

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

Please Read Application And Notes, If Any, Attached

Permit Number 1971519
PERMIT ISSUED
JAN 29 2008
CITY OF PORTLAND

This is to certify that SURVEY PROPERTIES INC & LUKE BARNARD/CMC LLC
has permission to Phase I Selective interior Demolition for future tenants, Repair stairs for egress, Reconfigure floor plan
AT 16 CASCO ST PORTLAND, OR 97201 037 C010001
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. 48 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig
Health Dept. _____
Appeal Board _____
Other _____
Department Name

James Burke 1/25/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Scanned



CITY OF PORTLAND, MAINE
Department of Building Inspections

_____ 11 21 20 07 _____

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (I1) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: _____

Check #: _____ Total Collected \$ _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection:** Prior to pouring concrete
- Re-Bar Schedule Inspection:** Prior to pouring concrete
- Foundation Inspection:** Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~CERTIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED~~

Morgan M. Norton
Signature of Applicant/Designee

Date 1.29.08

[Signature]
Signature of Inspections Official

Date 07/15/19

CBL: 37 C 10

Building Permit #:

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1519	Issue Date:	CBL: 037 C010001
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Location of Construction: 16 CASCO ST	Owner Name: SURVEY PROPERTIES INC & LU	Owner Address: 16 CASCO ST	Phone:
Business Name:	Contractor Name: CMCS LLC	Contractor Address: 1208 River Rd Clinton	Phone: 2078416184
Lessee/Buyer's Name	Phone:	Permit Type: Demolition - Interior Additions - Multi Family	Zone: B-3

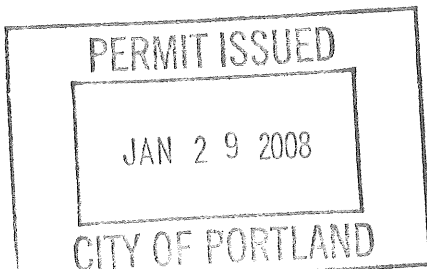
Past Use: Commercial	Proposed Use: Commercial - Phase I Selective interior Demolition for future tenant, Repair stairs for egress, Reconfigure floor plan	Permit Fee: \$280.00	Cost of Work: \$26,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: <i>B</i> Type: <i>3B</i> <i>Demolition</i>	

Proposed Project Description: Phase I Selective interior Demolition for future tenant, Repair stairs for egress, Reconfigure floor plan	Signature: <i>Corey Cross</i>	Signature: <i>AMB 1/25/08</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: ldobson	Date Applied For: 12/21/2007	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>demolish only.</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>Or w/ conditions</i> Date: <i>12/26/07 AMB</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>AMB</i> Date:



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1519	Date Applied For: 12/21/2007	CBL: 037 C010001
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Location of Construction: 16 CASCO ST	Owner Name: SURVEY PROPERTIES INC & LU	Owner Address: 16 CASCO ST	Phone:
Business Name:	Contractor Name: CMCS LLC	Contractor Address: 1208 River Rd Clinton	Phone (207) 841-6184
Lessee/Buyer's Name	Phone:	Permit Type: Demolitions - Interior	

Proposed Use: Commercial - Phase I Selective interior Demolition for future tenant, Repair stairs for egress, Reconfigure floor plan	Proposed Project Description: Phase I Selective interior Demolition for future tenant, Repair stairs for egress, Reconfigure floor plan
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 12/26/2007

Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This permit is for demolition only. The use will be established when the separate permit is filed for the construction work for the future tenant.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 01/25/2008

Note: **Ok to Issue:**

- 1) This approves phase 1 only. If hazardous materials exist, proper documentation shall be filled with the DEP and this office for remediation.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 12/26/2007

Note: **Ok to Issue:**

- 1) Fire Alarm and sprinkler systems to be maintained OR a fire watch shall be posted.
- 2) All means of egress to be maintained during business hours.

Comments:

1/25/2008-jmb: Spoke with Ronald N. About the hazardous materials. Upon visual inspection no materials are evident. If observed, they will provide this office and DEP with remediation plan and document of survey.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 16 Casco Street		
Total Square Footage of Proposed Structure/Area 9,000 SF Existing (approx.)		Square Footage of Lot 10,725 SF Existing (approx.)
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 37 C 10	Applicant * must be owner, Lessee or Buyer * Name Jeffrey Cohen Address 16 Casco Street, LLC 16 Casco Street City, State & Zip Portland ME 04101	Telephone: (207) 773-3477
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>26,000.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>280.00</u>
Current legal use (i.e. single family) <u>Business (B)</u>		
If vacant, what was the previous use? <u>N/A</u>		
Proposed Specific use: <u>Business (B)</u>		
Is property part of a subdivision? <u>No</u> If yes, please name _____		
Project description: Selective demolition of interior partitions and acoustic tile ceilings to be reconfigured for future tenant. Work shall include repair of existing egress stairs for code compliance, as well as partial modification of an existing egress stair for code compliance. The work of this application will aid in coordination of the future construction work that will be filed as a separate application.		
Contractor's name: <u>Ronald Norton, CMCS (Construction Manager)</u>		
Address: <u>1208 River Road</u>		
City, State & Zip <u>Clinton, ME 04927</u>		Telephone: <u>207-841-6184</u>
Who should we contact when the permit is ready: <u>Ronald Norton</u>		Telephone: <u>207-841-6184</u>
Mailing address: <u>1208 River Road, Clinton, ME 04927</u>		

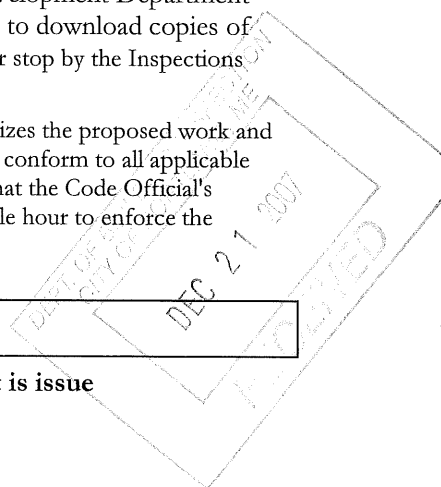
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Jeffrey Cohen Mgr. Date: 12/20/07


This is not a permit; you may not commence ANY work until the permit is issue



ARCHITECTURE
 PRESERVATION
 DESIGN

Date: 21 December 2007

To: Jeanie Bourke
 Division Director
 Inspection Services Program
 City of Portland
 Planning & Development Department
 389 Congress Street
 Portland, Maine 04101

From: Sharon Ames 

Re: 16 Casco Street, Selective Demolition Permit Application

Enclosed:

Copies	Date	Dwg. No.	Description	Action
1	12/20/07		General Building Permit Application	
1	12/21/07		Certificate of Design Application, 5 pages	
1 24x36 1 11x17	12/17/07	G1.0, G1.1, AD1.2, AD1.3, AD1.4, AD1.5	Selective Demolition Documents (6 pages)	For Review

Comments:

P:\Commercial\16 Casco Street\04_Correspondance\00_Transmittals\tr 071219 Bourke DemoApplication.doc



Certificate of Design Application

From Designer: Barba + Wheelock, Architecture, Design + Preservation

Date: December 17, 2007

Job Name: Interior Alterations

Address of Construction: 16 Casco Street, Portland ME 04103

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year NFPA 101 2006 IBC 2003 Use Group Classification (s) Business (B)

Type of Construction Existing Construction: Heavy Timber (HT) Proposed work: Type III Ordinary

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Yes

Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) _____

Supervisory alarm System? No Geotechnical/Soils report required? (See Section 1802.2) No

Structural Design Calculations

_____ Submitted for all structural members (106.1 – 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

_____ Design option utilized (1609.1.1, 1609.6)

_____ Basic wind speed (1809.3)

_____ Building category and wind importance Factor, w , table 1604.5, 1609.5

_____ Wind exposure category (1609.4)

_____ Internal pressure coefficient (ASCE 7)

_____ Component and cladding pressures (1609.1.1, 1609.6.2.2)

_____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

_____ Design option utilized (1614.1)

_____ Seismic use group ("Category")

_____ Spectral response coefficients, S_D & S_{D1} (1615.1)

_____ Site class (1615.1.5)

_____ Live load reduction

_____ Roof *live* loads (1603.1.2, 1607.11)

_____ Roof snow loads (1603.7.3, 1608)

_____ Ground snow load, P_g (1608.2)

_____ If $P_g > 10$ psf, flat-roof snow load P_f

_____ If $P_g > 10$ psf, snow exposure factor, C_e

_____ If $P_g > 10$ psf, snow load importance factor, I_s

_____ Roof thermal factor, C_t (1608.4)

_____ Sloped roof snowload, P_s (1608.4)

_____ Seismic design category (1616.3)

_____ Basic seismic force resisting system (1617.6.2)

_____ Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)

_____ Analysis procedure (1616.6, 1617.5)

_____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

_____ Flood Hazard area (1612.3)

_____ Elevation of structure

Other loads

_____ Concentrated loads (1607.4)

_____ Partition loads (1607.5)

_____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



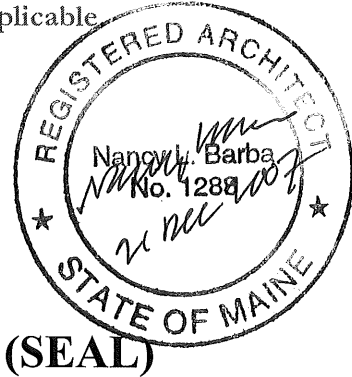
Accessibility Building Code Certificate

Designer: Barba + Wheelock, Architecture, Design + Preservation

Address of Project: 16 Casco Street, Portland ME 04103

Nature of Project: Selective demolition of Interior partitions and acoustic tile ceilings

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



(SEAL)

Signature: Nancy L. Barba, Principal

Title: Principal Architect

Firm: Barba + Wheelock, Architecture, Preservation + Design

Address: 500 Congress St.

Portland, ME 04101

Phone: 207-772-2722

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

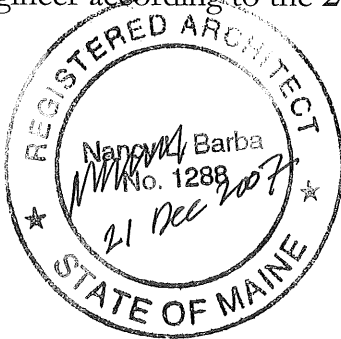
Date: December 17, 2007

From: Barba + Wheelock, Architecture, Preservation + Design

These plans and / or specifications covering construction work on:

Selective Demolition for interior alterations to 16 Casco Street, Portland, ME 04103

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.



(SEAL)

Signature: Nancy L. Barba, Principal

Title: Principal Architect

Firm: Barba + Wheelock, Architecture, Preservation + Design

Address: 500 Congress St.

Portland, ME 04101

Phone: 207-772-2722

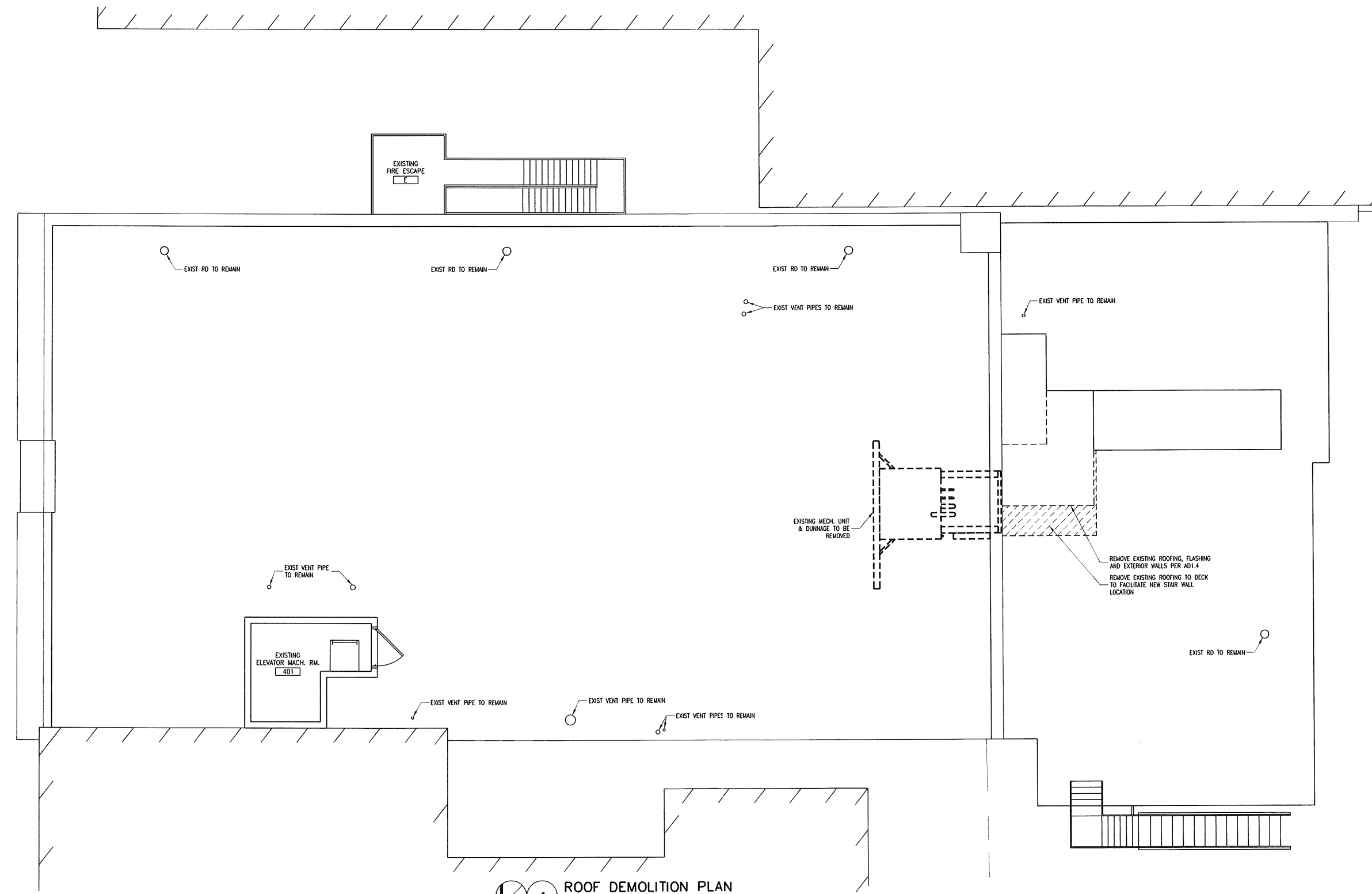
For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING CONSTRUCTION/ PARTITION TO REMAIN
	EXISTING CONSTRUCTION/ PARTITION TO BE REMOVED

BARBÁ+WHEELOCK

ARCHITECTURE
PRESERVATION
DESIGN

500 CONGRESS STREET
PORTLAND, MAINE 04101
FAX 207.772-3667
TEL 207.772-2722



16 CASCO STREET
PORTLAND, MAINE

Title:

**ROOF
DEMOLITION
PLAN**

Project No: 200706
Date: DECEMBER 17, 2007
Revisions:

Issued For: **SELECTIVE DEMO
PERMIT APPLICATION**

Drawing No:

AD1.5

1 ROOF DEMOLITION PLAN
1/4" = 1'-0"

K:\2007 Drawings\16 Casco Street\Drawings\2007\17 Demolition\15 Sheets_D1_01.dwg, 12/16/2007 4:03:55 PM, rpedraza

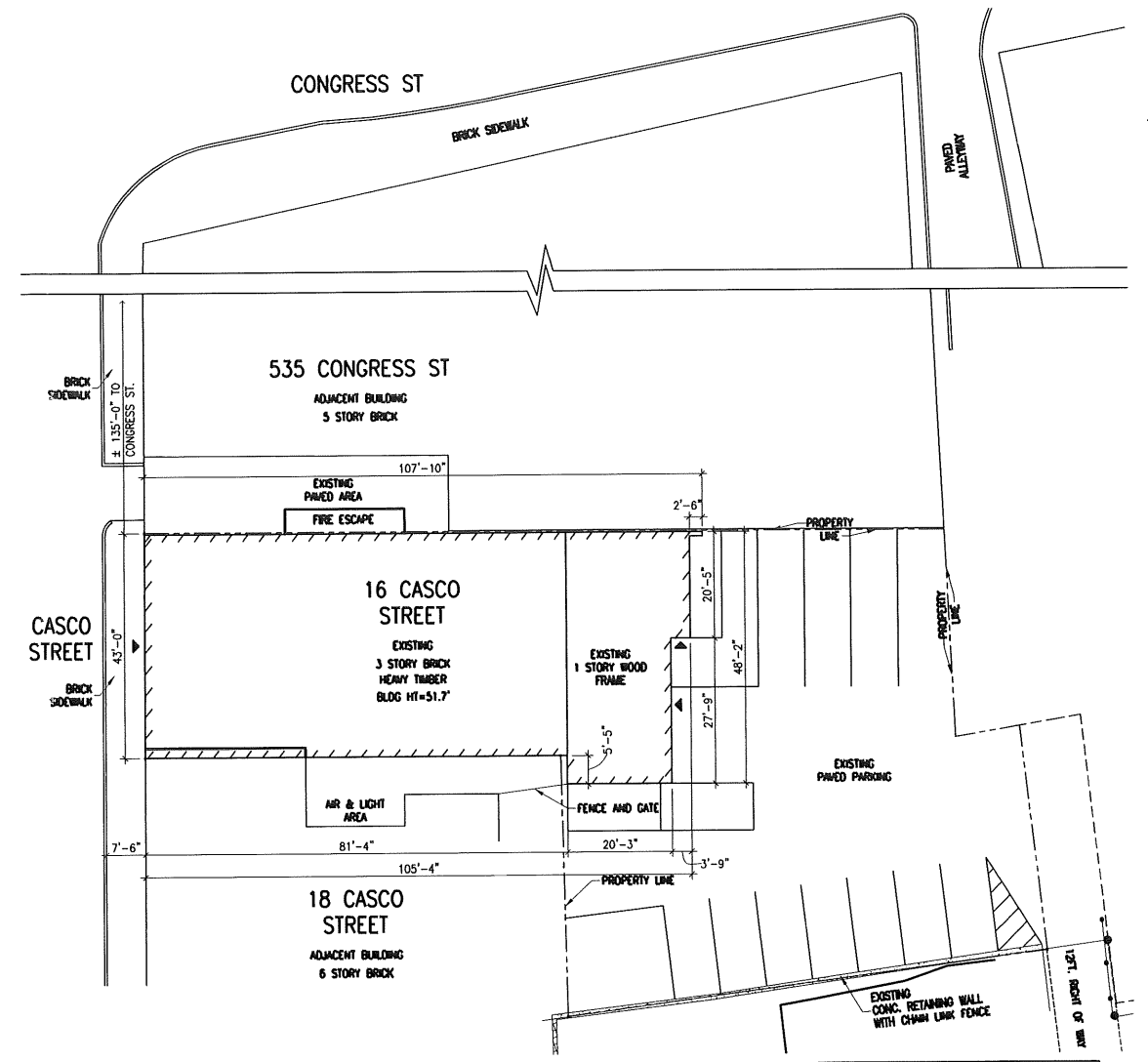
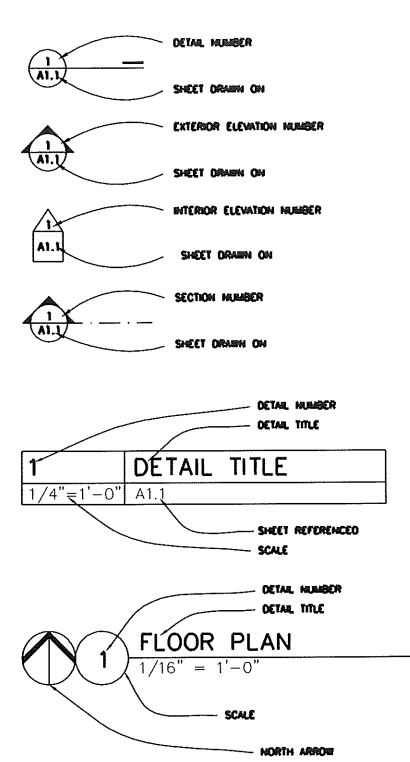
STANDARD ABBREVIATIONS

AB ANCHOR BOLT	HB HOSE BIB	S SOUTH
ABV ABOVE	HC HOLLOW CORE	SFB SOLID ABSORPTIVE FIBERGLASS INSULATION
AC ASPHALT CONCRETE	HDR HEADER	SC SOLID CORE
A/C AIR CONDITIONING	HGT HEIGHT	SCH SCHEDULE
ACT, ATC ACUSTIC CEILING TILE	HM HOLLOW METAL	SECT SECTION
AD ACCESS DOOR	HOR HORIZONTAL	SF SATIN FINISH
ADD ADDENDUM	HWR HAND WRAP	SH SHELF
AFY ABOVE FINISHED FLOOR	H.S. HEIGHT	SHT SHEATHING
AGG AGGREGATE	HT HEATING	SHWR SHOWER
AL ALUMINUM	HVAC HEATING/VENTILATING/AIR CONDITIONING	SMA SLAB
ALT ALTERNATE	HWAC HEATING/VENTILATING/AIR CONDITIONING	SL SLEEVE
AP ACCESS PANEL	HWB HOT WATER HEATER	SLR SPECIFICATION (S)
APPROX APPROXIMATE	ID INSIDE DIAMETER	SO SQUARE
AR ARCHITECT (URAL)	INCL INCLUDE (D), (HG)	SS STAINLESS STEEL
ASPH ASPHALT	INSUL INSULATION	SRV SERVICE SHIRT
AUTO AUTOMATIC	INT INTERIOR	ST STEEL
BBB BULLETIN BOARD	JC JANITOR'S CLOSET	STD STANDARD
BD BOARD	JT JOINT	STGL SAFETY GLASS
BF BARRIER FREE (ADA)	KIT KITCHEN	STOR STORAGE
BT BITUMINOUS	LAM LAMINATE (D)	SUSP SUSPENDED
BLDG BUILDING	LAW LAMINATE (D)	SV SHEET VINYL
BLK BLOCK (HG)	LAB LABORATORY	SYM SYMMETRY (ICAL)
BOT BOTTOM	LBL LABEL	SYN SYNTHETIC
BRDG BRIDGING	LH LEFT HAND	SYS SYSTEM
BRG BEARING	LL LIVE LOAD	
BS BOTTOM OF STAIR	LT LIGHT	
BTW BETWEEN	LTL TOWER BAR	
CAB CABINET	LVR LOWER	
CEM CEMENT	LW LIGHTWIGHT	
CEM CERAMIC	MAS MASONRY	
CFY CUBIC FOOT	MAX MAXIMUM	
CG CORNER GUARD	MBR MEMBER	
CHAM CHAMFER	MC MEDICINE CABINET	
CHT CEILING HEIGHT	MOS METAL DOWNSPOUT	
COO CAST IRON CLEAN OUT	MOS MASONRY (AL)	
CP CAST-IN-PLACE	MED MEDIUM	
CRC CONFERENCE	MED MECHANICAL, ELECTRICAL & PLUMBING	
CA, C/J CONTROL JOINT	MET METER (S)	
CLD CEILING	MFR MANUFACTURE (ER)	
CLR CLEAR (ANCE)	MR MINERAL	
CMT CERAMIC TILE	MUR MURROR	
CMU CONCRETE MASONRY UNIT	MSC MISCELLANEOUS	
COL COLUMN	MID MILLER (S)	
COMB COMBINATION	MN MASONRY OPENING	
CONC CONCRETE	MR MARBLE	
CONT CONTINUOUS OR CONTINUE	MTD MOUNTED	
CONTR CONTRACT (OR)	MUL METAL	
CORR CORRUGATED	MUL MULLION (S)	
CPI CARPET (ED)	MULL MULLION	
CS CAL STATION	N NORTH	
CSMT CERAMIC TILE	NAT NATURAL	
CT COUNTER	NC NOT IN CONTRACT	
CTR CUBIC YARD	NOM NOMINAL	
CYD CUBIC YARD	NR NOISE REDUCTION	
DDMO DEMOLISH, DEMOLITION	HTS OVERALL	
DF DRINKING FOUNTAIN	OC ON CENTER (S)	
DWG DIAGRAM	OD OUTSIDE DIAMETER	
DIM DIMENSION	OH OVERHEAD	
DSP DISPENSER	OPG OPENING	
DV DIVISION	OPH OPPOSITE HAND	
DL DEAD LOAD	OPP OPPOSITE SURFACE	
DN DOWN	OPS OPS	
DOC DOCUMENT	PA POWER ASSIST	
DPR DOOR	PAB PARALLEL	
DR DETAIL	PART PARTITION	
DWR DRAWER	PBD PARTICLE BOARD	
DWG DRAWING	PCF POUNDS PER CUBIC FOOT	
E EAST	PERF PERFORATE (D)	
EA EACH	PFT PREFINISHED	
EFS EXTERIOR INSULATION & FINISH SYSTEM	PL PLATE GLASS	
ELEC ELECTRIC (AL)	PL PLASTIC LAMINATE	
EL, ELEV ELEVATION	PLF POUNDS PER LINEAL FOOT	
EMER EMERGENCY	PLS PLASTER	
ENC ENCLOSE (URE)	PLUMB PLUMBING	
ENF ENJOY PAINT	PML PANEL	
EPHY EQUIPMENT	PNT, PTD PAINTED	
EQ EQUAL	PSF POUNDS PER SQUARE FOOT	
EQUIP EQUIPMENT	PSI POUNDS PER SQUARE INCH	
ESC ESCALATOR	PT POINT	
EST ESTIMATE	PTR PAPER TOWEL RECEPTOR	
EXH EXHAUST	PVC POLYVINYLE CHLORIDE	
EXIST EXISTING	PWD PAVEMENT	
EXP, EXPSD EXPOSED	PLYWOOD	
EXPT EXPANSION JOINT	QT QUARRY TILE	
EXT EXTERIOR	R RISER	
FA FIRE ALARM	RA RETURN AIR	
FAS FASTEN, FASTENER	RAD RADIUS	
FBO FURNISHED BY OTHERS	RB RUBBER BASE	
FC FIRE CODE	RBT RABBIT	
FD FLOOR DRAIN	R.C.P. REFLECTED CEILING PLAN	
FEC FIRE EXTINGUISHER CABINET	RD ROOF DRAIN	
FEC2 WALL BRACKET FIRE EXTINGUISHER	REF REFERENCE	
FF FACTORY FINISH	REFR REFRIGERATOR	
FFE FINISHED FLOOR ELEVATION	REG REGISTER	
FFL FINISHED FLOOR LINE	REQ'D REQUIRED	
FGL FIBERGLASS	RES, RESL RESILIENT	
FM FINISH (ED)	RET RETURN	
FLG FLASHING	REV REVISION (S), REVISED	
FLR FLOOR (HG)	RFG ROOFING	
FLUR FLUORESCENT	RH RIGHT HAND	
FND FOUNDATION	RI ROOM	
F.O.I.C. FURNISHED BY OWNER	RO ROUGH OPENING	
FP FIRE PROOF	ROW RIGHT OF WAY	
FPFB FIRE PROOF FIBER BOARD	RTF RUBBER TILE FLOORING	
FPSC FIRE PROOF SELF CLOSING	RVS REVERSE	
FR FIRE RATED	RVT REVERSE	
FRAM FRAME (D), (HG)		
FTG FOOTING		
FTR FIN TUBE RADIATOR		
FUR FURRED (HG)		
FUT FUTURE		
GA GAGE, GAUGE		
GB GRAB BAR		
GC GENERAL CONTRACT (OR)		
GD GRADE		
GKT GASKET		
GL GLASS, GLAZING		
GLB GLASS BLOCK		
GSM GRANITE		
GT GROUT		
GV GALVANIZED		
GVL GRAVEL		
GYP BD, GBS GYPSUM WALL BOARD		

MATERIAL DESIGNATION

CONCRETE	WOOD BLOCKING INTERRUPTED OR SHIMS
SAND FILL	RIGID INSULATION
METALS	BLANKET OR BATT INSULATION
FRESH WOOD	SEALANT
WOOD BLOCKING, HALER, ETC.	GYPSUM WALLBOARD
PLYWOOD	CARPET

GRAPHIC SYMBOLS



PLOT PLAN
1/16" = 1'-0"

EXISTING BUILDING DATA:

16 CASCO STREET
 CHART: 37, BLOCK: C, LOT: 10
 ZONE: B-3 DOWNTOWN BUSINESS
 EXISTING USE GROUP: B/BUSINESS
 PROPOSED USE GROUP: NO CHANGE
 EXISTING CONSTRUCTION TYPE: HEAVY TIMBER (HT)/TYPE IV (2HH)
 PROPOSED CONSTRUCTION TYPE: TYPE III/TYP III (211)

AUTOMATIC SPRINKLER SYSTEM: MODIFICATION OF EXISTING SYSTEM SHALL COMPLY WITH THE REQUIREMENTS OF "NFPA 13 - STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS".

NEW BUILDING WIDE FIRE ALARM SYSTEM SHALL BE INSTALLED TO COMPLY WITH THE REQUIREMENTS OF "NFPA 72 - NATIONAL FIRE ALARM CODE" & AS APPROVED BY PORTLAND FIRE DEPARTMENT.

NEW REQUIRED PORTABLE FIRE EXTINGUISHERS SHALL COMPLY WITH "NFPA 10 - STANDARD FOR PORTABLE FIRE EXTINGUISHERS".

FIRE RESISTANCE RATING OF CONSTRUCTION ELEMENTS: THE CONSTRUCTION OF ANY ADDITIONS AND ALTERATIONS TO THE EXISTING BUILDING WILL REQUIRE THE MINIMUM FIRE-RESISTANCE PROTECTION AS FOLLOWS:

PER IBC, 2003, CH. 7 (TYPE III); NFPA 101, 2006, CH. 8 (TYPE III, 211)

EXTERIOR WALLS:	2 HOURS
STRUCTURAL FRAME:	1 HOUR, COLUMNS, GIRDERS, AND TRUSSES
FLOOR-CEILING CONSTRUCTION:	1 HOUR, INCL. SUPPORTING BEAMS AND JOISTS
ROOF-CEILING CONSTRUCTION:	1 HOUR, INCL. SUPPORTING BEAMS AND JOISTS
ELEVATOR HOISTWAYS:	2 HOUR
VERTICAL SHAFTS:	1 HOUR, STAIRWAYS, EXITS, AND MECHANICAL SHAFTS
EXIT ACCESS CORRIDORS:	1 HOUR

BARBA+WHELOCK

ARCHITECTURE
PRESERVATION
DESIGN

500 CONGRESS STREET
PORTLAND, MAINE 04101
FAX 207.772.3667
TEL 207.772.2722

16 CASCO STREET
PORTLAND, MAINE

Title:

GENERAL NOTES, ABBREVIATIONS & PLOT PLAN

Project No: 200706

Date: DECEMBER 17, 2007

Revisions:

SELECTIVE DEMO
ISSUED FOR PERMIT APPLICATION

Drawing No:

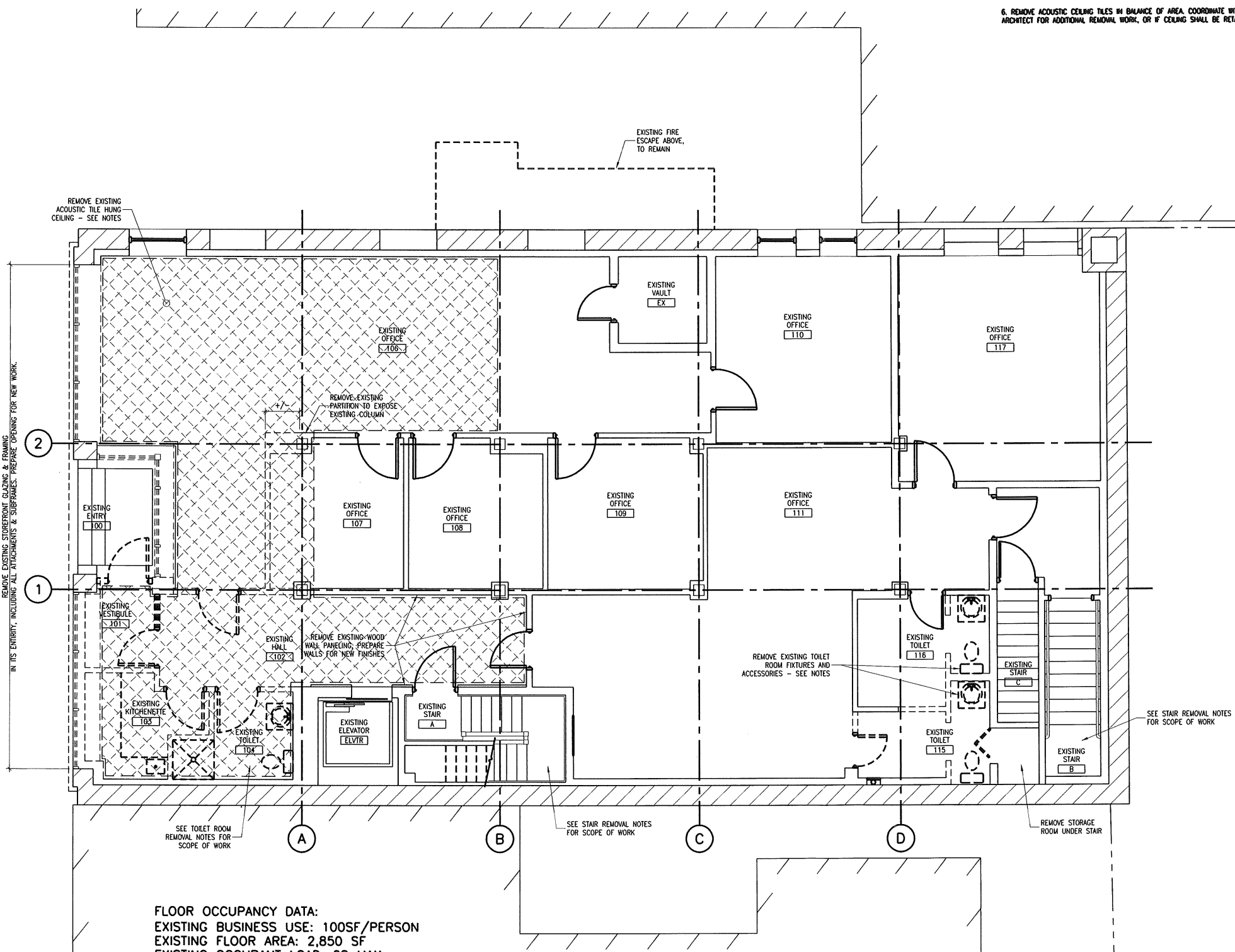
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LEGEND	
SYMBOL	DESCRIPTION
	EXISTING CONSTRUCTION/ PARTITION TO REMAIN
	EXISTING CONSTRUCTION/ PARTITION TO BE REMOVED
	EXISTING DOOR, FRAME AND HARDWARE TO REMAIN
	EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED
	EXISTING AC AND SUSPENSION SYSTEM TO BE REMOVED IN ITS ENTIRETY, SEE NOTES

- GENERAL REMOVALS THROUGHOUT AREA OF WORK:**
- ALL INTERIOR & EXTERIOR COMPONENTS OF THE STRUCTURE (INCLUDING TIMBER COLUMNS, TIMBER BEAMS AND GIRDERS) ARE CONSIDERED TO BE HISTORIC FABRIC. THEREFORE, EXTREME CARE SHALL BE TAKEN BY THE CONTRACTOR THROUGH ALL PHASES OF PREPARATION AND CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO ALL AREAS AFFECTED BY THE WORK. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO ANY BUILDING COMPONENTS WHICH OCCUR AS A RESULT OF ALL PHASES OF WORK DELINEATED IN THE DRAWINGS.
 - ALL REMOVALS OF ASBESTOS CONTAINING MATERIALS SHALL BE ABATED AND DISPOSED OF AS REQUIRED BY GOVERNING AGENCIES. SEE ASBESTOS SURVEY REPORT SUPPLIED BY THE OWNER FOR LOCATIONS.
 - REMOVE EXISTING FLOOR FINISHES AND WALL BASES TO SUBSTRATE. SCRAPE, CLEAN AND PREPARE SUBSTRATE AS REQUIRED. INCLUDE FLASH PATCHING OF SUBFLOOR FOR SURFACE LEVELING.
 - REMOVE ALL ACCESSORIES/ ATTACHMENTS FROM WALLS TO REMAIN. REMOVE: BULLETIN BOARDS, SIGNAGE, ETC.
 - REMOVE EXISTING CEILING WHERE SHOWN WITH CROSS-HATCH. REMOVE:
 - ACOUSTIC CEILING TILES SUSPENSION SYSTEM, AND ALL HANGERS.
 - LIGHTING FIXTURES.
 - HVAC DUCTS, DIFFUSERS, REGISTERS (COORD. W/ MEP)
 - MISCELLANEOUS ASSOCIATED DEVICES.
 - REMOVE ACOUSTIC CEILING TILES IN BALANCE OF AREA. COORDINATE WITH OWNER AND ARCHITECT FOR ADDITIONAL REMOVAL WORK, OR IF CEILING SHALL BE RETAINED.

- A. TOILET ROOM REMOVAL NOTES:**
- EXISTING FIXTURES AND FITTINGS SHALL BE REMOVED.
 - PLUMBING PIPING SCHEDULED TO REMAIN SHALL BE TEMPORARILY CAPPED PER CODE FOR INSTALLATION OF NEW FIXTURES.
 - EXISTING FINISHES SHALL BE REMOVED. PATCH & PREPARE WALLS AND FLOORS TO RECEIVE NEW FINISHES, PER FINISH SCHEDULE.
 - EXISTING TOILET ACCESSORIES SHALL BE REMOVED.
 - REMOVE EXISTING LIGHT FIXTURES.
 - REMOVE EXISTING HUNG CEILING.
- B. WINDOW REMOVAL NOTES:**
- REMOVE EXISTING ALUMINUM WINDOWS WHERE INDICATED. INCLUDE FRAMES & ATTACHMENTS, INTERIOR GIB FLOORING, SILLS, ETC. PREPARE OPENINGS FOR NEW WINDOW INSTALLATION.
- C. STAIR REMOVAL NOTES:**
- EXISTING WOOD STAIRS, WOOD HANDRAILS, NEWEL POSTS, AND STRINGER MOULDINGS, ETC. SHALL REMAIN. PROVIDE PROTECTION THROUGHOUT CONSTRUCTION OPERATIONS.
 - REMOVE EXISTING STAIR COVERINGS AT TREADS AND PLATFORMS, TYPICAL. INSTALL NEW FLOOR COVERINGS PER FINISH SCHEDULE.
 - REMOVE RECENT TREAD REPAIRS (COVERINGS) AND REPLACE FULL TREAD FOR CODE COMPLIANCE. REPLACE TREAD TO ORIGINAL DIMENSIONS FOR RISER HEIGHT CONTINUITY.
 - REMOVE AND REPLACE EXISTING EMERGENCY LIGHTING AND PROVIDE ADDITIONAL EMERGENCY LIGHTING FOR CODE COMPLIANCE.








FLOOR OCCUPANCY DATA:
EXISTING BUSINESS USE: 100SF/PERSON
EXISTING FLOOR AREA: 2,850 SF
EXISTING OCCUPANT LOAD: 28 MAX.

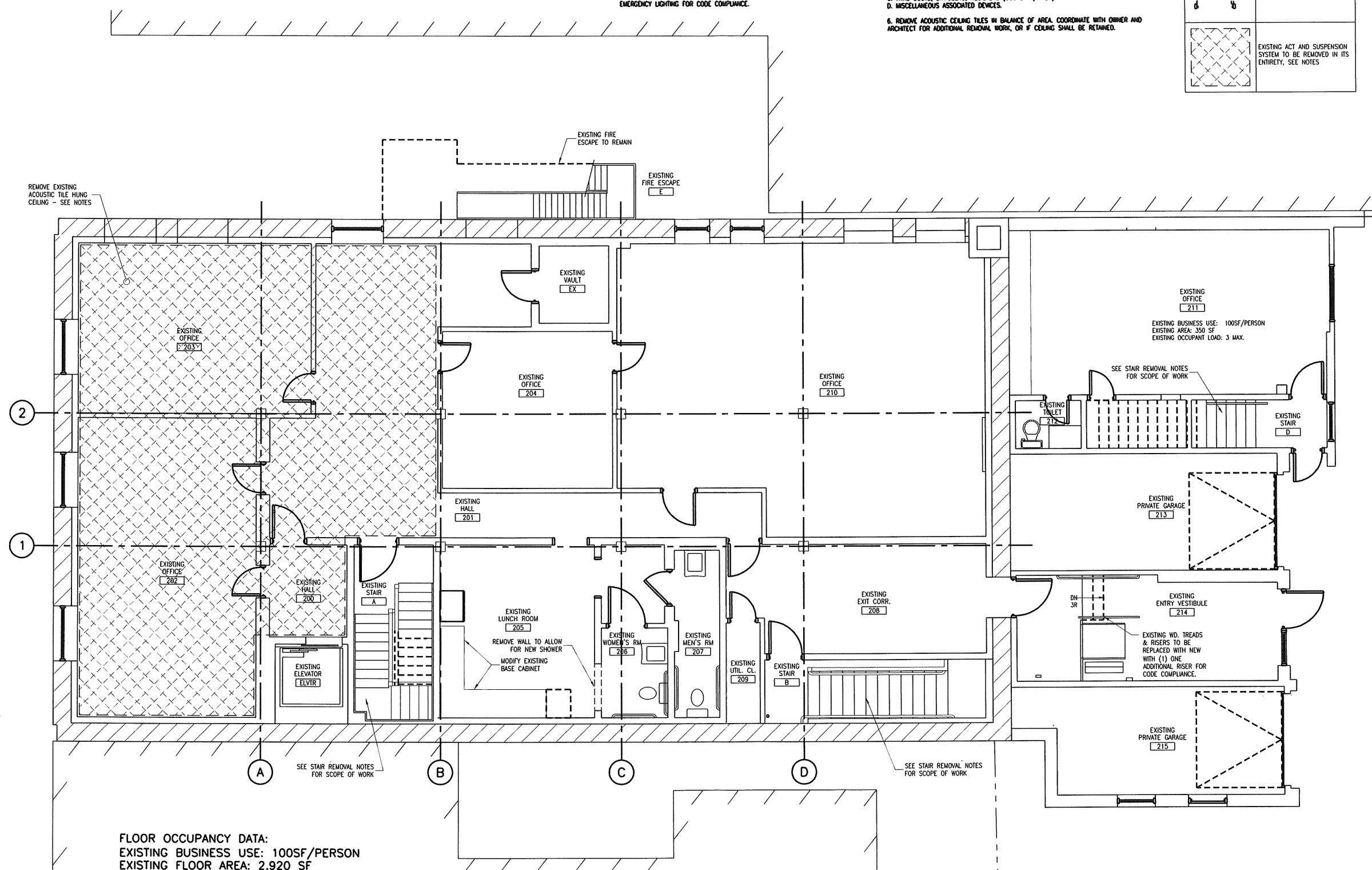
1 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"

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- A. TOILET ROOM REMOVAL NOTES:**
1. EXISTING FIXTURES AND FITTINGS SHALL BE REMOVED.
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 4. EXISTING TOILET ACCESSORIES SHALL BE REMOVED.
 5. REMOVE EXISTING LIGHT FIXTURES.
 6. REMOVE EXISTING HUNG CEILING.
- B. WINDOW REMOVAL NOTES:**
- REMOVE EXISTING ALUMINUM WINDOWS WHERE INDICATED. INCLUDE FRAMES & ATTACHMENTS, INTERIOR CMB FURRING, SILLS, ETC. PREPARE OPENINGS FOR NEW WINDOW INSTALLATION.
- C. STAIR REMOVAL NOTES:**
1. EXISTING WOOD STAIRS, WOOD HANDRAILS, NEWEL POSTS, AND STRINGER MOULDINGS, ETC. SHALL REMAIN. PROVIDE PROTECTION THROUGHOUT CONSTRUCTION OPERATIONS.
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 3. REMOVE RECENT TREAD REPAIRS (COVERINGS) AND REPLACE FULL TREAD FOR CODE COMPLIANCE. REPLACE TREAD TO ORIGINAL DIMENSIONS FOR RISER HEIGHT CONTINUITY.
 4. REMOVE AND REPLACE EXISTING EMERGENCY LIGHTING AND PROVIDE ADDITIONAL EMERGENCY LIGHTING FOR CODE COMPLIANCE.

- GENERAL REMOVALS THROUGHOUT AREA OF WORK:**
1. ALL INTERIOR & EXTERIOR COMPONENTS OF THE STRUCTURE (INCLUDING TIMBER COLLARS, TIMBER BEAMS AND GIRDERS) ARE CONSIDERED TO BE HISTORIC FABRIC. THEREFORE, EXTREME CARE SHALL BE TAKEN BY THE CONTRACTOR THROUGH ALL PHASES OF PREPARATION AND CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO ALL AREAS AFFECTED BY THE WORK. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO ANY BUILDING COMPONENTS WHICH OCCUR AS A RESULT OF ALL PHASES OF WORK DELINEATED IN THE DRAWINGS.
 2. ALL REMOVALS OF ASBESTOS CONTAINING MATERIALS SHALL BE ABATED AND DISPOSED OF AS REQUIRED BY GOVERNING AGENCIES. SEE ASBESTOS SURVEY REPORT SUPPLIED BY THE OWNER FOR LOCATIONS.
 3. REMOVE EXISTING FLOOR FINISHES AND WALL BASES TO SUBSTRATE. SCRAPE, CLEAN AND PREPARE SUBSTRATE AS REQUIRED. INCLUDE FLASH PATCHING OF SUBFLOOR FOR SURFACE LEVELING.
 4. REMOVE ALL ACCESSORIES/ ATTACHMENTS FROM WALLS TO REMAIN. REMOVE: BULLETIN BOARDS, SIGNAGE, ETC.
 5. REMOVE EXISTING CEILING WHERE SHOWN WITH CROSS-HATCH. REMOVE:
 - A. ACOUSTIC CEILING TILES SUSPENSION SYSTEM, AND ALL HANGERS.
 - B. LIGHTING FIXTURES.
 - C. HVAC DUCTS, DIFFUSORS, REGISTERS (COORD. W/ MEP)
 - D. MISCELLANEOUS ASSOCIATED DEVICES.
 6. REMOVE ACOUSTIC CEILING TILES IN BALANCE OF AREA. COORDINATE WITH OWNER AND ARCHITECT FOR ADDITIONAL REMOVAL WORK, OR IF CEILING SHALL BE RETAINED.

SYMBOL	DESCRIPTION
	EXISTING CONSTRUCTION/ PARTITION TO REMAIN
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	EXISTING DOOR, FRAME AND HARDWARE TO REMAIN
	EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED
	EXISTING ACCT AND SUSPENSION SYSTEM TO BE REMOVED IN ITS ENTIRETY, SEE NOTES



FLOOR OCCUPANCY DATA:
EXISTING BUSINESS USE: 100SF/PERSON
EXISTING FLOOR AREA: 2,920 SF
EXISTING OCCUPANT LOAD: 29 MAX.

1 SECOND FLOOR DEMOLITION PLAN
1/4" = 1'-0"

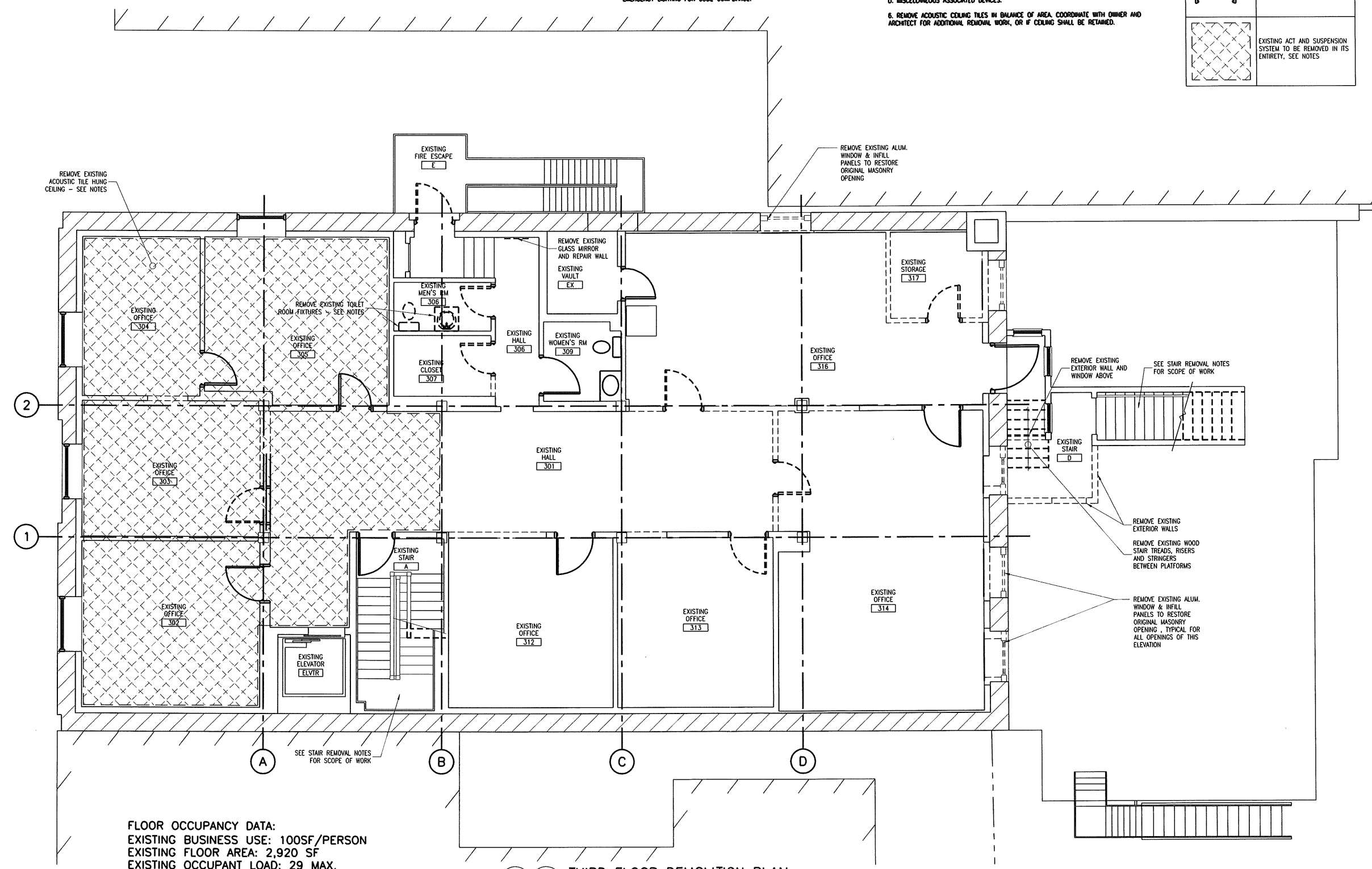
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 - REMOVE EXISTING LIGHT FIXTURES.
 - REMOVE EXISTING HUNG CEILING.

- B. WINDOW REMOVAL NOTES:**
- REMOVE EXISTING ALUMINUM WINDOWS WHERE INDICATED, INCLUDE FRAMES & ATTACHMENTS, INTERIOR GIB FURRING, SILLS, ETC. PREPARE OPENINGS FOR NEW WINDOW INSTALLATION.

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EXISTING FLOOR AREA: 2,920 SF
EXISTING OCCUPANT LOAD: 29 MAX.

1 THIRD FLOOR DEMOLITION PLAN
1/4" = 1'-0"

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