

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

PERMIT SECTION

PERMIT

Permit Number: 071619
PERMIT ISSUED
 JAN 29 2008
 CITY OF PORTLAND

This is to certify that SURVEY PROPERTIES INC & LUKE BARD/CMC LLC

has permission to Phase I Selective interior Demolition for fire escape, Repair stairs for egress, Reconfigure floor plan

AT 16 CASCO ST 037 C010001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig

Health Dept. _____

Appeal Board _____

Other _____
 Department Name

James Burke 1/25/08
 Director Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call **874-8703** or **874-8693** (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

_____ Footing/Building Location Inspection: Prior to pouring concrete
_____ Re-Bar Schedule Inspection: Prior to pouring concrete
_____ Foundation Inspection: Prior to placing ANY backfill
_____ Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
_____ Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED~~

Margaret A. Norton
Signature of Applicant/Designee

Date 1.29.08

[Signature]
Signature of Inspections Official

Date

CBL: 37 C10

Building Permit #: 071519

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

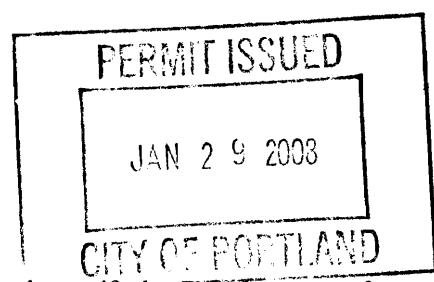
Permit No: 07-1519	Issue Date:	CBL: 037 C010001
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Location of Construction: 16 CASCO ST	Owner Name: SURVEY PROPERTIES INC & LU	Owner Address: 16 CASCO ST	Phone:
Business Name:	Contractor Name: CMCS LLC	Contractor Address: 1208 River Rd Clinton	Phone 2078416184
Lessee/Buyer's Name	Phone:	Permit Type: <i>Demolition - Interior Additions - Multi Family</i>	Zone: <i>B-3</i>

Past Use: Commercial	Proposed Use: Commercial - Phase I Selective interior Demolition for future tenant, Repair stairs for egress, Reconfigure floor plan	Permit Fee: \$280.00	Cost of Work: \$26,000.00	CEO District: 1
Proposed Project Description: Phase I Selective interior Demolition for future tenant, Repair stairs for egress, Reconfigure floor plan		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: <i>B</i> Type: <i>3B</i> <i>Demolition</i>	
		Signature: <i>Cecilia Cruz</i>	Signature: <i>AMB 1/25/08</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: ldobson	Date Applied For: 12/21/2007	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>demolish only</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>12/26/07 ABM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1519	Date Applied For: 12/21/2007	CBL: 037 C010001
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Location of Construction: 16 CASCO ST	Owner Name: SURVEY PROPERTIES INC & LU	Owner Address: 16 CASCO ST	Phone:
Business Name:	Contractor Name: CMCS LLC	Contractor Address: 1208 River Rd Clinton	Phone (207) 841-6184
Lessee/Buyer's Name	Phone:	Permit Type: Demolitions - Interior	

Proposed Use: Commercial - Phase I Selective interior Demolition for future tenant, Repair stairs for egress, Reconfigure floor plan	Proposed Project Description: Phase I Selective interior Demolition for future tenant, Repair stairs for egress, Reconfigure floor plan
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 12/26/2007

Note:**Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This permit is for demolition only. The use will be established when the separate permit is filed for the construction work for the future tenant.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 01/25/2008

Note:**Ok to Issue:**

- 1) This approves phase 1 only. If hazardous materials exist, proper documentation shall be filled with the DEP and this office for remediation.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 12/26/2007

Note:**Ok to Issue:**

- 1) Fire Alarm and sprinkler systems to be maintained OR a fire watch shall be posted.
- 2) All means of egress to be maintained during business hours.

Comments:

1/25/2008-jmb: Spoke with Ronald N. About the hazardous materials. Upon visual inspection no materials are evident. If observed, they will provide this office and DEP with remediation plan and document of survey.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 16 Casco Street		
Total Square Footage of Proposed Structure/Area 9,000 SF Existing (approx.)		Square Footage of Lot 10,725 SF Existing (approx.)
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 37 C 10	Applicant * must be owner, Lessee or Buyer * Name Jeffrey Cohen Address 16 Casco Street, LLC 16 Casco Street City, State & Zip Portland ME 04101	Telephone: (207) 773-3477
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>26,000.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>280.00</u>
Current legal use (i.e. single family) <u>Business (B)</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>Business (B)</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: Selective demolition of interior partitions and acoustic tile ceilings to be reconfigured for future tenant. Work shall include repair of existing egress stairs for code compliance, as well as partial modification of an existing egress stair for code compliance. The work of this application will aid in coordination of the future construction work that will be filed as a separate application.		
Contractor's name: <u>Ronald Norton, CMCS (Construction Manager)</u> Address: <u>1208 River Road</u> City, State & Zip <u>Clinton, ME 04927</u> Telephone: <u>207-841-6184</u> Who should we contact when the permit is ready: <u>Ronald Norton</u> Telephone: <u>207-841-6184</u> Mailing address: <u>1208 River Road, Clinton, ME 04927</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Jeffrey Cohen Mgr. Date: 12/20/07

This is not a permit; you may not commence ANY work until the permit is issue

DEC 21

ARCHITECTURE
 PRESERVATION
 DESIGN

Date: 21 December 2007

To: Jeanie Bourke
 Division Director
 Inspection Services Program
 City of Portland
 Planning & Development Department
 389 Congress Street
 Portland, Maine 04101

From: Sharon Ames 

Re: 16 Casco Street, Selective Demolition Permit Application

Enclosed:

Copies	Date	Dwg. No.	Description	Action
1	12/20/07		General Building Permit Application	
1	12/21/07		Certificate of Design Application, 5 pages	
1 24x36 1 11x17	12/17/07	G1.0, G1.1, AD1.2, AD1.3, AD1.4, AD1.5	Selective Demolition Documents (6 pages)	For Review

Comments:

P:\Commercial\16 Casco Street\04_Correspondance\00_Transmittals\tr 071219 Bourke DemoApplication.doc



Certificate of Design Application

From Designer: Barba + Wheelock, Architecture, Design + Preservation
Date: December 17, 2007
Job Name: Interior Alterations
Address of Construction: 16 Casco Street, Portland ME 04103

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year NFPA 101 2006 IBC 2003 Use Group Classification (s) Business (B)
Type of Construction Existing Construction: Heavy Timber (HT) Proposed work: Type III Ordinary
Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Yes
Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) _____
Supervisory alarm System? No Geotechnical/Soils report required? (See Section 1802.2) No

Structural Design Calculations

_____ Submitted for all structural members (106.1 – 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

_____ Design option utilized (1609.1.1, 1609.6)
_____ Basic wind speed (1809.3)
_____ Building category and wind importance Factor, w ,
table 1604.5, 1609.5)
_____ Wind exposure category (1609.4)
_____ Internal pressure coefficient (ASCE 7)
_____ Component and cladding pressures (1609.1.1, 1609.6.2.2)
_____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

_____ Design option utilized (1614.1)
_____ Seismic use group ("Category")
_____ Spectral response coefficients, S_D & S_{D1} (1615.1)
_____ Site class (1615.1.5)

_____ Live load reduction
_____ Roof live loads (1603.1.2, 1607.11)
_____ Roof snow loads (1603.7.3, 1608)
_____ Ground snow load, P_g (1608.2)
_____ If $P_g > 10$ psf, flat-roof snow load P_f
_____ If $P_g > 10$ psf, snow exposure factor, C_e
_____ If $P_g > 10$ psf, snow load importance factor, I_s
_____ Roof thermal factor, C_t (1608.4)
_____ Sloped roof snowload, P_s (1608.4)
_____ Seismic design category (1616.3)
_____ Basic seismic force resisting system (1617.6.2)
_____ Response modification coefficient, R , and
deflection amplification factor C_d (1617.6.2)
_____ Analysis procedure (1616.6, 1617.5)
_____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

_____ Flood Hazard area (1612.3)
_____ Elevation of structure

Other loads

_____ Concentrated loads (1607.4)
_____ Partition loads (1607.5)
_____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7,
1607.12, 1607.13, 1610, 1611, 2404)



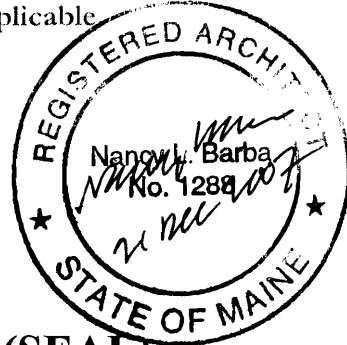
Accessibility Building Code Certificate

Designer: Barba + Wheelock, Architecture, Design + Preservation

Address of Project: 16 Casco Street, Portland ME 04103

Nature of Project: Selective demolition of interior partitions and acoustic tile ceilings

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



(SEAL)

Signature: Nancy L. Barba, Principal

Title: Principal Architect

Firm: Barba + Wheelock, Architecture, Preservation + Design

Address: 500 Congress St.

Portland, ME 04101

Phone: 207-772-2722

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

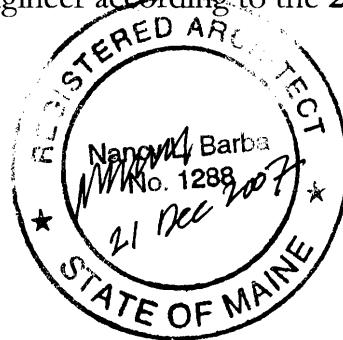
Date: December 17, 2007

From: Barba + Wheelock, Architecture, Preservation + Design

These plans and / or specifications covering construction work on:

Selective Demolition for interior alterations to 16 Casco Street, Portland, ME 04103

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.



(SEAL)

Signature: Nancy L. Barba, Principal

Title: Principal Architect

Firm: Barba + Wheelock, Architecture, Preservation + Design

Address: 500 Congress St.

Portland, ME 04101

Phone: 207-772-2722

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

GENERAL NOTES:

1. GENERAL CONDITIONS: THE GENERAL CONDITIONS OF THE AIA DOCUMENT A-201 (LATEST EDITION) ARE INCLUDED BY REFERENCE. VERBAL REPRESENTATIONS DURING BIDDING OR CONSTRUCTION SHALL NOT BE RELIED UPON AS VALID UNLESS DOCUMENTED AND SUBMITTED IN WRITING BY THE ARCHITECT.
2. SITE CONDITIONS: ALL CONTRACTORS BY COMMENCING THE WORK ACCEPT THE CONDITIONS OF THE SITE AND THE COMPLETENESS OF THE CONTRACT DOCUMENTS. ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL CONDITIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BEGINNING THE WORK. NO EXTRAS SHALL BE ALLOWED FOR DISCREPANCIES AFTER THE WORK HAS BEGUN.
3. DRAWINGS: ALL CONTRACTORS SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS. CONTRACTORS ARE RESPONSIBLE FOR COMPLETE REVIEW. ITEMS AFFECTING ALL TRADES ARE PLACED THROUGHOUT THE SET OF DRAWINGS. NO "EXTRAS" FOR MISSED ITEMS IN OTHER SECTIONS WILL BE PERMITTED. THE CONTRACTORS SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY AMBIGUITY, INCONSISTENCY OR ERROR WHICH THEY DISCOVER UPON EXAMINATION OF THE CONTRACT DOCUMENTS, THE SITE, OR LOCAL CONDITIONS. IN CASE OF A CONFLICT BETWEEN ARCHITECTURAL DRAWINGS, AND STRUCTURAL ELECTRICAL OR MECHANICAL DRAWINGS, PROMPTLY NOTIFY ARCHITECT FOR COORDINATION.
4. THE GENERAL CONTRACTOR SHALL DISTRIBUTE COMPLETE SETS OF DRAWINGS TO ALL SUBCONTRACTORS. DO NOT SEPARATE DRAWINGS BY DISCIPLINE. DO NOT SCALE DRAWINGS.
5. COMPLETENESS: ANY MATERIAL OR LABOR, NEITHER SHOWN ON THE DRAWINGS, NOR SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK OF A SIMILAR NATURE OR TO COMPLY WITH ALL APPLICABLE CODES SHALL BE FURNISHED WITHOUT ADDITIONAL COST TO THE OWNER OR THE ARCHITECT. IN THE CASE OF CONFLICTING QUANTITIES/VALUES, THE GREATER AMOUNT OR THE ONE OF GREATER VALUE SHALL PREVAIL AND BE PROVIDED BY THE CONTRACTORS AS A PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION. IN THE CASE OF CONFLICTING OR INCONSISTENT INFORMATION, THE MOST STRINGENT REQUIREMENTS SHALL PREVAIL AND BE PROVIDED BY THE CONTRACTORS AS A PART OF THEIR BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION.
6. PERMITS: EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, FEES, LABOR, EQUIPMENT, ETC. AS MAY BE REQUIRED TO COMPLETE THEIR RESPECTIVE WORK CATEGORY. CONTRACTORS SHALL FORWARD TO THE ARCHITECT A COPY OF ALL APPROVED PERMITS, DRAWINGS AND CODE COMPLIANCE ADDENDA WITH PLAN EXAMINERS COMMENTS WITHIN 48 HOURS OF RECEIPT OF THE SAME AT NO COST TO THE ARCHITECT. ANY ADDITIONAL WORK REQUIRED AS A RESULT OF THE ABOVE SHALL BE PROVIDED BY THE CONTRACTOR AS A PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION IF THE CONTRACTOR FAILS TO COMPLY WITH PROVIDING THE APPROVED PLANS OR ADDENDA TO THE ARCHITECT.
7. INSURANCE: ALL CONTRACTORS SHALL OBTAIN "ALL RISK" INSURANCE, AS STIPULATED IN THE SPECIFICATION, AND ALL CUSTOMARY STATUTORY INSURANCES, COMPREHENSIVE GENERAL LIABILITY, ETC., AS INDICATED IN THE PROJECT MANUAL. THE ARCHITECT AND THE OWNER SHALL BE NAMED AS INSURED PARTIES TO THE "ALL RISK" INSURANCE POLICY.
8. SUBSTITUTIONS: NO SUBSTITUTIONS OF SPECIFIED MATERIALS OR EQUIPMENT WILL BE ACCEPTED UNLESS WRITTEN REQUEST FOR APPROVAL HAS BEEN RECEIVED BY THE ARCHITECT AND THE CONTRACTOR HAS RECEIVED WRITTEN APPROVAL BY THE ARCHITECT.
9. DOCUMENTATION / RECORD DRAWINGS: THE CONTRACTORS SHALL KEEP A RECORD OF ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS. THEY SHALL NEATLY AND CORRECTLY ENTER IN COLOR PENCIL, ANY DEVIATIONS ON THE DRAWINGS AND SPECIFICATIONS AFFECTED AND SHALL KEEP THE DRAWINGS AVAILABLE FOR INSPECTION. AN EXTRA SET OF CONSTRUCTION DOCUMENTS WILL BE FURNISHED FOR THE PURPOSE.
10. PROTECTION: ALL CONTRACTORS SHALL BE JOINTLY RESPONSIBLE FOR TAKING ALL STEPS NECESSARY TO PROTECT THE PUBLIC FROM INJURY AND ADJACENT PROPERTY FROM DAMAGES DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES. ALL CONTRACTORS SHALL ALSO BE RESPONSIBLE FOR PROJECT SECURITY FROM THE START OF THE WORK UNTIL THE OWNER ACCEPTS THE PROJECT AS TOTALLY COMPLETE.
11. AT COMPLETION OF THE JOB AND BEFORE FINAL APPROVAL, THE CONTRACTORS WILL MAKE ANY FINAL CORRECTIONS TO DRAWINGS RELATED TO THEIR WORK CATEGORY AND SHALL CERTIFY TO THE ACCURACY OF EACH PRINT, THAT THE WORK IS COMPLETED ACCORDING TO ALL CONTRACT DOCUMENTS, AND THE CORRECTIONS TO THE DRAWINGS BY SIGNATURE THEREON AND DELIVERY SAME TO THE ARCHITECT.
12. DRAWINGS INDICATE THE MINIMUM STANDARDS, SHOULD ANY WORK INDICATED BE SUBSTANDARD TO ANY ORDINANCES, LAWS, CODES, RULES OR REGULATIONS BEARING ON THE WORK, THE CONTRACTOR SHALL EXECUTE THE WORK IN ACCORDANCE WITH SUCH ORDINANCES, LAWS, CODES, RULES, OR REGULATIONS AS A PART OF HIS BASE CONTRACT WITHOUT INCREASE IN COST TO OWNER OR ARCHITECT.
13. ALL DIMENSIONS ARE NOMINAL DIMENSIONS, UNLESS OTHERWISE NOTED.
14. EXTERIOR DIMENSIONS ARE FROM FACE OF ROUGH FRAMING UNLESS OTHERWISE NOTED.
15. ALL ANGLES 90 DEGREES UNLESS OTHERWISE NOTED.
16. CONTRACTORS SHALL REMOVE ALL CONSTRUCTION DEBRIS RELATED TO THEIR WORK CATEGORY FROM JOB SITE. ALL CONSTRUCTION DEBRIS SHALL BE CONTAINED WITHIN LIMITS OF CONTRACT.
17. ALL CONTRACTORS ARE JOINTLY RESPONSIBLE TO HAVE ENTIRE AREA CLEAN AND SPOTLESS AT TIME OF TURN OVER.
18. WOOD TREATMENT:
 1. ALL WOOD EXPOSED TO MOISTURE SHALL BE PRESERVATIVE PRESSURE TREATED WOOD.
 2. ALL WOOD USED IN FIRE RATED ASSEMBLY SHALL BE FIRE-REDARDANT TREATED.
19. WHERE APPLICABLE TO THEIR SCOPE OF WORK, CONTRACTORS SHALL FIELD VERIFY ALL VERTICAL DIMENSIONS AND FLOOR LEVELS IN ORDER TO ENSURE ALIGNMENT OF NEW FLOOR LEVELS WITH EXISTING AND NEW EXTERIOR HORIZONTAL COURSING AND TRIM WITH EXISTING. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

INTERIOR ALTERATIONS TO 16 CASCO STREET PORTLAND, MAINE 04101 SELECTIVE DEMOLITION DOCUMENTS DECEMBER 17, 2007

REMOVAL NOTES:

1. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO ALL AREAS AFFECTED BY THE WORK. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO ANY BUILDING COMPONENTS WHICH OCCUR AS A RESULT OF ALL PHASES OF WORK. ALL EXISTING SURFACES AND EQUIPMENT SCHEDULED TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. SHOULD DAMAGE OCCUR THE CONTRACTOR SHALL MAKE REQUIRED REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER.
2. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
5. ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED FROM DAMAGE.
6. REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVALS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.
7. THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN ALL TEMPORARY BARRIER, GUARDS, AND ALL TEMPORARY SHORING MEETING STRUCTURAL REQUIREMENTS OF THE IBC 2003.
8. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.

TENANT SAFETY PLAN:

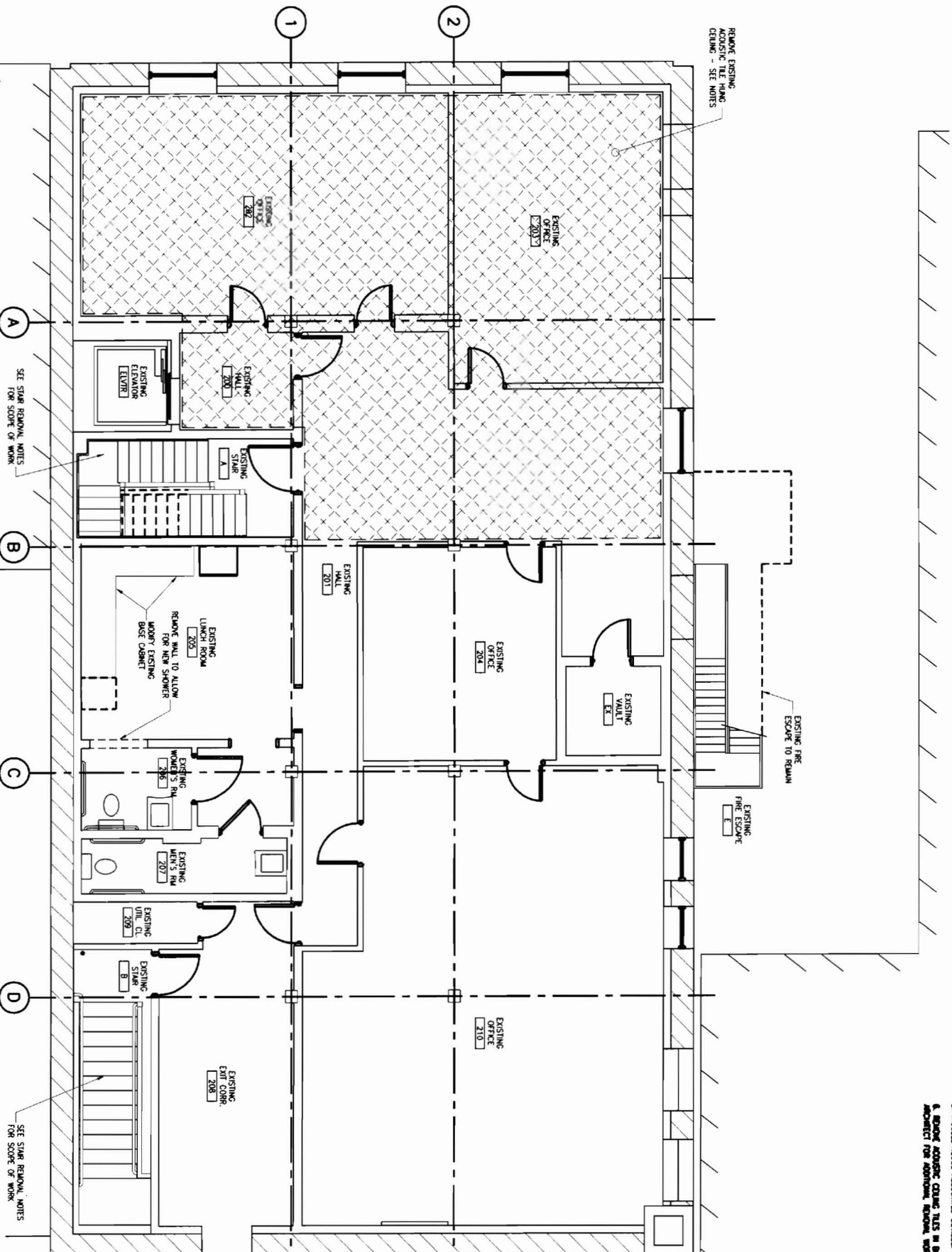
1. THIS IS AN OCCUPIED BUILDING. AS SUCH, IT IS NECESSARY TO MAINTAIN ACCESS AND EGRESS TO THE PUBLIC AT ALL TIMES THROUGHOUT CONSTRUCTION.
2. MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR TENANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS SUCH AS BUILDING MATERIALS, TOOLS, ETC.
3. FIRE SAFETY:
 - A. ALL BUILDING MATERIALS WHICH ARE STORED AT THE SITE OR ANY AREA OF THE BUILDING ARE TO BE STORED IN A LOCKED AREA. ACCESS TO THE AREA TO BE CONTROLLED BY THE OWNER, OR THE GENERAL CONTRACTOR.
 - B. ALL MATERIALS TO BE STORED IN AN ORDERLY FASHION.
 - C. ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURER'S CONTAINERS. SUCH MATERIALS ARE TO BE KEPT AWAY FROM HEAT.
 - D. ALL FLAMMABLE MATERIALS TO BE USED AND STORED IN AN ADEQUATELY VENTILATED SPACE.
 - E. ALL ELECTRICAL POWER TO BE SHUT OFF WHERE THERE ARE EXPOSED CONDUITS.
 - F. ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA TO BE SHUT OFF AFTER WORKING HOURS.
 - G. CONTRACTOR, AT ALL TIMES, TO ENSURE THAT THERE IS NO NATURAL GAS LEAKAGE IN THE BUILDING, OR ANY FLAMMABLE GAS TO BE USED DURING CONSTRUCTION.
4. DUST CONTROL:
 - A. DEBRIS, DIRT, AND DUST TO BE KEPT TO A MINIMUM AND CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.
 - B. CONTRACTOR TO ISOLATE CONSTRUCTION AREA FROM OCCUPIED BUILDING AREA BY MEANS OF TEMPORARY PARTITIONS OR HEAVYWEIGHT DROP CLOTHS.
 - C. DEBRIS, DIRT, AND DUST TO BE CLEANED UP AND CLEARED FROM THE BUILDING SITE PERIODICALLY TO AVOID EXCESSIVE ACCUMULATION.
5. NOISE AFTER HOURS:
 - A. CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS.
 - B. CONTRACTOR MUST OBTAIN WRITTEN PERMISSION FROM ALL AFFECTED PARTIES, TO WORK OTHER THAN REGULAR HOURS.
6. CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, OR ELECTRICAL SERVICES TO OTHER TENANTS WITHOUT WRITTEN PERMISSION FROM AFFECTED PARTIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE, BUILDING, AND ITS CONTENTS ARE SECURE FROM THEFT, FIRE, VANDALISM, AND OTHER POTENTIAL DAMAGE.

WORK AFFECTING ADJACENT PROPERTY:

1. CONTRACTOR SHALL REFER TO PROPERTY SURVEY PROVIDED BY THE OWNER TO ENSURE THAT ALL WORK IS PERFORMED WITHIN THE PROJECT'S PROPERTY LIMITS.
2. CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR ANY WORK OR ACCESS REQUIREMENTS WHICH MAY AFFECT ADJACENT PROPERTY.
3. NO WORK AFFECTING ADJACENT PROPERTY SHALL PROCEED UNTIL WRITTEN APPROVAL FROM THE OWNER IS OBTAINED.

- A. DEMO FROM DEMOLITION AREA:**
- EXISTING PARTS AND FINISHES SHALL BE REMOVED.
 - PLUMBING SHALL BE DEMOLISHED TO REMAIN SHALL BE REMOVED. REMOVAL OF EXISTING PLUMBING SHALL BE DEMOLISHED TO REMAIN SHALL BE REMOVED.
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- C. DEMO FROM DEMOLITION AREA:**
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- GENERAL DEMOLITION REQUIREMENTS:**
- ALL DEMOLITION SHALL BE DEMOLISHED TO REMAIN SHALL BE REMOVED.
 - EXISTING PARTS AND FINISHES SHALL BE DEMOLISHED TO REMAIN SHALL BE REMOVED.
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FLOOR OCCUPANCY DATA:
 EXISTING BUSINESS USE: 100SF/PERSON
 EXISTING FLOOR AREA: 2,920 SF
 EXISTING OCCUPANT LOAD: 29 MAX.

1 SECOND FLOOR DEMOLITION PLAN
 1/4" = 1'-0"

A. TOILET ROOM DEMOLITION NOTES:

- EXISTING FIXTURES AND FINISHES SHALL BE REMOVED.
- PLUMBING PIPING SCHEDULED TO REMAIN SHALL BE TEMPORARILY CAPPED PER CODE FOR INSTALLATION OF NEW FIXTURES.
- EXISTING FINISHES SHALL BE REMOVED, PATCH & PREPARE WALLS AND FLOORS TO RECEIVE NEW FINISHES, PER FINISH SCHEDULE.
- EXISTING TOILET ACCESSORIES SHALL BE REMOVED.
- REMOVE EXISTING LIGHT FIXTURES.
- REMOVE EXISTING HUNG CEILING.

B. WINDOW DEMOLITION NOTES:

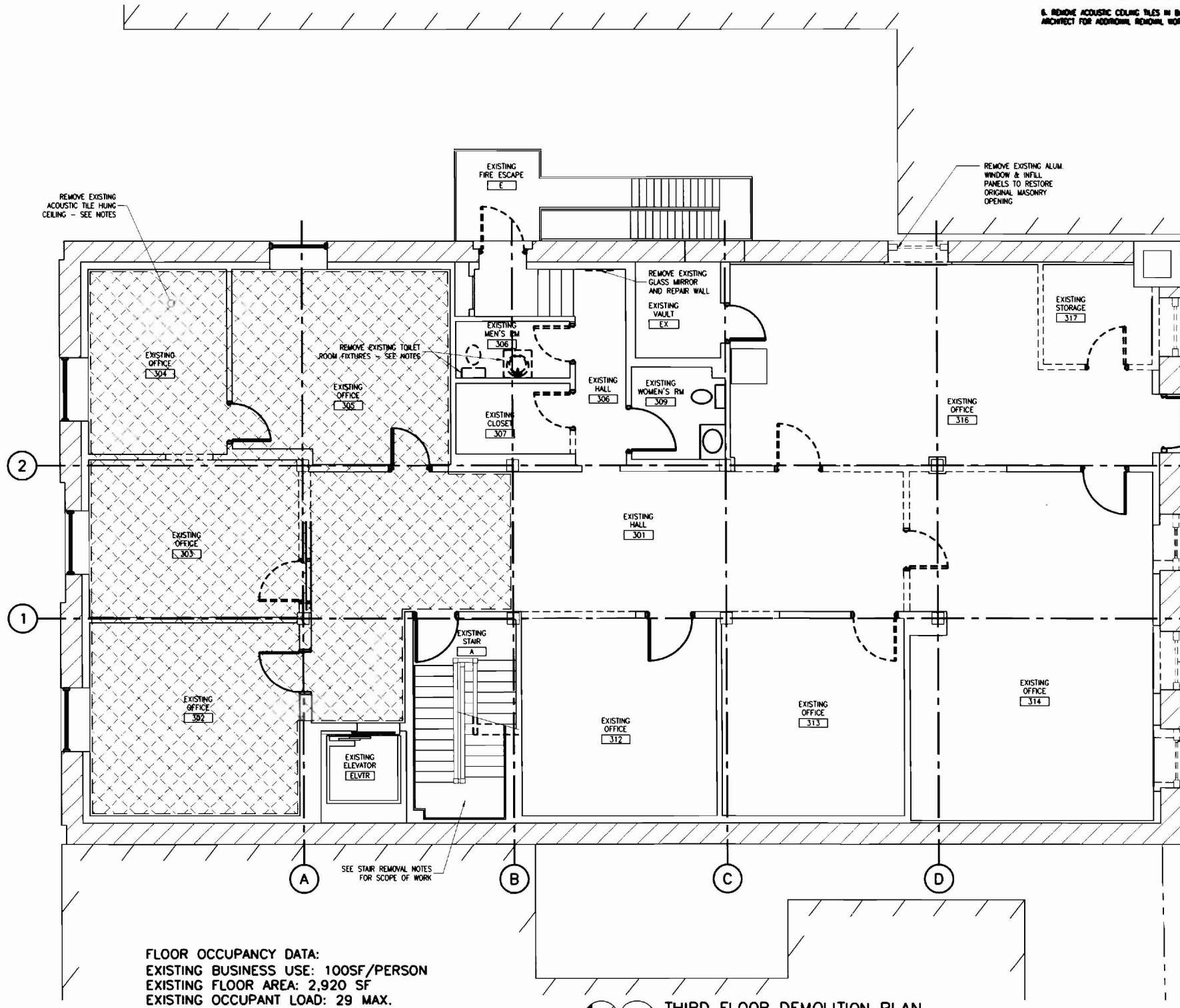
- REMOVE EXISTING ALUMINUM WINDOWS WHERE INDICATED. INCLUDE FINISHES & ATTACHMENTS, INTERIOR CAB FINISHES, SILLS, ETC. PREPARE OPENINGS FOR NEW WINDOW INSTALLATION.

C. STAIR DEMOLITION NOTES:

- EXISTING WOOD STAIRS, WOOD HANDRAILS, HAND POSTS, AND STRINGER MOULDINGS, ETC. SHALL REMAIN. PROVIDE PROTECTION THROUGHOUT CONSTRUCTION OPERATIONS.
- REMOVE EXISTING STAIR COVERINGS AT TREADS AND PLATFORMS, TYPICAL. INSTALL NEW FLOOR COVERINGS PER FINISH SCHEDULE.
- REMOVE RECENT TREAD REPAIRS (COVERINGS) AND REPLACE FULL TREAD FOR CODE COMPLIANCE. REPLACE TREAD TO ORIGINAL DIMENSIONS FOR USER HEIGHT COMFORT.
- REMOVE AND REPLACE EXISTING EMERGENCY LIGHTING AND PROVIDE ADDITIONAL EMERGENCY LIGHTING FOR CODE COMPLIANCE.

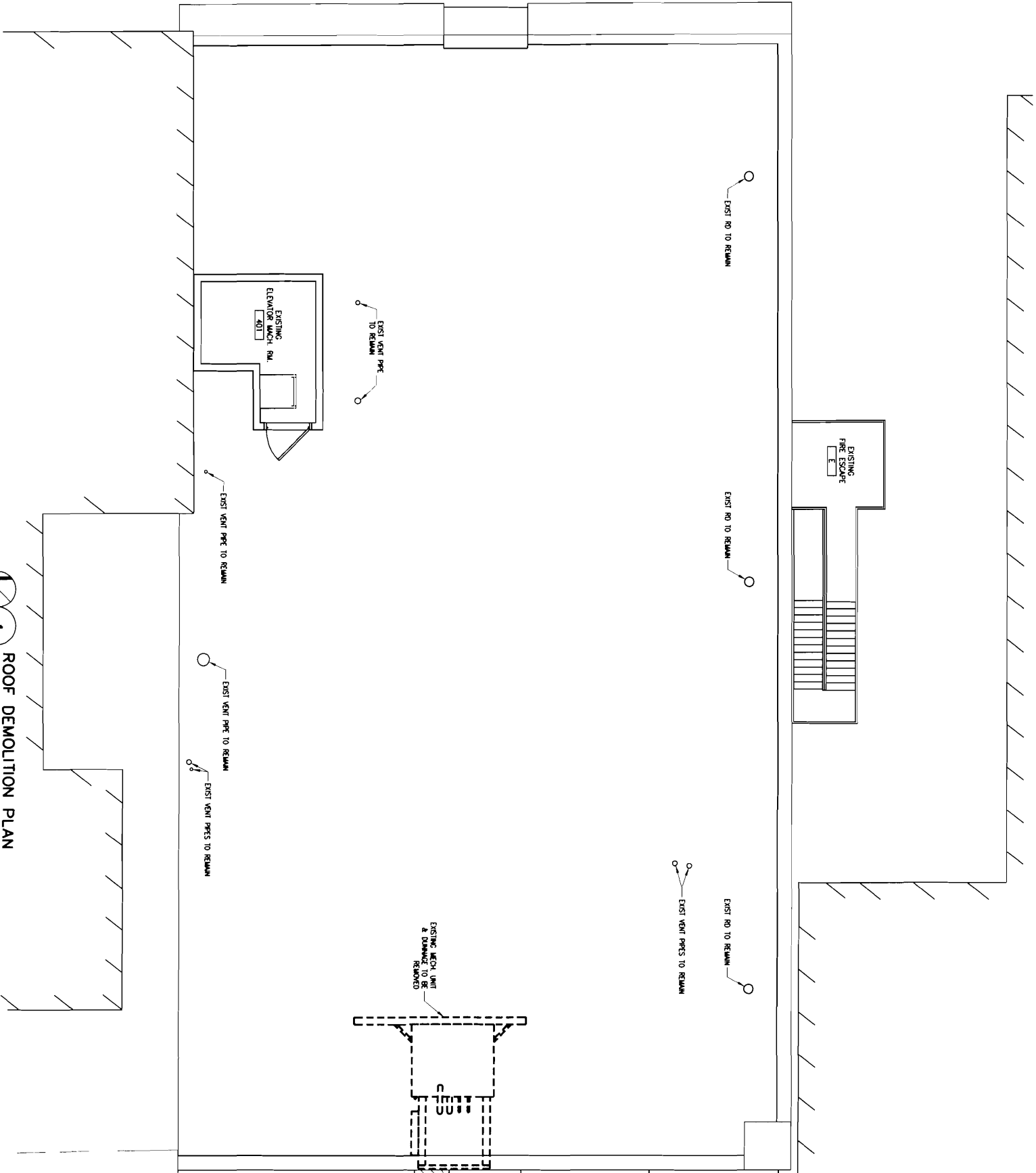
GENERAL DEMOLITION THROUGHOUT AREA OF:

- ALL INTERIOR & EXTERIOR COMPOSITION COLLINGS, TRUSS BEAMS AND CHORDS) IN THEREFORE, EXTREME CARE SHALL BE TAKEN PHASES OF PREPARATION AND CONSTRUCTION ADEQUATE PROTECTION TO ALL AREAS AFTY BE HELD RESPONSIBLE FOR ANY DAMAGE I AS A RESULT OF ALL PHASES OF WORK D
- ALL DEMOLITIONS OF ASBESTOS CONTAINING DISPOSED OF AS REQUIRED BY GOVERNING SUPPLIED BY THE OWNER FOR LOCATIONS.
- REMOVE EXISTING FLOOR FINISHES AND CLEAN AND PREPARE SUBSTRATE AS NEED FOR SURFACE LEVELING.
- REMOVE ALL ACCESSORIES/ ATTACHING BULLETIN BOARDS, SIGNAGE, ETC.
- REMOVE EXISTING CEILING WHERE SHOWN. A. ACOUSTIC CEILING TILES SUSPENSION S B. LIGHTING FIXTURES. C. HVAC DUCTS, DIFFUSERS, REGISTERS (C D. MISCELLANEOUS ASSOCIATED DEVICES.
- REMOVE ACOUSTIC CEILING TILES IN BH ARCHITECT FOR ADDITIONAL DEMOLITION WORK



FLOOR OCCUPANCY DATA:
 EXISTING BUSINESS USE: 100SF/PERSON
 EXISTING FLOOR AREA: 2,920 SF
 EXISTING OCCUPANT LOAD: 29 MAX.

1 THIRD FLOOR DEMOLITION PLAN
 1/4" = 1'-0"



1
1/4" = 1'-0"
ROOF DEMOLITION PLAN