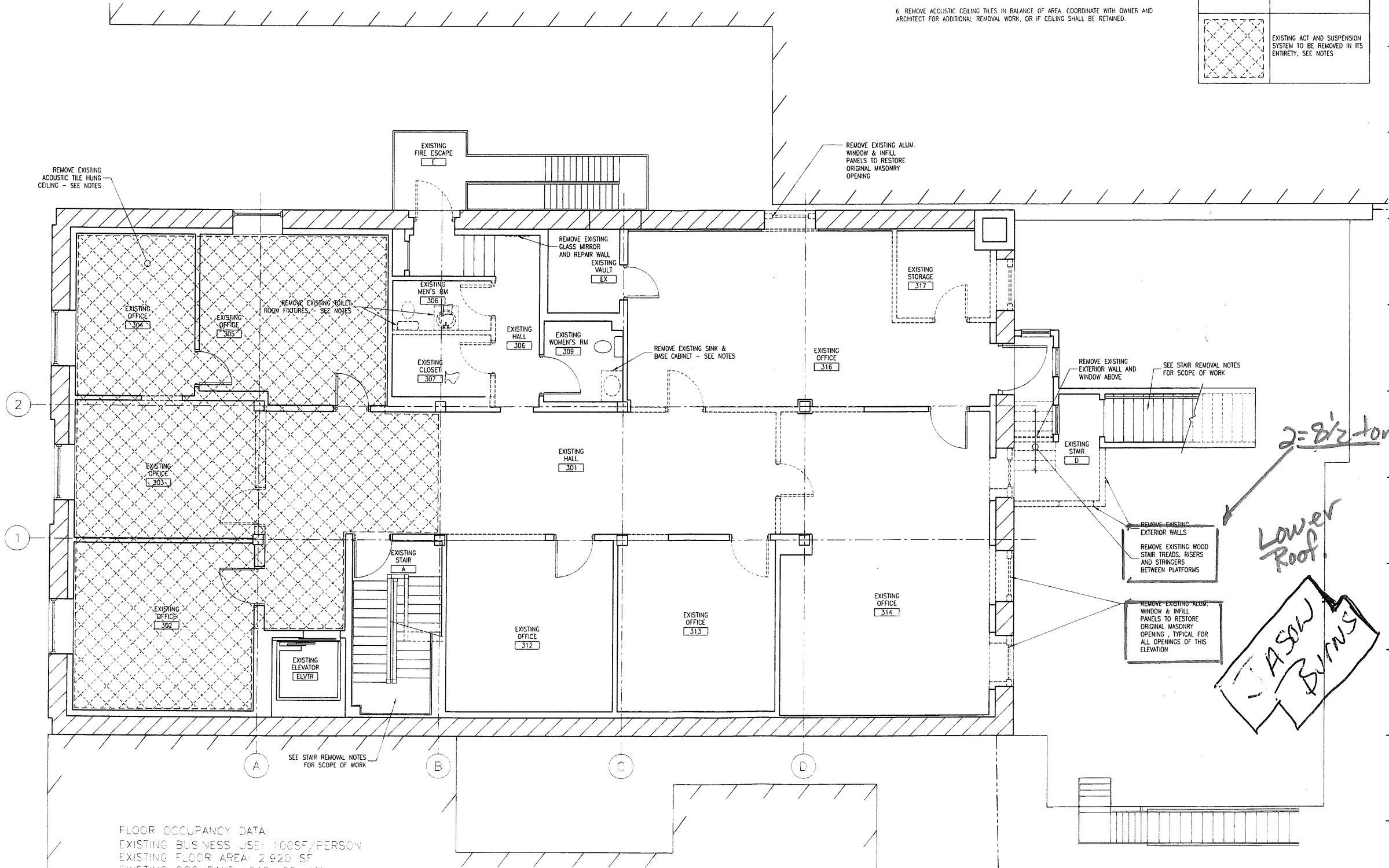
- A. TOILET ROOM REMOVAL NOTES:**
- EXISTING FIXTURES AND FITTINGS SHALL BE REMOVED.
 - PLUMBING PIPING SCHEDULED TO REMAIN SHALL BE TEMPORARILY CAPPED PER CODE FOR INSTALLATION OF NEW FIXTURES.
 - EXISTING FINISHES SHALL BE REMOVED. PATCH & PREPARE WALLS AND FLOORS TO RECEIVE NEW FINISHES, PER FINISH SCHEDULE.
 - EXISTING TOILET ACCESSORIES SHALL BE REMOVED.
 - REMOVE EXISTING LIGHT FIXTURES.
 - REMOVE EXISTING HUNG CEILING.

- B. WINDOW REMOVAL NOTES:**
- REMOVE EXISTING ALUMINUM WINDOWS WHERE INDICATED. INCLUDE FRAMES & ATTACHMENTS, INTERIOR GWB FURRING, SILLS, ETC. PREPARE OPENINGS FOR NEW WINDOW INSTALLATION.

- C. STAIR REMOVAL NOTES:**
- EXISTING WOOD STAIRS, WOOD HANDRAILS, NEWEL POSTS, AND STRINGER MOLDINGS, ETC. SHALL REMAIN. PROVIDE PROTECTION THROUGHOUT CONSTRUCTION OPERATIONS.
 - REMOVE EXISTING STAIR COVERINGS AT TREADS AND PLATFORMS. TYPICAL INSTALL NEW FLOOR COVERINGS PER FINISH SCHEDULE.
 - REMOVE RECENT TREAD REPAIRS (COVERINGS) AND REPLACE FULL TREAD FOR CODE COMPLIANCE. REPLACE TREAD TO ORIGINAL DIMENSIONS FOR RISER HEIGHT CONTINUITY.
 - REMOVE AND REPLACE EXISTING EMERGENCY LIGHTING AND PROVIDE ADDITIONAL EMERGENCY LIGHTING FOR CODE COMPLIANCE.

- GENERAL REMOVALS THROUGHOUT AREA OF WORK:**
- ALL INTERIOR & EXTERIOR COMPONENTS OF THE STRUCTURE (INCLUDING TIMBER COLUMNS, TIMBER BEAMS AND GIRDERS) ARE CONSIDERED TO BE HISTORIC FABRIC. THEREFORE, EXTREME CARE SHALL BE TAKEN BY THE CONTRACTOR THROUGH ALL PHASES OF PREPARATION AND CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO ALL AREAS AFFECTED BY THE WORK. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO ANY BUILDING COMPONENTS WHICH OCCUR AS A RESULT OF ALL PHASES OF WORK DELINEATED IN THE DRAWINGS.
 - ALL REMOVALS OF ASBESTOS CONTAINING MATERIALS SHALL BE ABATED AND DISPOSED OF AS REQUIRED BY GOVERNING AGENCIES. SEE ASBESTOS SURVEY REPORT SUPPLIED BY THE OWNER FOR LOCATIONS.
 - REMOVE EXISTING FLOOR FINISHES AND WALL BASES TO SUBSTRATE. SCRAPE, CLEAN AND PREPARE SUBSTRATE AS REQUIRED. INCLUDE FLASH PATCHING OF SUBFLOOR FOR SURFACE LEVELING.
 - REMOVE ALL ACCESSORIES/ ATTACHMENTS FROM WALLS TO REMAIN. REMOVE BULLETIN BOARDS, SIGNAGE, ETC.
 - REMOVE EXISTING CEILING WHERE SHOWN WITH CROSS-HATCH. REMOVE:
 - A. ACOUSTIC CEILING TILES SUSPENSION SYSTEM, AND ALL HANGERS.
 - B. LIGHTING FIXTURES.
 - C. HVAC DUCTS, DIFFUSERS, REGISTERS (COORD. W/ MEP)
 - D. MISCELLANEOUS ASSOCIATED DEVICES.
 - REMOVE ACOUSTIC CEILING TILES IN BALANCE OF AREA. COORDINATE WITH OWNER AND ARCHITECT FOR ADDITIONAL REMOVAL WORK, OR IF CEILING SHALL BE RETAINED.

SYMBOL	DESCRIPTION
	EXISTING CONSTRUCTION/ PARTITION TO REMAIN
	EXISTING CONSTRUCTION/ PARTITION TO BE REMOVED
	EXISTING DOOR, FRAME AND HARDWARE TO REMAIN
	EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED
	EXISTING ACCT AND SUSPENSION SYSTEM TO BE REMOVED IN ITS ENTIRETY. SEE NOTES



FLOOR OCCUPANCY DATA:
EXISTING BUSINESS USE: 100SF/PERSON
EXISTING FLOOR AREA: 2,920 SF
EXISTING OCCUPANT LOAD: 29 MAX

THIRD FLOOR DEMOLITION PLAN
1/4" = 1'-0"

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ARCHITECTURE
PRESENTATION
DESIGN
500 CONGRESS STREET
PORTLAND, MAINE 04101
TEL 207 722-2722
FAX 207 722-3667

16 CASCO STREET
PORTLAND, MAINE

Title: SECOND FLOOR PLAN

12/17/07: City of Portland
Selective Demo Permit
Application
1/14/08: SFM Review
3/6/08: Revised per SFM
Comments

Project No: 200706
Date: MARCH 6, 2008
Revisions:

PERMITTING AND
ISSUED FOR: CONSTRUCTION

Drawing No: **A1.3**
DRAWING 10 of 14

SYMBOL	DESCRIPTION
	EXISTING MASONRY EXTERIOR WALL TO REMAIN
	EXISTING INTERIOR PARTITION
	NEW INTERIOR PARTITION, SEE NOTE
	NEW FIRE RATED PARTITION SMOKE & FIRE STOP ALL PENETRATIONS, SEE NOTES, DETAILS
	EXISTING FIRE RATED PARTITION (ASSUMED) G.C. SHALL CONTROL AND SMOKE & FIRE STOP ALL PENETRATIONS, SEE NOTES FOR RECO'D F.R.
	NEW FIRE EXTINGUISHER CABINET
	NEW EMERGENCY LIGHT WITH 90 MINUTE BATTERY POWER
	NEW ILLUMINATED EXIT SIGN W/EMERGENCY LIGHTING (90 MIN. BATT. POWER) AND DIRECTIONS AS SHOWN
	NEW/EXISTING FIRE PROOF SELF-CLOSING DOOR WITH ## MINUTE FIRE RATING.

PROJECT NOTES:

1. INSTALL NEW EMERGENCY LIGHTING WITH 90-MINUTE BATTERY BACK-UP POWER WHERE SHOWN ON PLANS.

2. MASONRY OPENINGS IN EXISTING MASONRY SHALL BE REPAIRS TO MATCH EXISTING MASONRY.

3. NEW INTERIOR PARTITIONS:

1. EXISTING WOOD HANDRAILS SHALL REMAIN, RESET WHERE REQUIRED FOR TOP OF RAIL TO BE 3'-2" MAX ABOVE TREAD HEIGHT PROVIDE NEW MOUNTING BRACKETS TO REPLACE MISSING OR DAMAGED BRACKETS.

2. PROVIDE NEW WOOD TREADS AND RISERS.

3. REPAIR OR REPLACE EXISTING METAL HANDRAILS EACH SIDE TOP OF HANDRAIL SHALL BE 2'-8" MIN. - 3'-2" MAX ABOVE TREAD HEIGHT.

EXISTING STAIR B-1:

1. SET DETAILS FOR ALTERATION OF EXISTING UPPER STAIR RUN AND EXTERIOR ENCLOSURE.

2. TOILET ROOM NOTES:

SEE DWG G1.2 FOR MOUNTING HEIGHTS OF FIXTURES & ACCESSORIES.

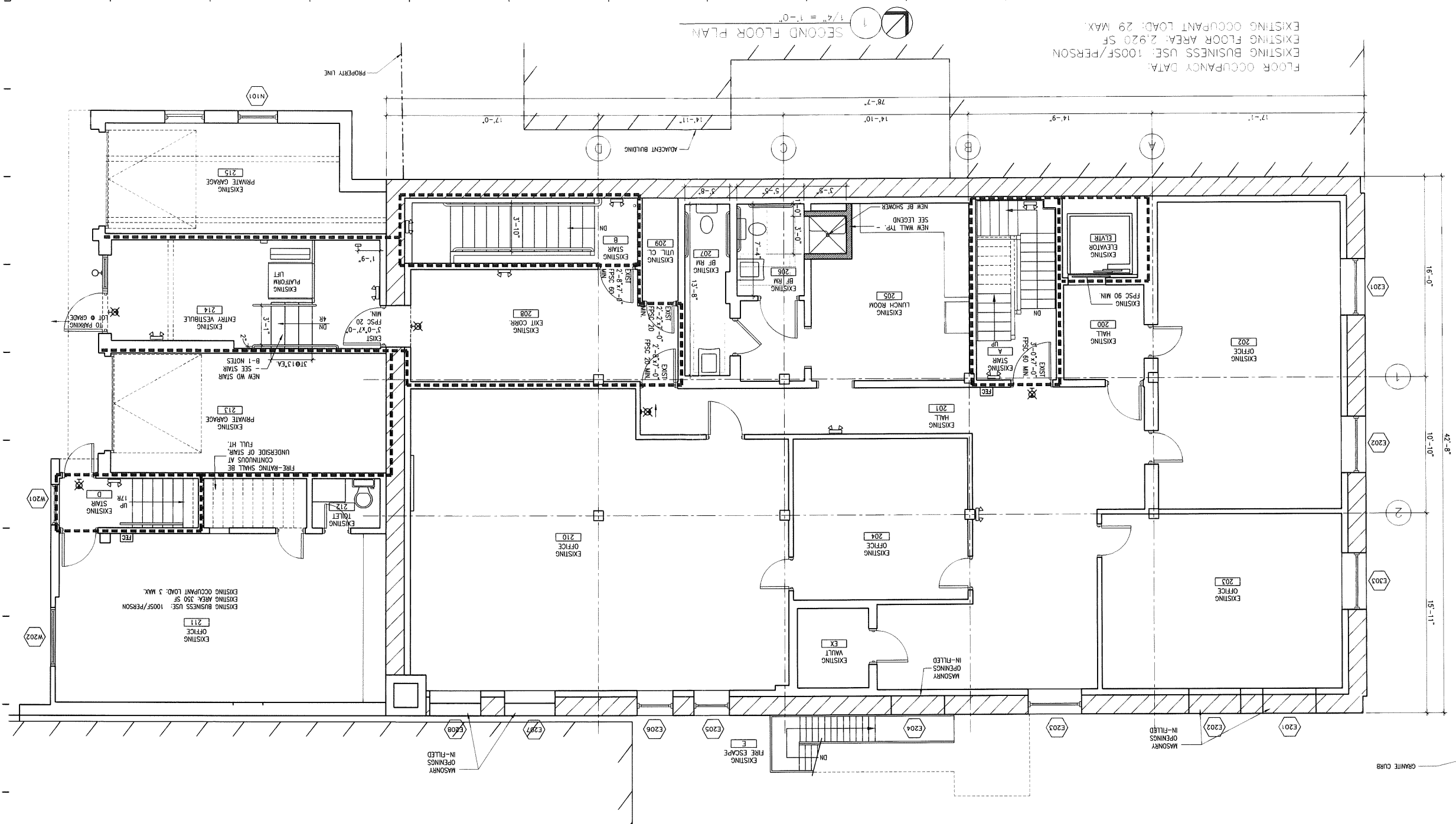
EXISTING BR TOILET ROOM 208:

1. PROVIDE SHOWER (HAND SHOWER WITH PRESSURE BALANCED WITH SCALED CONTROLS) AND FITTINGS & NEW SUPPLY & DRAINAGE ROUGH-IN.

2. PROVIDE NEW ACCESSORIES AS FOLLOWS:

4. PROVIDE NEW WATERRESISTANT (WATERPROOF) FLOOR & WALL FINISHES AND NEW SANITARY COVE WALL BASE. SEE INTERIOR DESIGN SCHEDULED MATERIALS FOR DETAILS.

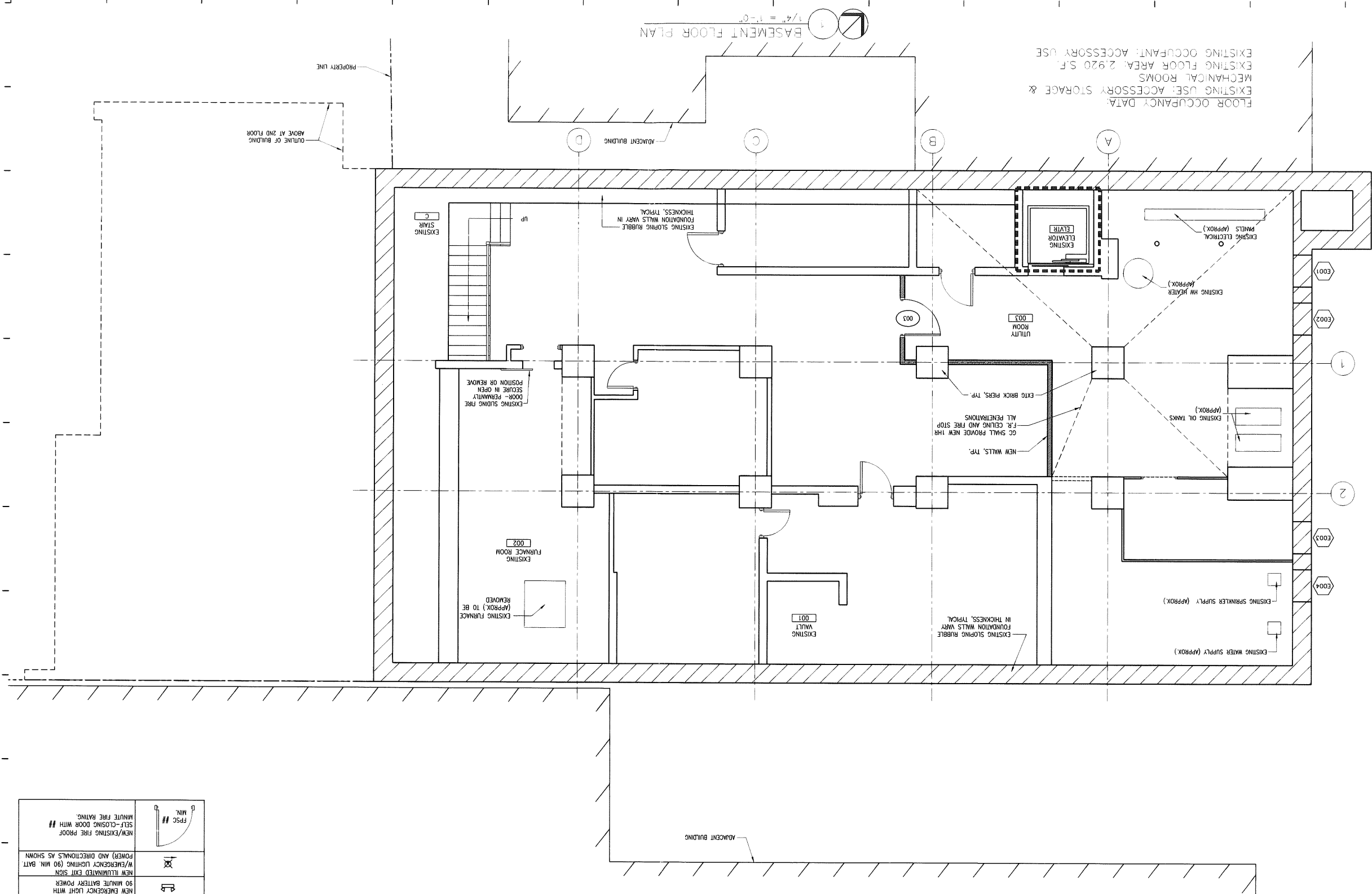
5. PROVIDE NEW WATERRESISTANT (WATERPROOF) FLOOR & WALL FINISHES AND NEW SANITARY COVE WALL BASE. SEE INTERIOR DESIGN SCHEDULED MATERIALS FOR DETAILS.



CASCO STREET

GRANITE CURB

ADJACENT BUILDING



DOOR #	SIZE	MATERIAL	FIRE RATING	HARDWARE
003	3'-0" x 7'-0"	HM (FD)	HM (FD)	HM (FD)
		DOOR FRAME (MINUTES)	LOCKSET	CLOSER
			HINGES	WEATHERSTRIPPING
				THRESHOLD

SYMBOL	DESCRIPTION
	EXISTING MASONRY EXTERIOR WALL TO REMAIN
	EXISTING INTERIOR PARTITION
	NEW INTERIOR PARTITION, SEE NOTE
	NEW FIRE RATED PARTITION SMOKE & FIRE STOP ALL PENETRATIONS, SEE NOTES, DETAILS
	EXISTING FIRE RATED PARTITION (ASSUMED) G.C. SHALL CONFORM AND SMOKE & FIRE STOP ALL PENETRATIONS, SEE NOTES FOR RECD. F.R.
	NEW FIRE EXTINGUISHER CABINET
	NEW EMERGENCY LIGHT WITH 90 MINUTE BATTERY POWER
	NEW ILLUMINATED EXIT SIGN
	NEW EMERGENCY LIGHTING (90 MIN. BATT POWER) AND DIRECTIONALS AS SHOWN
	NEW/EXISTING FIRE PROOF SELF-CLOSING DOOR WITH 1/2 HR. FIRE RATING.

BARBA+WHELOCK
ARCHITECTURE
PRESERVATION
DESIGN
500 CONGRESS STREET
PORTLAND, MAINE 04101
FAX 207 772-3667
TEL 207 772-2722

12/17/07: City of Portland,
Selective Demo Permit
Application
1/14/08: SFM Review
3/6/08: Revised per SFM
Comments

Title: **BASEMENT FLOOR PLAN**

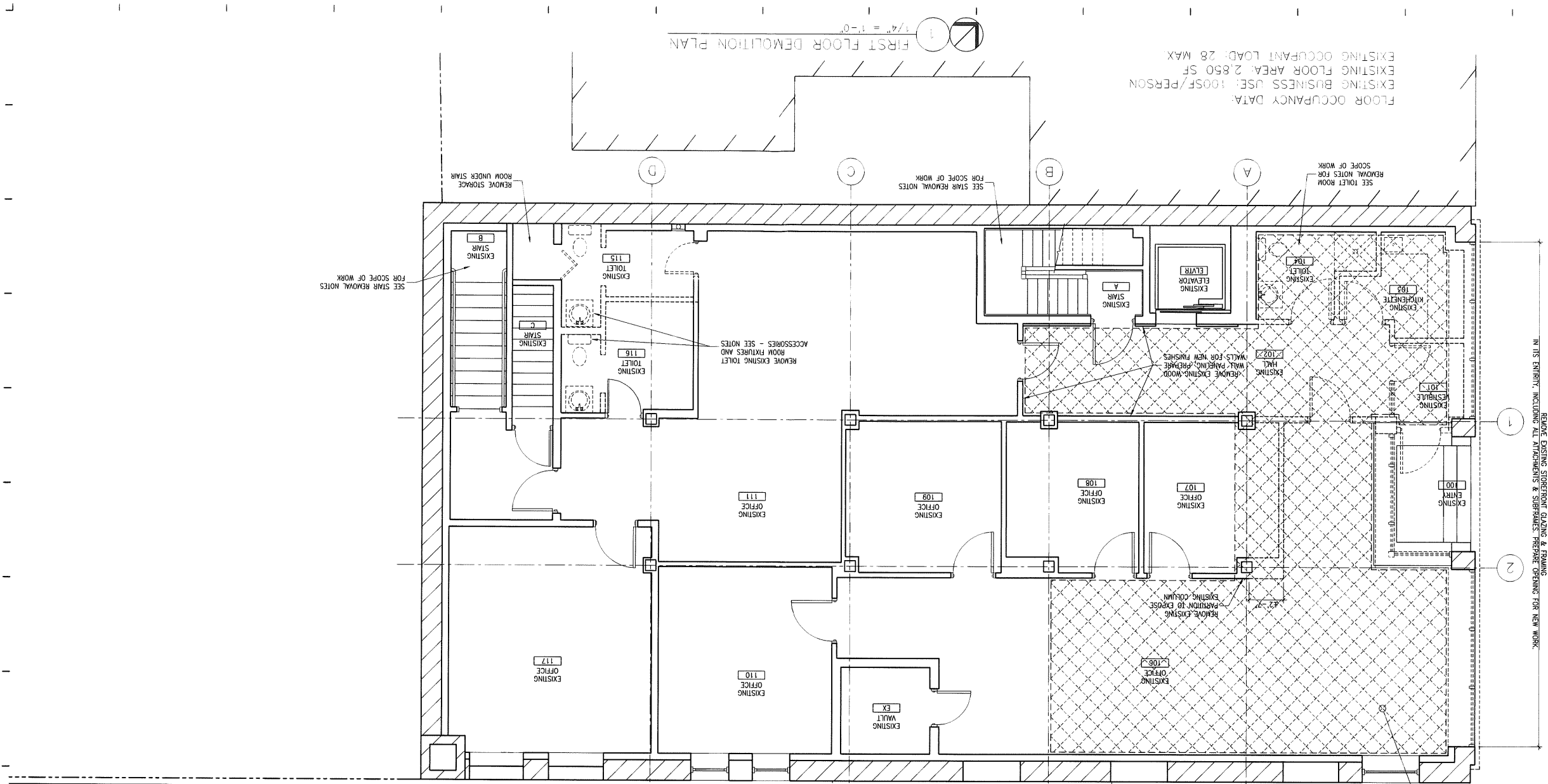
Project No: 200706
Date: MARCH 6, 2008
Revisions:

Issued For: **PERMITTING AND CONSTRUCTION**

Drawing No: **A1.1**

DRAWING 8 of 14

**16 CASCO STREET
PORTLAND, MAINE**



GENERAL REMOVALS THROUGHOUT AREA OF WORK:

1. ALL INTERIOR & EXTERIOR COMPONENTS OF THE STRUCTURE (INCLUDING TIMBER COLUMNS, TRUSS BEAMS AND GIRDERS) ARE CONSIDERED TO BE HISTORIC FABRIC. PHASES OF DEMOLITION AND CONSTRUCTION SHALL BE TAKEN BY THE CONTRACTOR THROUGH ALL ADVISORY PROTECTION TO ALL AREAS AFFECTED BY THE WORK. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO ANY BUILDING COMPONENTS WHICH OCCUR AS A RESULT OF ALL PHASES OF WORK DELINEATED IN THE DRAWINGS.
2. ALL REMOVALS OF ASBESTOS CONTAINING MATERIALS SHALL BE AVOIDED AND DISPOSED OF AS REQUIRED BY GOVERNING AGENCIES. SEE ASBESTOS SURVEY REPORT SUPPLIED BY THE OWNER FOR LOCATIONS.
3. REMOVE EXISTING FLOOR FINISHES AND WALL BASES TO SUBSTRATE. SCRAPE, CLEAN AND PREPARE SUBSTRATE AS REQUIRED. INCLUDE FLUSH PATCHING OF SUBFLOOR FOR SURFACE LEVELING.
4. REMOVE EXISTING WOOD STAIRS, WOOD HANDRAILS, METAL POSTS, AND STRINGER MOUNTINGS, ETC. SHALL REMAIN. PROVIDE PROTECTION THROUGHOUT CONSTRUCTION OPERATIONS.
5. REMOVE EXISTING STAIR COVERS AT TREADS AND PLATFORMS. TYPICAL INSTALL NEW FLOOR COVERINGS PER FINISH SCHEDULE.
6. REMOVE EXISTING STAIR COVERS AT TREADS AND PLATFORMS. TYPICAL INSTALL BULLETIN BOARDS, SIGNAGE, ETC.
7. REMOVE EXISTING CEILING WHERE SHOWN WITH CROSS-HATCH. REMOVE LIGHTING FIXTURES.
8. REMOVE EXISTING CEILING TILES SUSPENSION SYSTEM AND ALL HANGERS.
9. REMOVE ACoustic CEILING TILES SUSPENSION SYSTEM (COORD. W/ MEP).
10. REMOVE ACoustic CEILING TILES IN BALANCE OF AREA COORDINATE WITH OWNER AND ARCHITECT FOR ADDITIONAL REMOVAL WORK, OR IF CEILING SHALL BE RETAINED.

STAIR REMOVAL NOTES:

1. EXISTING WOOD STAIRS, METAL POSTS, AND STRINGER MOUNTINGS, ETC. SHALL REMAIN. PROVIDE PROTECTION THROUGHOUT CONSTRUCTION OPERATIONS.
2. REMOVE EXISTING STAIR COVERS AT TREADS AND PLATFORMS. TYPICAL INSTALL BULLETIN BOARDS, SIGNAGE, ETC.
3. REMOVE EXISTING CEILING WHERE SHOWN WITH CROSS-HATCH. REMOVE LIGHTING FIXTURES.
4. REMOVE EXISTING CEILING TILES SUSPENSION SYSTEM AND ALL HANGERS.
5. REMOVE ACoustic CEILING TILES SUSPENSION SYSTEM (COORD. W/ MEP).
6. REMOVE ACoustic CEILING TILES IN BALANCE OF AREA COORDINATE WITH OWNER AND ARCHITECT FOR ADDITIONAL REMOVAL WORK, OR IF CEILING SHALL BE RETAINED.

WINDOW REMOVAL NOTES:

1. REMOVE EXISTING ALUMINUM WINDOWS WHERE INDICATED. INCLUDE FRAMES & ATTACHMENTS, INTERIOR GNB FURNISH, SILLS, ETC. PREPARE OPENINGS FOR NEW WINDOW INSTALLATION.
2. REMOVE EXISTING HUNG CEILING.
3. REMOVE EXISTING LIGHT FIXTURES.
4. EXISTING TOILET ACCESSORIES SHALL BE REMOVED.
5. EXISTING NEW FINISHES, PER FINISH SCHEDULE.
6. EXISTING FINISHES SHALL BE REMOVED. PATCH & PREPARE WALLS AND FLOORS TO RECEIVE NEW FINISHES.
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10. EXISTING FINISHES SHALL BE REMOVED. PATCH & PREPARE WALLS AND FLOORS TO RECEIVE NEW FINISHES.

TOILET ROOM REMOVAL NOTES:

1. EXISTING FIXTURES AND FITTINGS SHALL BE REMOVED.
2. PLUMBING PIPING SCHEDULED TO REMAIN SHALL BE TEMPORARILY CAPPED PER CODE FOR INSTALLATION OF NEW FIXTURES.
3. EXISTING FINISHES SHALL BE REMOVED. PATCH & PREPARE WALLS AND FLOORS TO RECEIVE NEW FINISHES.
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10. EXISTING FINISHES SHALL BE REMOVED. PATCH & PREPARE WALLS AND FLOORS TO RECEIVE NEW FINISHES.

REMOVE EXISTING STAIRWELL DOORS & FRAMES IN ITS ENTIRETY, INCLUDING ALL ATTACHMENTS & SUBFIXTURES; PREPARE OPENINGS FOR NEW WORK.

REMOVE EXISTING ACoustic TILE HUNG CEILING - SEE NOTES.

REMOVE EXISTING WOOD STAIRS, METAL POSTS, AND STRINGER MOUNTINGS, ETC. SHALL REMAIN. PROVIDE PROTECTION THROUGHOUT CONSTRUCTION OPERATIONS.

REMOVE EXISTING STAIR COVERS AT TREADS AND PLATFORMS. TYPICAL INSTALL BULLETIN BOARDS, SIGNAGE, ETC.

REMOVE EXISTING CEILING WHERE SHOWN WITH CROSS-HATCH. REMOVE LIGHTING FIXTURES.

REMOVE EXISTING CEILING TILES SUSPENSION SYSTEM AND ALL HANGERS.

REMOVE ACoustic CEILING TILES SUSPENSION SYSTEM (COORD. W/ MEP).

REMOVE ACoustic CEILING TILES IN BALANCE OF AREA COORDINATE WITH OWNER AND ARCHITECT FOR ADDITIONAL REMOVAL WORK, OR IF CEILING SHALL BE RETAINED.

REMOVE EXISTING WOOD STAIRS, METAL POSTS, AND STRINGER MOUNTINGS, ETC. SHALL REMAIN. PROVIDE PROTECTION THROUGHOUT CONSTRUCTION OPERATIONS.

REMOVE EXISTING STAIR COVERS AT TREADS AND PLATFORMS. TYPICAL INSTALL BULLETIN BOARDS, SIGNAGE, ETC.

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REMOVE ACoustic CEILING TILES SUSPENSION SYSTEM (COORD. W/ MEP).

REMOVE ACoustic CEILING TILES IN BALANCE OF AREA COORDINATE WITH OWNER AND ARCHITECT FOR ADDITIONAL REMOVAL WORK, OR IF CEILING SHALL BE RETAINED.

SYMBOL	DESCRIPTION
	EXISTING ACT AND SUSPENSION SYSTEM TO BE REMOVED IN ITS ENTIRETY, SEE NOTES
	EXISTING CONSTRUCTION/ PARTITION TO BE REMOVED
	EXISTING CONSTRUCTION/ PARTITION TO REMAIN
	EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED
	EXISTING DOOR, FRAME AND HARDWARE TO REMAIN

**16 CASCO STREET
PORTLAND, MAINE**

ARCHITECTURE
PRESERVATION
DESIGN
BARBA+WHELOCK

500 CONGRESS STREET
PORTLAND, MAINE 04101
FAX 207.772.3667
TEL 207.772.2722

12/17/07: City of Portland, Selective Demo Permit Application
1/14/08: SFM Review
3/6/08: Revised per SFM Comments

Title: FIRST FLOOR DEMOLITION PLAN

Project No: 200706
Date: MARCH 6, 2008
Revisions:

Issued For: CONSTRUCTION PERMITTING AND

Drawing No: AD1.2

DRAWING 4 of 14